

City of
Somerville
Massachusetts



Assessors Map

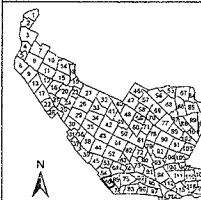
- Parcel Boundary
 - Block Boundary
 - ■ ■ ■ ■ Assessor Map Boundary
 - Water Body
 - ▤ Building
 - ▨ Railroad ROW
- 50 ← Lot Dimension
 7 ← Lot Number
 5000 ← Square Footage
 155 ← Frontage Dimension
 Street Address



1" = 80'
January 10, 2008

Sources: Rights-of-way and building footprints developed from Boston Edison Company data, 1955. Parcel data developed from assessor maps by CDM, 1999.

NOTE: The data represented on these maps indicate distances and decided locations of cadastral boundaries in the City of Somerville. They are NOT survey data and should not be treated as such.



66



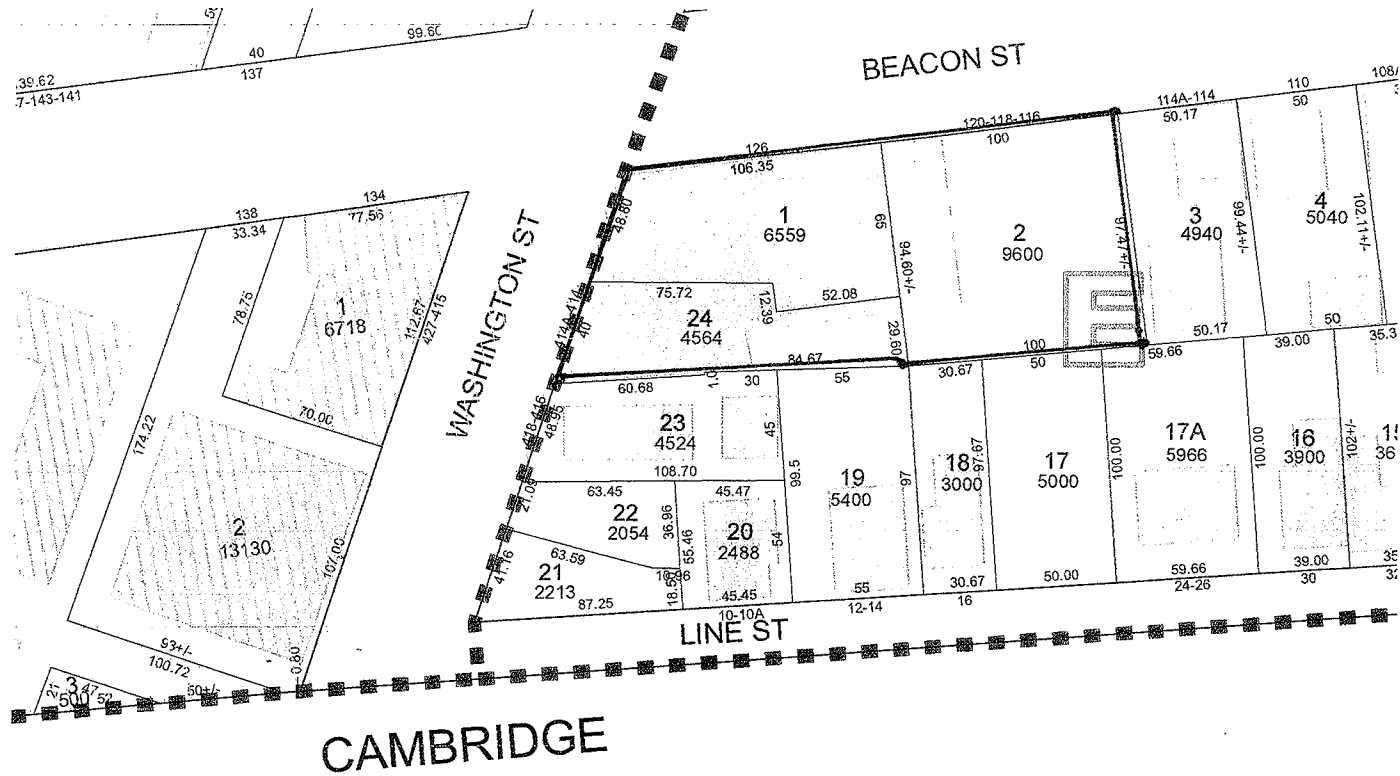
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CDM

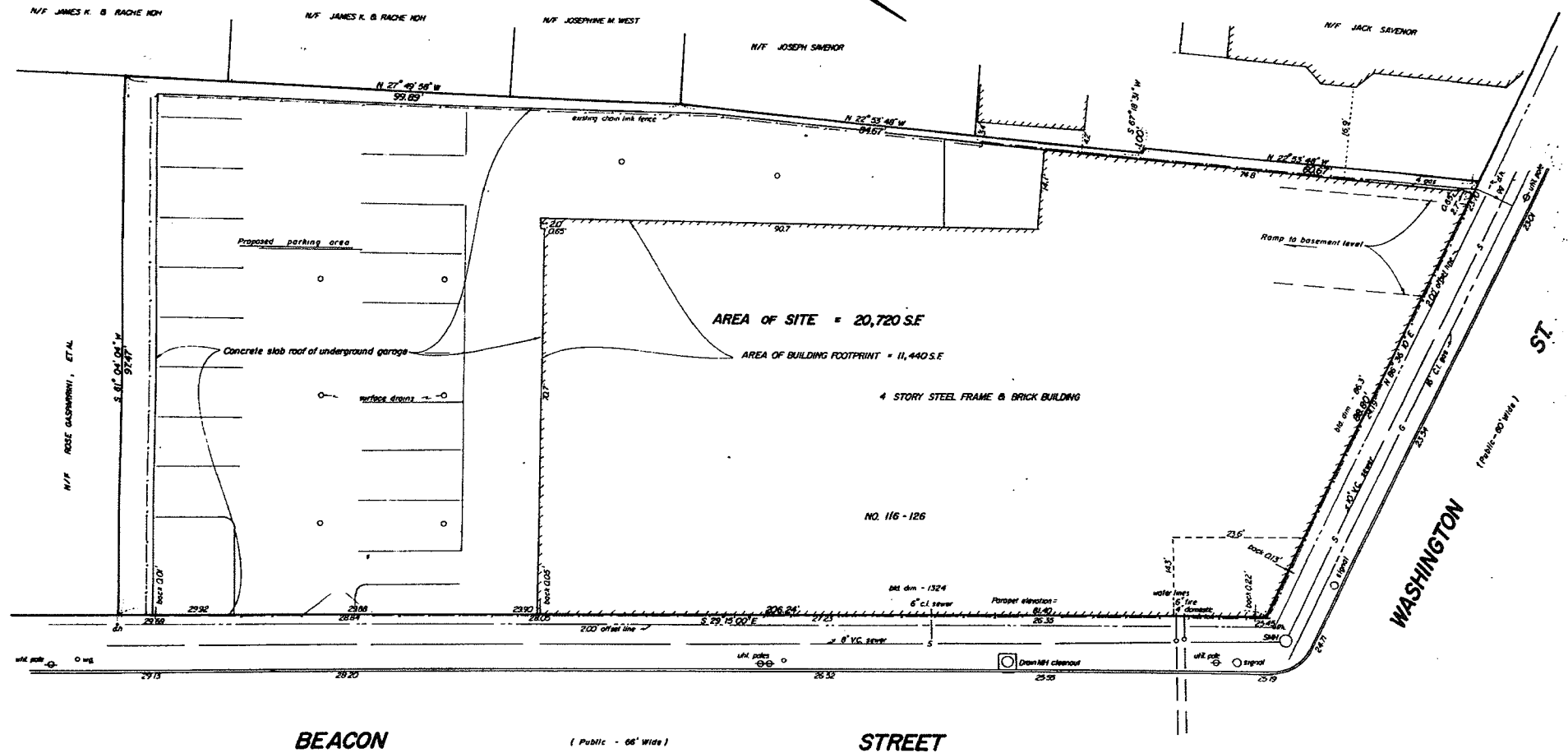
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PROPERTY REFERENCES:
Middlesex South Registry of Deeds
Plan Bl. 315, Plan 50
Plan Bl. 302, Plan 42
L.C.C. 725 B

City of Somerville Eng. Dept. field books

"Plot Plan 120 Beacon St. Somerville", dated May 5, 1992,
by Fred M. Gould, Surveyor

I certify that the visible portion of the concrete foundation, as built,
to the best of my knowledge, does not encroach upon any easement or cross any
of the property lines and complies with applicable zoning and building laws, rules,
ordinances and regulations.

I certify that the parcel shown hereon lies in Zone C, an area of
minimal flooding, as indicated on the Flood Insurance Rate Maps, dated
July 17, 1985, for the City of Somerville, MA.

Wendell H. Mason



SITE PLAN
120 BEACON ST.
SOMERVILLE, MASS.

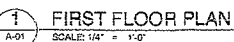
SCALE: 1" = 10'

WENDELL H. MASON
122 ESSEX ST.

AUGUST 10, 1992

UPDATED: OCT 12, 1994
PROF. LAND SURVEYOR
BEVERLY, MA 01915

2012 DEC 19 AM 8: 1

[illegible]

7	ADJUST LOCATION OF CORNER DEMISING WALL 80 TO HOLD REQUIRED ADA MINIMUM 12" CLEAR ON THE INSIDE OF THE NEW EGRESS DOOR.
8	PATCH & REPAIR HEAD TO BLEND WITH EXISTING. REPAIR BOLT TO MATCH EXISTING ADJACENT WALL.
9	LOCATE 2X8 DEMISING WALL 80 AS TO INCLUDE SPACE FOR 7/8" METAL FURRING CHANNELS ON THE FACE OF THE DRY COLLUM.
10	ALIGN OUTER LAYER OF SHEETROCK WHERE 2X8 CORNER DEMISING WALL MEETS 1" HX 7/8" TENSANT DEMISING WALL.
11	HOLD REQUIRED ADA MINIMUM 12" CLEAR ON THE PUSH SIDE OF THE NEW EGRESS DOOR.
12	HOLD 1" TO "PROVIDE" REQUIRED ADA MINIMUM 12" CLEAR ON THE PUSH SIDE OF THE NEW EGRESS DOOR AFTER FUTURE TENSANT INSTALLS FUTURE 2X8 WALL-SHOWN DETAIL.
13	THE LOCATION OF THE 7/8" WALL MAY BE ADJUSTED TO HOLD CLEARANCES CALLED FOR IN PLAN NOTES 5.0 & 5.1.
14	HOLD 1" TO "PROVIDE" REQUIRED ADA MINIMUM 12" CLEAR ON THE PULL SIDE OF THE NEW EGRESS DOOR.
15	EXISTING SURFACES SHALL BE CAREFULLY REMOVED, PROTECTED 90 DEGREES & REMOUNTED 80 BOTTOM OF STUD WALLS AT 80. BELOW ADA MINIMUM REQ. OF 48".
16	INSULATE EXISTING HOT WATER FEED & DRAIN LINE TAPED & READY TO RECEIVE FINISHES BY TENSANT.
17	TENSANT SIDE OF NEW DEMISING WALLS SHALL BE TAPED & Banded & REQUIRE TO RECEIVE FINISHES BY TENSANT.
18	DOOR/DRAIN SIDE OF NEW DEMISING WALLS SHALL BE TAPED & Banded & PAINTED TWO FINISH COATS TO MATCH EXISTING CORRIDOR.
19	FLOOR OF CORRIDOR TO RECEIVE NEW CORP TO MATCH BARE BUILT-IN STANDARD CARPET AS FOUND IN 1801.
20	INSTALL NEW 2X2 W/ FLOORING A VINYL BASE AS SELECTED BY OWNER IN EXISTING WALL & MENS & WOMENS DRESSING ROOMS. PRICE AS ALLOWANCE.
21	CREATE OPENING IN EXISTING WALL FOR FIRE RATED ACCESS PANEL. FIELD VARY SIZE & HEIGHT BASED ON ACCESS RATED HEIGHT OF EXISTING WALL.
22	EXISTING WALL TO BE EXTENDED TO UNDERLIE OF EXISTING DECK OR STRUCTURE ABOVE TO CREATE 1" HOUR FIRE WALL. PATCH & REPAIR ALL OPENING IN WALL WHERE EXISTING RETURN AIR OPENINGS HAVE BEEN

1 HOUR DEMISING WALL- Non-Bearing

- 1 LAYER 5/8" TYPE X GYPSUM WALLBOARD
- 3/8" HTL STUDS @ 16" O.C.
- 1 1/2" SOUND GATS
- 1 LAYER 5/8" TYPE X GYPSUM WALLBOARD

See the gypsum wallboard to check R-value or provide adequate rating to maintain the rating.

BASED ON UL DESIGN WITH REFERENCE TO THE DETAIL & PROPER SCREW SIZING & OTHER SPECIFICS

[illegible]

FIRST FLOOR TENANT FITOUT

120 BEACON STREET
Beacon St. Somerville, MA

FIRST FLOOR
PLAN & NOTES

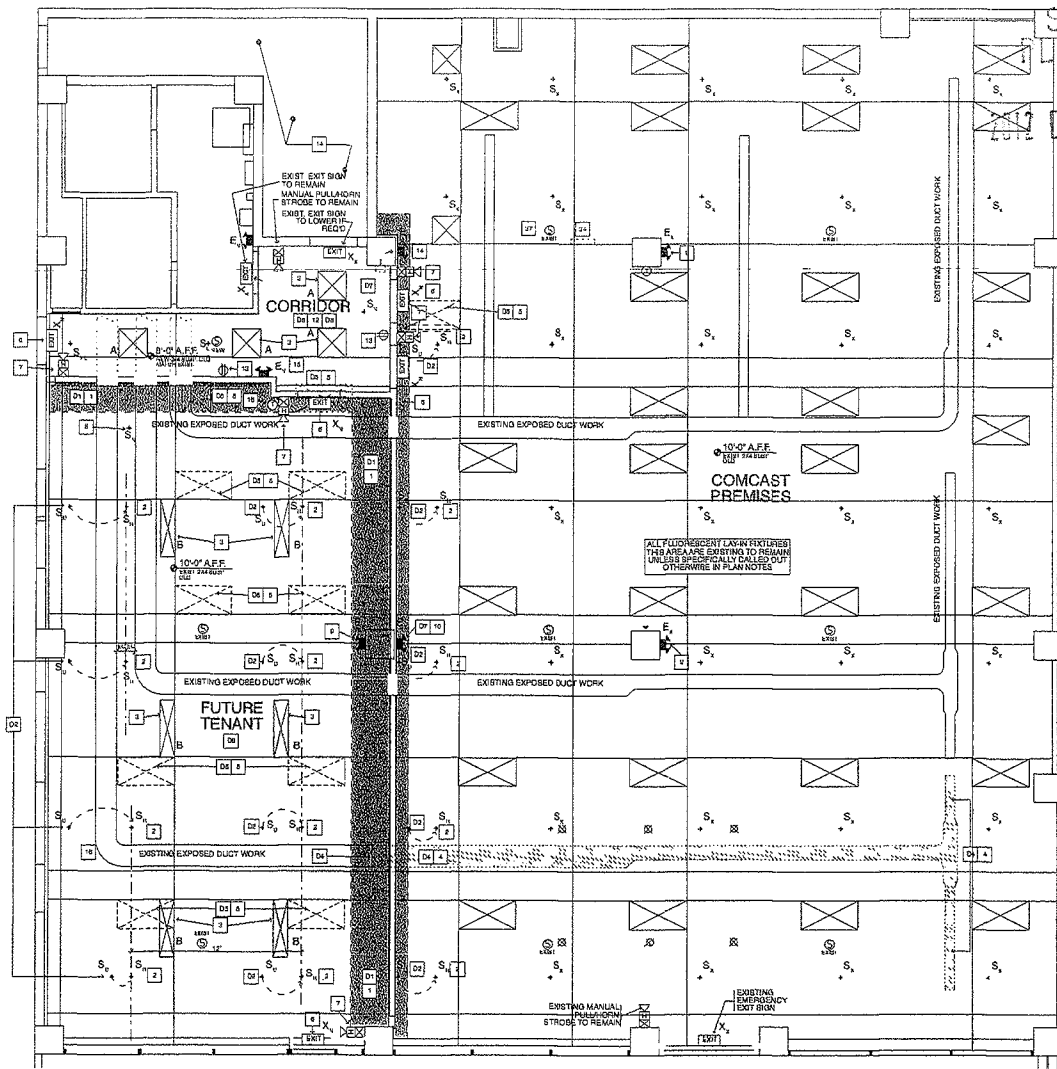
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RCP PLAN NOTES

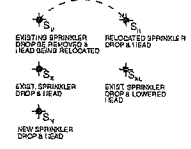
- DEMO NOTES**
- 1 CAREFULLY TEMPORARILY REMOVE CEILING TILES & GRID (SHOWN SHADDED) SO NEW FULL HEIGHT DEMISING WALL MAY BE CONSTRUCTED
 - 2 REMOVE EXISTING SPRINKLER HEAD & DROP & RELOCATE AS SHOWN. SEE PP-1 FOR SPECIFICS
 - 3 CAREFULLY REMOVE EXISTING LIGHT FIXTURE FOR MOVEMENT TO NEW LOCATION SHOWN
 - 4 EXISTING DUCTWORK BEING CUT BACK & CAPPED WITH THE REMAINDER BEING REMOVED. SEE SHEET M-1
 - 5 REMOVE EXISTING 2'X2' OR 2'X1' LIGHT FIXTURES AS SHOWN
 - 6 REMOVE EXISTING CEILING & CEILING FIXTURES IN NEWLY CREATED CORRIDOR. EXTENT 10' TO LOWER ANY EXISTING EXIT SIGN & EMERGENCY LIGHTS THERE AND SO THEY WILL BELOW THE NEW 9'-0" CEILING
 - 7 CAREFULLY REMOVE EXISTING EMERGENCY HEADS & BATTERY UNIT WHICH IS INTENDED TO BE REINSTALLED ONCE NEW DEMISING WALL IS CONSTRUCTED
 - 8 PROVIDE ALL REQUIRED BUILDING & SPRINKLER DEMO NECESSARY TO RELOCATE SPRINKLER SYSTEM TO NEW SPRINKLER HEADS FOR COMCAST TENANT & COMMON AREAS. ALL AREAS TO BE DEMOLISHED BY SEPARATE & RELATED SPRINKLER UNIT. COORDINATE WITH LANDLORD & PROVIDE AT TIME OF LANDLORD CHOOSING TO DO SO TO PROVIDE MINIMUM DISRUPTION TO OTHER TENANTS WITHIN THE BUILDING

- NEW CONSTRUCTION NOTES**
- 1 ONCE NEW DEMISING WALL HAS BEEN BUILT, REPLACE CEILING GRID & REINSTALL EXISTING TILES IF IN GOOD SHAPE. OR PROVIDE NEW TILES TO MATCH EXISTING (NEED SHOWN SHADDED)
 - 2 RELOCATED SPRINKLER HEAD & DROP, C & TO PROVIDE MATCHING CEILING TILE FOR LOCATION HEAD WAS MOVED FROM. SEE PP-1 FOR SPECIFIC OF SPRINKLER WORK
 - 3 NEW LIGHT FIXTURE SEE SHEET E-1
 - 4 REPLACE ANY CEILING TILES WITH HOLES IN THEM FROM EXISTING HANDERS, LIGHT FIXTURES ETC
 - 5 INSTALL NEW CEILING TILE WHERE LIGHT FIXTURES REMOVED, STYLE TO MATCH EXISTING
 - 6 INSTALL NEW EXIT SIGN OVER NEW DOOR. SIGN TO MATCH BUILDING STANDARD FIXTURE
 - 7 INSTALL NEW MANUAL PULL & HORN STROBE AT NEW DOOR. MATCH BUILDING STANDARD FIXTURE
 - 8 PROVIDE NEW SPRINKLER DROP TO PROVIDE ABSOLUTE COVERAGE AT CORNER OF NEWLY DEMISED TENANT SPACE
 - 9 PROTECT EXISTING COLUMN MOUNTED EMERGENCY HEADS WHICH ARE INTENDED TO REMAIN. TEST EXISTING BATTERY PACK & REPLACE IF AS REQUIRED
 - 10 REINSTALL COLUMN MOUNTED EMERGENCY HEADS WHICH WERE REMOVED TO CONSTRUCT NEW TENANT DEMISING WALL. TEST EXISTING BATTERY PACK & REPLACE IF AS REQUIRED
 - 11 PROVIDE NEW DUAL HEAD EMERGENCY LIGHT BATTERY PACK UNIT TO MATCH BASE BUILDING STANDARD. NEW UNIT SHALL PROVIDE EMERGENCY LIGHTING FOR NEWLY DEMISED CORRIDOR
 - 12 NEW CORRIDOR CEILING SHALL BE LOWERED TO 9'-0". INTENT IS TO USE EXISTING EXPOSED ROUND DUCTWORK. ALL SPRINKLER DROPS SHALL BE EXTENDED TO NEW CEILING HEIGHT AS WELL AS ALL EMERGENCY LIGHTS WHICH WILL NOT FALL BELOW NEW 9'-0" CEILING HEIGHT
 - 13 PROVIDE DUPLEX CONVENIENCE OUTLET WIRED BACK TO HOUSE PANEL @ NEW CORRIDOR DEMISING WALL
 - 14 DO NOT RUN ANY NEW MECHANICAL, ELECTRICAL, PLUMBING OR FIRE PROTECTION PIPES TO TENANT SPACES THROUGH EXISTING STRESS BEAMS
 - 15 SEE STREET ELEVATION REGARDING POTENTIAL ELECTRICAL WORK AT EXISTING SIGN BAND
 - 16 NEW THERMOSTAT-SEE MECHANICAL FOR SPECIFICS



1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

SPRINKLER LEGEND



CONYNGHAM
ASSOCIATES
ARCHITECTS
19 Bishop Allen Drive
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Tel: 617-578-0042
Fax: 617-578-5543

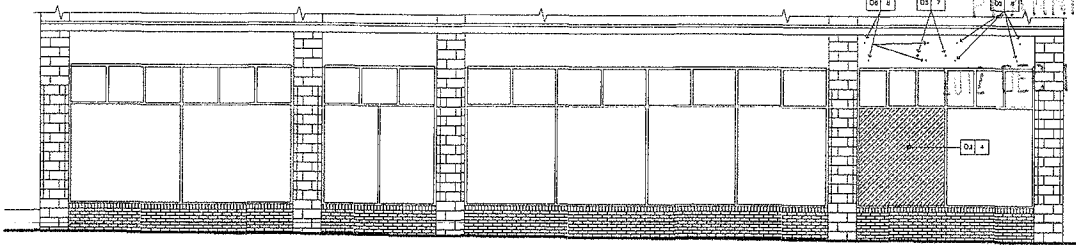
FIRST FLOOR TENANT FITOUT
120 BEACON STREET
Beacon St, Somerville, MA

No. Revision Date
1 PERMIT ISSUE 10-12-12

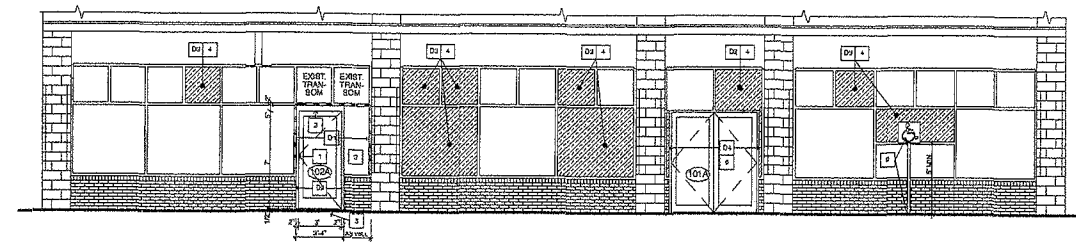
REFLECTED CEILING PLAN & NOTES

Date: 11-13-12
Scale: 1/8" = 1'-0"
A-02

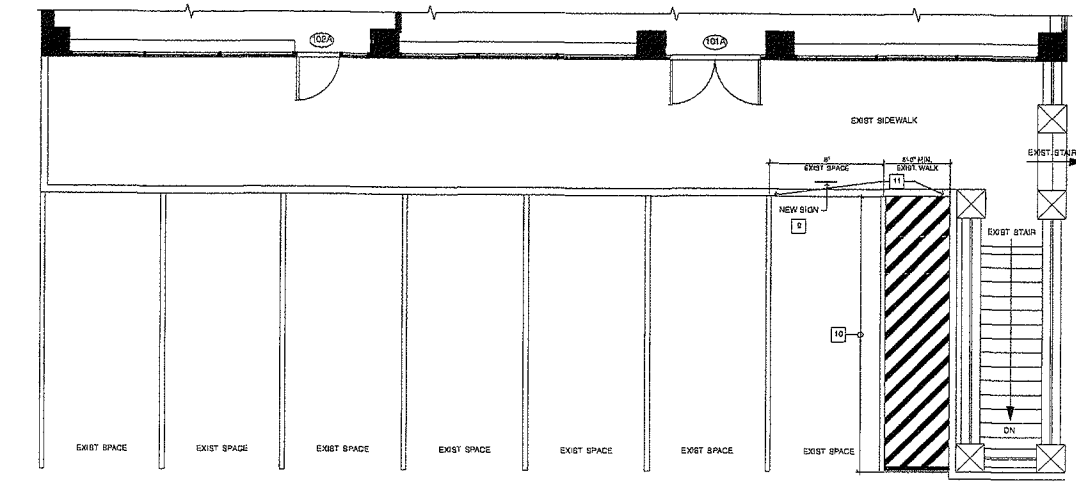
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1 STREET EXTERIOR ELEVATION
A-03 SCALE: 1/4" = 1'-0"



2 PARKING EXTERIOR ELEVATION-Layout
A-03 SCALE: 1/4" = 1'-0"

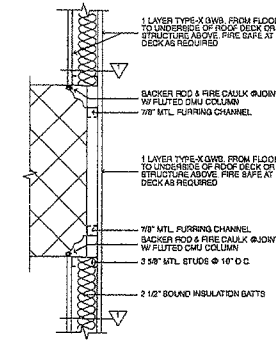


3 PART. PARKING PLAN
A-03 SCALE: 1/4" = 1'-0"

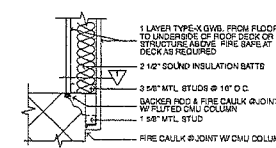
EXTERIOR ELEVATION & PART PARKING PLAN NOTES
THESE PLAN NOTES APPLY TO DRAWINGS 104-03 204-03 & 304-03

- DEMO NOTES:**
- D1 REMOVE EXISTING STOREFRONT WINDOW FOR NEW DOOR AND Sidelight. RETAIN EXISTING TRANSOM. STOREFRONT GLASS & FRAME ABOVE. RETAIN EXISTING VERTICAL MULLION AT LEFT SIDE OF NEW DOOR. SEE ALSO PLAN NOTE D2
 - D2 REMOVE EXISTING MASONRY WALL FROM BELOW WINDOW SILL TO FLOOR TO CREATE OPENING FOR NEW DOOR & FRAME. INTENT IS TO RETAIN EXISTING STOREFRONT MULLION AND ADD SECOND MULLION AT NEW DOOR. SEE ALSO PLAN NOTE D1 FOR ADDITIONAL SCHEMATIC WORK
 - D3 REMOVE EXISTING INSULATED STOREFRONT GLASS WITH FAIRLED SEALS
 - D4 REMOVE EXISTING INSULATED GLASS Sidelights WHICH HAVE COME LOOSE FROM THEIR FRAME
 - D5 CONFIRM WITH COMCAST WHETHER THEY WILL REUSE EITHER OF THE TWO ELECTRICAL FEEDS FOR STOREFRONT SIGNAGE. ANY SIGNAGE ELECTRICAL FEED NOT PLANNED TO BE REUSED SHALL BE PULLED BACK THROUGH THE WALL & MADE SAFE WITH JB
 - D6 CONFIRM WITH COMCAST WHETHER THEY WILL REUSE ANY OF THE EXISTING THREADED STUDS FOR THEIR SIGNAGE. REMOVE IF POSSIBLE OR CUT BACK ANY PROJECTED THREADED STUDS NOT INTENDED TO BE REUSED

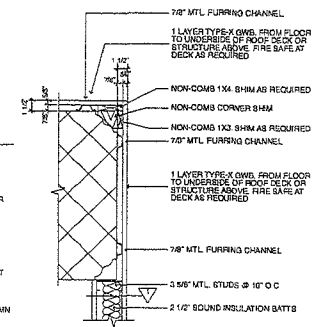
- NEW CONSTRUCTION NOTES:**
- N1 INTENT IS TO RETAIN EXISTING STOREFRONT GLASS MULLION & PROVIDE MATCHING ADJACENT 2" FRAME FOR JAMB & JAMB DOOR
 - N2 EXISTING OPENING IS 4'-4 1/2" HIGH. INTENT IS TO RETAIN EXISTING TRANSOM GLASS & FRAME & INSTALL NEW 7'-0" HIGH DOOR & PROVIDE 4'-0" FILLER PIECE @ HEAD
 - N3 NEW Sidelight TO MATCH HEIGHT OF EXISTING MAIN STOREFRONT GLASS
 - N4 REPLACE INSULATING STOREFRONT GLASS REMOVED PER NOTE D3 ABOVE & REPLACE WITH INSULATING GLASS WITH DIVIDER TINT THAT MEETS THE REQUIREMENT OF THE MASS ENERGY CODE
 - N5 PROVIDE 1/2" THRESHOLD AT NEW ACCESSIBLE ENTRY DOOR TO FUTURE TENANT SPACE
 - N6 REPLACE INSULATING Sidelight GLASS REMOVED PER NOTE D4 ABOVE & REPLACE WITH INSULATING GLASS WITH DIVIDER TINT THAT MEETS THE REQUIREMENT OF THE MASS ENERGY CODE
 - N7 REFERRING TO NOTE D4 PATCH & REPAIR ANY REMAINING HOLES IN EXTERIOR WALLS IF COMCAST DOES NOT PLAN TO REUSE EXISTING THREADED METAL STUDS FOR MOUNTING THEIR SIGNAGE
 - N8 PROVIDE NEW HANDICAPPED PARKING SIGN BOTTOM SECTION OF SIGN SHALL BE NO LOWER THAN 4'-0" & TOP OF SIGN SHALL NOT BE OVER 6'-0" ABOVE EXISTING SIDE WALK PATCH & REPAIR ORIGINAL FOOTING FOR SIGN
 - N9 STRIPE EXISTING WALKWAY & PARKING SPACE TO PROVIDE 8'-0" PARKING SPACE AND 5'-0" WIDE STRIPE ACCESSIBLE
 - N10 INSTALL EXTERIOR GRADE LEVELING COMPOUND AS REQUIRE TO MATCH CURB ADJACENT TO NEW HANDICAPPED SPACE AND PROVIDE NO MORE THAN 1/8" MAXIMUM GRADE CHANGE. REPAIR TO MATCH EXISTING PARKING DECK



4 DETAIL
A-03 SCALE: 1 1/2" = 1'-0"



5 DETAIL
A-03 SCALE: 1 1/2" = 1'-0"



6 DETAIL
A-03 SCALE: 1 1/2" = 1'-0"

CONYNGHAM
ASSOCIATES
ARCHITECTS
19 Bishop Allen Drive
Cambridge, MA 02138
tel: 617-575-0042
fax: 617-575-5543

FIRST FLOOR TENANT FITOUT

120 BEACON STREET
Beacon St. Somerville, MA

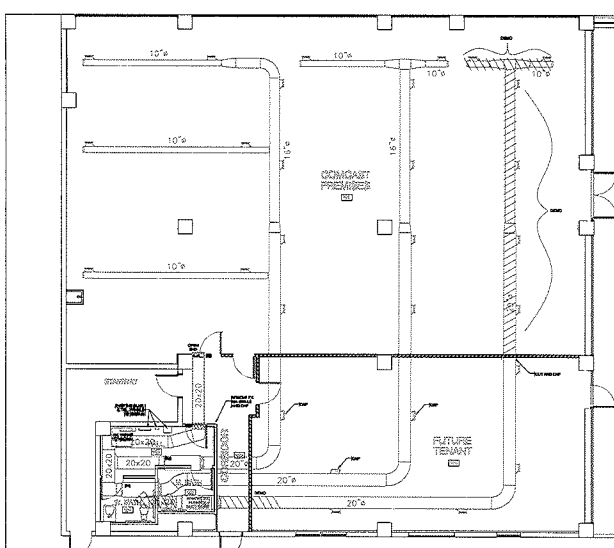
No. Revision	Date
1	PERMIT ISSUE 11-13-12

ELEVATIONS & DETAILS

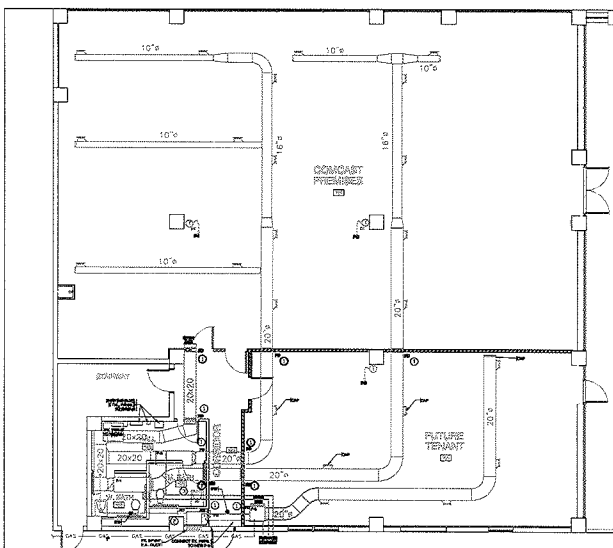
Date: 11-13-12
Scale: AS NOTED
A-03

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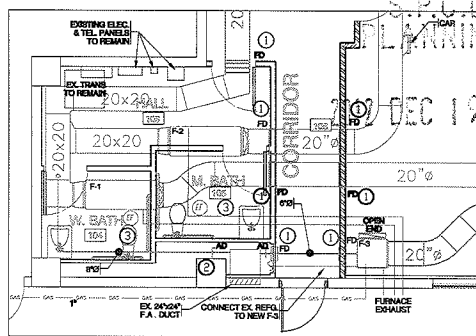
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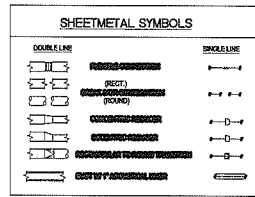
MECHANICAL DEMO PLAN
SCALE: 1/8"=1'-0"



MECHANICAL PLAN
SCALE: 1/8"=1'-0"

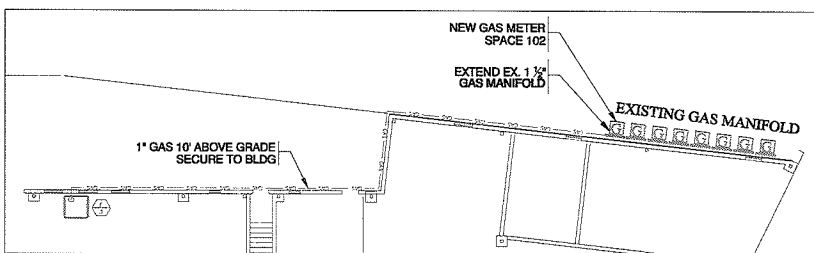


ENLARGED MECHANICAL PLAN AT COMMON AREA
SCALE: 1/4"=1'-0"



KEY NOTES

1. PROVIDE 1/2" BATED FIRE DAMPER AT ALL COMMON WALLS
2. INTERLOCK TO OPEN WITH RESPECTIVE FURNACE SUPPLY FAN
3. EXISTING BATHROOM EXHAUST FANS TO REMAIN

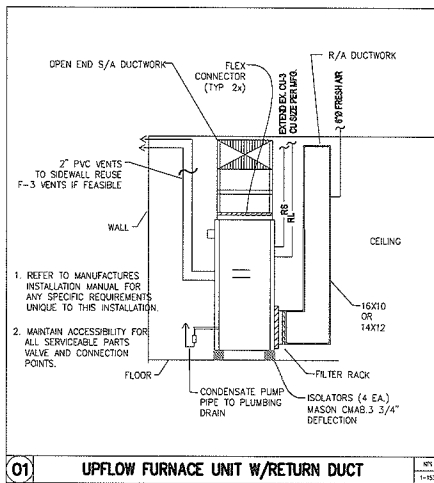
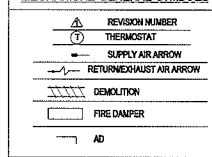


PART GAS PLAN
SCALE: 3/8"=1'-0"

MECHANICAL GENERAL NOTES

1. THE HVAC CONTRACTOR SHALL BE FAMILIAR WITH ALL CONTRACT DOCUMENTS FOR ALL TRADES AND COORDINATE WITH OTHER CONTRACTORS.
2. DRAWINGS ARE DIAGNOSTIC ONLY. FINAL ROUTING OF DUCTWORK, PIPING AND EQUIPMENT LOCATIONS SHALL BE DETERMINED IN THE FIELD. ADDITIONAL OFFSETS, ELBOWS, ETC., SHALL BE PROVIDED AND INSTALLED WITHOUT ADDITIONAL COST TO THE OWNER.
3. ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA STANDARDS.
4. MOUNT THERMOSTATS 80" AFF.
5. THE HVAC CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH THE ELECTRICAL AND PLUMBING CONTRACTORS.
6. THE HVAC CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE HVAC WORK COMPLETE AND READY FOR OPERATION.
7. ALL HVAC WORK SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
8. ALL HVAC EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
9. FIRE DAMPERS AND ACCESS PANELS SHALL BE INSTALLED AT ALL RATED PARTITIONS, CEILING AND FLOOR PENETRATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR PARTITION LOCATIONS.

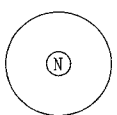
MECHANICAL GENERAL SYMBOLS



01 UPFLOW FURNACE UNIT W/RETURN DUCT

CONDENSING GAS FURNACE/AC UNIT											
DISCONT	LOCATION	SERVICE	TYPE	NOMINAL (CFM)	NOMINAL (TONS)	HEATING DATA		COOLING COIL DATA		ELECTRICAL DATA	
						TOTAL (MBH)	GAS	TOTAL (MBH)	FLUID	H/P	V
F-1/CI-1	ABV. CLC.	CONCAST	HORIZONTAL	2000	5.0	80 NAT	60,000	R-410A	1/2	120	1
F-2/CI-2	ABV. CLC.	CONCAST	HORIZONTAL	2000	5.0	80 NAT	60,000	R-410A	1/2	120	1
F-3/CI-3	SPACE 102	SPACE 102	VERTICAL	2000	5.0	80 NAT	60,000	R-410A	1/2	120	1

1. LUX 1500 PROGRAMMABLE T*STAT.
2. VERIFY WHICH FURNACE IS TO BE REPLACED WITH OWNER.



LVR Corporation
Consulting Engineers
88 Forestry Street
Vineyard, MA 01980
Tel: (781) 245-0000
Fax: (781) 245-0000
www.lvr.com

General Notes

Symbols

Symbol	Description

Drawing 120 BEACON ST MECHANICAL PLAN		
Title	Revisions	Date
Drawn By: JSC		
Checked By: LVR		
Scale: AS NOTED		
Date: 11/06/12		
Approval By:		

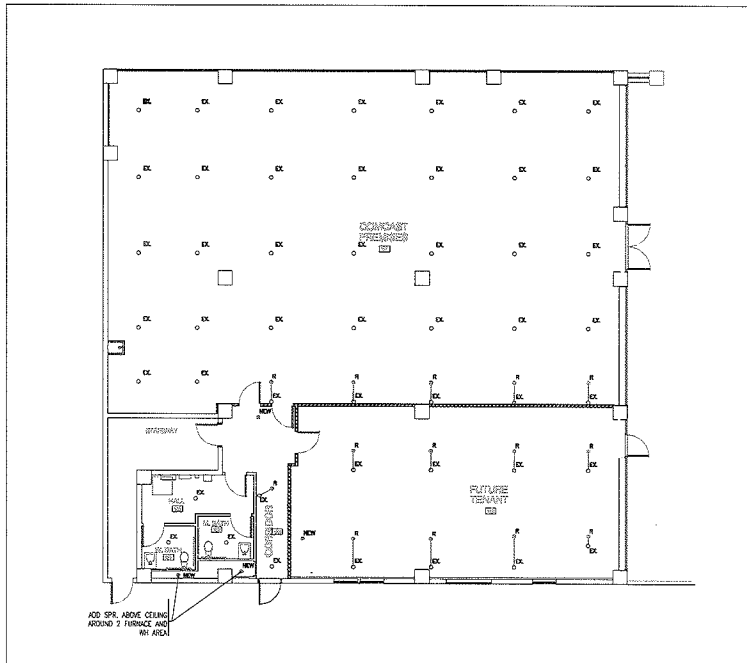
Job:
120 BEACON ST
SOMERVILLE MA 02120
Contractor:

SHEET 1 OF 1

M-1

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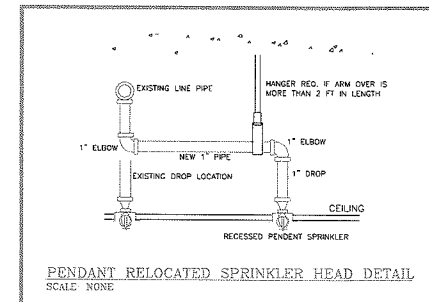
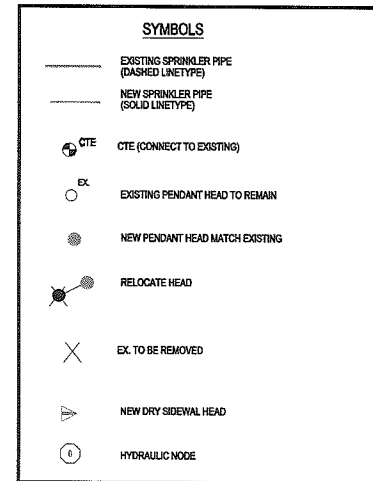
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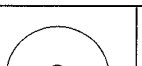
SPRINKLER PLAN
SCALE: 1/8"=1'-0"

AUTOMATIC SPRINKLER SYSTEM:

- DESIGN CRITERIA: ADD AND RELOCATE SPRINKLERS BASED ON NEW WALL AND CEILING CONFIGURATION. SPRINKLER HEAD SPACING TO CONFORM TO LIGHT HAZARD OCCUPANCY. FOLLOW THE LATEST REQUIREMENTS OF NFPA, MASSACHUSETTS STATE BUILDING CODE AND FIRE DEPARTMENT REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL REFERENCES TO EXISTING CONDITIONS.
- ALL CUTTING AND FIRE SEALING BY FIRE PROTECTION CONTRACTOR.
- ANY DAMAGE DONE TO THE BUILDING AS A RESULT OF THE CONTRACTORS OPERATIONS SHALL BE REPAIRED AND REPLACED BY THE CONTRACTOR.
- CONTRACTOR SHALL HYDROSTATICALLY TEST ALL SPRINKLER PIPING AT 200 PSI FOR 2 HOURS. OWNERS REPRESENTATIVE TO WITNESS SAID TEST.
- CONTRACTOR IS RESPONSIBLE FOR THE COMPLETION OF ALL ABOVE GROUND TEST CERTIFICATES TO BE SUPPLIED TO THE OWNER.
- ALL PIPING SHALL BE SUPPORTED PER NFPA-13 AND ALL MANUFACTURERS INSTALLATION RECOMMENDATIONS.
- CONTRACTOR TO COORDINATE SPRINKLER SHUTDOWNS WITH ANDOVER FIRE DEPT.
- 2" PIPING AND SMALLER TO BE SCHEDULE 40 BLACK STEEL (ASTM A53 OR ASTM A135) W/SCREWED FITTINGS, 175 PSI RATED WORKING PRESSURE.
- 2-1/2" PIPING AND LARGER TO BE SCHEDULE 10 BLACK STEEL ASTM A53 OR ASTM A135, AND ROLL GROOVED FITTINGS, 175 PSI RATED WORKING PRESSURE.
- SPRINKLER ORIFICE, K-FACTOR, TYPE AND FINISH TO MATCH EXISTING
- CONTRACTOR SHALL BE RESPONSIBLE FOR DRILLING OF ALL HOLES FOR SPRINKLER LINE PIPING. HOLES SHALL BE DRILLED A MAXIMUM OF 1/4" LARGER THAN NOMINAL PIPING DIAMETER TO MINIMIZE PATCHING REQUIRED. PROVIDE SPLIT PIPE CHROME ESCUTCHEONS AT ALL EXPOSED PIPE PENETRATIONS. FIRE SEAL OPENINGS TO MATCH WALL/FLOOR/CEILING RATING.
- SUFFICIENT HEAT TO BE PROVIDED BY THE OWNER TO KEEP SYSTEM FROM FREEZING.
- SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR PIPING LAYOUT
- ALL SPRINKLER WORK SHALL BE SUBJECT TO LANDLORD APPROVAL PRIOR TO WORK



PENDANT RELOCATED SPRINKLER HEAD DETAIL
SCALE: NONE

	 LVR Corporation Consulting Engineers 80 Forestry Street Woburn, MA 01801 Tel: (781) 245-0888 Fax: (781) 245-0525 www.lvr.com	General Notes 1. All Pipe Locations are to be Field Measured Prior to Fabrication and Installation by Sprinkler Contractor. 2. All dimensions shown are center to center unless otherwise noted. 3. High Temperature Heads are to be Field Located Where Required. 4. All Pipes and Hangers are to be Installed per NFPA #13. 5. Hangers are to be U.L. Listed / F.M. Approved. 6. Owner to provide adequate heat to protect water filled pipe from freezing.	© 2007 LVR Corporation This Engineered Fire Protection Plan, and all other associated reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by LVR Corporation as instruments of service shall remain the property of LVR Corporation. They may not be used or reproduced without expressed written consent of LVR Corporation. LVR Corporation shall retain all common law, statutory and other reserved rights, including the copyright therein.	<table><tr><th colspan="2">Number of Sprinklers</th><th rowspan="2">Maximum Coverage</th></tr><tr><th>Total This Sheet</th><th>Total This Job</th></tr><tr><th>Symbol</th><th>Description</th><th></th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Number of Sprinklers		Maximum Coverage	Total This Sheet	Total This Job	Symbol	Description																													Drawing Title: 120 BEACON ST SPRINKLER PLAN Drawn By: JEG Checked By: LVR Scale: AS NOTED Date: 11/06/12 Approval By: _____	Job: 120 BEACON ST SOMERVILLE MA 01920 Contractor: _____	FP-1 SHEET 1 OF 1
		Number of Sprinklers		Maximum Coverage																																						
Total This Sheet	Total This Job																																									
Symbol	Description																																									

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ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL FOLLOW ALL APPLICABLE NEC, STATE, LOCAL AND FEDERAL CODES RELATING TO THE WORK.
2. ELECTRICAL CONTRACTOR SHALL PAY FOR AND SECURE ALL PERMITS FOR HIS WORK.
3. INSTALL ALL ELECTRICAL EQUIPMENT AND MATERIALS FOR COMPLETE AND OPERABLE SYSTEMS.
4. ALL WIRE SHALL BE COPPER U.L. LISTED, 600 VOLT INSULATION, #14 AWG MIN. SIZE, THIN/THIN UNLESS NOTED OTHERWISE.
5. SEAL ALL CONDUIT PENETRATIONS THRU WALLS AND FLOORS FOR FIRE PROOFING AND WEATHERPROOFING.
6. ALL MATERIAL SHALL BE NEW AND BEAR THE U.L. LABEL AND SHALL BE INSTALLED IN THE MANNER FOR WHICH THEY WERE DESIGNED AND APPROVED.
7. E.C. SHALL PROVIDE SIX COPIES OF SUBMITTALS FOR ALL ELECTRICAL EQUIPMENT DEVICES, LIGHTING AND SPECIALTY SYSTEMS.
8. GROUND ALL EQUIPMENT PER NATIONAL ELECTRIC CODE.
9. ALL ELECTRICAL EQUIPMENT SHALL HAVE ENGRAVED PLASTIC NAMEPLATES. ALL PANELBOARDS CIRCUIT DIRECTORIES SHALL BE TYPED.
10. ALL CONDUCTORS SHALL BE COPPER WITH TYPE "THIN/THIN" INSULATION. THE MINIMUM CONDUCTOR SIZE FOR POWER CIRCUITS SHALL BE NO. 14 AWG.
11. THE CONDUIT/WIRE SIZES AND WIRING DIAGRAM REPRESENTS A SUGGESTED DESIGN BASED UPON STANDARD ELECTRICAL EQUIPMENT. MODIFICATIONS ACCEPTABLE TO THE ENGINEER MAY BE MADE BY THE CONTRACTOR TO ACCOMMODATE ACTUALLY INSTALLED EQUIPMENT. THE BASIC SEQUENCE AND METHOD OF CONDUIT MUST BE MAINTAINED AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE ALL EQUIPMENT WIRING REQUIREMENTS, PRIOR TO CONSTRUCTION.
12. COORDINATE EXACT EQUIPMENT LOCATIONS AND POWER REQUIREMENTS WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
13. ANY ITEMS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR.
14. FOR ELECTRICAL SERVICE COORDINATE ALL PENETRATIONS THRU GROUND FLOOR CEILING WITH STRUCTURAL ENGINEER/ARCHITECT AND OWNER.
15. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING OF ALL HIS WORK WITH ALL TRADES INCLUDING ARCHITECTURAL, MECHANICAL, AND PLUMBING.
16. THE DRAWINGS ARE INTENDED TO BE USED AS A GENERAL GUIDELINE THEY ARE NOT INTENDED TO ILLUSTRATE PRECISE INSTALLATION DETAILS AND ROUTING. THE E.C. WILL DETERMINE EXACT INSTALLATION REQUIREMENTS DICTATED BY ON SITE CONDITIONS. ANY SIGNIFICANT DESIGN ALTERATIONS, ADDITIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE SITE SUPERVISOR BEFORE PROCEEDING.
17. PROVIDE ALL EQUIPMENT, WIRING, ACCESSORIES AND OTHER OPERABLE ELECTRICAL SYSTEM, PER CODE, REGARDLESS OF WHETHER OR NOT INCLUDED IN THESE DRAWINGS AND SPECIFICATIONS.

SPECIAL ELECTRICAL NOTES

1. LOCATIONS: THE E.C. SHALL VERIFY THE LOCATIONS AND MOUNTING HEIGHT OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING ANY WORK.
2. DETECTIONABLE NOISE AND VIBRATIONS: ELECTRICAL EQUIPMENT SHALL OPERATE WITHOUT DETECTIONABLE NOISE AND VIBRATIONS, AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
3. CONFLICTS: ANY CONFLICTS WITH LOCATIONS, OR PROBLEMS ENCOUNTERED WITH ROUTING SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION.
4. PROTECTION OF EQUIPMENT: RESPONSIBILITY FOR THE CARE AND PROTECTION OF ALL ELECTRICAL EQUIPMENT AND MATERIALS RESTS WITH THE E.C. AT ALL TIMES UNTIL FINAL APPROVAL IS GIVEN.
5. CONNECT NEW FIRE ALARM DEVICES TO EX F.A. ZONE 14 SERVING SPACE 101/102. RELABEL ZONE, CONNECT NEW A/V DEVICE TO EXISTING CIRCUIT.

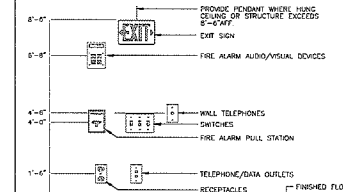
FIRE ALARM SYMBOLS

- COMBINATION HORN/STROBE, ADA APPROVED, 80" AFF, 15/75 CANDELLA, SET AT 15' cd U.O.N. ON FLOOR PLANS.
- ◀ STROBE, 80" AFF, ADA APPROVED, 15 CANDELLA
- Ⓢ FIRE ALARM CONTROL PANEL WITH BATTERY BACKUP, NOTIFIER, F.O. OR APPROVED EQUAL
- Ⓚ KNOX BOX
- Ⓜ MANUAL PULL STATION 48" AFF
- Ⓢ SMOKE DETECTOR
- Ⓢ 200 DEGREE FIXED TEMPERATURE HEAT DETECTOR

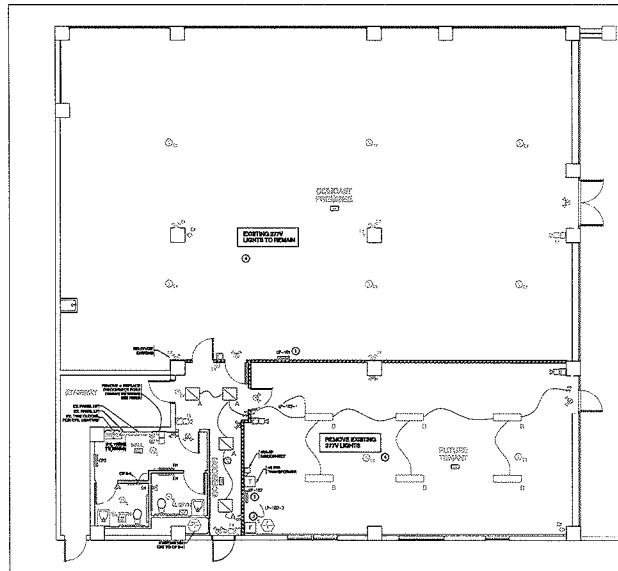
ELECTRICAL SYMBOLS

- Ⓢ ELECTRICAL PANEL, FLUSH MOUNT
- Ⓢ ELECTRICAL PANEL, SURFACE MOUNT
- Ⓢ LIGHTING FIXTURE, TYPE
- Ⓢ LIGHTING FIXTURE
- Ⓢ CIRCUIT DESIGNATION (TYPICAL)
- Ⓢ CIRCUIT DESIGNATION (TYPICAL)
- Ⓢ DUPLEX RECEPTACLE-BROUNDED, 18" AFF UNLESS OTHERWISE NOTED.
- Ⓢ JUNCTION BOXES
- Ⓢ SINGLE POLE SWITCH
- Ⓢ 3-WAY SWITCH
- Ⓢ HORN/STROBE, 180° E.C. 3/4" UNLESS NOTED OTHERWISE
- Ⓢ TIME CLOCK 1 FOR EXTERIOR LIGHTING
- Ⓢ NON-FUSED DISCONNECT SWITCH, FURNISHED BY MECHANICAL CONTRACTOR, WIRING AND CIRCUITED BY ELECTRICAL CONTRACTOR
- Ⓢ 2x4 3 LAMP FLUORESCENT LAY-IN FIXTURE
- Ⓢ 2x2 2 LAMP FLUORESCENT FIXTURE

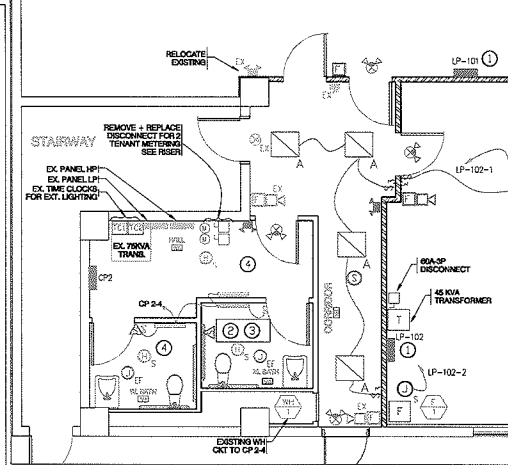
TYPICAL DEVICE MOUNTING HEIGHTS DETAIL



- NOTES:
1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF DEVICE EXCEPT EXIT SIGNS.
 2. DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHEREVER POSSIBLE.
 3. ALL DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DETAIL UNLESS OTHERWISE NOTED.



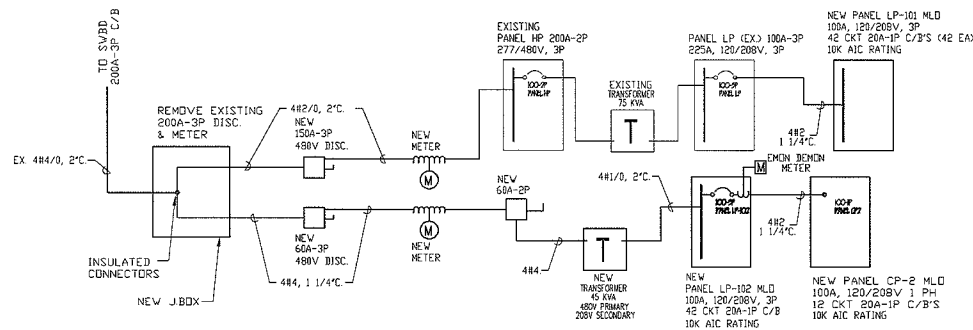
SPACE 101, 102 ELECTRIC PLAN
SCALE: 1/8"=1'-0"



COMMON AREA ELECTRIC PLAN
SCALE: 1/4"=1'-0"

KEY NOTES

1. LOCATE NEW PANELS FOR LANDLORD+ TENANT CONNECTION
2. DISCONNECT + RECONNECT FURNACES BEING REPLACED
3. DISCONNECT EXISTING FURNACE F-3
4. REPLACE ANY POWER WIRING ABOVE CEILING WITH MC



SPACE 101, 102 ELECTRICAL RISER
NOT TO SCALE - DIAGRAMMATIC

General Notes

Symbols

Symbol Description

Drawing Title

120 BEACON ST ELECTRICAL PLAN

Drawn By: JDC

Checked By: LVR

Date: 11/06/12

Scale: AS NOTED

Approved By:

Job:

120 BEACON ST
SOMERVILLE MA 02120

Contractor:

SHEET 1 OF 1

E-1



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Waltham, MA 01901
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Main ID

Quantity: 2

Size: 22"h x 60-3/4"w

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1 of

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Kathleen

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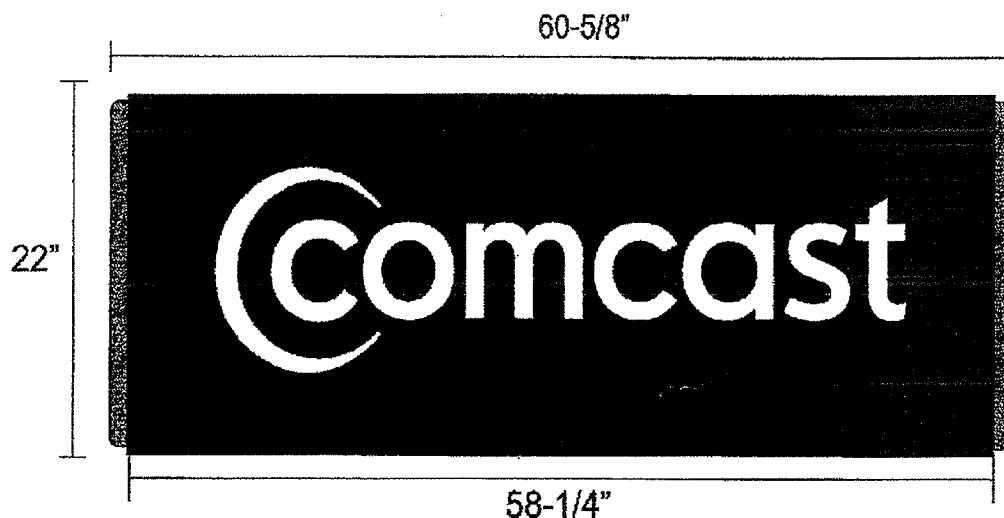
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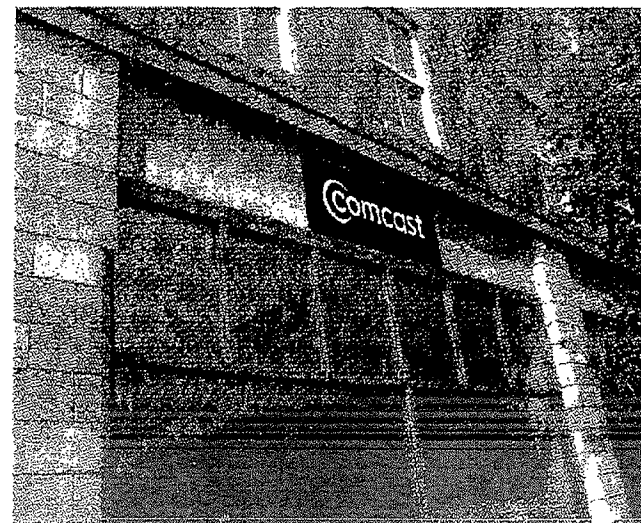
Proposed



Existing



Proposed



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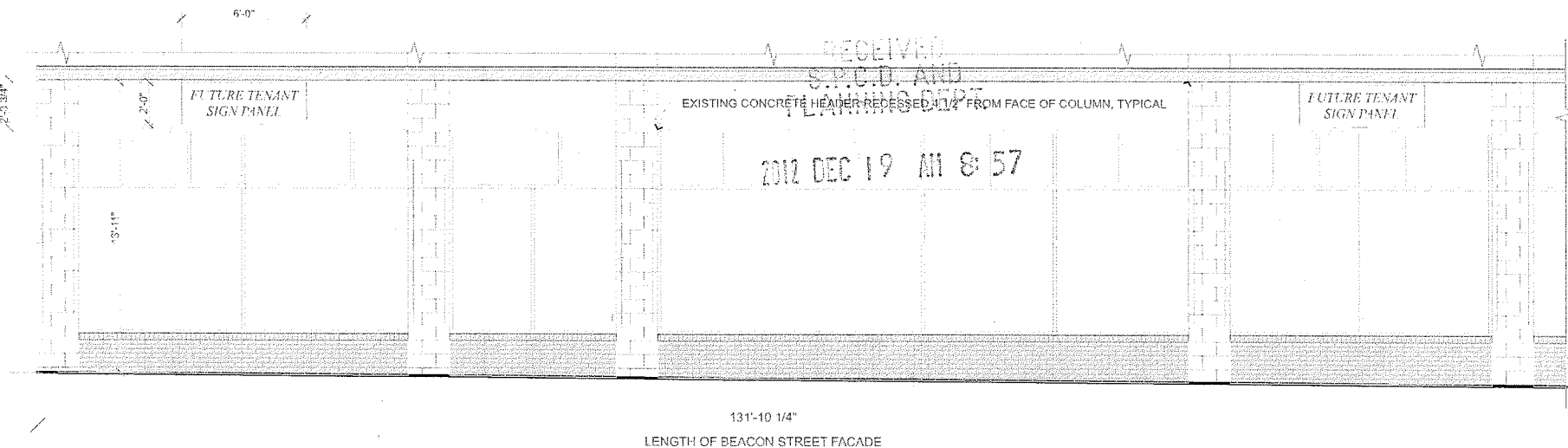
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Existing



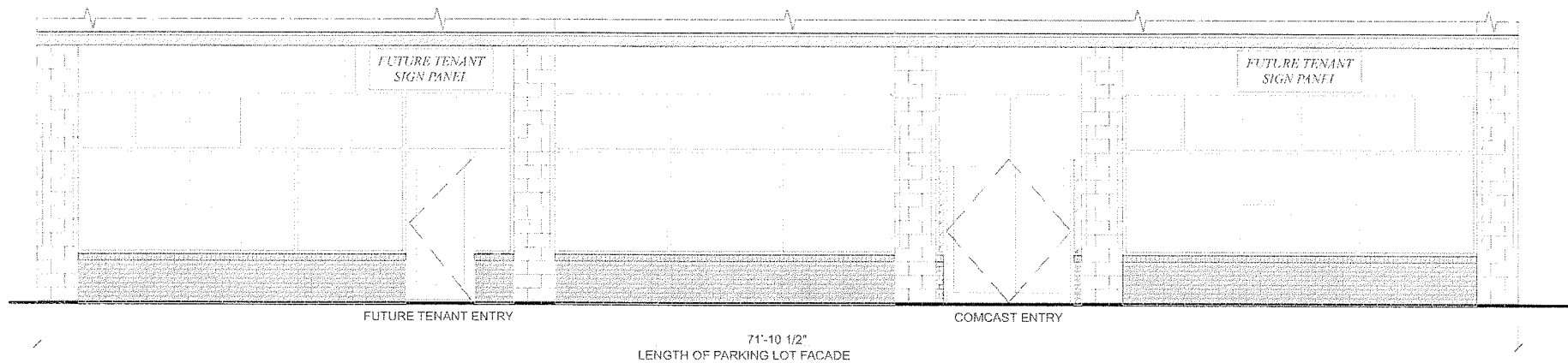
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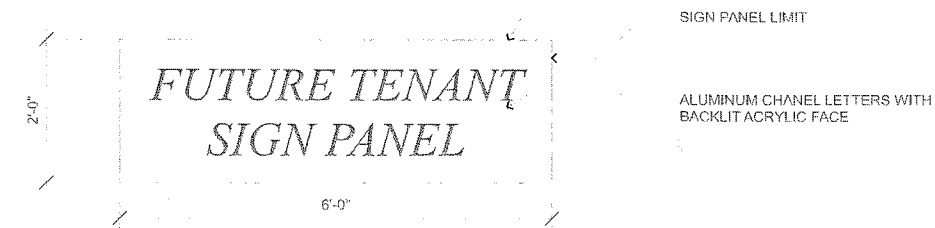
1 BEACON STREET ELEVATION

1/8" = 1'-0"



2 PARKING LOT ELEVATION

1/8" = 1'-0"



3 TYPICAL SIGN PANEL

3/8" = 1'-0"

PROPOSED TENANT SIGNAGE

120 BEACON STREET
SOMERVILLE, MA 02143

DECEMBER 17, 2012