

SPECIAL PERMIT APPLICATION

REDEVELOPMENT OF 260 BEACON STREET

260 BEACON STREET, SOMERVILLE, MA 02143

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL

CONSULTANT

PROJECT

260
BEACON ST

260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND
DEVELOPMENT

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION | DATE

REV 2 SP APPL | 10 SEPT 2014

REV SP APPLIC | 15 AUG 2014

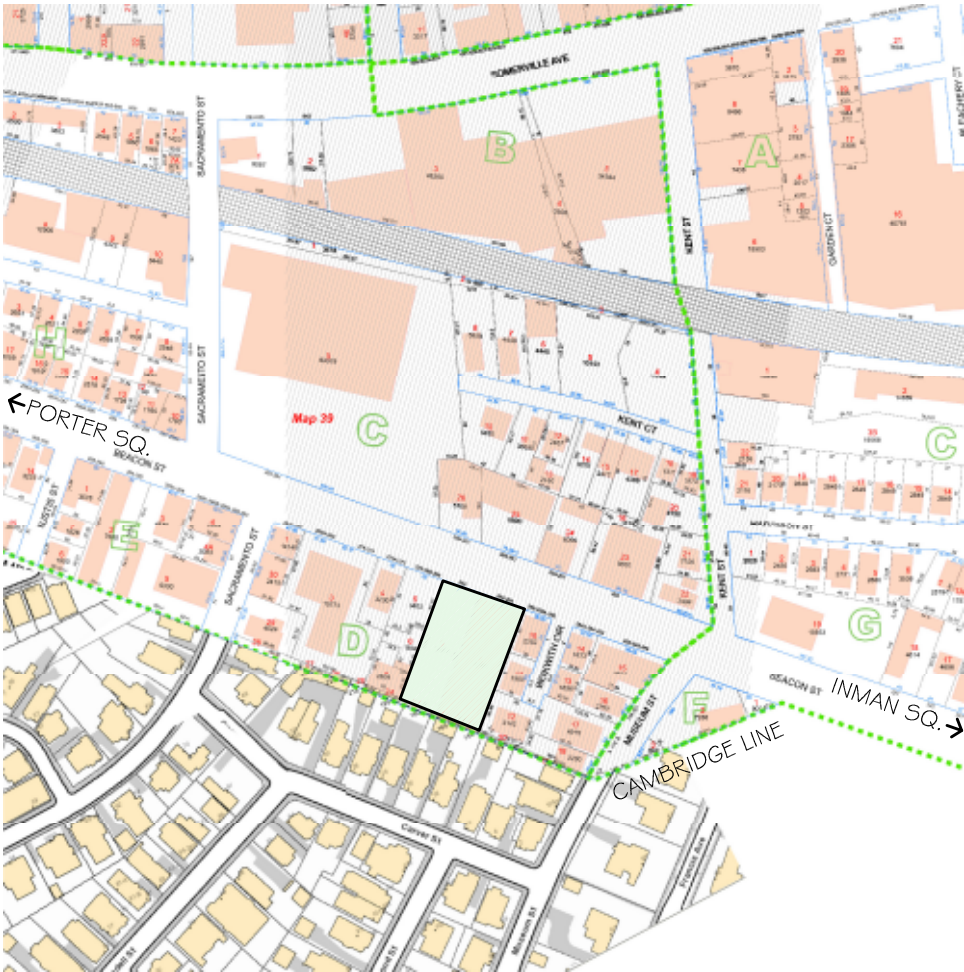
SP APPLIC | 5 JUN 2014

DRAWN BY
ACW

REVIEWED BY
PQ

SHEET

T1



LOCUS PLAN

PREPARED BY:

ARCHITECT

PETER QUINN
ARCHITECTS LLC

259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH (617) 354 3989

SURVEYOR

DESIGN
CONSULTANTS, INC.

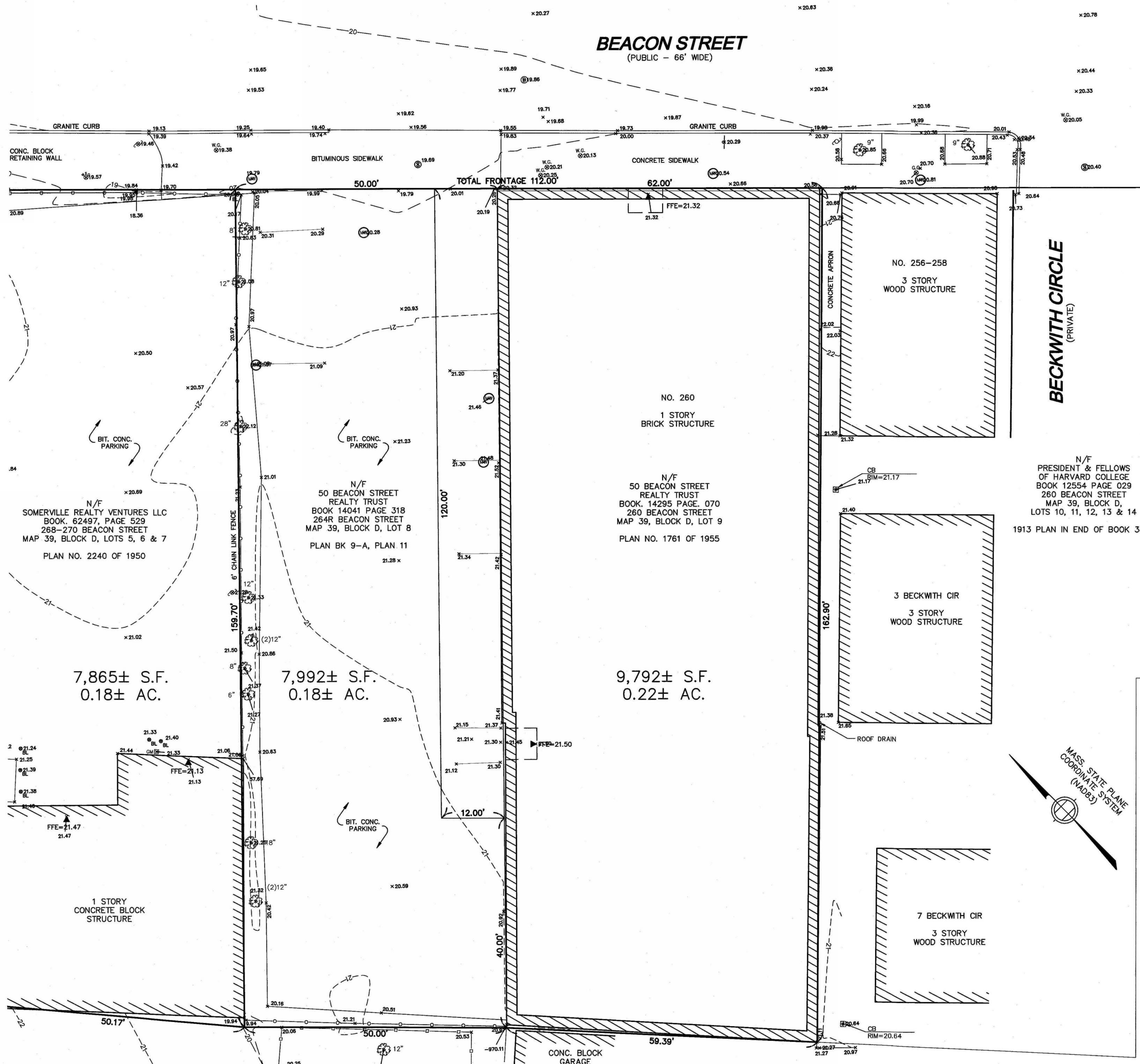
120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
PH (617) 776-3350



COLOR ELEVATION - 260 BEACON ST.

LIST OF DRAWINGS		SP-PB APPLIC. 5 JUN 2014	REV 1 SP-PB APPLIC. 15 AUG 2014	REV 2 SP-PB APPLIC. 10 SEPT 2014
GENERAL				
T1	COVER SHEET	X	X	X
S1	EXISTING CONDITIONS PLOT PLAN	X	X	X
Z1	ZONING COMPLIANCE	X	X	X
Z2	ZONING COMPLIANCE	X	X	X
Z3	ZONING COMPLIANCE	X	X	X

ARCHITECTURAL				
A1.0	COMBINED SITE PLAN & STREET ELEV	X	X	X
A1.01	COLOR RENDERED ELEVATION	X	X	X
A1.1	PARKING FLOOR PLAN	X	X	X
A1.2	RETAIL/LOBBY FIRST FLOOR PLAN	X	X	X
A1.3	SECOND FLOOR PLAN	X	X	X
A1.4	THIRD FLOOR PLAN	X	X	X
A1.5	ROOF PLAN			X
A2.1	NORTH & EAST ELEVATIONS	X	X	X
A2.2	SOUTH & WEST ELEVATIONS	X	X	X



- LEGEND**
- HAND HOLE
 - UTILITY POLE
 - GUY POLE
 - HYDRANT
 - WATER SHUT OFF
 - WATER GATE
 - MONITORING WELL
 - CATCH BASIN (CB)
 - DRAIN MANHOLE (DMH)
 - SEWER MANHOLE (SMH)
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - TELEPHONE MANHOLE
 - PARKING COUNT
 - HANDICAPPED PARKING
 - GAS GATE
 - GAS METER
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - BOLLARD
 - FIRE ALARM BOX
 - SIGN
 - POST & RAIL FENCE
 - CHAIN LINK FENCE
 - SEWER LINE
 - GAS LINE
 - WATER LINE
 - TELEPHONE LINE
 - OVERHEAD WIRES
 - ELECTRIC LINE
 - DRAIN LINE
 - TERMINUS UNKNOWN
 - VERTICAL GRANITE CURB
 - FLUSH GRANITE CURB
 - SLOPED GRANITE CURB
 - VERTICAL CONCRETE CURB
 - BITUMINOUS BERM
 - CONCRETE BLOCK WALL
 - CONCRETE RETAINING WALL
 - CHAIN LINK FENCE
 - POST & RAIL FENCE
 - METAL GUARD RAIL
 - BIT.
 - BITUMINOUS
 - CONC.
 - CONCRETE
 - RCP
 - CI
 - VC
 - I
 - WL
 - (BC)
 - NPV
 - FFE
 - + 22.67

NOTES

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF SOMERVILLE BASE DATUM.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON FEBRUARY 3, 2014 BY DESIGN CONSULTANTS, INC.

P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE 4/10/14

LOCUS TITLE INFORMATION

260 BEACON STREET

OWNER: 50 BEACON STREET REALTY TRUST

DEED REFERENCES: BK. 14295 PG. 070 & BK. 14041 PG. 318

PLAN REFERENCE: BK. 8856 PG. 246 PLAN NO. 1761 OF 1955

ASSESSORS: PARCEL ID 39-D-8 & 39-D-9

Z:\DCADD\WGS\Beacon-260\CURRENT SD\Zoning.dwg, Z1, 9/10/2014 12:54:24 PM

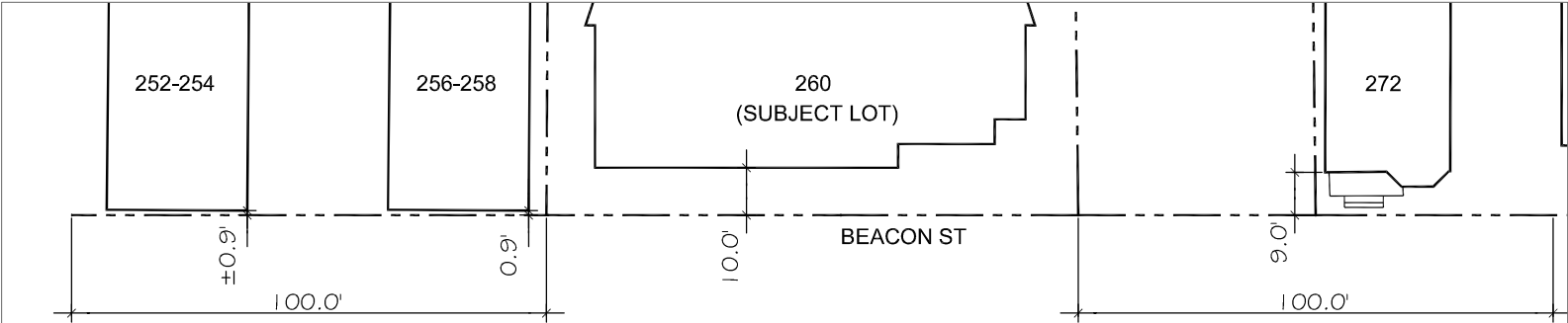
DIMENSIONAL TABLE - RES C ZONING DISTRICT, SPSR

ITEM	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	17,784	17,784	COMPLIES
MIN LOT AREA / UNIT WITH 10 UNITS OR MORE (SF)	1,000	N/A	1,046 (17 UNITS)	COMPLIES
MAX GROUND COVERAGE (%)	70	55	65	COMPLIES
MIN LANDSCAPED AREA (% OF LOT)	25	0	26	COMPLIES
PERVIOUS AREA (% OF LOT)	30	0	35	COMPLIES
FLOOR AREA RATIO (FAR)	2.0		1.8	COMPLIES
NET FLOOR AREA (NSF)	35,568		31,246	COMPLIES
MAX HEIGHT (FT/ STORIES)	40 / 3	±12 / 1	±39.9 / 3	COMPLIES
MIN FRONT YARD (FT)	10 PER § 8.6.5.A	0	10	COMPLIES
MIN SIDE YARD - LEFT (FT)	10	0	10	COMPLIES
MIN SIDE YARD - RIGHT (FT)	10		10	COMPLIES
MIN REAR YARD (FT)	20	0	20	COMPLIES
MIN FRONTAGE (FT)	50	112	112	COMPLIES
MIN NO. OF PARKING SPACES	*30 RES + 7 COMM		24	RELIEF REQUIRED
MIN NO. BIKE PARKING SPACES	5	0	29	COMPLIES

*NUMBER OF REQUIRED PARKING SPACE PER §9.5
FOR (15) 1OR2-BR UNITS, (2) 3-BR UNITS, AND 3,145-SF OF GENERAL COMMERCIAL USE:
MULTIFAM
 (15) 1OR2-BR UNITS AT 1.5 PER UNIT = 15X1.5 = 22.5
 (2) 3-BR UNITS AT 2 PER UNIT = 2X2 = 4
 VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 3
COMMERCIAL
 OFFICE OTHER THAN MEDICAL AT 1 PER 500 ASSUMED FOR CALCULATION = 3,145/500 = 7

30 RES

7 COMM



PER §8.6.5.A - FRONT YARD MAY BE THE AVERAGE FRONT YARD OF NEIGHBORS 100' EACH
SIDE OF SUBJECT LOT:
(0.9' + 0.9' + 9.0') / 3 = 3.6' BUT MIN 10' IN ANY CASE.

 **1** FRONT YARD CALCULATION
SCALE: 1"=40'-0" PER §8.6.5.A

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND
DEVELOPMENT

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

ZONING
COMPLIANCE

SCALE AS NOTED

REVISION	DATE
----------	------

REV 2 SP APPL	10 SEPT 2014
---------------	--------------

REV SP APPLIC	15 AUG 2014
---------------	-------------

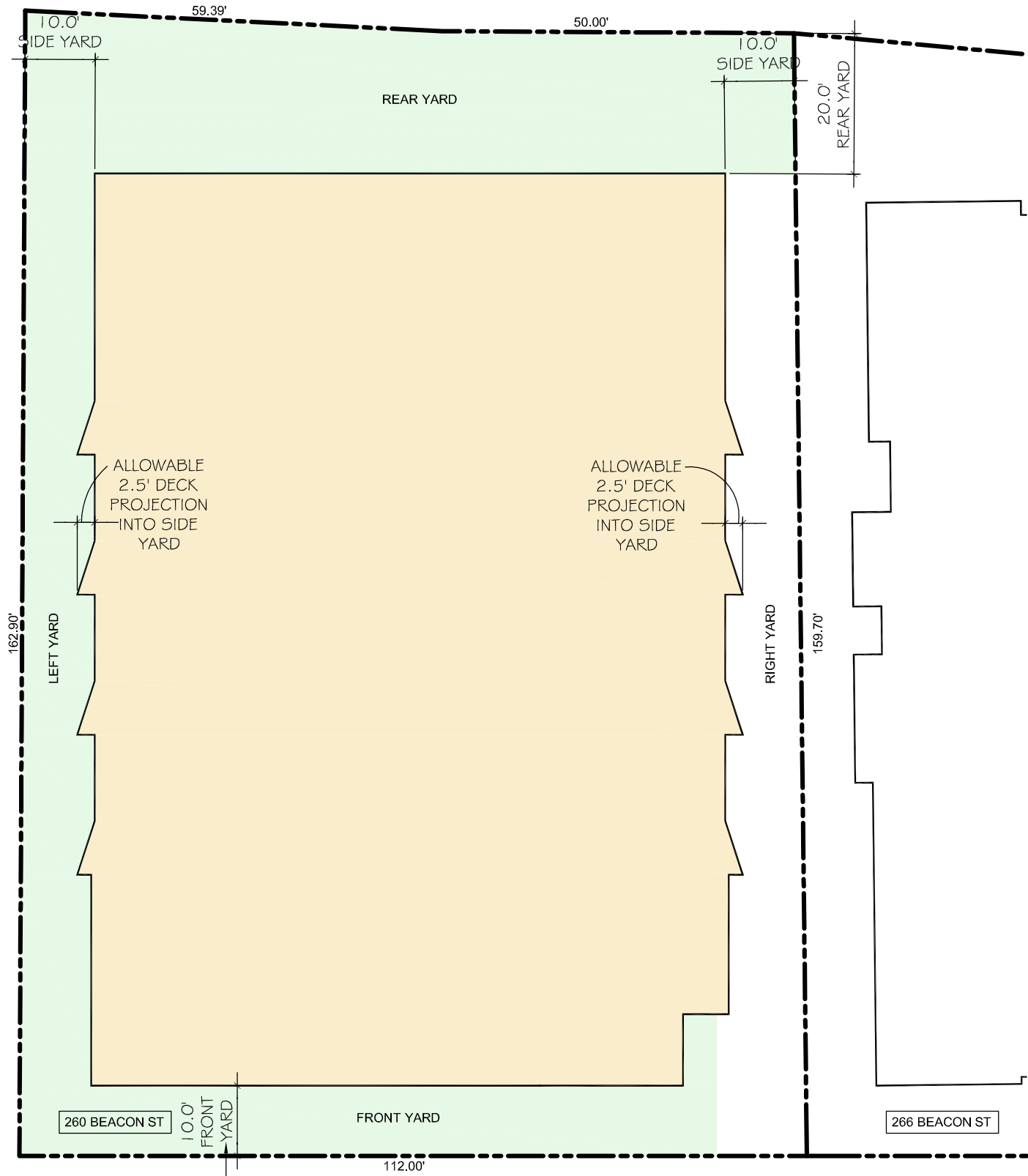
SP APPLIC	5 JUN 2014
-----------	------------

DRAWN BY MY	REVIEWED BY PQ
----------------	-------------------

SHEET

Z1

Z:\DCADD\WGS\Beacon-260\CURRENT SD\Zoning.dwg, Z2, 9/10/2014 12:57:10 PM

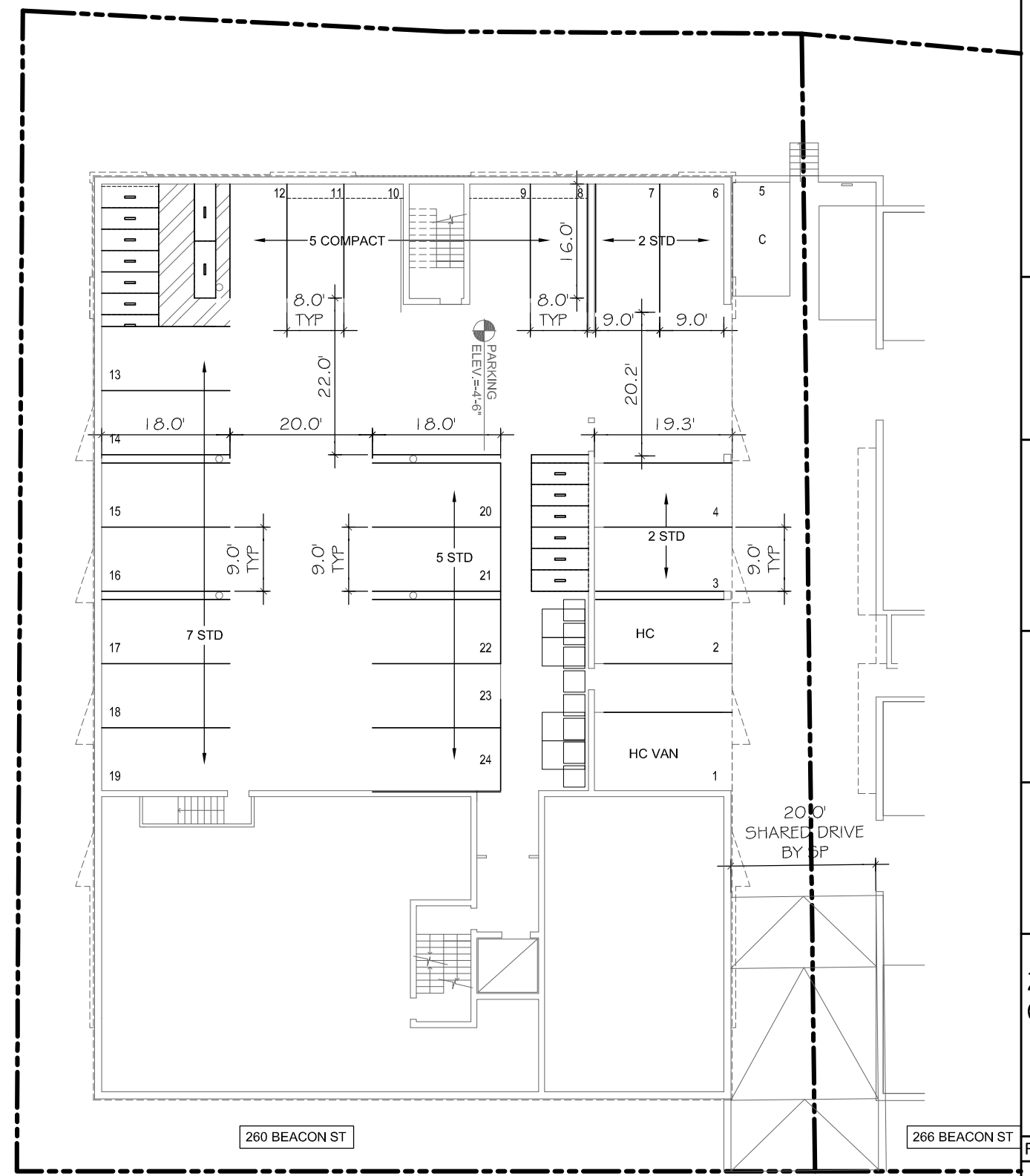


PER §8.6.5 FRONT YARD MAY BE 10' MIN IF 2 ABUTTERS IN 100' BOTH DIRECTIONS HAVE AVERAGE FRONT YARD LESS THAN 10'. SEE 1/Z1.0.

1 DIMENSIONAL LAYOUT SITE PLAN GROUND LEVEL

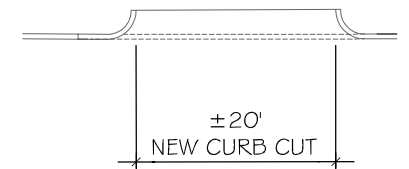
SCALE: 1"=20'-0"

SITE PLAN FOR DIMENSIONAL LAYOUT ONLY.
DIMENSIONS BASED ON PLOT PLAN FROM
DESIGN CONSULTANTS, INC. 120 MIDDLESEX AVE,
SOMERVILLE, MA 02145
DATED FEB 10, 2014.



NUMBER OF PARKING SUMMARY

STANDARD SPACES (INCL STD 1HC & 1HC VAN SPACE)	18
+ COMPACT SPACES	6
TOTAL SPACES	24



2 DIMENSIONAL LAYOUT SITE PLAN PARKING LEVEL / BASEMENT

SCALE: 1"=20'-0"



PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND
DEVELOPMENT

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

ZONING
COMPLIANCE

SCALE AS NOTED

REVISION	DATE
----------	------

REV 2 SP APPL	10 SEPT 2014
---------------	--------------

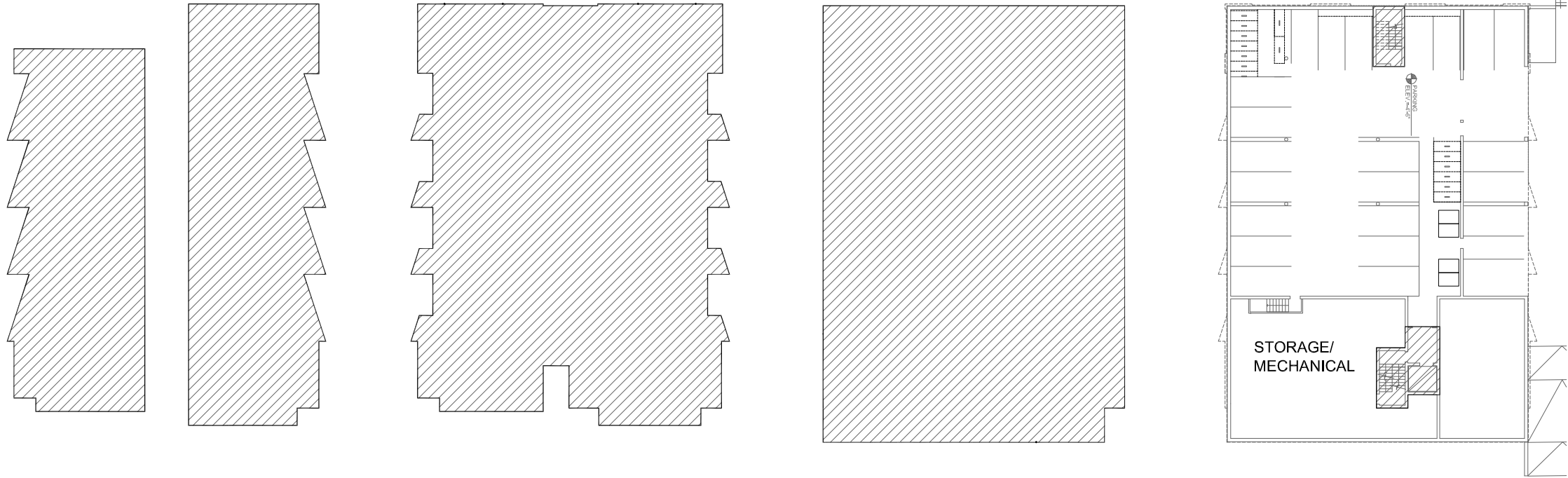
REV SP APPLIC	15 AUG 2014
---------------	-------------

SP APPLIC	5 JUN 2014
-----------	------------

DRAWN BY MY	REVIEWED BY PQ
----------------	-------------------

SHEET

Z2



FLOOR	NSF
3RD FL	8,789
2ND FL	10,550
1ST FL	11,573
BASEMENT	334
TOTAL	31,246-NSF

3RD FLOOR: 8,789-NSF

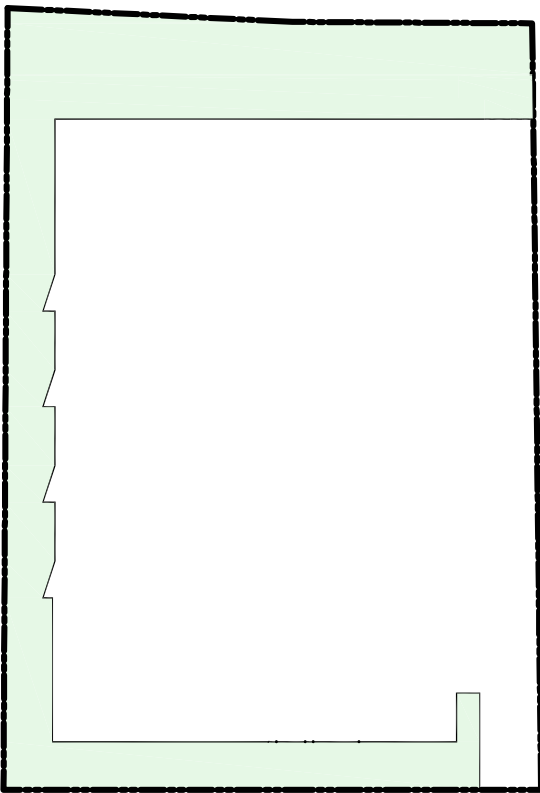
2ND FLOOR: 10,550-NSF

1ST FLOOR: 11,573-NSF

BASEMENT: 334-NSF

1 PROPOSED NSF CALC

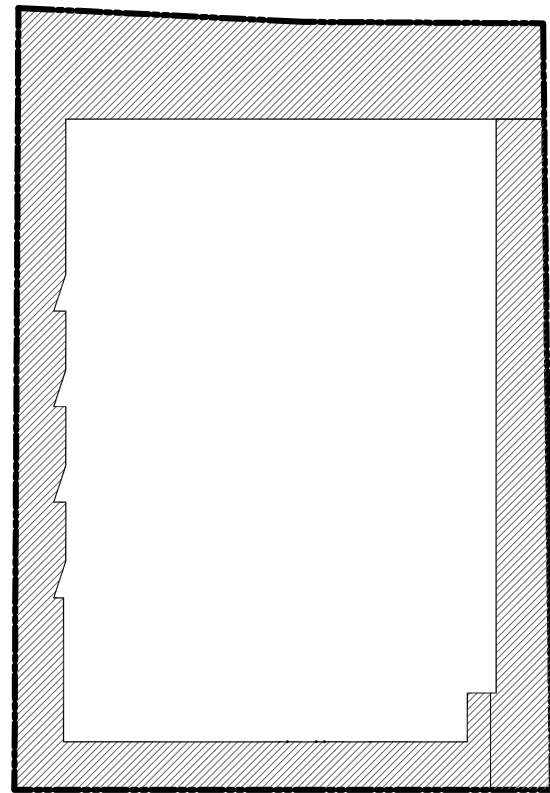
SCALE: 1"=40'-0"



LANDSCAPED AREA 4,624 SF
17,784 LOT SF = 26%

2 LANDSCAPED AREA

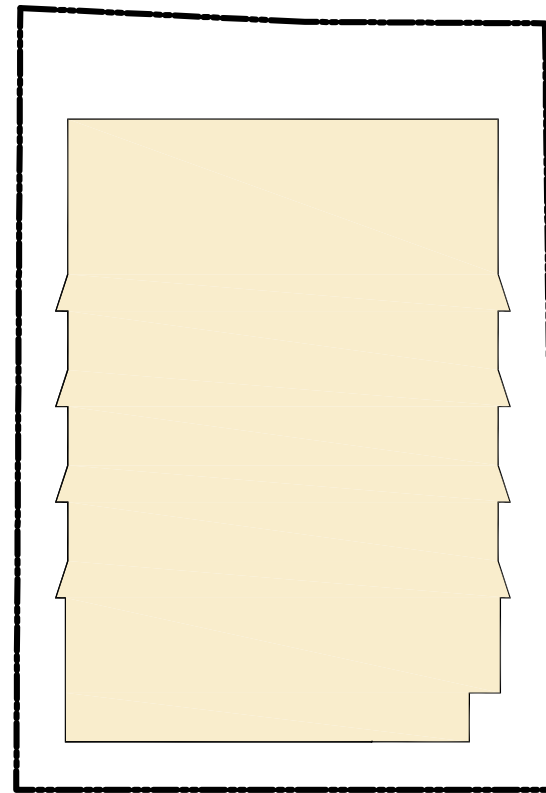
SCALE: 1"=40'-0"



PERVIOUS AREA 6,158 SF
17,784 LOT SF = 35%

3 PERVIOUS AREA

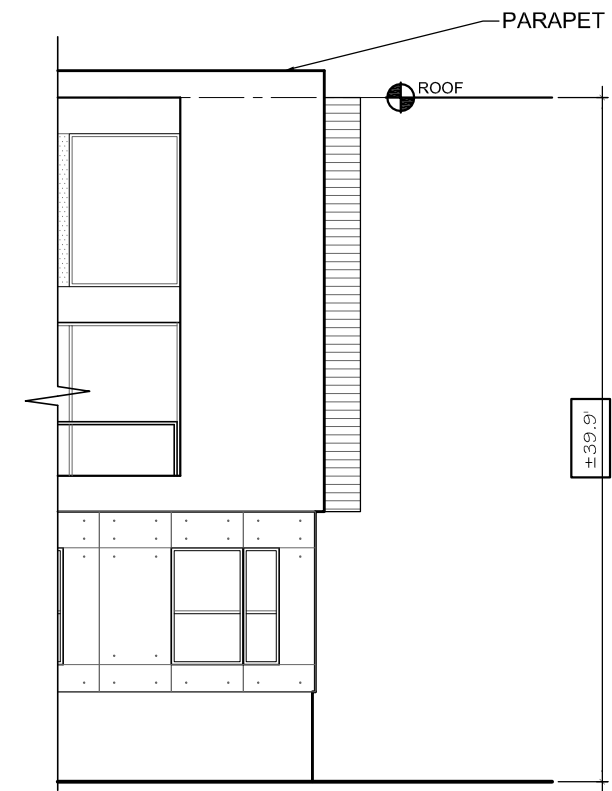
SCALE: 1"=40'-0"



LOT COVERAGE 11,675 SF
17,784 LOT SF = 65%

4 LOT COVERAGE

SCALE: 1"=40'-0"



5 BUILDING HEIGHT

SCALE: 3/32"=1'-0"

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND
DEVELOPMENT

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

ZONING
COMPLIANCE

SCALE AS NOTED

REVISION	DATE
REV 2 SP APPL	10 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY MY	REVIEWED BY PQ

SHEET

Z3

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

**HIGHLAND
DEVELOPMENT**

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

PARKING
FLOOR PLAN

SCALE AS NOTED

REVISION	DATE
REV 2 SP APPL	10 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY ACW	REVIEWED BY PQ

SHEET

A1.0



260 BEACON STREET

266 BEACON STREET



PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

**HIGHLAND
DEVELOPMENT**

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

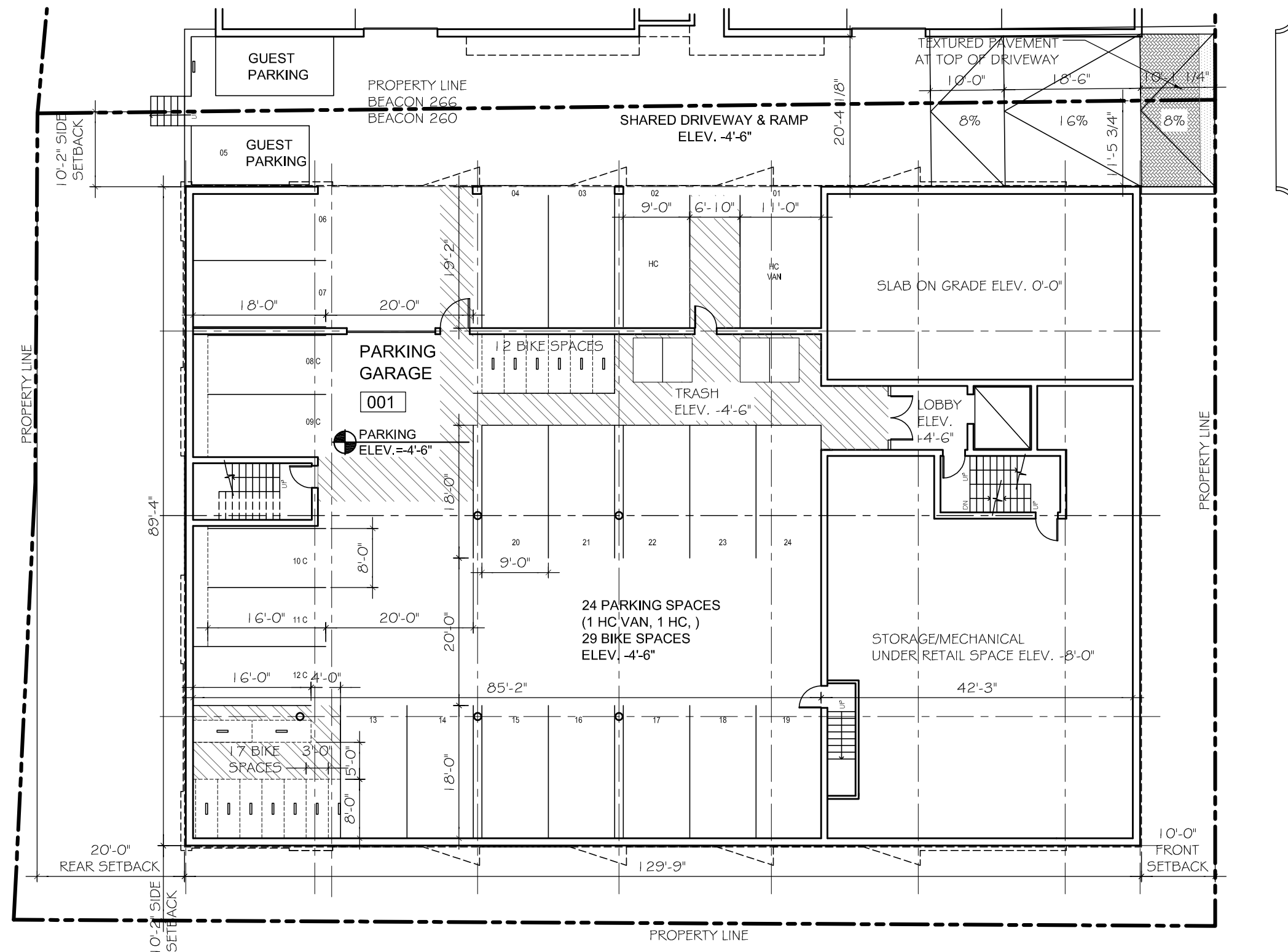
3D VIEWS

SCALE AS NOTED

REVISION	DATE
REV 2 SP APPL	10 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY ACW	REVIEWED BY PQ

SHEET

A1.01



1 PARKING FLOOR PLAN
SCALE: 1/16" = 1'-0"



PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND
DEVELOPMENT

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

PARKING
FLOOR PLAN

SCALE AS NOTED

REVISION	DATE
----------	------

REV 2 SP APPL	02 SEPT 2014
---------------	--------------

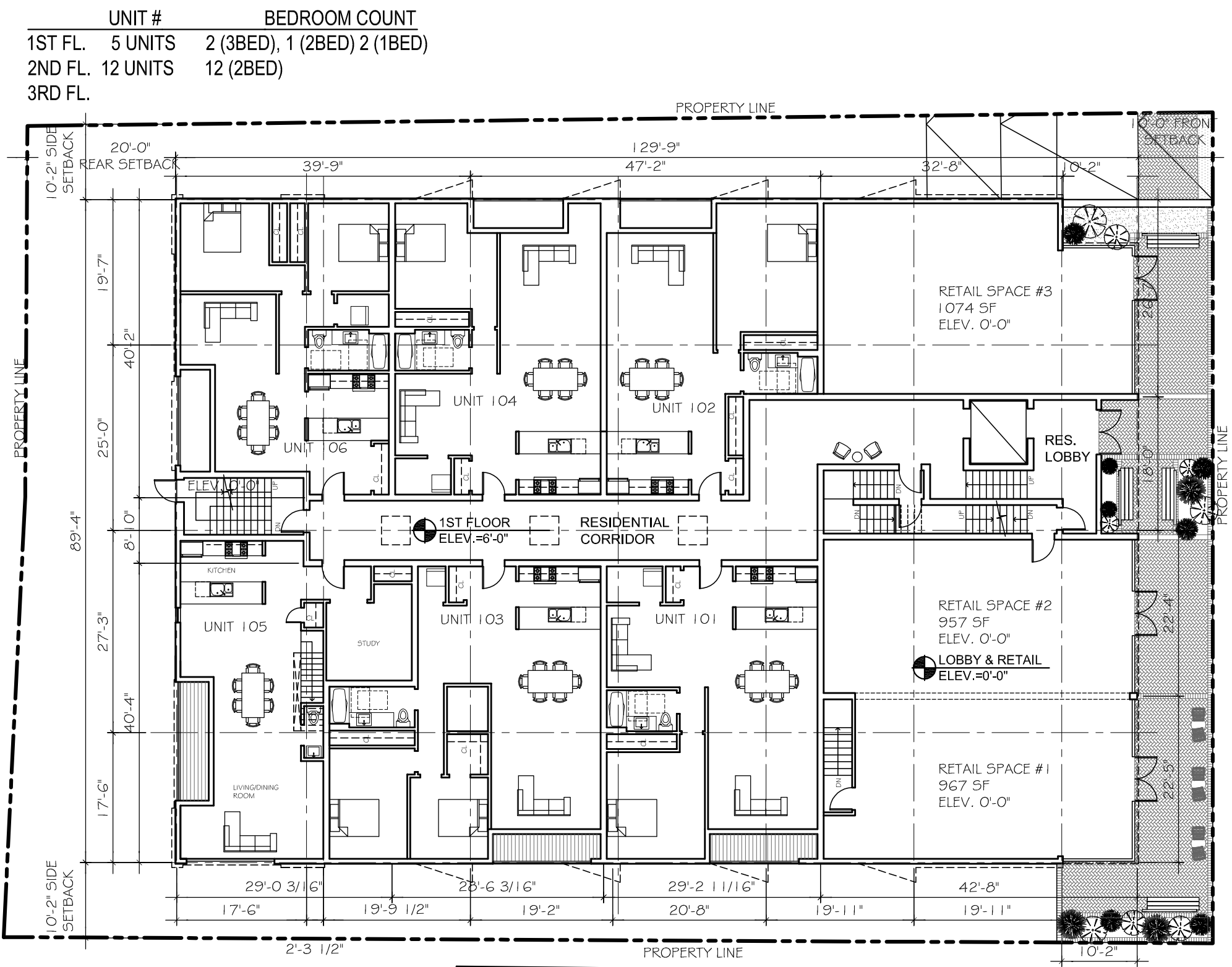
REV SP APPLIC	15 AUG 2014
---------------	-------------

SP APPLIC	5 JUN 2014
-----------	------------

DRAWN BY ACW	REVIEWED BY PQ
-----------------	-------------------

SHEET

A1.1



	UNIT #	BEDROOM COUNT
1ST FL.	5 UNITS	2 (3BED), 1 (2BED) 2 (1BED)
2ND FL.	12 UNITS	12 (2BED)
3RD FL.		

1 RETAIL/LOBBY & FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

PETER QUINN ARCHITECTS
ARCHITECTURE
PLANNING
COMMUNITY DESIGN
PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



CONSULTANT

PROJECT
260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

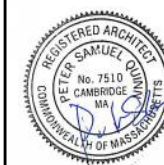
PREPARED FOR
HIGHLAND DEVELOPMENT
98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE
RETAIL/LOBBY & FIRST FLOOR PLAN

SCALE AS NOTED	
REVISION	DATE
REV 2 SP APPL	02 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY ACW	REVIEWED BY PQ

SHEET
A1.2

SEAL



CONSULTANT

PROJECT

260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

**HIGHLAND
DEVELOPMENT**

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

SECOND
FLOOR PLAN

SCALE AS NOTED

REVISION	DATE
----------	------

REV 2 SP APPL	02 SEPT 2014
---------------	--------------

REV SP APPLIC	15 AUG 2014
---------------	-------------

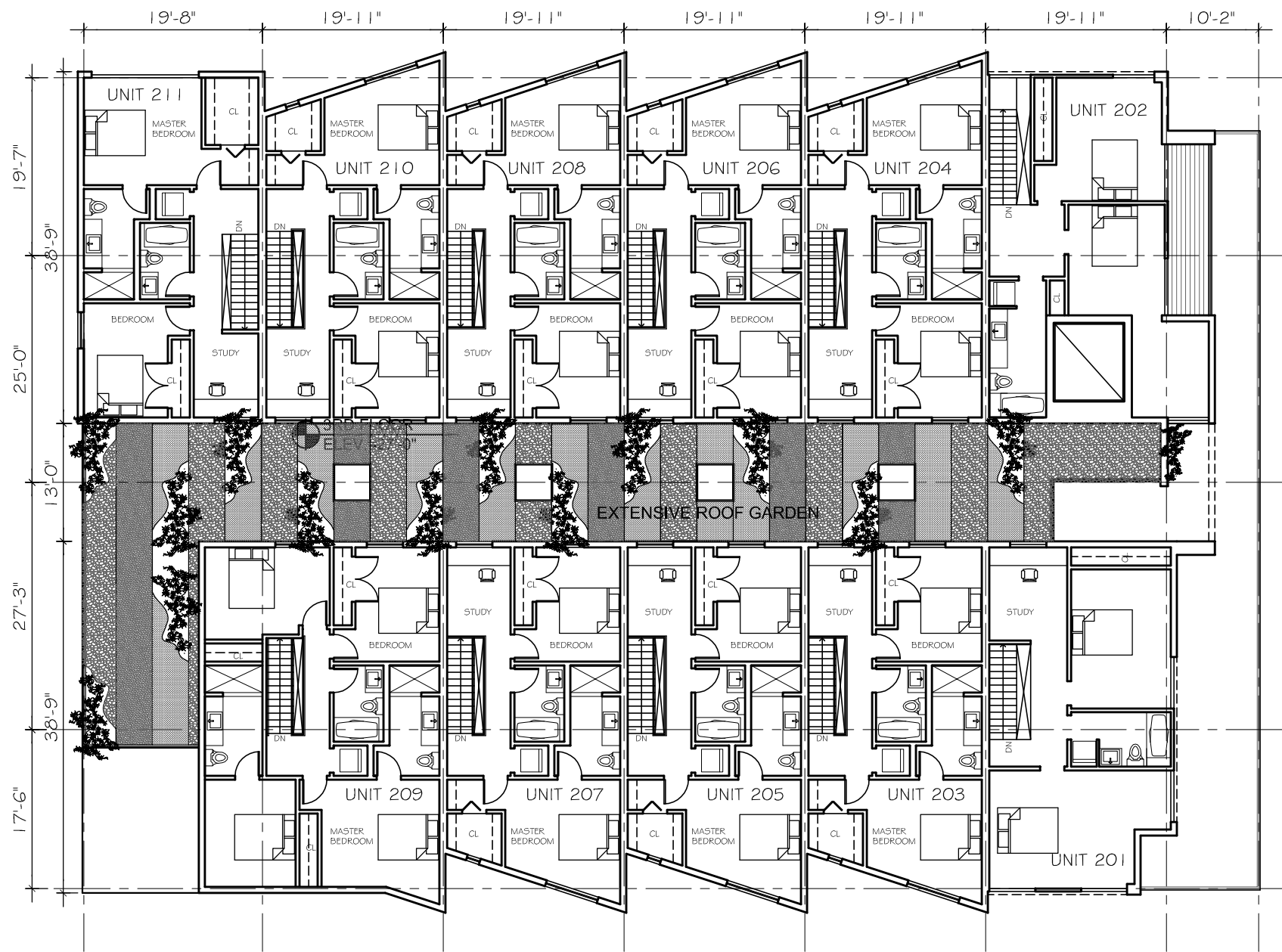
SP APPLIC	5 JUN 2014
-----------	------------

DRAWN BY ACW	REVIEWED BY PQ
-----------------	-------------------

SHEET

A1.3





2 THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

**260
BEACON ST**
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

**HIGHLAND
DEVELOPMENT**

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

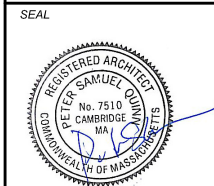
**THIRD
FLOOR PLAN**

SCALE AS NOTED

REVISION	DATE
REV 2 SP APPL	10 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY ACW	REVIEWED BY PQ

SHEET

A1.4



CONSULTANT

PROJECT
260
BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR
**HIGHLAND
DEVELOPMENT**

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

ROOF PLAN

SCALE AS NOTED

REVISION	DATE
----------	------

REV 2 SP APPL	10 SEPT 2014
---------------	--------------

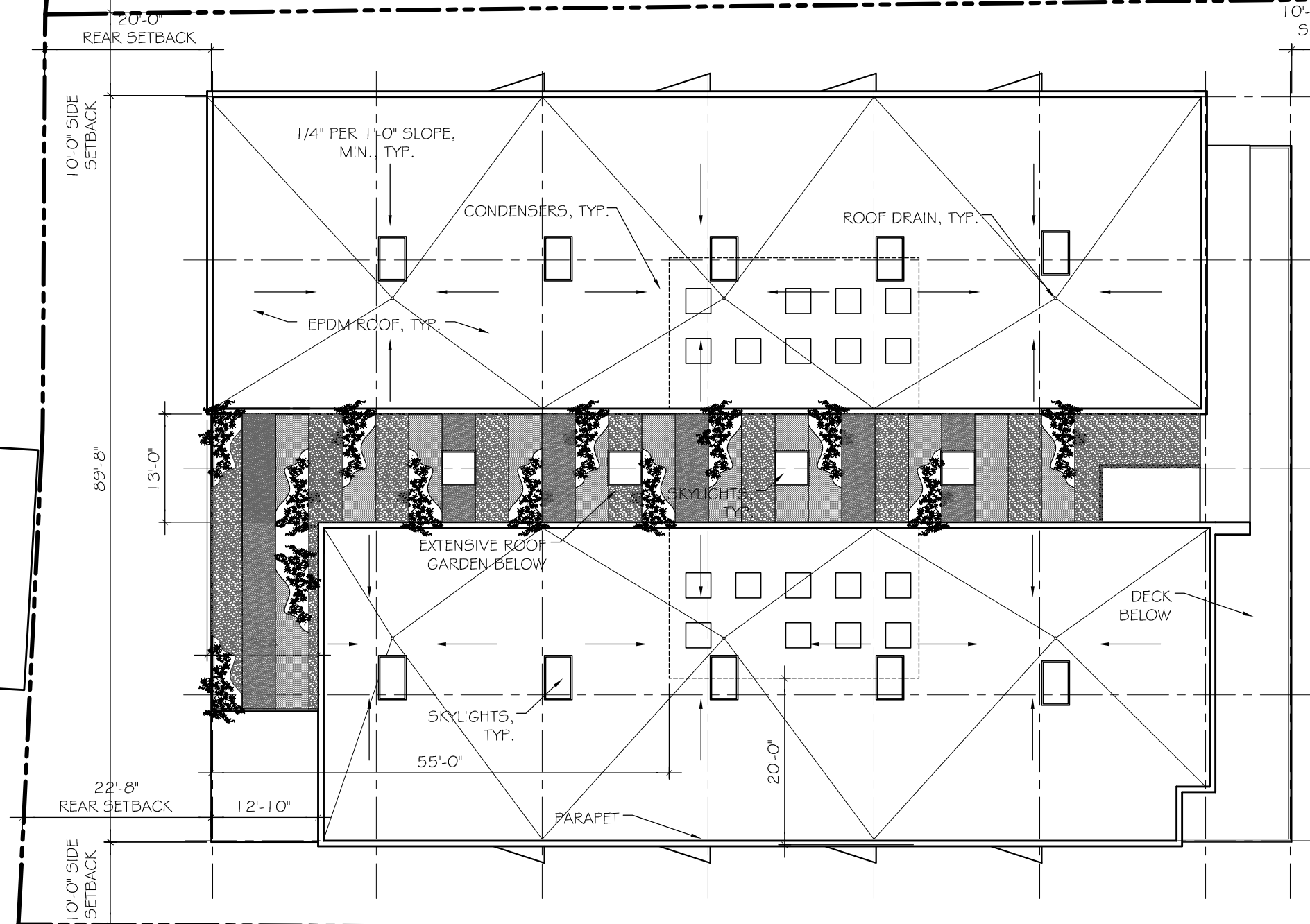
REV SP APPLIC	15 AUG 2014
---------------	-------------

SP APPLIC	5 JUN 2014
-----------	------------

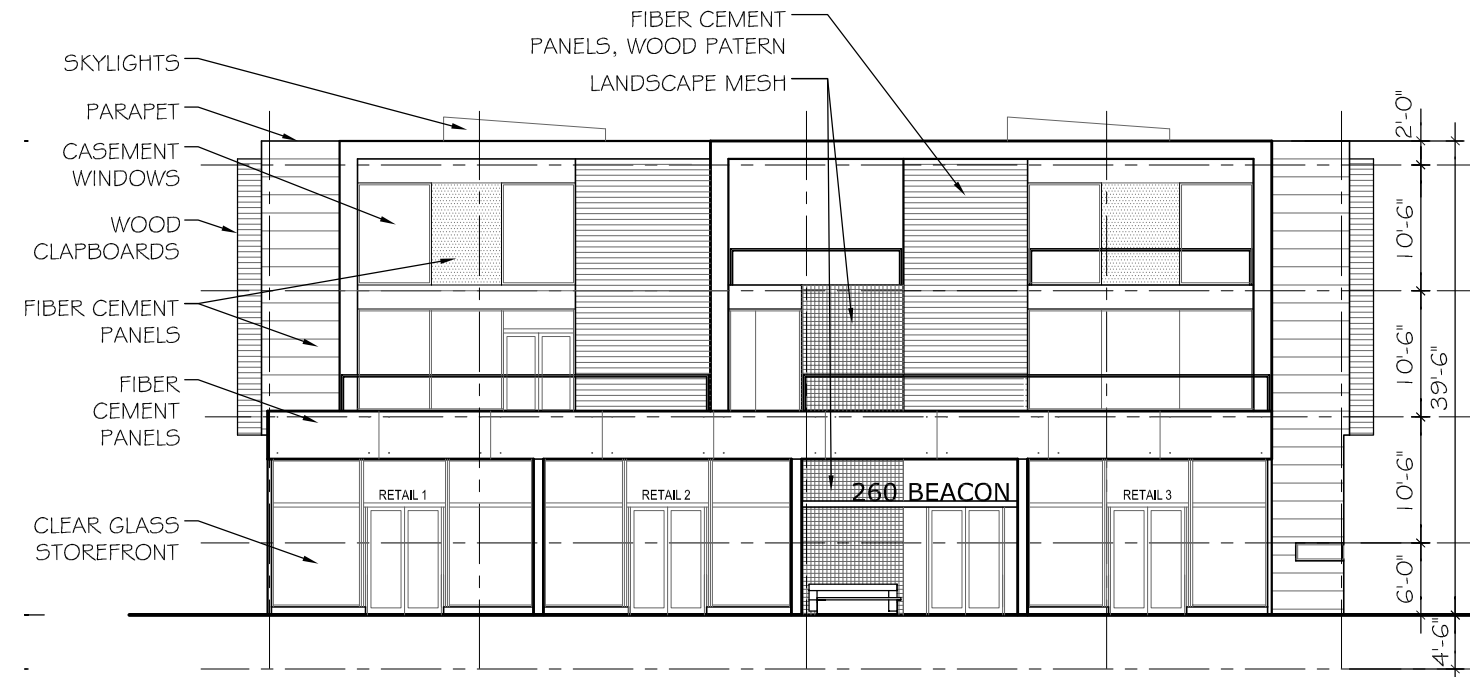
DRAWN BY ACW	REVIEWED BY PQ
-----------------	-------------------

SHEET

A1.5



1 ROOF PLAN
SCALE: 1/16" = 1'-0"

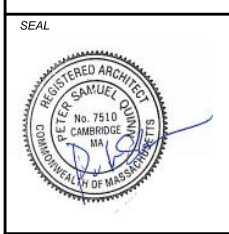


1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"

PETER QUINN ARCHITECTS
ARCHITECTURE
PLANNING
COMMUNITY DESIGN
PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989



CONSULTANT

PROJECT
260 BEACON ST
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR
HIGHLAND DEVELOPMENT
98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE
NORTH & EAST ELEVATIONS

SCALE AS NOTED

REVISION	DATE
REV 2 SP APPL	02 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY ACW	REVIEWED BY PQ

SHEET
A2.1

SEAL



CONSULTANT

PROJECT

**260
BEACON ST**
260 BEACON ST
SOMERVILLE, MA 02143

PREPARED FOR

**HIGHLAND
DEVELOPMENT**

98 WINCHESTER STREET
MEDFORD, MA 02155

DRAWING TITLE

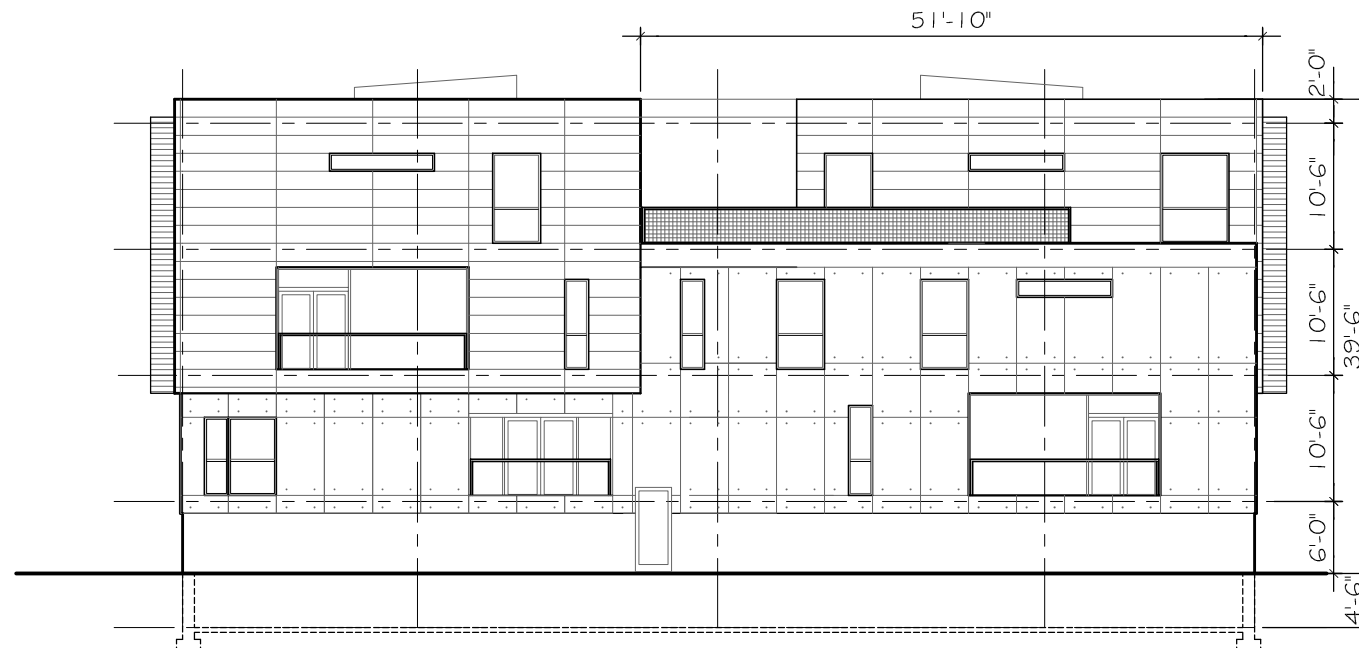
**SOUTH &
WEST
ELEVATIONS**

SCALE AS NOTED

REVISION	DATE
REV 2 SP APPL	10 SEPT 2014
REV SP APPLIC	15 AUG 2014
SP APPLIC	5 JUN 2014
DRAWN BY ACW	REVIEWED BY PQ

SHEET

A2.2



4 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



3 WEST ELEVATION
SCALE: 1/16" = 1'-0"