

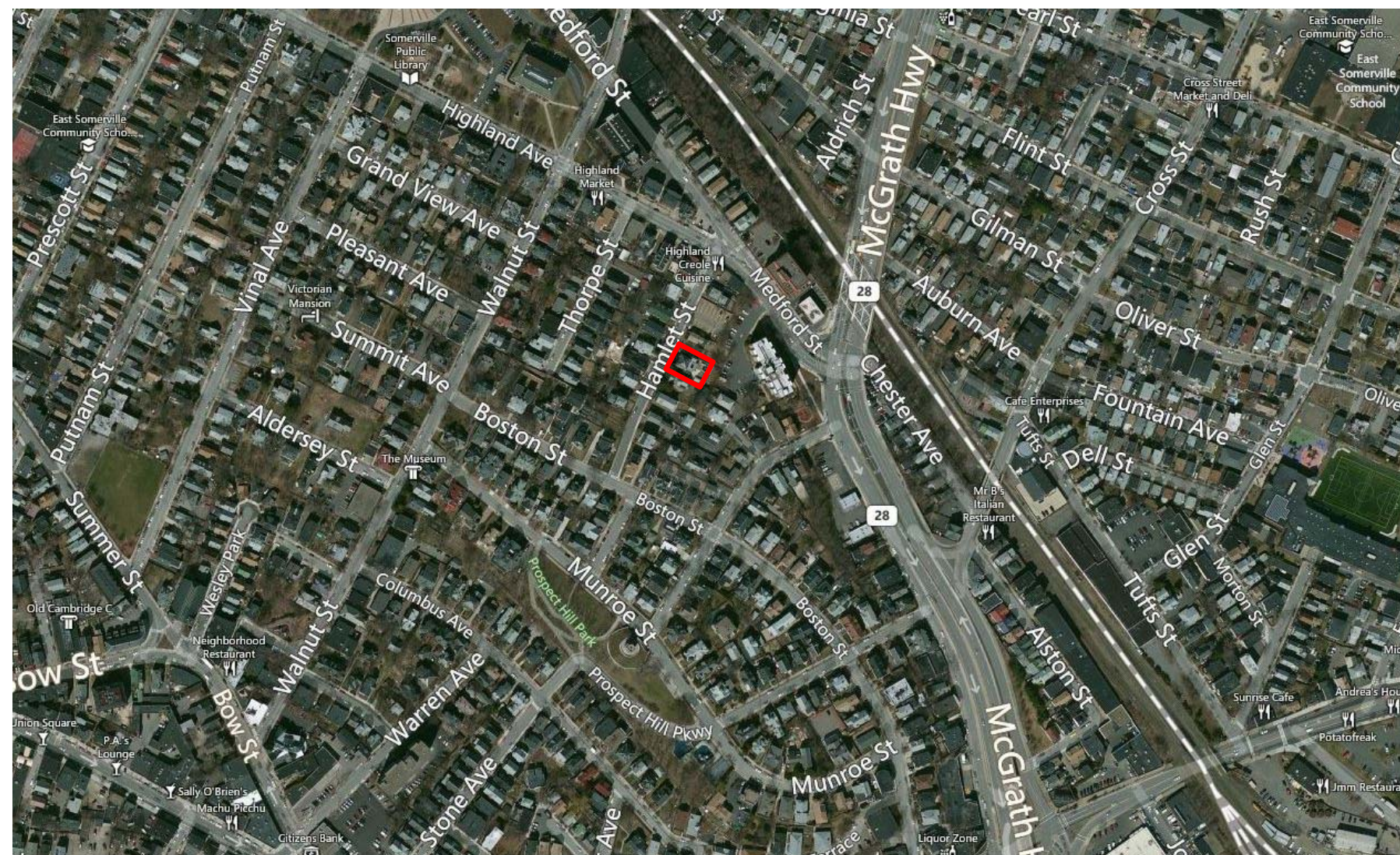
Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	03/11/14
SHD	Shaddow Study	03/11/14
Z-001	Site Context	03/11/14
C-001	Site Plan	03/11/14
C-002	Site Plan	03/11/14
L-001	Landscape Plan	03/11/14
A-010	Site Plan	03/11/14
A-100	Basement & First Floor Plan	03/11/14
A-101	2nd Floor & Roof Plans	03/11/14
A-111	Perspectives	03/11/14
A-300	Building Elevations	03/11/14
A-301	Building Elevations	03/11/14
A-302	Street View & Perspectives	03/11/14



HAMLET STREET RESIDENCES

SUBMISSION SET
03-11-2014

LOCUS MAP



CLIENT
Boris Kuritnik

ARCHITECT
KHALSA DESIGN INC.
 17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143
 T:(617)-591-8682

LANDSCAPE ARCHITECTS
Blair Hines Design Associates, LLC
 318 Harvard Street suite 25
 Brookline, MA 02446
 T: 617-735-1180
 F: 617-608-5025

ENGINEER

PROJECT NAME

HAMLET ST. RESIDENCES

PROJECT ADDRESS

22-24 Hamlet Street ,
SOMERVILLE, MA

CLIENT

Boris Kuritnik

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	13077
Date	03/11/14
Drawn by	CC
Checked by	JSK
Scale	

REVISIONS

[illegible]

Cover Sheet

A-000

HAMLET ST. RESIDENCES



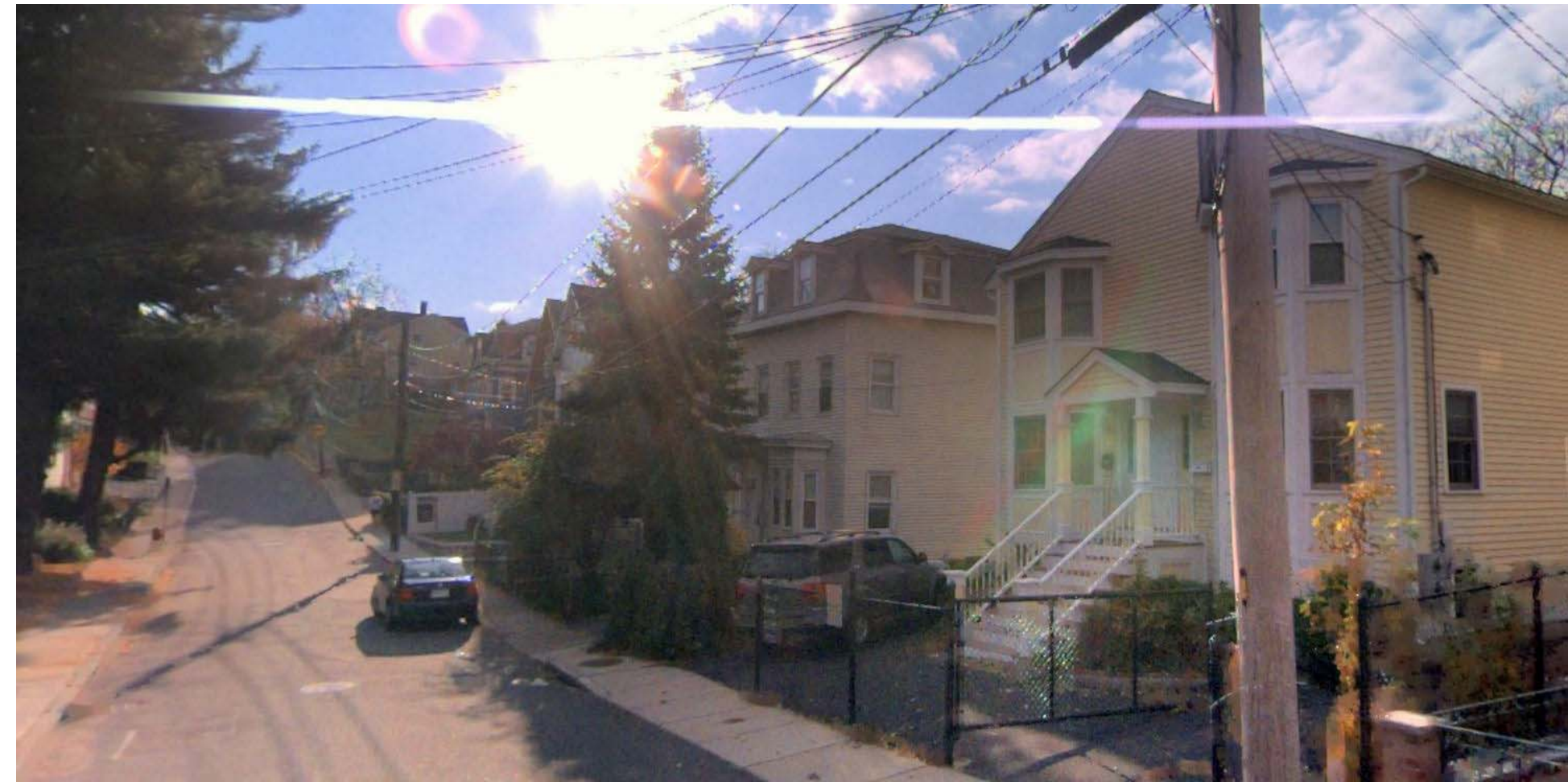
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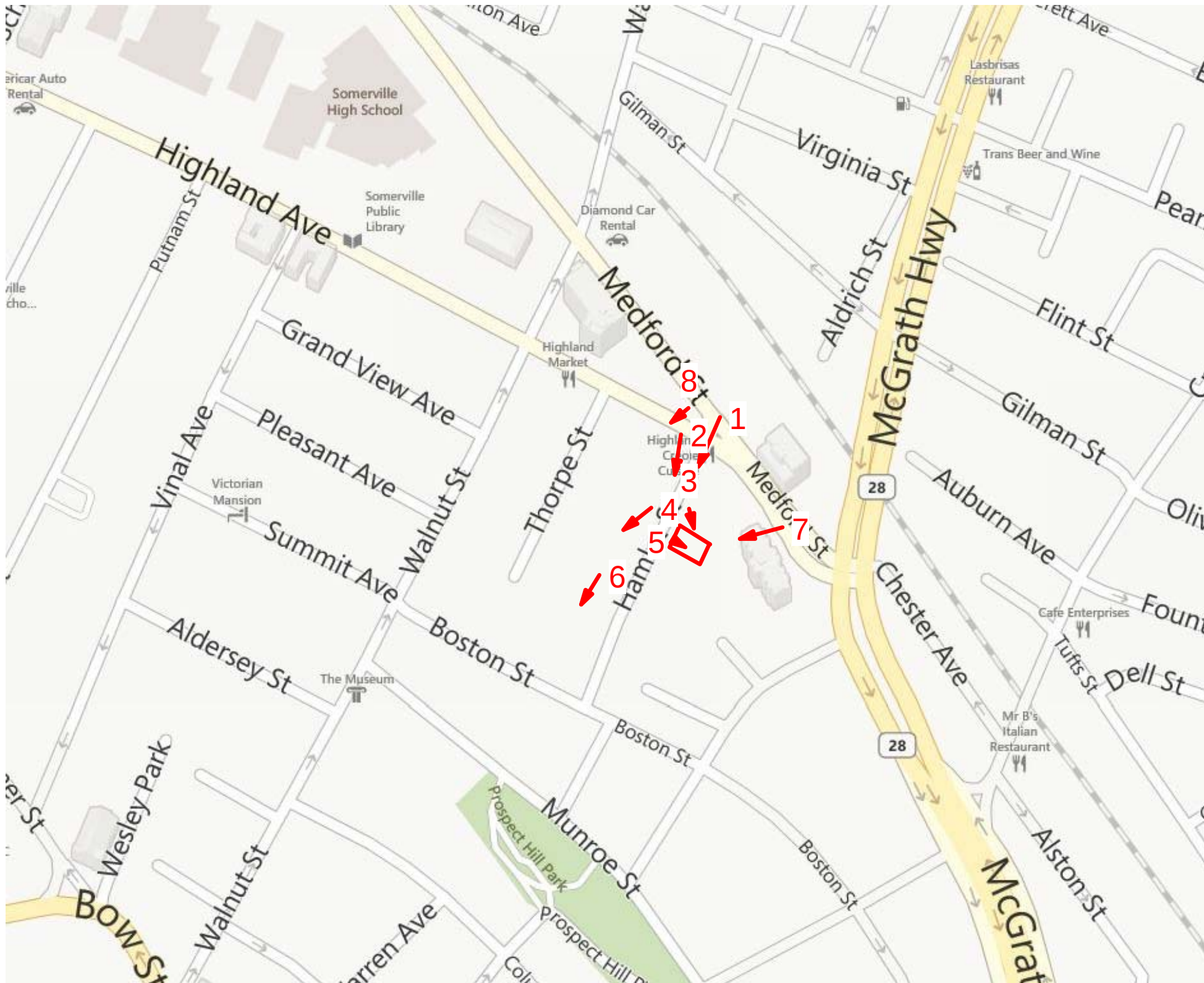
2



3



4



5



6



7



8

PROJECT NAME

**HAMLET ST.
RESIDENCES**

PROJECT ADDRESS

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SOMERVILLE, MA

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CONSULTANTS:

REGISTRATION



Project number 13077
Date 03/11/14
Drawn by MT
Checked by KDI
Scale

REVISIONS

No.	Description	Date

Site Context

Z-001

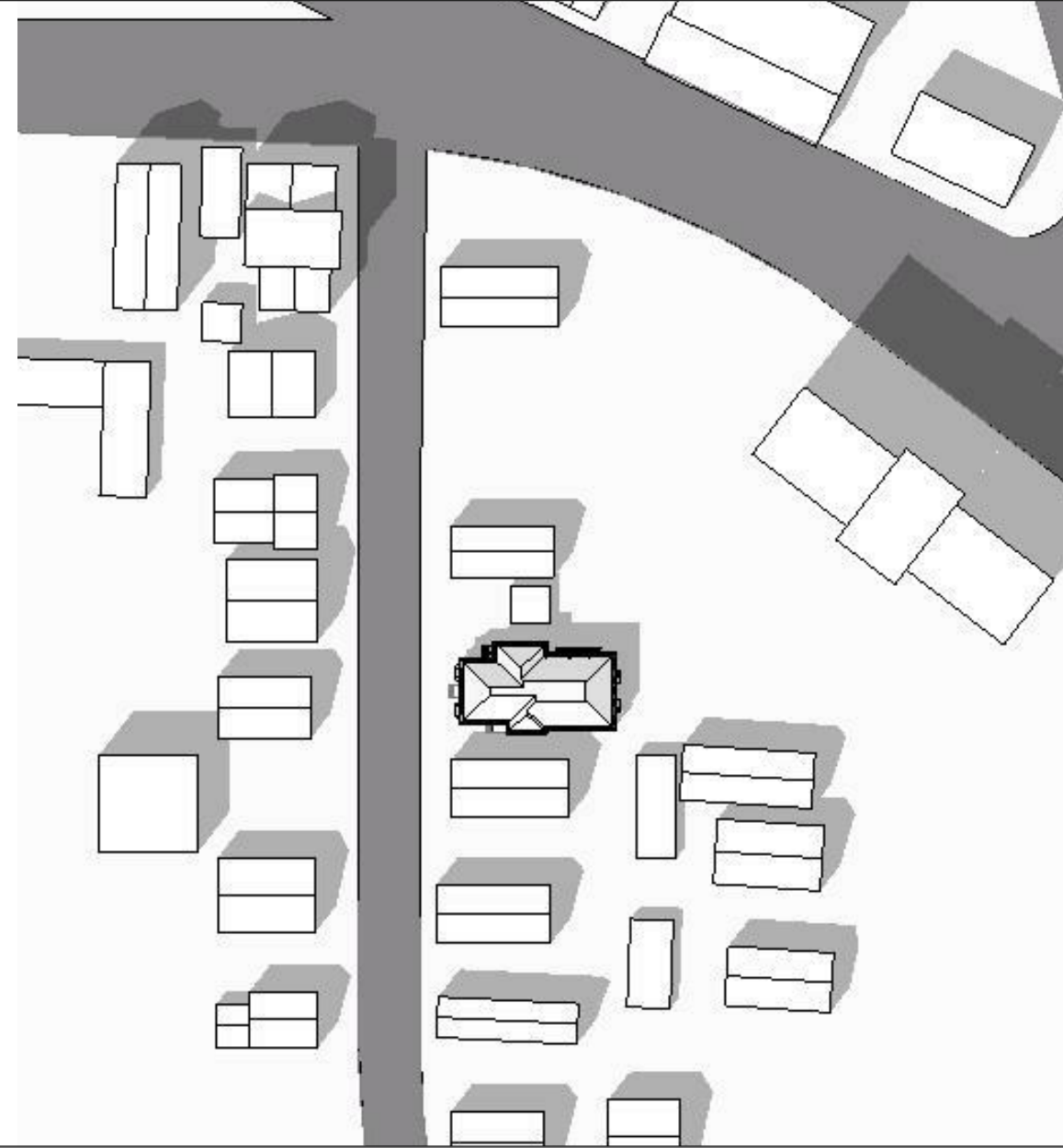
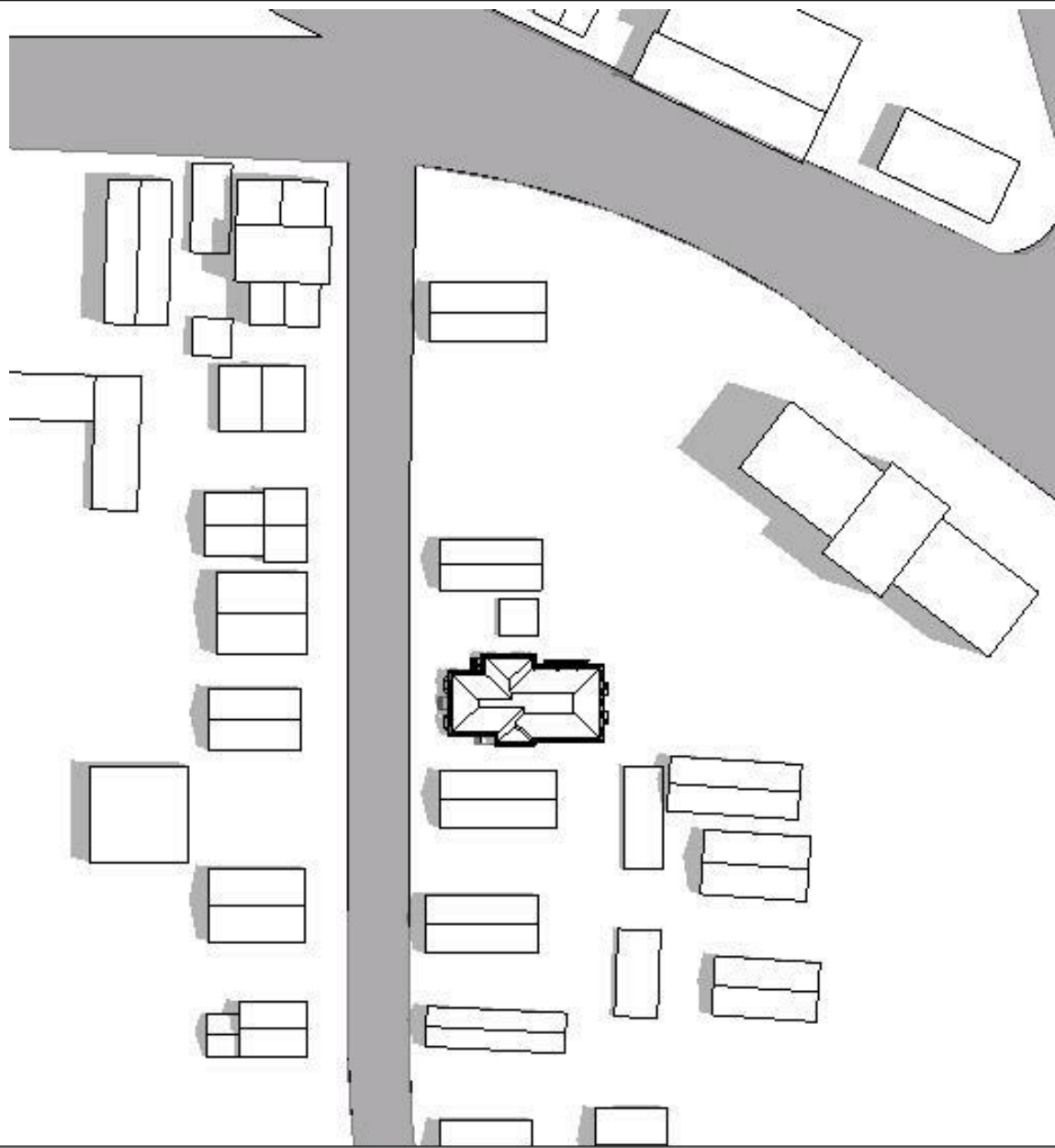
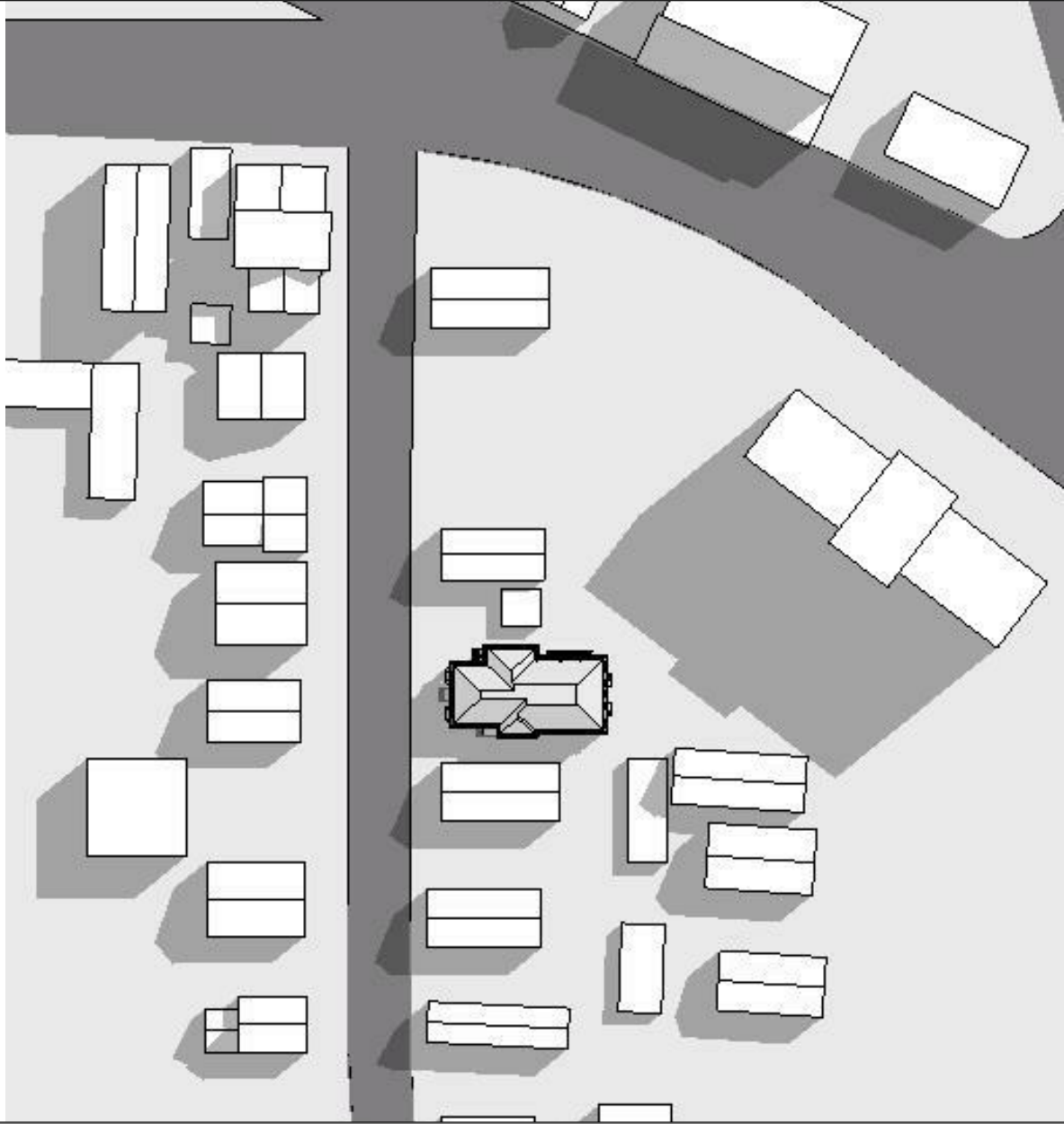
HAMLET ST. RESIDENCES

MORNING (9-10 AM)

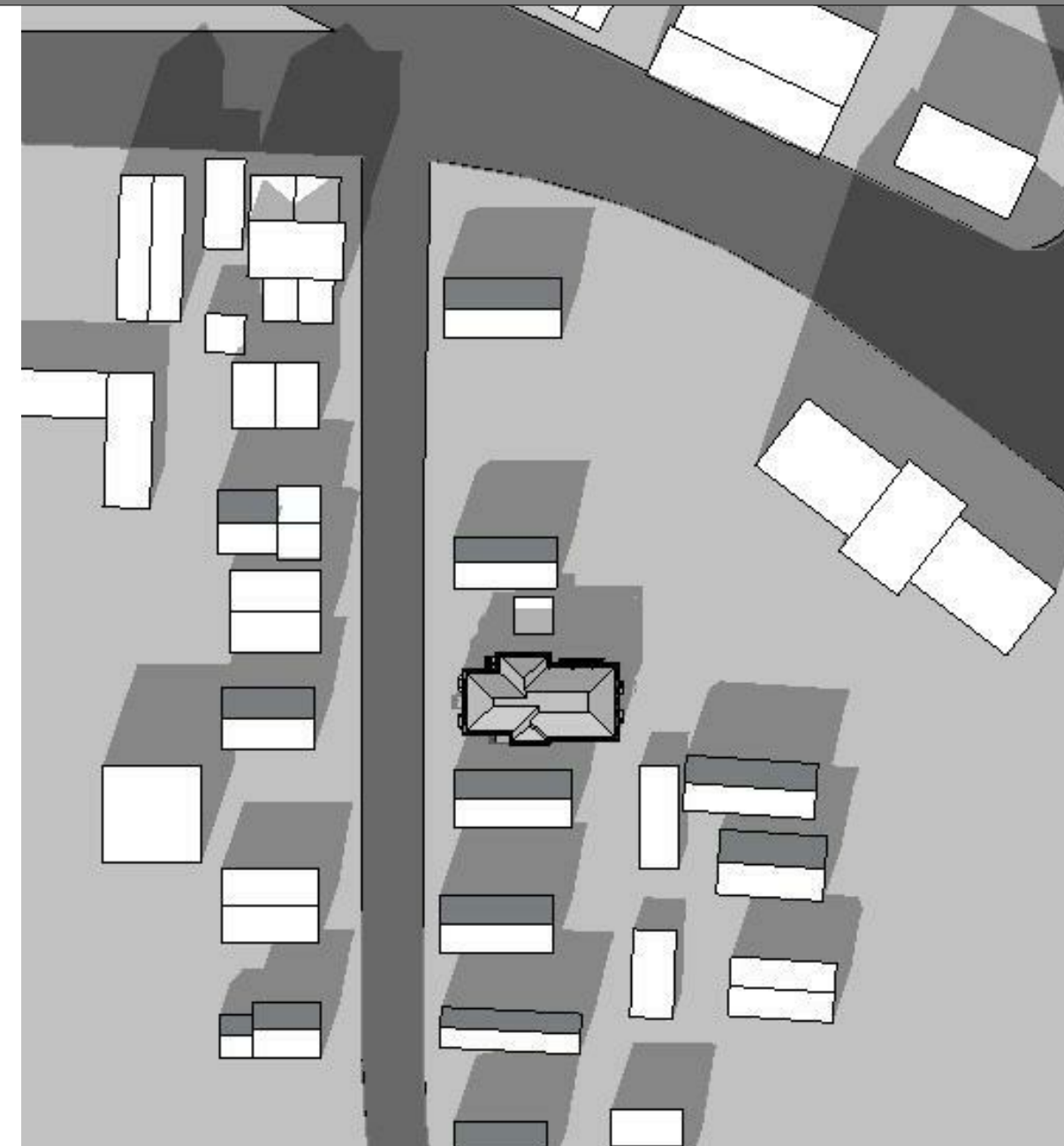
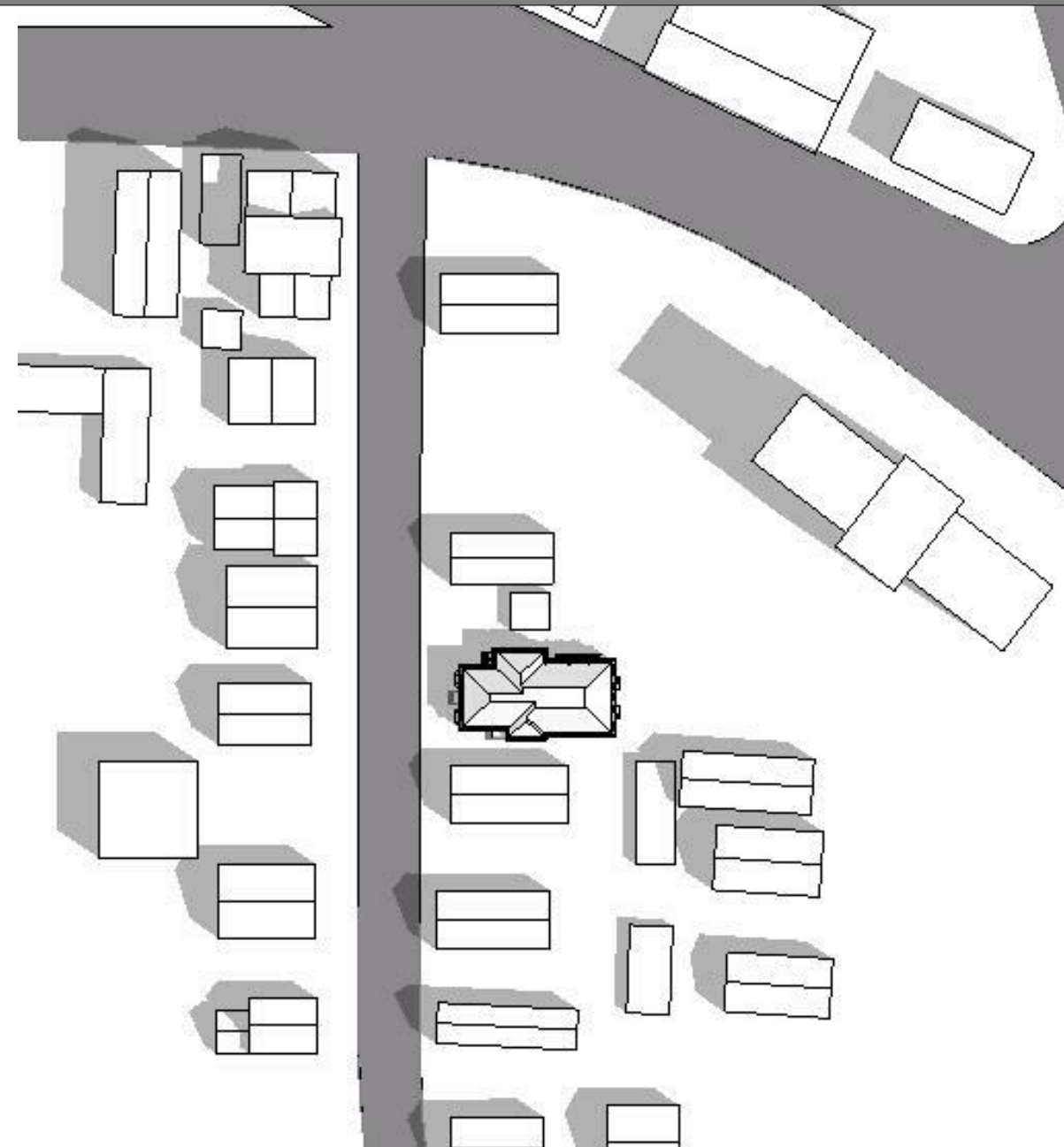
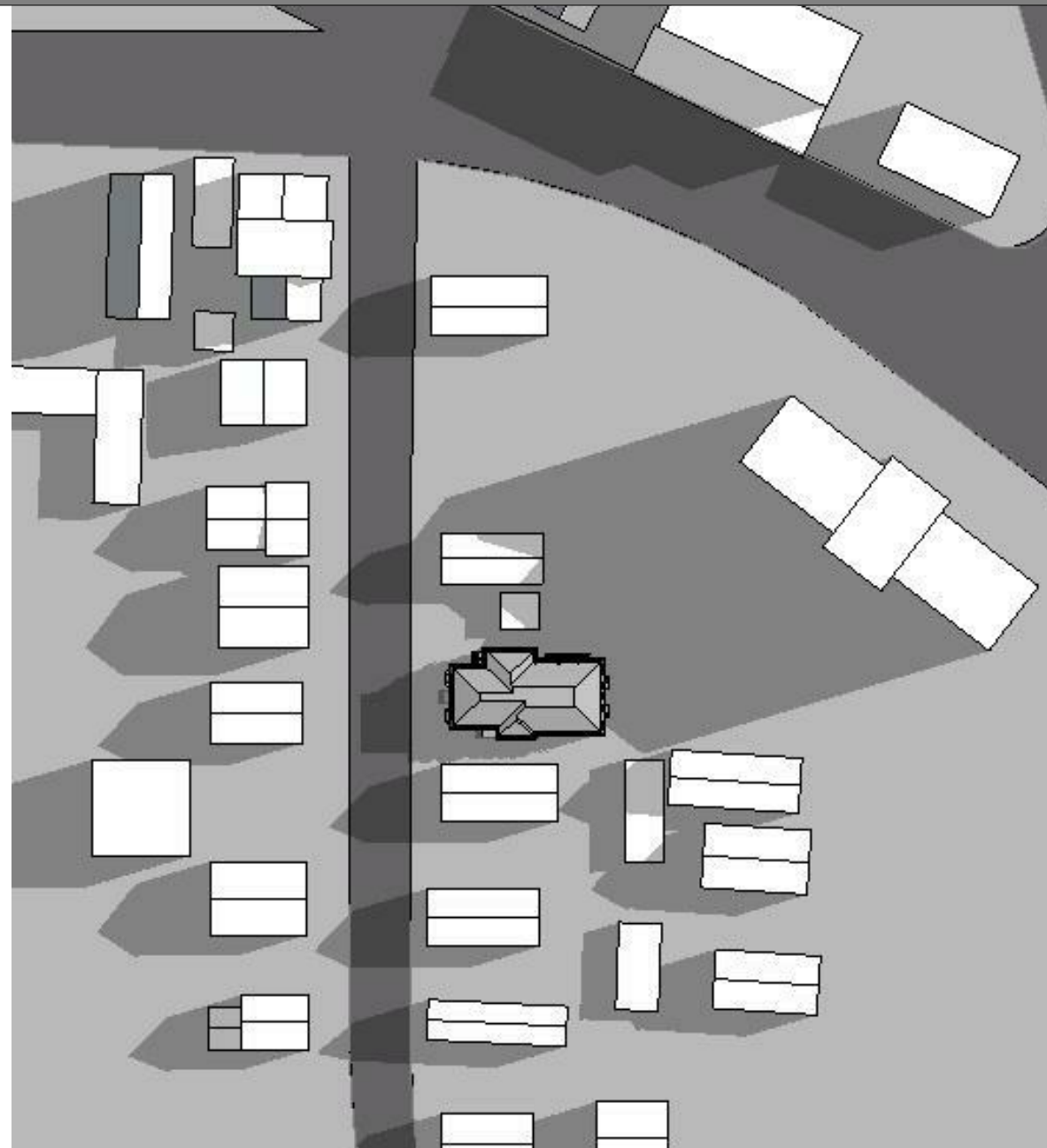
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

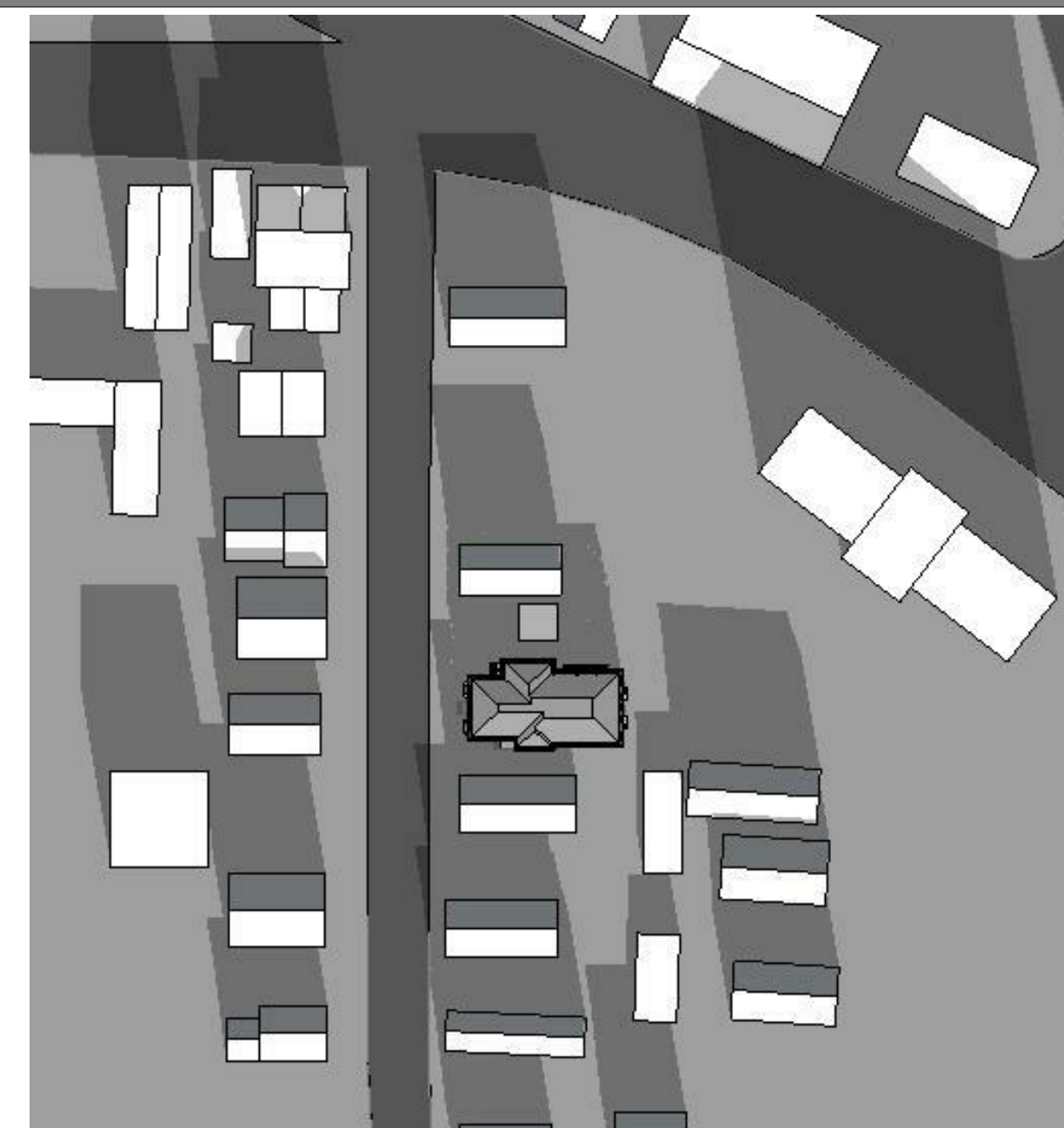
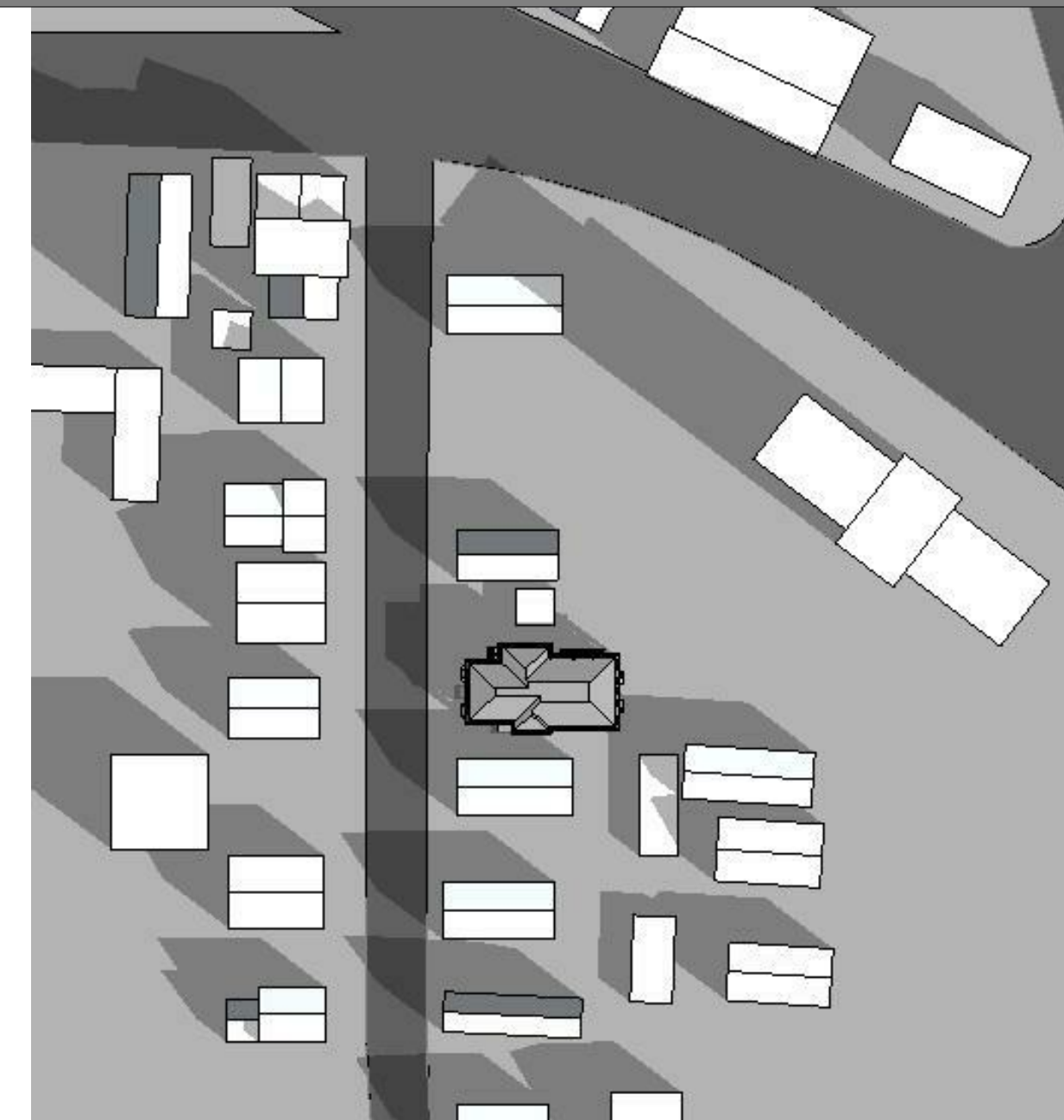
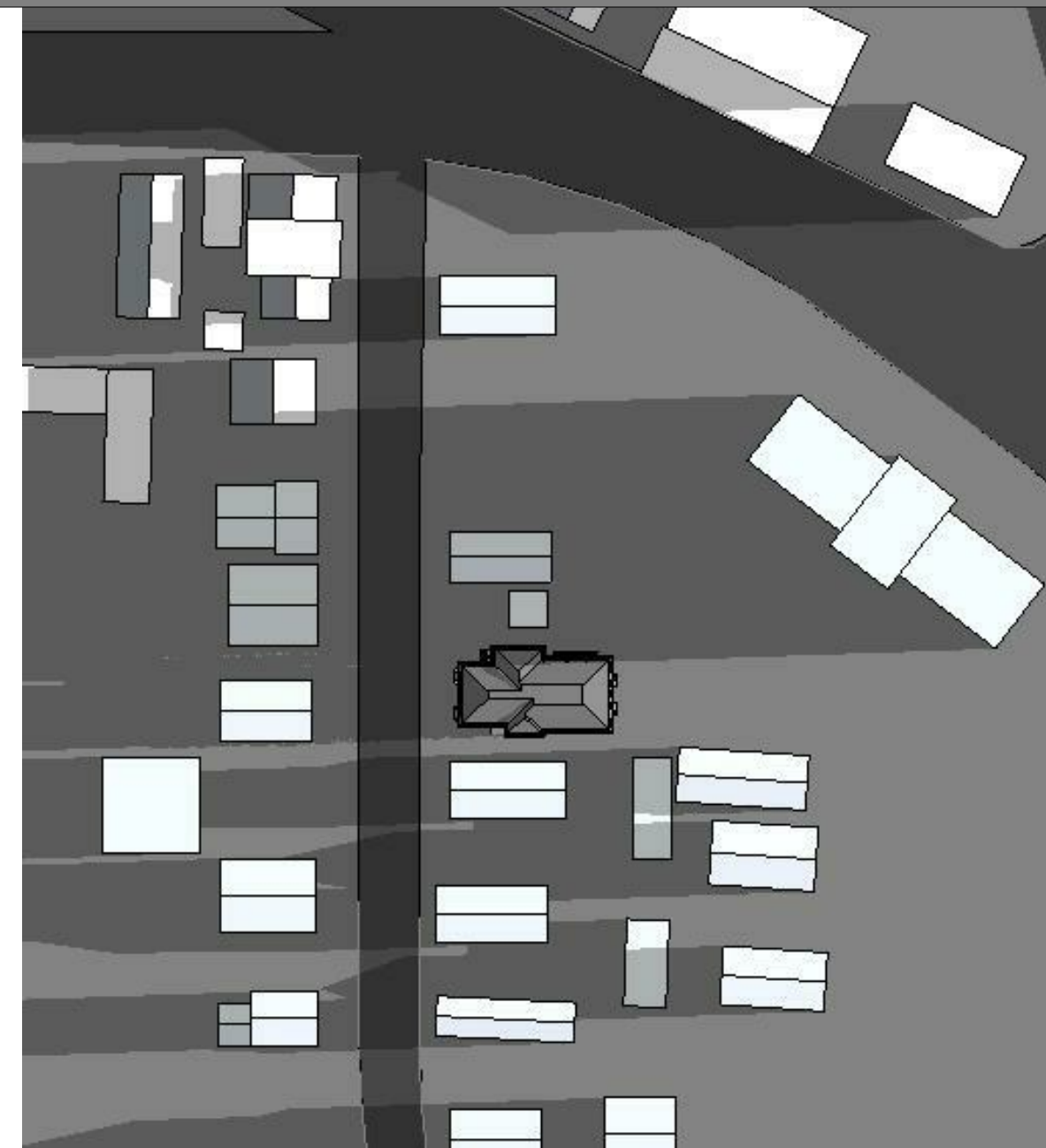
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE



PROJECT NAME

HAMLET ST
RESIDENCES

PROJECT ADDRESS

22-24 Hamlet Street,
SOMERVILLE MA

CLIENT

Boris Kuritnik

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KHALSA DESIGN INC.



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CONSULTANTS:

REGISTRATION

Project number	13077
Date	01-15-2014
Drawn by	CC
Checked by	JSK
Scale	12" = 1'-0"

REVISIONS

No.	Description	Date

SHADOW STUDY

SHD

HAMLET ST RESIDENCES

PLANT LIST					
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES

TREES

CB	3	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2-2.5 cal.	b&b
CO	2	Chamaecyparis obtusa 'Gracilis Compacta'	Compact Gracilis Hinoki	4-5' ht.	b&b
TO	7	Thuja occidentalis 'Emerald'	Emerald Arborvitae	7-8' ht.	b&b

SHRUBS/VINES

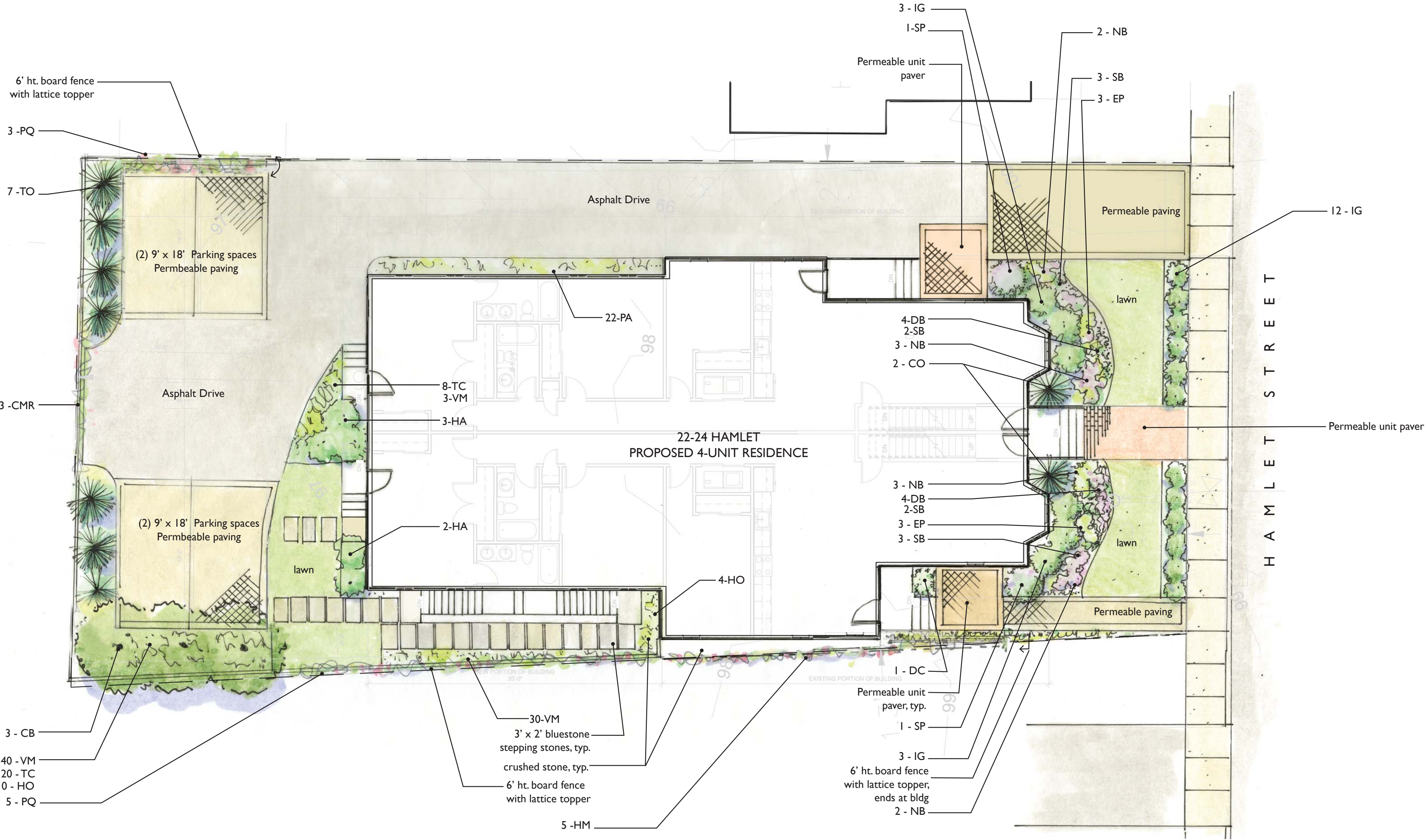
CRM	3	Clematis montana rubens	Pink Anemone Clematis	2 gal	
DC	1	Daphne x burkwoodii 'Carol Mackie'	Daphne 'Carol Mackie	24" ht.	
HA	5	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	
HM	5	Hydrangea anomala petiolaris	Climbing Hydrangea	2 gal.	
IG	18	Ilex glabra 'Nordic'	Nordic Inkberry	24" ht.	
PA	22	Pennisetum alopecuroides 'Hameln'	Dwarf Fountaingrass	2 gal.	
PQ	8	Parthenocissus quercifolia	Virginia Creeper	2 gal.	
SP	2	Syringa patula 'Miss Kim'	Miss Kim Lilac	36" ht.	

PERENNIALS/GRASSES

DB	8	Dianthus 'Bath's Pink'	Dianthus	1 gal.	
EP	6	Echinacea purpurea 'Kim's Knee High'	Low Purple Coneflower	2 gal.	
HO	14	Hosta sp.	Hosta	2 gal.	
NB	10	Nepeta 'Blue Wonder'	Blue Wonder Catmint	2 gal.	
TC	28	Tiarella cordifolia	Foamflower	1 gal.	
SB	10	Stachys byzantina	Lamb's Ear	1 gal.	
VM	73	Vinca minor	Vinca	1 qt.	

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the approval of the Landscape Architect.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



Thornbury permeable paver, - Unilock at Unit 1 and 2 terraces and Unit 3 & 4 entry walkway



Town Hall permeable paver, - Unilock at driveway and parking and unit 1 walkway

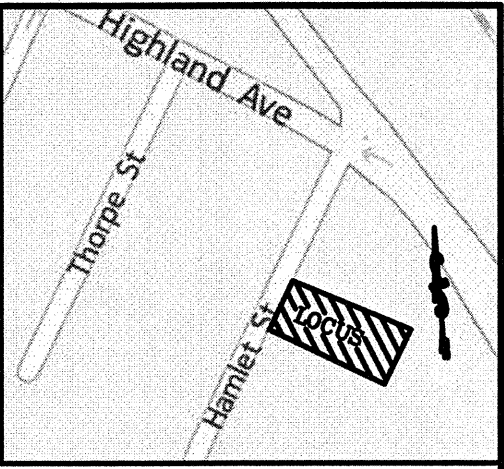


Bluestone stepping stones



Board fence with lattice topper





LOCUS MAP
SCALE: 1"=200'±

AREA 7,876 S.F.
LOT COVERAGE = 21.3%<50% (REQUIRED)
PERVIOUS AREA = 58%<35% (REQUIRED)

OWNER OF RECORD
BORIS & ALEXANDER KURITNIK
SOMERVILLE, MA
22 HAMLET STREET
DEED REF: BK. 63028 PG. 291

ZONING - RA
MAP 80
BLOCK A
LOT 24
LAND USE: 1110
APT. 4-8 MDL-01
OFFSET: FRONT 15'
BACK 20'
SIDE 9'8"

REFERENCES:

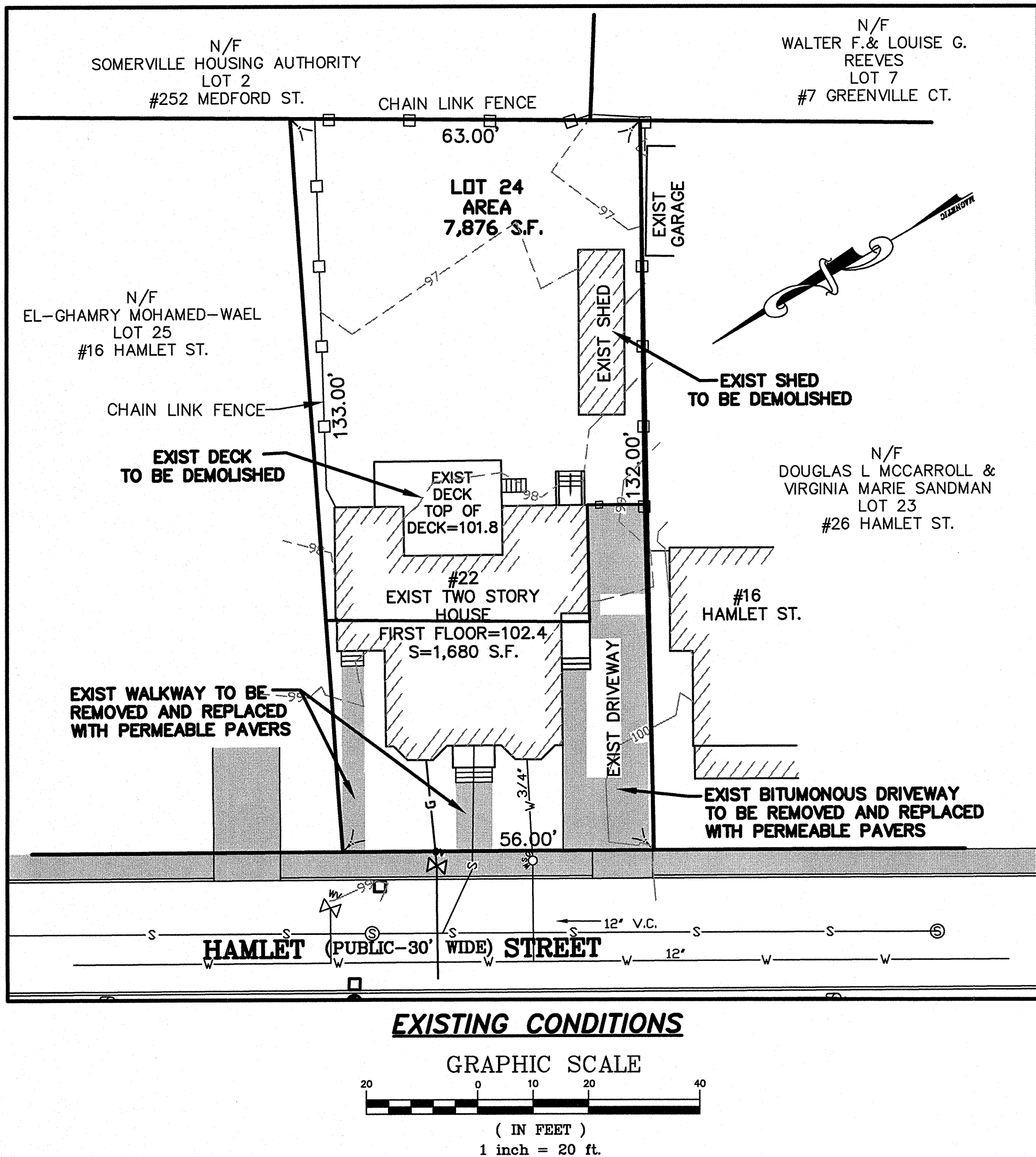
- MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS:
DEED BOOK 35388 PAGE 232.
- PLAN BOOK 156 PLAN 46.
- PLAN BOOK 174 PLAN 43.
- PLAN #1402 OF 1979.

NOTES:

- THE DATUM IS ASSUMED.
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- TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY A. MATTHEW BELSKI, JR. ON NOVEMBER 19, 2013.

NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL SPECIFICALLY IDENTIFY LOCATIONS OF EXISTING UTILITY CROSSINGS.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE (3) BUSINESS DAYS PRIOR TO CONSTRUCTION. TO COMPLY, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG SAFE.
- UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF SOMERVILLE, GENERAL CONSTRUCTION DETAILS, LATEST EDITION AS PREPARED AND ISSUED BY THE CITY OF SOMERVILLE ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER.
- ALL WORK SHALL BE SUBJECT TO INSPECTION APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL TAKE PLACE IN ANY PUBLIC WAY OR UTILITY EASEMENT WITHOUT 48 HRS WRITTEN NOTICE (EXCLUSIVE OF WEEKENDS AND HOLIDAYS) BEING PROVIDED BY REGISTERED MAIL TO THE FOLLOWING:
 - PUBLIC UTILITY COMPANIES SUCH AS GAS, ELECTRIC AND TELEPHONE THAT SERVICE THE CITY OF SOMERVILLE.
 - PRIVATE UTILITY COMPANIES SUCH AS CABLE TELEVISION SERVICE THE CITY OF SOMERVILLE.
 - CITY OF SOMERVILLE WATER & SEWER DEPARTMENT.SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE PROPOSED EXCAVATION.
- AS REQUIRED BY THE CITY ENGINEER, THE CONTRACTOR SHALL PROVIDE CITY OF SOMERVILLE POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC.
- NO WORK SHALL BE PERFORMED PRIOR TO THE NECESSARY PERMITS BEING OBTAINED FROM THE CITY OF SOMERVILLE OF PUBLIC WORKS.
- ANY TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH 1.5 INCHES BITUMINOUS CONCRETE, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
- ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING SYSTEM AND TO A DISTANCE FIVE (5') FEET Laterally IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS. BACKFILL SHALL BE AS REQUIRED WITH CLEAN GRANULAR SAND, FREE FROM DELETERIOUS MATERIALS AND HAVING A PERCOLATION RATE OF TWO (2) MINUTES PER INCH OR BETTER.
- IN CASES WHERE LEDGE, ROCK OR BOULDERS ARE ENCOUNTERED, THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF LEDGE, ROCK OR BOULDERS FOUND.
- NO CHANGES OR ALTERATIONS TO THE DESIGN SHALL OCCUR WITHOUT CONSULTING THE ENGINEER AND NOTIFYING THE APPROVING AUTHORITY IN WRITING PRIOR TO CONSTRUCTION.
- RUNOFF FROM ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE SUBSURFACE INFILTRATION SYSTEM.
- PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT IN BOTH DIGITAL AND HARDCOPY FORMAT. THE AS-BUILT PLAN SHALL SHOW ALL UTILITIES, FINAL GRADES, TIES TO SERVICE GATES, VALVES, CLEAN-OUTS, MAIN LINE CONNECTION POINTS, STRUCTURE ACCESS/MAINTENANCE COVERS, AND ANY/ALL EASEMENTS.
- THE APPLICANT SHALL APPLY FOR A STREET OPENING PERMIT, A UTILITY CONNECTION PERMIT AND A SIDEWALK CROSSING PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER FOR INSPECTIONS AND AS-BUILT LOCATIONS. THE ENGINEER WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM 48 HOURS NOTICE IS REQUIRED PRIOR TO ANY INSPECTIONS.
- PVC PIPES PROPOSED UNDER PAVING OR CONCRETE WITH LESS THAN 30 INCHES OF COVER MUST BE ENCASED IN CONCRETE.
- THE CONTRACTOR SHALL SCHEDULE 48 HOURS IN ADVANCE TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED BY THE ENGINEERING DEPARTMENT. SYSTEMS AND UTILITIES TO BE INSPECTED SHALL BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, SYSTEMS AND UTILITIES MAY BE BACKFILLED.
- EXISTING SITE ELEVATIONS SHALL NOT BE ALTERED BY MORE THAN THREE (3) FEET AS A RESULT OF THE PLACEMENT OR REMOVAL OF SOD, LOAM, CLAY, GRAVEL, STONE OR OTHER SOLID MATERIAL.
- IN THE EVENT A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO SITE WORK BEING COMPLETED, THE APPLICANT SHALL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT NEEDED TO COMPLETE THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
- NO WORK IS PERMITTED BETWEEN NOVEMBER 15 AND APRIL 15 WITHIN THE CITY OF SOMERVILLE RIGHT-OF-WAY. IF AN EMERGENCY OR EXTENUATING CIRCUMSTANCES EXIST, THE APPLICANT MAY REQUEST RELIEF FROM THE CITY ENGINEER. IF GRANTED, SPECIAL CONSTRUCTION PROVISIONS SHALL BE REQUIRED FOR APPROVAL BY THE CITY ENGINEER.
- FOLLOWING COMPLETION OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES OR OTHER DEBRIS.
- DURING CONSTRUCTION, EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS EXITS THE SITE BOUNDARIES.
- WITH THE EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN THE CITY OF SOMERVILLE RIGHT-OF-WAY SHALL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF SOMERVILLE, ENGINEERING DEPARTMENT.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF SOMERVILLE RIGHT-OF-WAY SHALL COMPLY FULLY WITH ALL CITY CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER'S OFFICE FOR APPROVAL PRIOR TO CONSTRUCTION.
- TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, IN ORDER TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED FOR ALL TRENCHES ON PUBLIC OR PRIVATE PROPERTY.



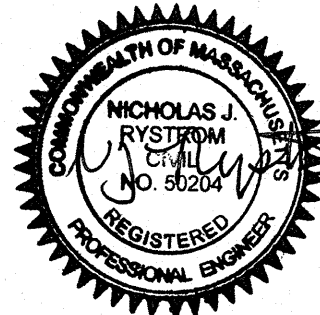
LEGEND:

- 97-- PROPOSED CONTOUR
- 96--- EXISTING CONTOUR
- x97.5 PROPOSED SPOT ELEVATIONS
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ⊙ PERCOLATION TEST
- ⊙ TEST PIT
- ⊙ WATER SHUT OFF
- ⊙ GAS VALVE

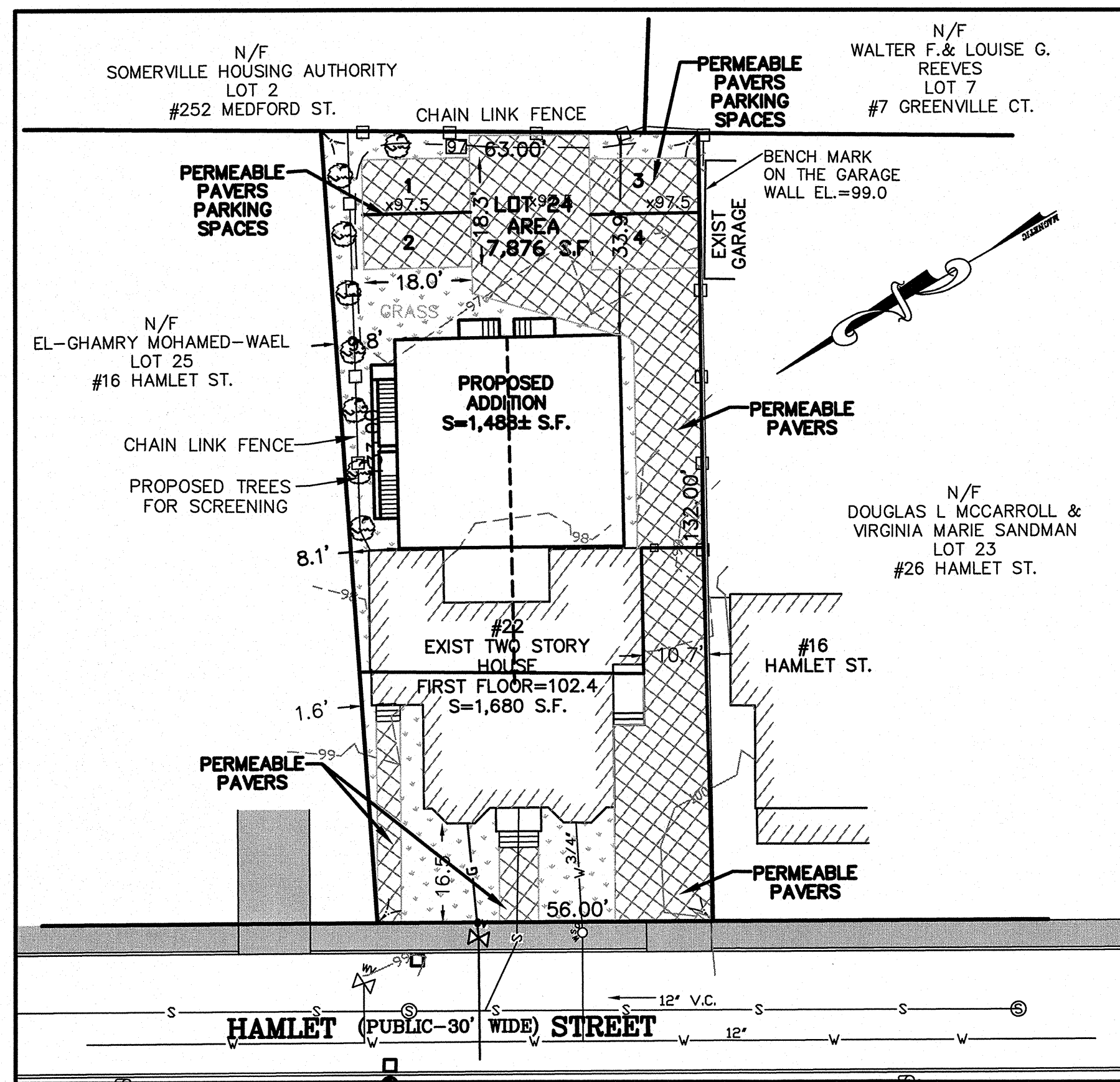
PLAN OF LAND EXISTING CONDITIONS

22 HAMLET ROAD
SOMERVILLE, MA

SHEET: C1 OF C2
SCALE: 1"=20'
DATE: MARCH 09, 2014
REVISION:

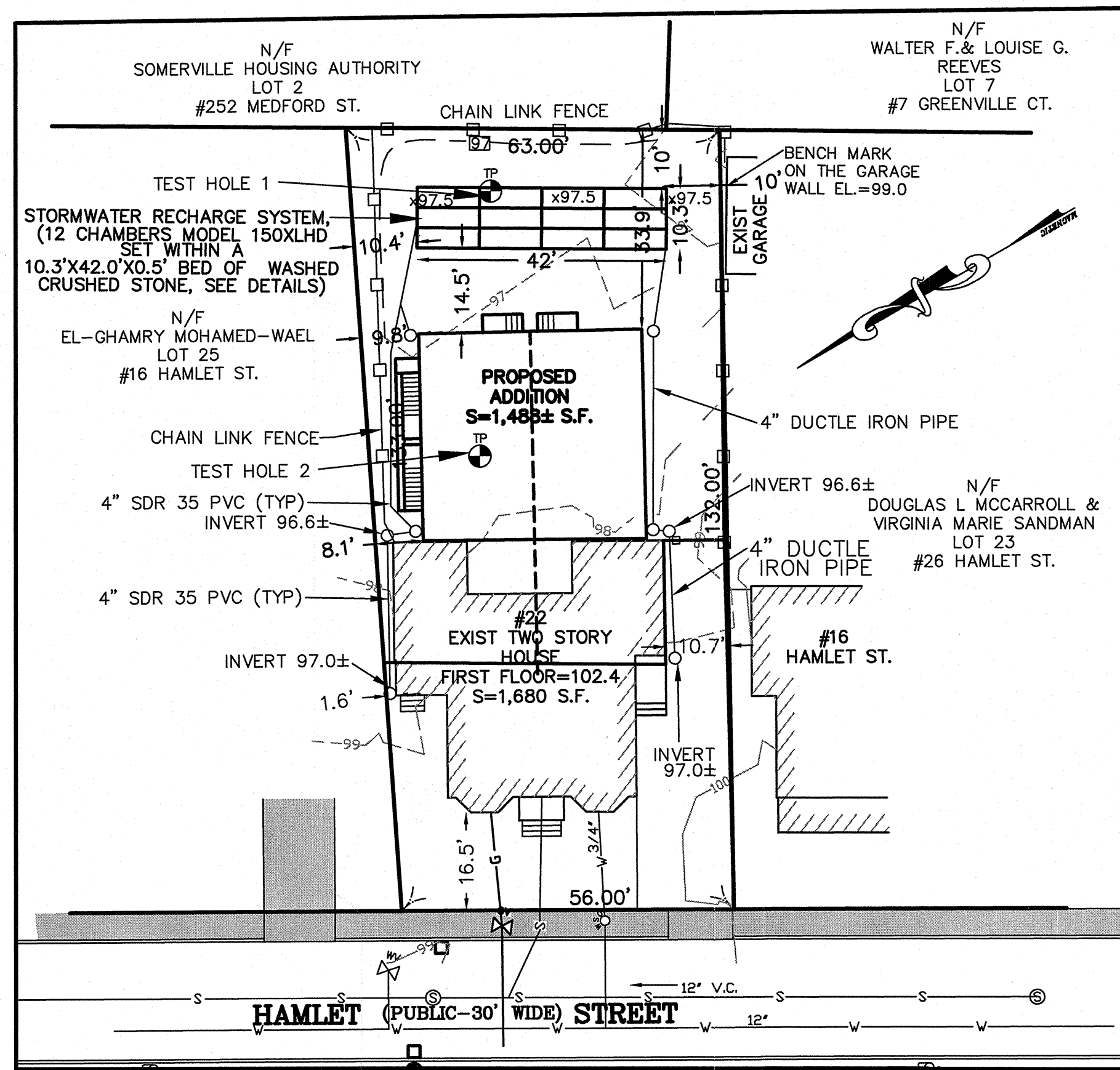
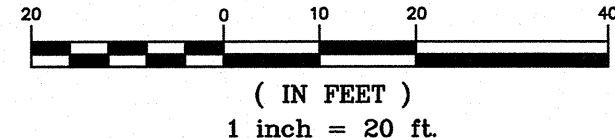


3/10/14



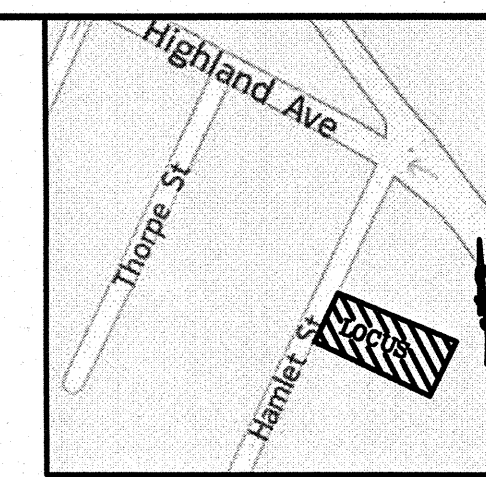
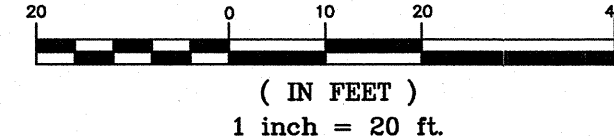
PROPOSED PLAN

GRAPHIC SCALE



DRAINAGE PLAN

GRAPHIC SCALE



LOCUS MAP
SCALE: 1"=200'

OWNER OF RECORD
BORIS & ALEXANDER KURITNIK
SOMERVILLE, MA
22 HAMLET STREET
DEED REF: BK. 63028 PG. 291

ZONING - RA
MAP 80
BLOCK A
LOT 24
LAND USE: 1110
APT. 4-8 MDL-01
OFFSET: FRONT 15'
BACK 20'
SIDE 9'8"
AREA 7,876 S.F.

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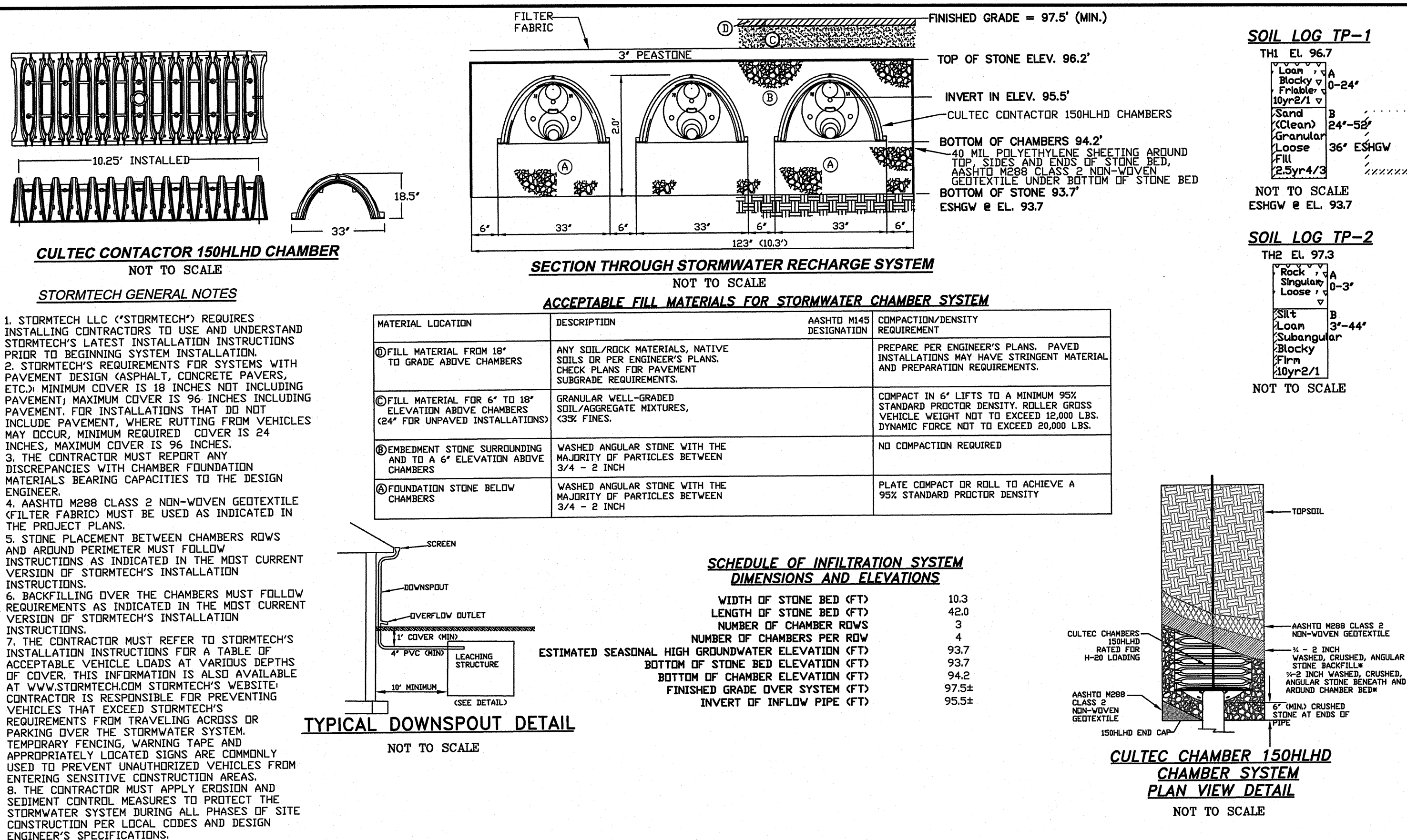
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- x97.5 PROPOSED SPOT ELEVATIONS
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- CATCH BASIN
- ⊖ PERCOLATION TEST
- ⊖ TEST PIT
- ⊖ WATER SHUT OFF
- ⊖ GAS VALVE



SOIL LOG TP-1

TH1 EL. 96.7
Topsoil
Loose
0-24"
Sand
(Clean)
24"-32"
Granular
Loose
36" ESHGV
Fill
(25yr-4/3)
NOT TO SCALE
ESHGV @ EL. 93.7

SOIL LOG TP-2

TH2 EL. 97.3
Rock
Loose
0-3"
Sand
(Clean)
3"-44"
Blocky
Fill
(25yr-2/1)
NOT TO SCALE

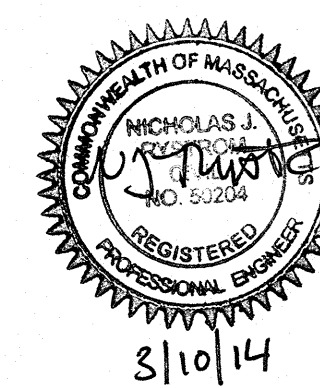
ZONING CHART			
RA ZONE	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	10000 SF	7876 SF	7876 SF
LOT AREA/DU	2250 SF/DU	1969 SF/DU	3938 SF/DU
FAR	.75	.31/2462 SF	.74 / 5882SF
MAX GROUND COVER	50% 3938SF	21.3% 1680SF	40.2% / 3168 SF
LANDSCAPE AREA	25% 1969SF	58% 4586SF	25% 1969SF
PERMEABLE AREA	35% 2756SF	58% 4586SF	35% 2776 SF
MAX HEIGHT	35'-0" / 2.5ST	28' - 0"	28' - 0"
FRONT SETBACK	15'-0"	16.6'	16.6'
LEFT SIDE SETBACK	8' SUM 17'	VARIES, 1.3' MIN.	VARIES, 1.3' MIN.
RIGHT SIDE SETBACK	8' SUM 17'	VARIES, 11.2' MIN.	VARIES, 11.2' MIN.
REAR SETBACK	20'-0"	VARIES, 61.7' MIN.	33.9'
FRONTAGE	50'-0"	56'-0"	56'-0"
PARKING	2x3 BEDR.	2 (TANDOM)	4

PARKING REQUIREMENT TABLE	REQUIRED	PROPOSED
TOWNHOUSES		
1 OR 2 BEDROOMS	1.5/UNIT	1.5/UNIT
3 OR MORE BEDROOMS	2.0/UNIT	2.0/UNIT

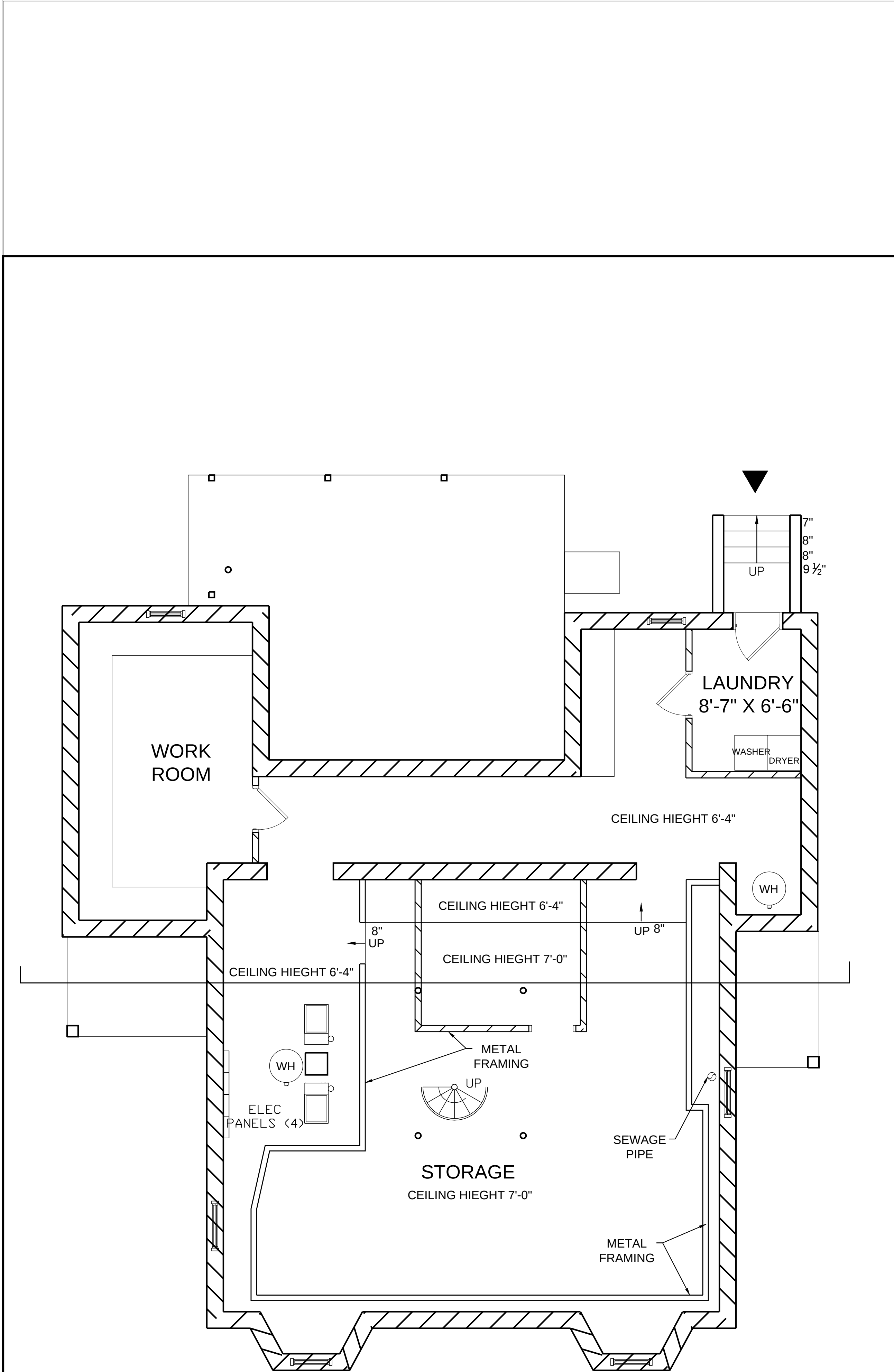
**PLAN OF LAND
PROPOSED CONDITIONS**

22 HAMLET ROAD
SOMERVILLE, MA

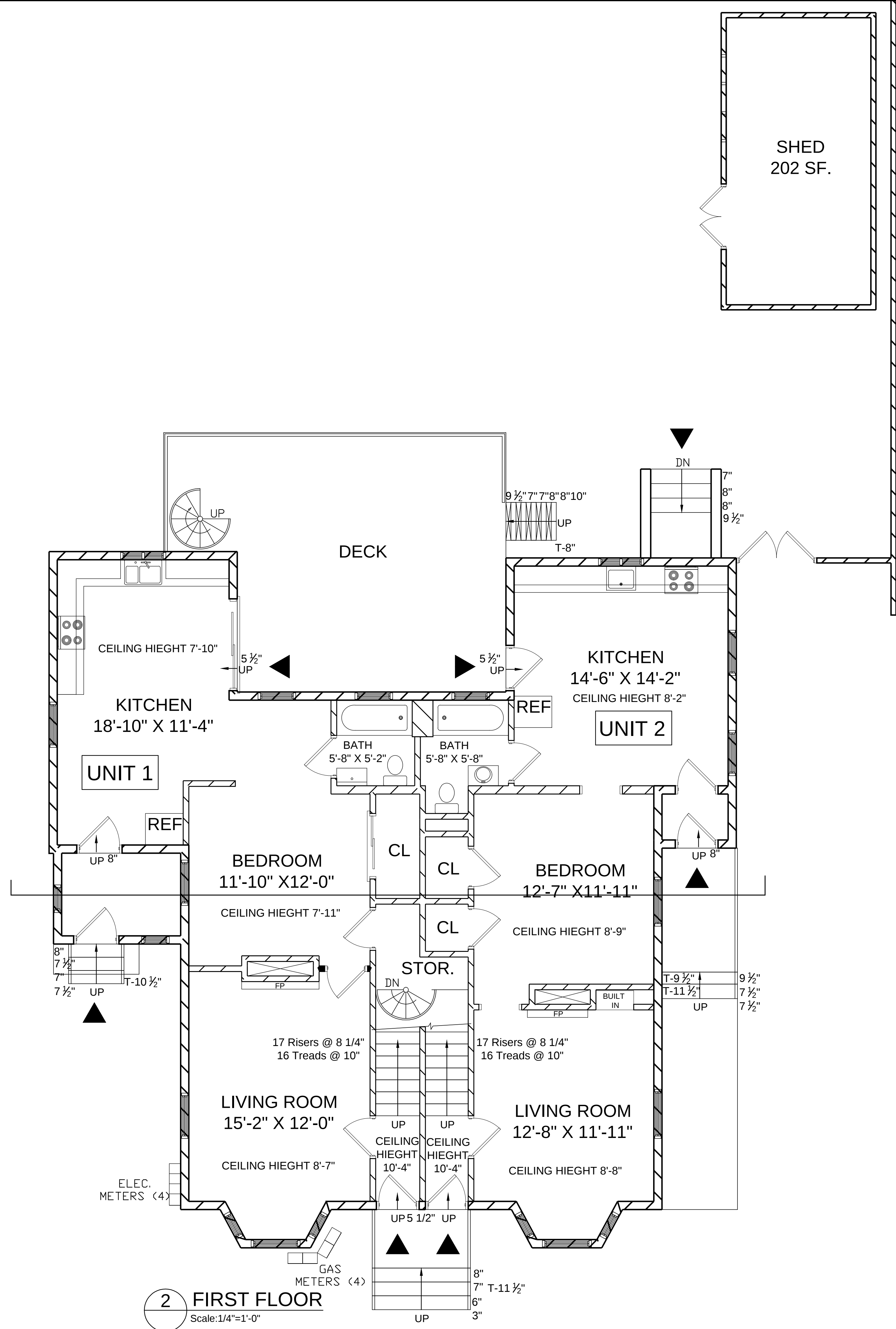
SHEET: C2 OF C2
SCALE: 1"=20'
DATE: MARCH 09, 2014
REVISION:



3/10/14



1 BASEMENT LEVEL
Scale: 1/4"=1'-0"



2 FIRST FLOOR
Scale: 1/4"=1'-0"

PROJECT NAME
22-24 HAMLET
RESIDENCES

PROJECT ADDRESS
22-24 HAMLET
SOMERVILLE, MA

CLIENT
Boris Kuritnik

ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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SHALL RESULT IN THE FULLEST EXTENT OF
PROSECUTION UNDER LAW

REGISTRATION

Project number13077

Date01-09-13

Drawn byMT

Checked byJSK

Scale1/8"=1'-0"

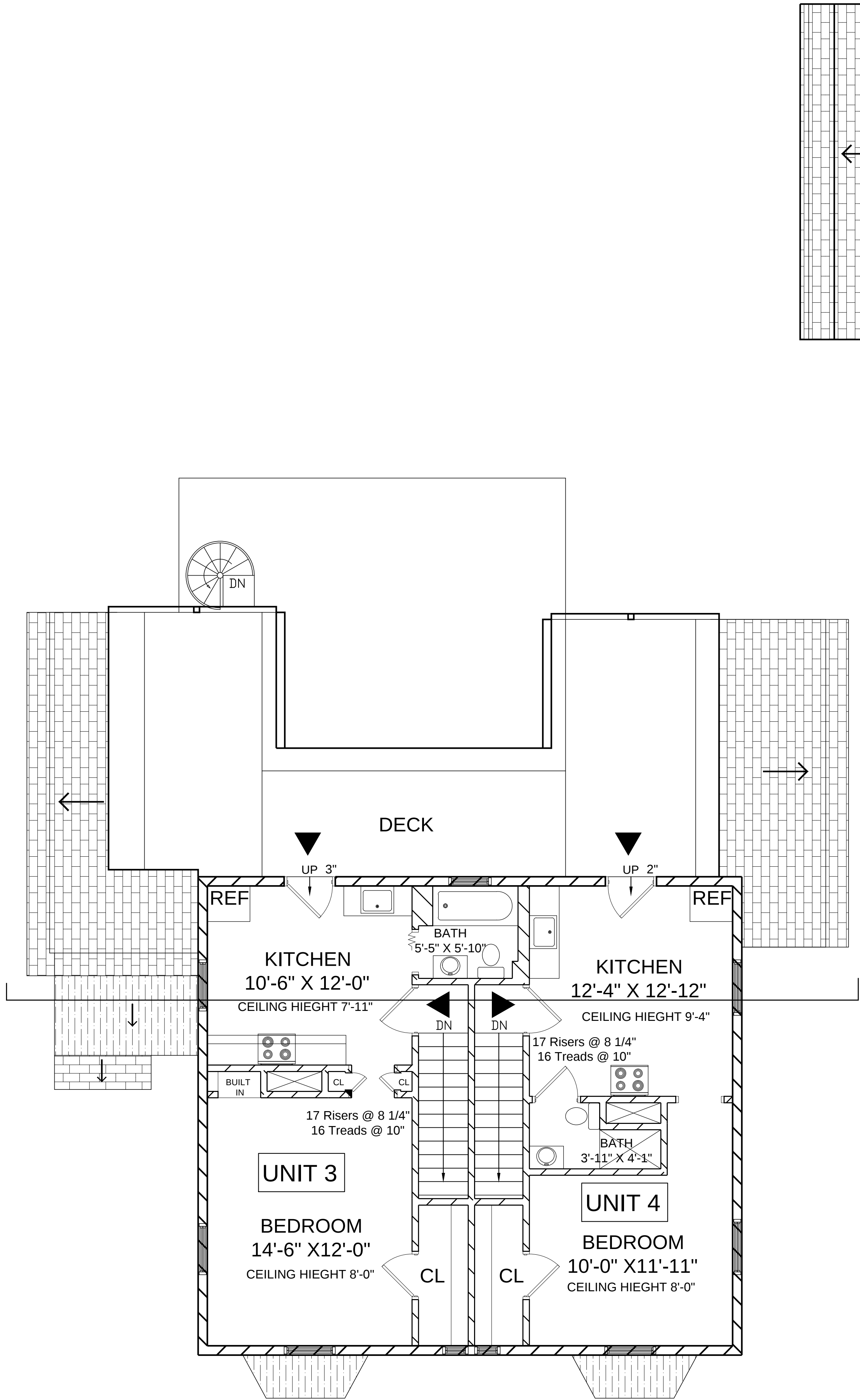
REVISIONS

No.	Description	Date

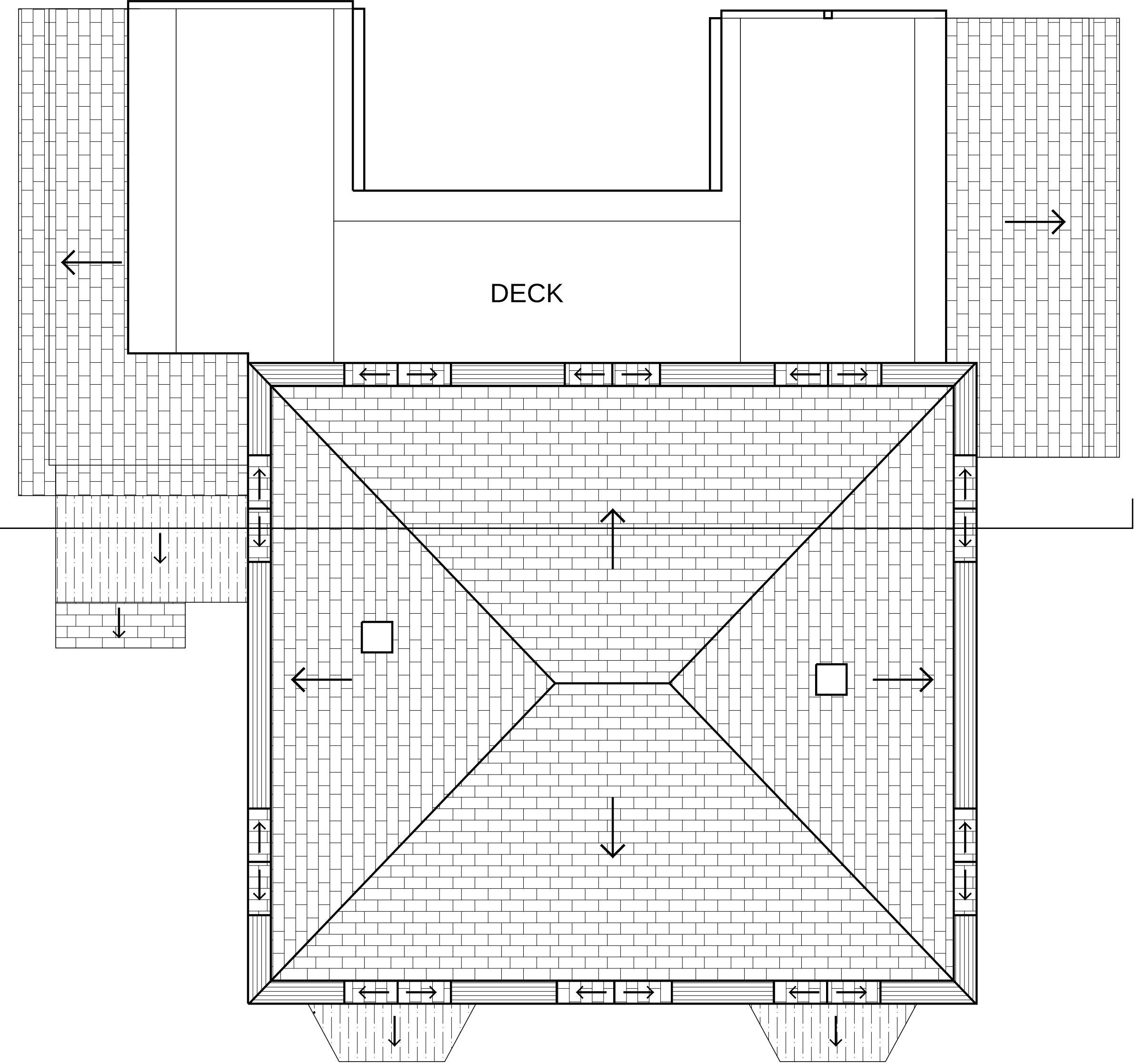
EXISTING
PLANS

EX-100

13077_HAMLET_BORIS



3 SECOND FLOOR
Scale: 1/4"=1'-0"



4 ROOF PLAN
Scale: 1/4"=1'-0"

PROJECT NAME
22-24 HAMLET
RESIDENCES

PROJECT ADDRESS
22-24 HAMLET
SOMERVILLE, MA

CLIENT
Boris Kuritnik

ARCHITECT
KHALSA DESIGN INC.


17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
TELEPHONE 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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REGISTRATION

Project number
Date
Drawn by
Checked by
Scale

13077
01-09-13
MT
JSK
1/8"=1'-0"

REVISIONS

No.	Description	Date

EXISTING
PLANS

EX-101
13077_HAMLET_BORIS



ROOF
ELEVATION 21'-8"

10'-4"

LEVEL 2
ELEVATION 11'-4"

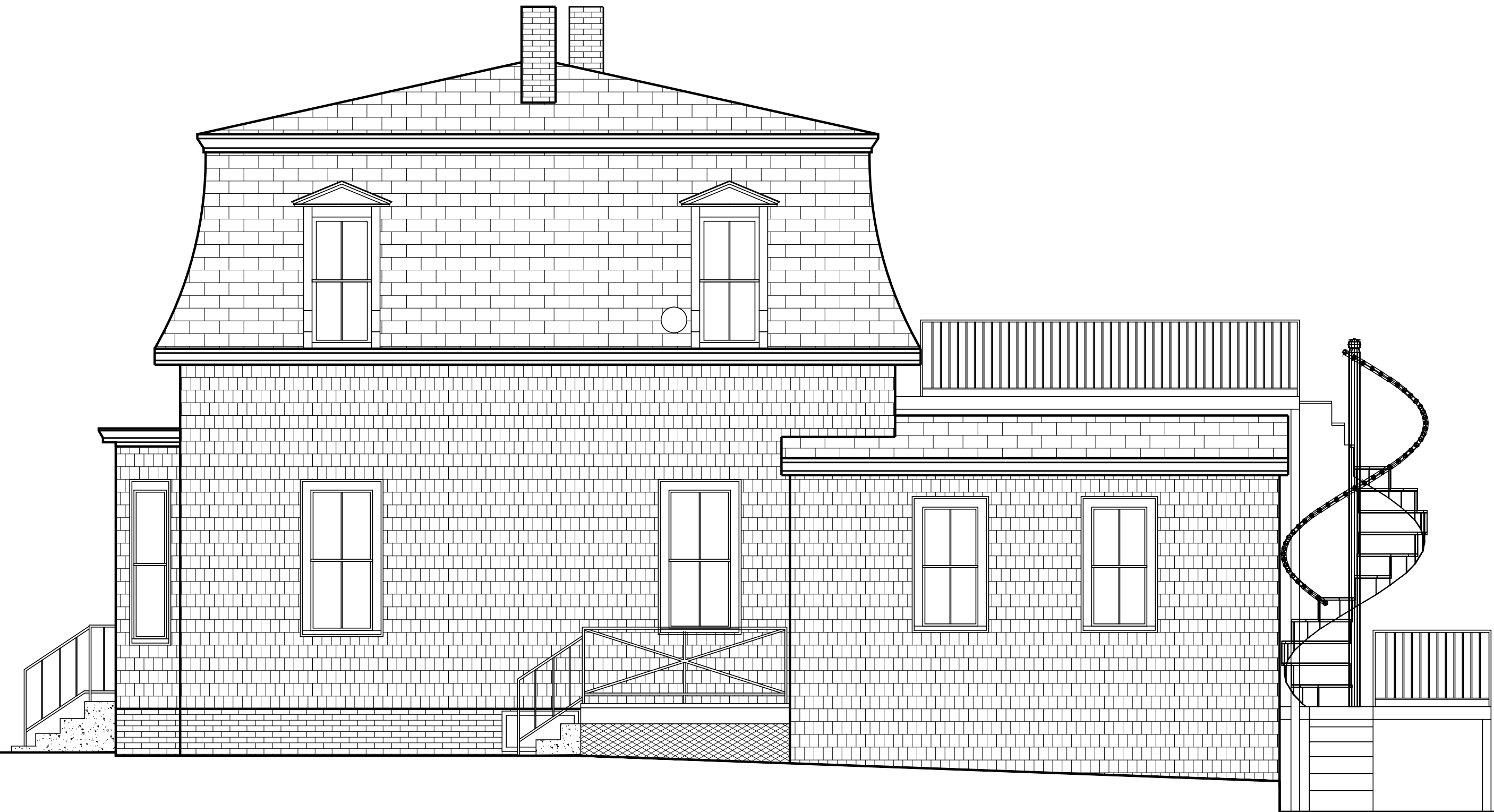
11'-4"

LEVEL 1
ELEVATION 0'-0"

8'-0"

BASEMENT LEVEL
ELEVATION 7'-0"

1 WEST ELEVATION
Scale: 1/4"=1'-0"



2 SOUTH ELEVATION
Scale: 1/4"=1'-0"



ROOF
ELEVATION 21'-8"

10'-4"

LEVEL 2
ELEVATION 11'-4"

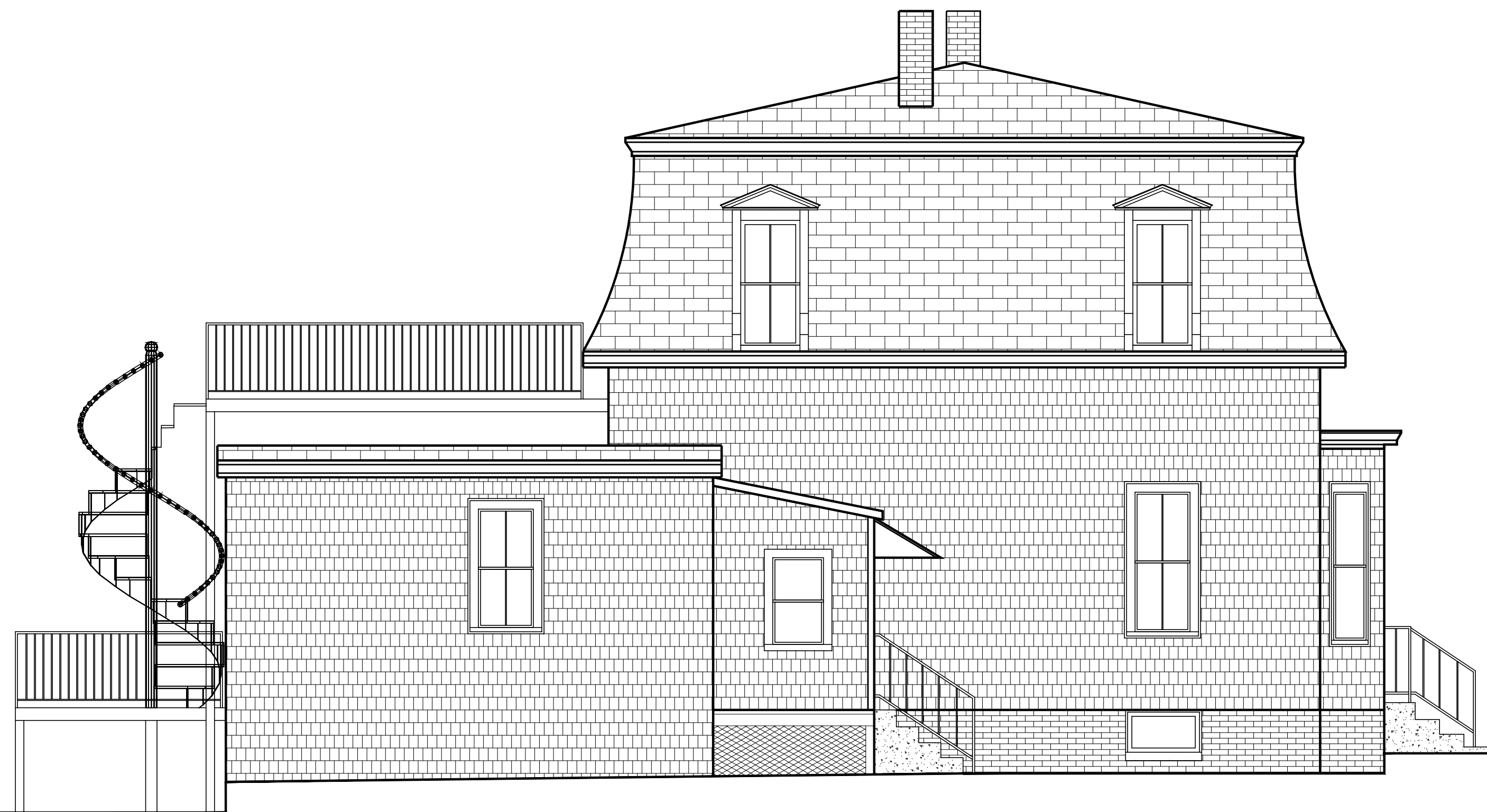
11'-4"

LEVEL 1
ELEVATION 0'-0"

8'-0"

BASEMENT LEVEL
ELEVATION 7'-0"

3 EAST ELEVATION
Scale: 1/4"=1'-0"



4 NORTH ELEVATION
Scale: 1/4"=1'-0"

PROJECT NAME
22-24 HAMLET
RESIDENCES

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SOMERVILLE, MA

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REGISTRATION

Project number 13077
Date 01-09-13
Drawn by MT
Checked by JSK
Scale 1/8"=1'-0"

REVISIONS

No.	Description	Date

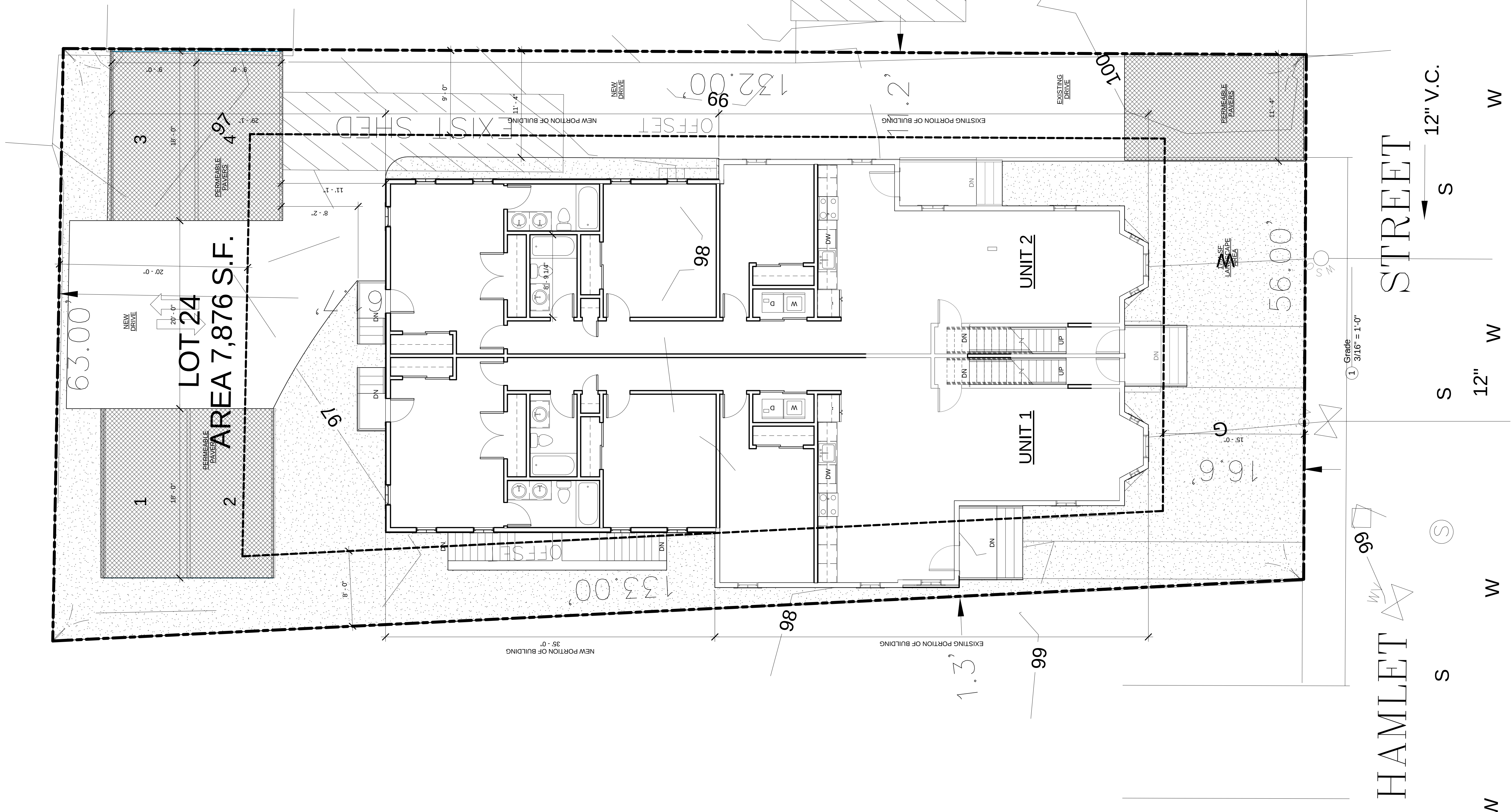
EXISTING
ELEVATIONS

EX-300

13077_HAMLET_BORIS

ZONING CHART			
RA ZONE	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	10000 SF	7876 SF	7876 SF
LOT AREA/DU	2250 SF/DU	1969 SF/DU	1969 SF/DU
FAR	.75	.31/ 2462 SF	.74 / 5882SF
MAX GROUND COVER	50% 3938SF	22.4% 1770SF	38% / 3015 SF
LANDSCAPE AREA	25% 1969SF	58% 4586SF	25.3% 1995SF
PERMEABLE AREA	35% 2756SF	58% 4586SF	36.5% 2877 SF
MAX HEIGHT	35'-0" / 2.5ST	28' - 0"	28' - 0"
FRONT SETBACK	15'-0"	16.6'	16.6'
LEFT SIDE SETBACK	8' SUM 17'	VARIABLE, 1.3' MIN.	
RIGHT SIDE SETBACK	8' SUM 17'	VARIABLE, 11.2' MIN.	
REAR SETBACK	20'-0"	VARIABLE, 61.7' MIN.	21'-1"
FRONTAGE	50'-0"	56'-0"	56'-0"
PARKING		1	4

ZONE: RA
MAP: 80 A
LOT 24



HAMLET ST. RESIDENCES

22-24 Hamlet Street,
SOMERVILLE, MA

Boris Kuritnik

KHALSA DESIGN INC.



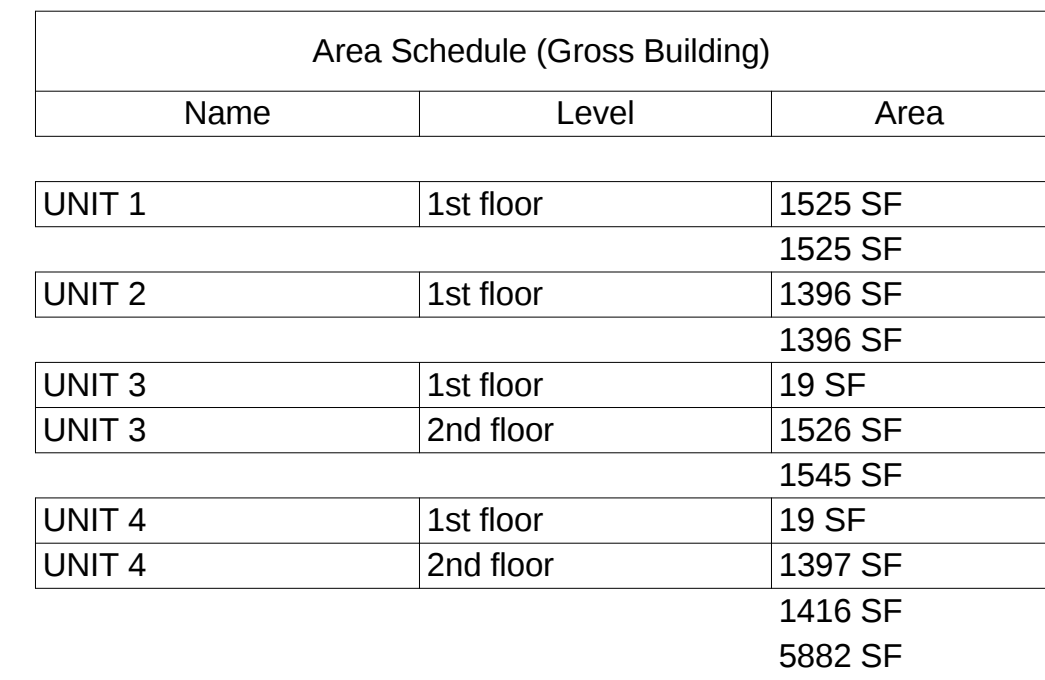
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2000

Project number	13077
Date	03/11/14
Drawn by	MT
Checked by	JSK
Scale	3/16" = 1'-0"

[illegible]

A-010

HAMLET ST. RESIDENCES

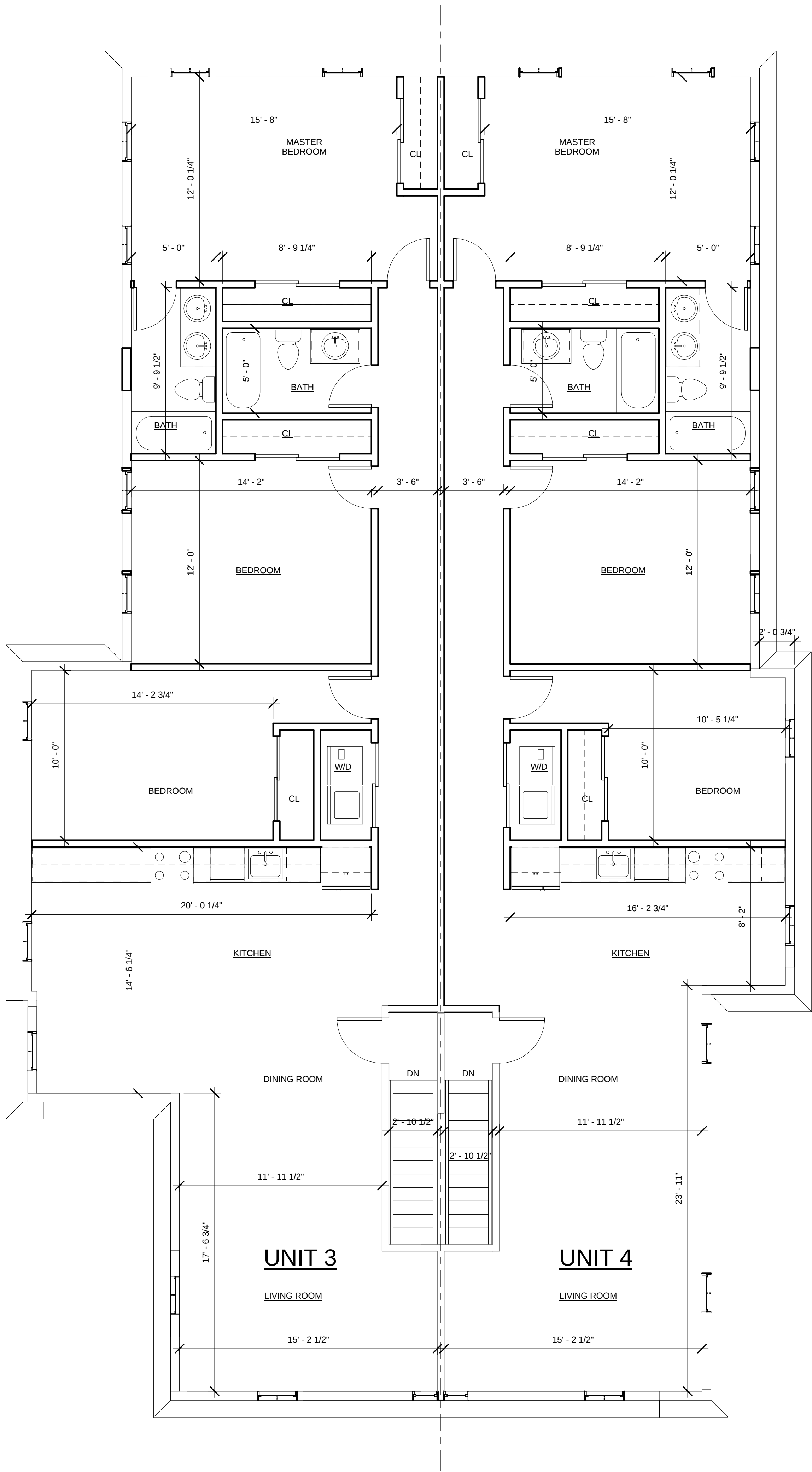


This architectural floor plan illustrates a symmetrical two-unit residential building. The central core contains a staircase with 'UP' and 'DN' (down) directions. Unit 1 (left) and Unit 2 (right) are mirror images of each other. Each unit features a Master Bedroom, a second Bedroom, a Bath, a Kitchen, a Dining Room, and a Living Room. The plan is annotated with precise dimensions for all rooms and overall unit footprints. Key dimensions include a Master Bedroom of 15' - 8 1/2" x 12' - 0 1/4" in Unit 1, a second Bedroom of 12' - 0" x 14' - 2", and a total unit width of 20' - 0 1/4". The Living Room in each unit measures 11' - 11 1/2" x 17' - 6 3/4". The plan also shows various fixtures such as sinks, toilets, bathtubs, and wardrobes (W/D).

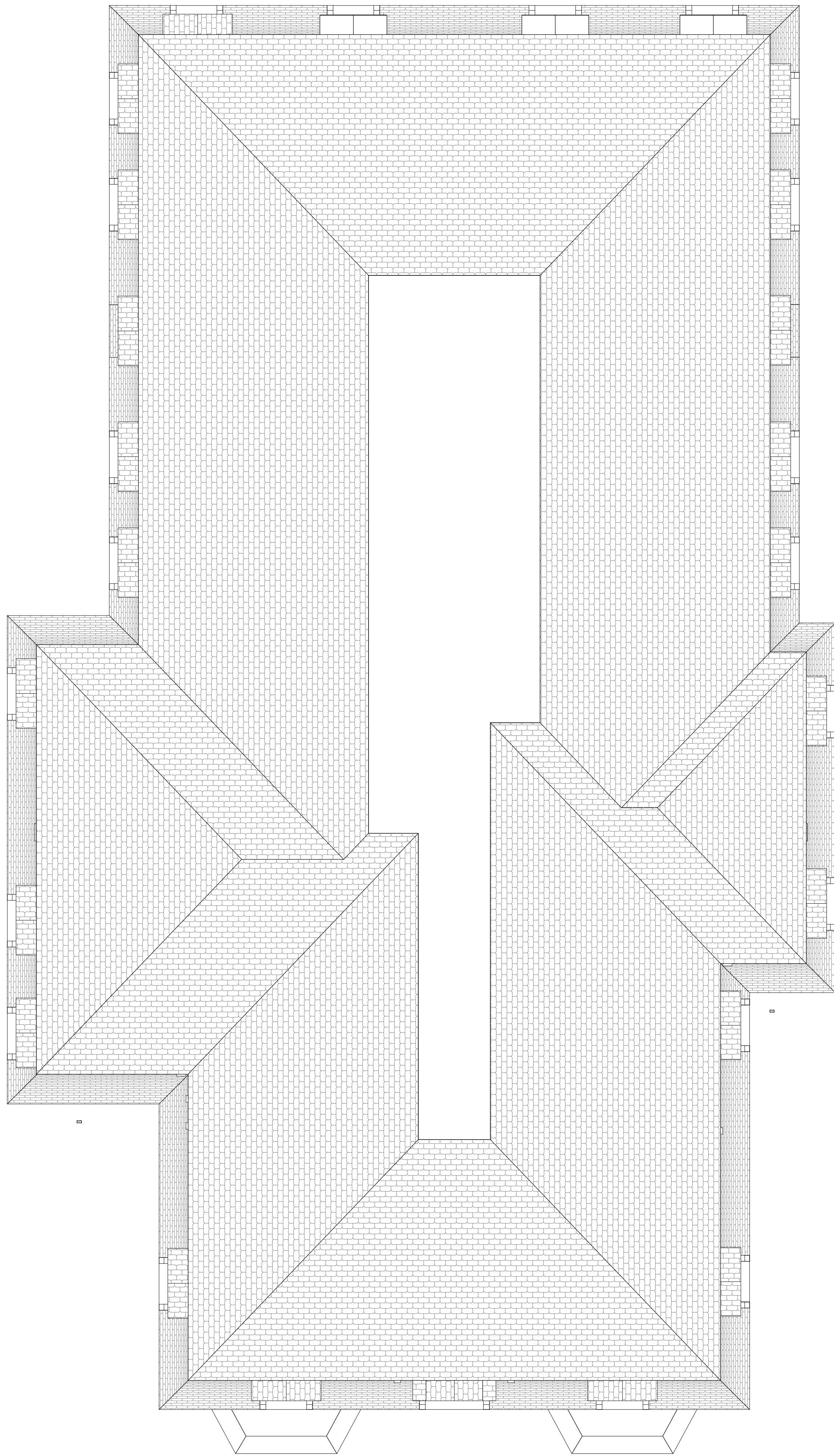
Room	Unit 1 Dimensions	Unit 2 Dimensions
Master Bedroom	15' - 8 1/2" x 12' - 0 1/4"	15' - 7 1/2" x 12' - 0 1/4"
Bedroom	12' - 0" x 14' - 2"	12' - 0" x 14' - 2"
Bath	9' - 9 1/2" x 5' - 0"	9' - 9 1/2" x 5' - 0"
Kitchen	14' - 6 1/4" x 20' - 0 1/4"	12' - 0 1/2" x 16' - 2 3/4"
Dining Room	17' - 6 3/4" x 11' - 11 1/2"	20' - 0 3/4" x 11' - 11 1/2"
Living Room	11' - 11 1/2" x 17' - 6 3/4"	11' - 11 1/2" x 20' - 0 3/4"

② 1st floor
1/4" = 1'-0"

HAMLET ST. RESIDENCES



① 2nd floor
1/4" = 1'-0"



② Roof
1/4" = 1'-0"

PROJECT NAME

HAMLET ST.
RESIDENCES

PROJECT ADDRESS

22-24 Hamlet Street ,
SOMERVILLE, MA

CLIENT

Boris Kuritnik

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KHALSA DESIGN INC.



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CONSULTANTS:

REGISTRATION



Project number	13077
Date	03/11/14
Drawn by	CC/MT
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

2nd Floor & Roof
Plans

A-101

HAMLET ST. RESIDENCES



1 Copy (2) of {3D}



2 Copy of {3D}

PROJECT NAME

HAMLET ST.
RESIDENCES

PROJECT ADDRESS

22-24 Hamlet Street ,
SOMERVILLE, MA

CLIENT

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CONSULTANTS:

REGISTRATION



Project number	13077
Date	03/11/14
Drawn by	MT
Checked by	KDI
Scale	

REVISIONS

No.	Description	Date

Perspectives

A-111

HAMLET ST. RESIDENCES



③ Front Elevation
1/4" = 1'-0"



④ Left Side Elevation
1/4" = 1'-0"

PROJECT NAME

**HAMLET ST.
RESIDENCES**

PROJECT ADDRESS

22-24 Hamlet Street ,
SOMERVILLE, MA

CLIENT

Boris Kuritnik

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	13077
Date	03/11/14
Drawn by	CC
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

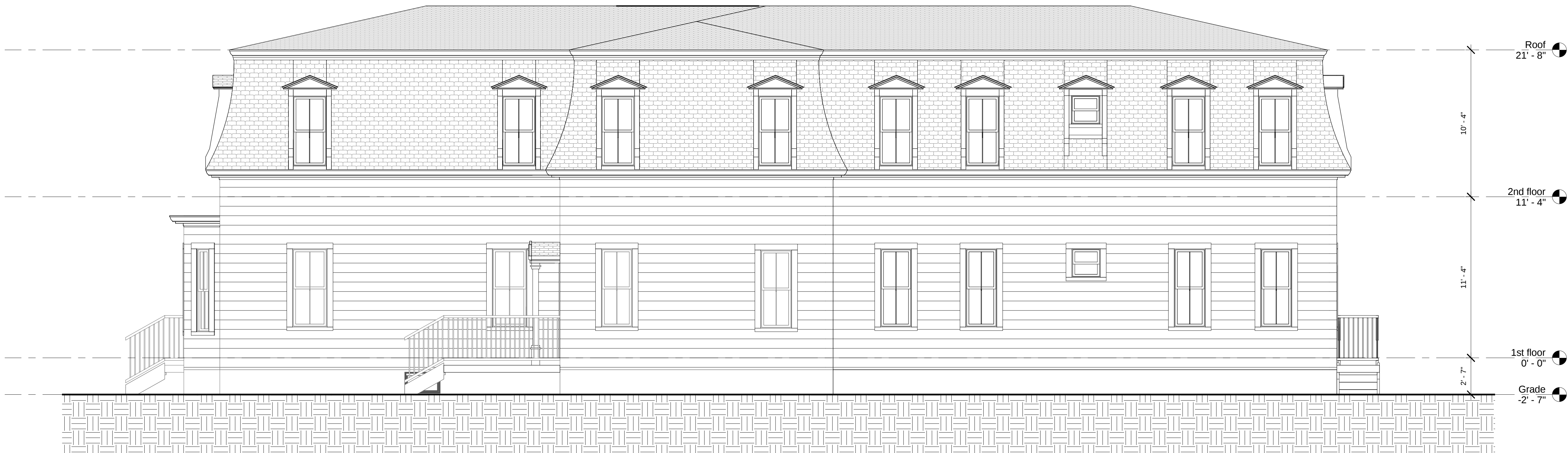
Building Elevations

A-300

HAMLET ST. RESIDENCES



② Rear Elevation
1/4" = 1'-0"



① Side Elevation
1/4" = 1'-0"

PROJECT NAME

**HAMLET ST.
RESIDENCES**

PROJECT ADDRESS

22-24 Hamlet Street ,
SOMERVILLE, MA

CLIENT

Boris Kuritnik

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KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

Project number 13077
Date 03/11/14
Drawn by CC
Checked by KDI
Scale 1/4" = 1'-0"

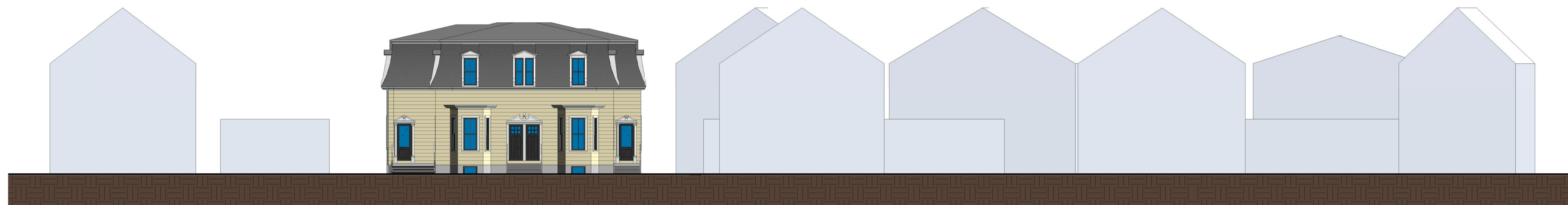
REVISIONS

No.	Description	Date

Building Elevations

A-301

HAMLET ST. RESIDENCES



PROJECT NAME

HAMLET ST RESIDENCES

PROJECT ADDRESS

22-24 Hamlet Street,
SOMERVILLE MA

CLIENT

Boris Kuritnik

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CONSULTANTS:

REGISTRATION

Project number	13077
Date	01-15-2014
Drawn by	MT, WC
Checked by	KDI
Scale	1" = 10'-0"

REVISIONS

[illegible]

Street View & Perspectives

A-303

HAMLET ST RESIDENCES