

70 INNERBELT FACADE RENOVATION

SOMERVILLE, MA

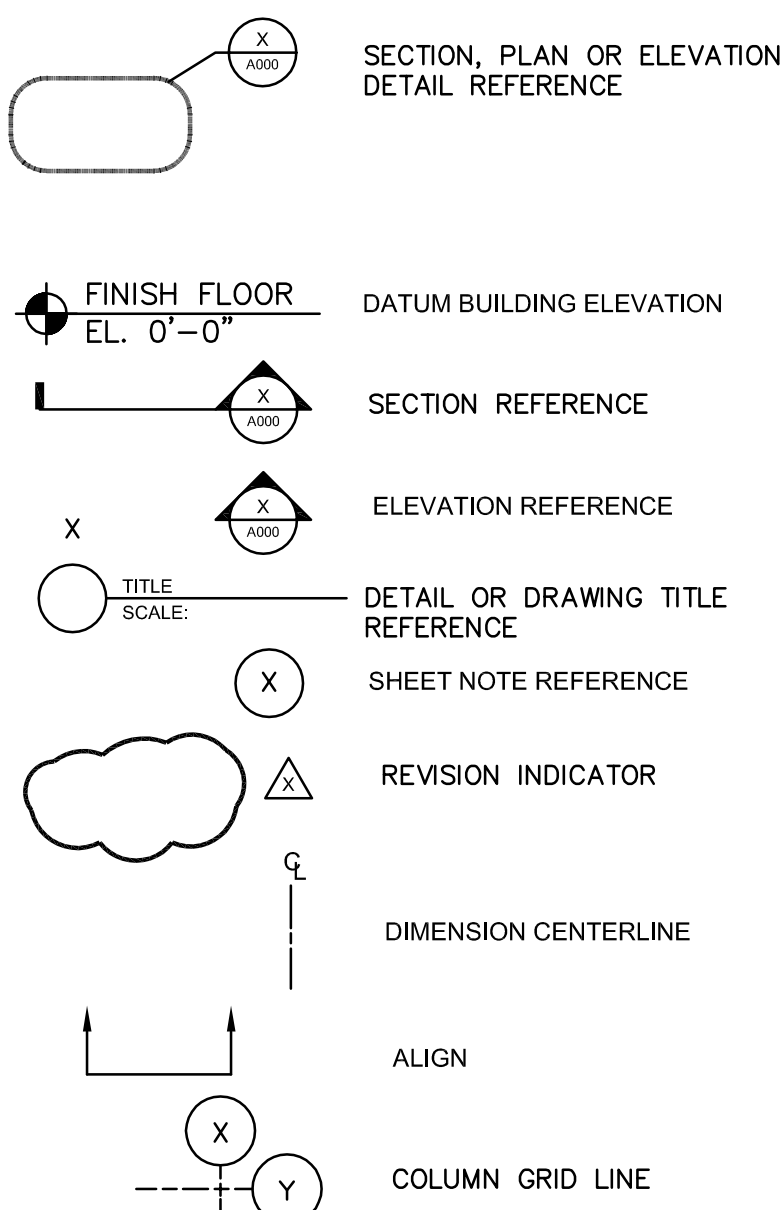
REVISED ISSUE FOR PERMIT: 09/15/11

ABBREVIATIONS

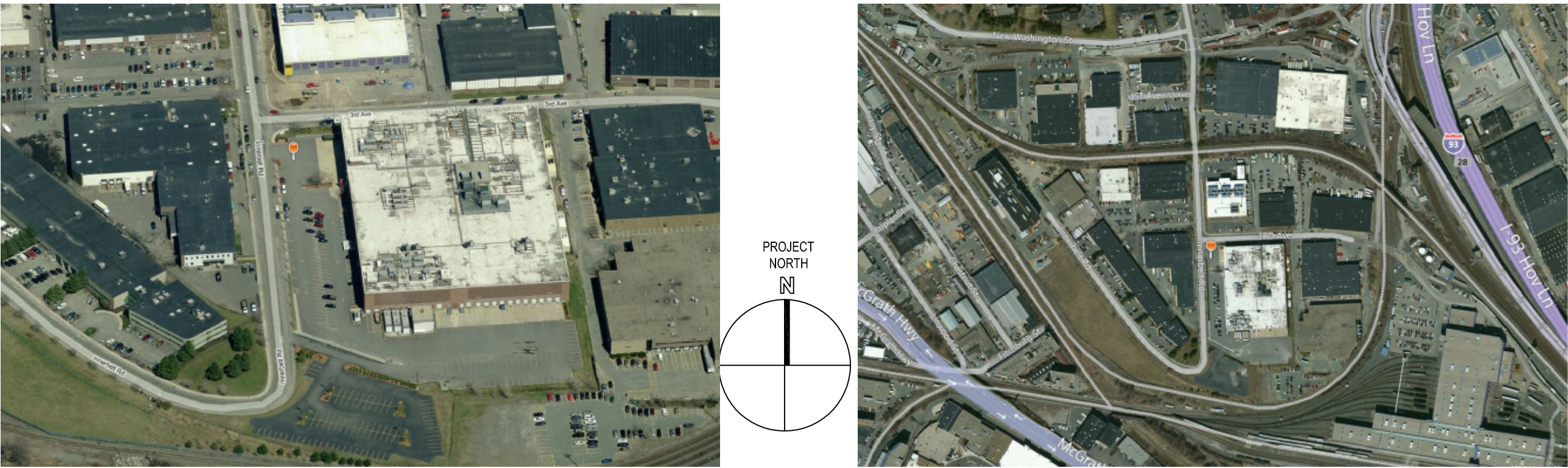
(M)	MODIFIED	LAM.	LAMINATE
(N)	NEW CONSTRUCTION	LAV.	LAVATORY
(S)	EXISTING CONSTRUCTION	LBS.	POUNDS
(R)	SURPLUS	L.F.	LINEAR FEET
@	RELOCATED EQUIPMENT	L.P.	LOW POINT
Ø	DIAMETER OR ROUND	M.A.S.	MASONRY
€		MAX.	MAXIMUM
A.B.	ANCHOR BOLT	MCH.	MECHANICAL
ABV.	ABOVE	MFR.	MANUFACTURER
AC	AIR CONDITIONING	M.H.	MANHOLE
ACT	ACOUSTICAL	MIN.	MINIMUM
ADA	AMERICANS WITH DISABILITIES ACT	MIR.	MIRROR
A.F.F.	ABOVE FINISH FLOOR	MISC.	MISCELLANEOUS
A.F.G.	ABOVE FINISH GRADE	M.O.	MASONRY OPENING AND MONEY
AL.	ALUMINUM	M.R.D.	METAL ROOF DECK
ALUM.		M.T.D.	MOUNTED
ALT.	ALTERNATIVE	MTL.	METAL
APPROX.	APPROXIMATE	MLW.	MILLWORK
ARCH.	ARCHITECTURAL	N.	NORTH AND NEUTRAL (ELECTRICAL)
AUTO.	AUTOMATIC	NE.	NORTHEAST
AVE.	AVENUE	N.C.	NOT IN CONTRACT
BD.	BOARD	NO. OR #	NUMBER
BLDG.	BUILDING	NOM.	NORMAL
BLK.	BLOCK	N.S.F.	NET SQUARE FOOTAGE
BM.	BEAM	NOT TO SCALE	NOT TO SCALE
B.O.F.	BOTTOM OF FRAMING	NW.	NORTHWEST
B.O.D.	BOTTOM OF DECK	O.C.	ON CENTER (S) AND OVER COUNTER
B.O.C.	BASE OF CURB	O.D.	OUTSIDE DIAMETER
BTM.	BOTTOM	O.H.	OVERHEAD
BRO.	BEARING	OPG.	OPENING
BTWN.	BETWEEN	O.P.H.	OPPOSITE HAND
B.U.	BUILT-UP	OPP.	OPPOSITE
CAB.	CABINET	OUTSIDE AIR	ORIENTED STRAND BOARD
C.C.	CENTER TO CENTER	O.T.B.	OUT TO BID
CEM.	CEMENT	P.	POLE
CFM.	CUBIC FEET PER MINUTE	(P.C.)	PHOTO-CELL LIGHTING
CFL.	COUNTER FLASHING	PH.	PHASE AND PHARMACY
CHT.	CEILING HEIGHT	P.L.	PROPERTY LINE
C.I.P.	CAST IN PLACE	P.LAM.	PLASTIC LAMINATE
C.J.	CONTROL JOINT OR CONSTRUCTION JOINT	PL.	PLATE
CL.	CENTERLINE	PLUMB.	PLUMBING
CLQ.	CLEAR	PLYWD.	PLYWOOD
CLG.	CEILING	PNL.	PANEL
CMU.	CONCRETE MASONRY UNIT	PROP.	PROPOSED
C.M.P.	CORRUGATED METAL PIPE	P.S.F.	POUNDS PER SQUARE FOOT
C.O.	CONCRETE OPENING AND CLEAN-OUT	P.S.I.	POUNDS PER SQUARE INCH
CLIAN.	CONCRETE	P.T.D.	PAPER TOWEL DISPENSER
CONC.	CONCRETE	PTFR.	PRESSURE TREATED FIRE RESISTIVE
CONTN.	CONTINUOUS	PVC.	POLYVINYL CHLORIDE
CORR.	CORRIDOR	P.V.M.	PAVEMENT
C.T.	CERAMIC TILE	R.	RADIUS
DBL.	DOUBLE	RA.	RETURN AIR
DET.	DETAIL	RD.	ROAD, ROUND AND ROOF DRAIN
D.F.	DRINKING FOUNTAIN	RE:	REFERENCE, REFER TO, AND
DA.	DIAMETER		COORDINATE WITH
DM.	DOWN	REFR.	REFRIGERATION OR REFRIGERATOR
DWG.	DRAWING	REIN.	REINFORCEMENT
E.	EAST	REQD.	REQUIRED
E.A.	EXPANSION BOLT	R.H.	ROOF HATCH
E.F.S.	EXTENSION INSULATION FINISH SYSTEM	R.O.W.	RIGHT OF WAY
E.J.	EXPANSION JOINT	RM.	ROOM
ELEV.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRIC	RVS.	REVERSE (SIDE)
EDGE OF SLAB		S.A.	SOUTH AND SLOPE
E.P.	ELECTRICAL PANELBOARD	S.C.	SUPPLY AIR
EST.	ESTIMATE	S.C.D.	SOLID CORE
EQ.	EQUAL	SCHD.	SCHEDULE
EQUIP.	EQUIPMENT	S.D.	SMOKE DETECTOR, SOAP DISPENSER
E.W.	EACH WAY	SEAL.	SEALANT
E.W.C.	ELECTRIC WATER COOLER	SECT.	SECTION
EXH.	EXHAUST	S.F.	SQUARE FOOT/FEET
EXP.	EXPANSION	SE	SOUTHEAST
EXT.	EXTERIOR	SHR.	SHOWER
F.	FIRE ALARM	SHT.	SHEET
F.D.	FLOOR DRAIN	SHTG.	SHEETING
F.D.N.	FLOOR DRAIN	SHR.	SHOWER
F.E.	FIRE EXTINGUISHER	S.N.D.	SANITARY NAPKIN DISPENSER
F.F.C.	FIRE EXTINGUISHER CABINET	S.N.R.	SANITARY NAPKIN RECEPTACLE
F.F.E.	FINISH FLOOR ELEVATION	SPECS.	SPECIFICATIONS
F.F.L.	FINISH FLOOR LINE	SS.	SANITARY SEWER
F.H.	FIRE HYDRANT	SST.	STAINLESS-STEEL
F.H.C.	FIRE HOSE CABINET	ST.	STREET
FIN.	FINISH (ED)	STA.	STATION
FLR.	FLOOR (ING)	STD.	STANDARD
F.O.	FACE OF	STL.	STEEL
F.O.C.	FACE OF CURB/CONCRETE	STRUCT.	STRUCTURAL
F.O.F.	FACE OF FINISH	SUSP.	SUSPENDED
F.O.M.	FACE OF MASONRY	SW.	SOUTHWEST
F.O.S.	FACE OF STUDS	SYM.	SYMMETRICAL
F.O.T.	FACE OF TREAD	T.B.	TREAD AND TRANSFORMER
FRP.	FIBER REINFORCED PANEL	T.C.	TOWEL BAR
FRTW.	FIRE-RETARDANT TREATED WOOD	T.G.	TONGUE & GROOVE
F.S.F.	FIRE SERVICE	T.O.	TOP OF DRAIN
FT.	FOOT OR FEET	T.D.	TOP OF DECK
FTG.	FOOTING	T.E.	TELEPHONE
FURR.	FURRING	TEMP.	TEMPERED
G.	GROUND AND NATURAL GAS	THK.	THICKNESS
GA.	GAUGE	THRES.	THRESHOLD
GAL.	GALLON	T.O.	TOP OF
GALV.	GALVANIZED	T.O.C.	TOP OF CURB/CONCRETE
G.B.	GRAB BAR	T.O.D.	TOP OF DECK
G.C.	GENERAL CONTRACTOR	T.O.F.	TOP OF FRAMING
G.I.	GROUND FAULT CIRCUIT INTERRUPTER	T.O.M.	TOP OF MASONRY
G.I.L.	GALVANIZED IRON (STEEL)	T.O.P.	TOP OF PAVEMENT/PARAPET
G.L.B.	GLUE-LAM BEAM	T.O.S.	TOP OF SLAB
GND.	GROUND	T.O.R.	TOP OF ROOF
G.S.F.	GROSS SQUARE FOOTAGE	T.O.W.	TOP OF WALL
G.W.B.	GYPSSUM WALL BOARD	T.P.D.	TOILET PAPER DISPENSER
H.B.	HOSE BIBB	T.S.	TYPICAL
H.C.	HANDICAPPED	T.T.B.	TELEPHONE TERMINAL BOARD
H.O.	HIGH DENSITY	TYP.	TYPICAL
H.M.	HOLLOW METAL	U.D.L.	UNIFORM DISTRIBUTED LOAD
HORIZ.	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
H.P.	HIGH POINT AND HORSE-POWER	V.	VOLTS AND VENT
HRC.	HOUR	VENT.	VENTILATION
HT.	HEIGHT	VERT.	VERTICAL
HVAC.	HEATING VENTILATING AND AIR CONDITIONING	VEST.	VESTIBULE
I.D.	INSIDE DIAMETER	V.I.F.	VERY IN FIELD
IE	INVERT ELEVATION	V.C.T.	VINYL COMPOSITION TILE
I.G.	ISOLATED GROUND	VR.	VENT RISER
IN.	INCH	VTR.	VENT THRU ROOF
INSUL.	INSULATION	V.W.C.	VINYL WALL COVERING
INT.	INTERIOR AND INTERCOM	W.	WEST, WATTS AND WATER
INV.	INVERT	W.	WOOD
JAN.	JANITOR	WGL.	WIRE GLASS
J.C.	JANITOR CLOSET	WP.	WORK POINT
KIT.	KITCHEN	WR.	WASTE RECEPTACLE
K.O.	KNOCKOUT	W.V.	WATER VALVE
		W.W.F.	WELDED WIRE FABRIC

ABBREVIATIONS ARE GENERAL AND MAY NOT BE APPLICABLE TO THIS PROJECT

SYMBOLS



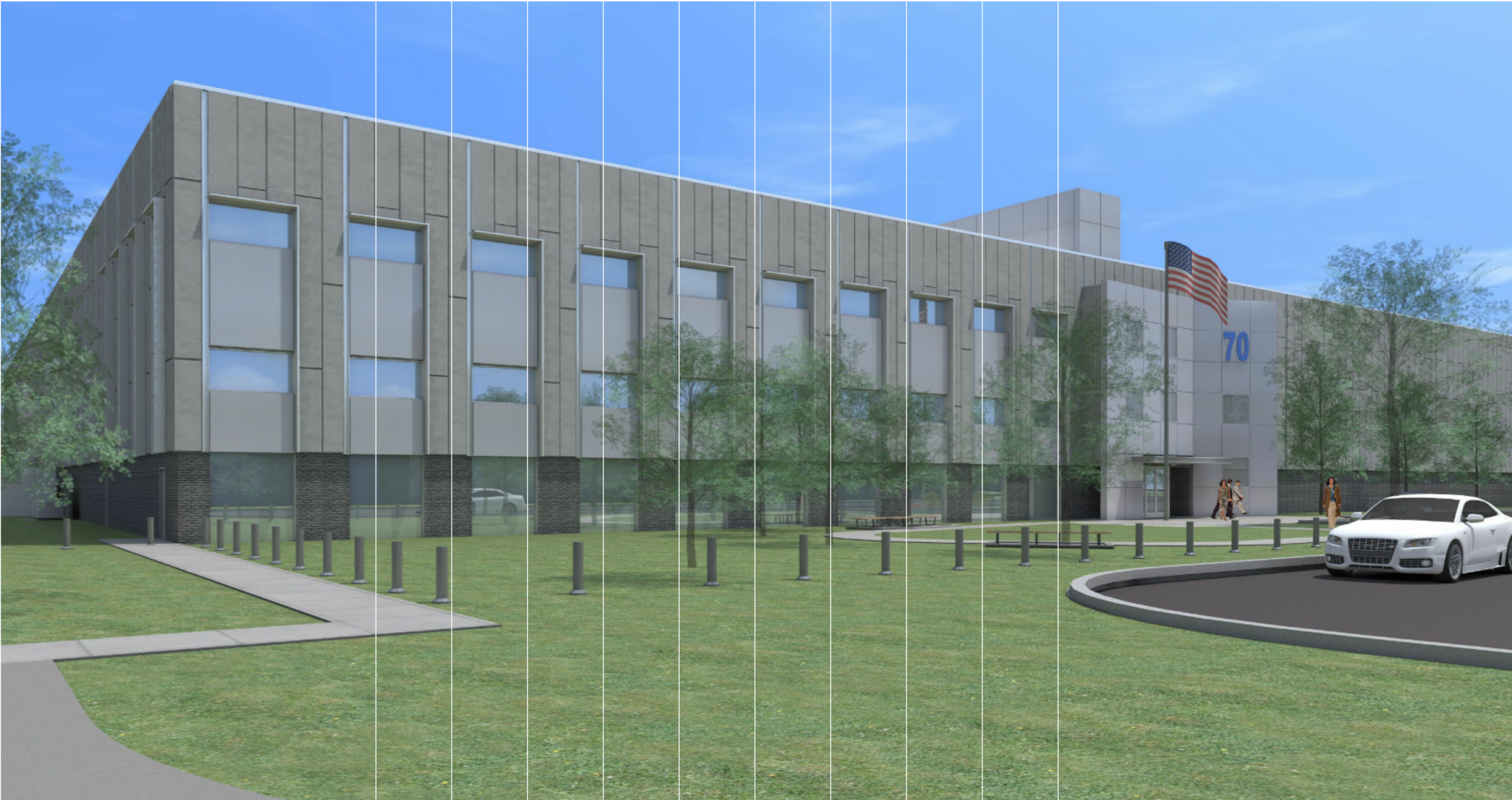
SITE PLAN



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A202	EXTERIOR ELEVATIONS				
A301	ENTRY CANOPY DETAILS				
A601	WALL SECTIONS				
A701	DETAILS				

CONCEPT RENDERINGS



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Architecture - Interior Design - Engineering

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CORESITE

70 INNERBELT

70 INNER BELT RD
SOMERVILLE, MA

CLIENT: CORESITE

2 09/15/11 REVISED ISSUE FOR PERMIT
1 08/08/11 ISSUE FOR PERMIT
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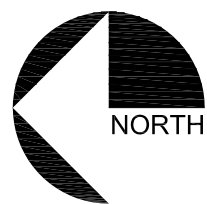
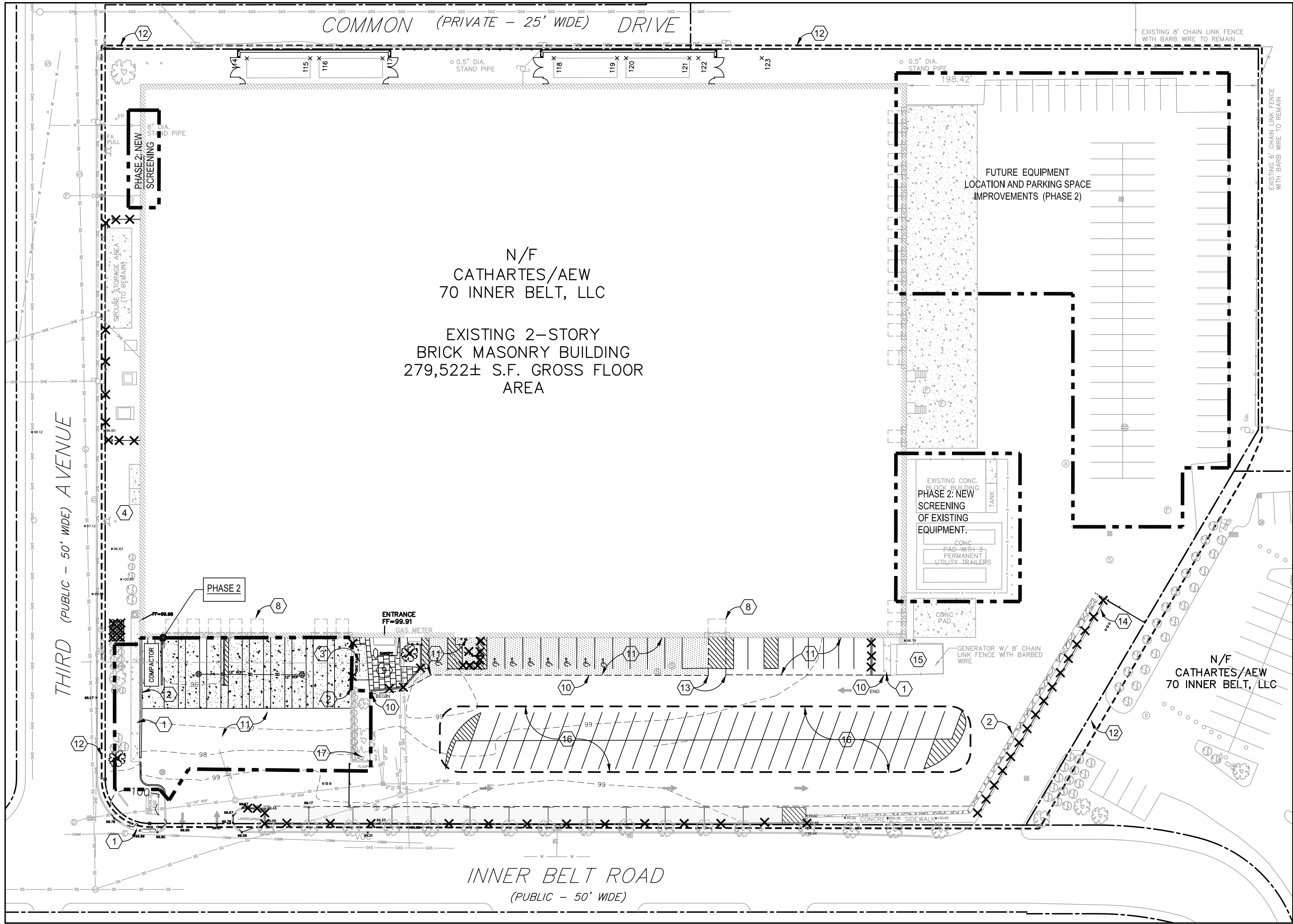
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DRAWN BY: DVS

CHECKED BY: VW
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SHEET TITLE:
COVER SHEET

SHEET NUMBER:
T001



GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SPECIFICATIONS ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS ARE NOT INTENDED. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE CONTRACTOR IS TO CLARIFY ANY SUCH DISCREPANCIES WITH THE ENGINEER PRIOR TO COMMENCING WORK.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
- GENERAL CONTRACTOR TO REFER TO THESE DOCUMENTS AS WELL AS SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED AS 'OWNER SUPPLIED' ARE TO BE SUPPLIED BY THE GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES. ALL SIGNAGE AND TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH MASSHIGHWAY AND CITY OF SOMERVILLE DPW.
- TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
- THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS REGARDING TEMPORARY PARKING, USE OF ROADS, AND FIRE PREVENTION. CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL, LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING PLANS FOR DEMOLITION AND REMOVAL OF NOTED FEATURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN. VERIFY ON-SITE THE EXTENT OF DEMOLITION WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.
- WHERE IT IS NECESSARY TO CUT PUBLIC CURBS, THEY SHALL BE RECONSTRUCTED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING JURISDICTION. RECONSTRUCT PUBLIC CURBS AFTER DEMOLITION OF EXISTING APPROACHES.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE, OR BY WAY OF DESIGN PLANS OF RECORD. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
- THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- CONTRACTOR TO ADJUST AND/OR RECONSTRUCT TO GRADE ALL MANHOLES, CLEANOUTS, AND GREASE TRAPS TO MEET PROPOSED GRADES.
- THE ACCESSIBLE ROUTE IDENTIFIED ON THE PLAN SHALL BE IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE FINAL ACCESSIBLE ROUTE IS CONSISTENT WITH THE DESIGN SHOWN AND CONSTRUCTED IN SUCH A WAY AS TO MEET ALL APPLICABLE REQUIREMENTS. CODE REFERENCES LISTED IN THE PLANS IDENTIFY THE APPLICABLE SECTION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN IN APPENDIX A OF THE TITLE III REGULATIONS (28 CFR PART 36, REVISED JULY 1, 1994) ISSUED BY THE DEPARTMENT OF JUSTICE.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF SOMERVILLE DPW AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES, PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS FOR ALL WORK IN AND NEAR INNER BELT ROAD, THIRD AVENUE, AND COMMON DRIVE.
- THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE, MULCHING, AND PLANTING OF DISTURBED AREAS. EROSION CONTROL FEATURES SHALL BE REGULARLY INSPECTED AND ADJUSTED IF NECESSARY.
- AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE. ANY EROSION CONTROL MEASURES USED DURING CONSTRUCTION SHALL BE REMOVED. CONTRACTOR TO COORDINATE WITH THE SITE OWNER FOR INSPECTION PRIOR TO LEAVING THE SITE.
- AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AFFECTED BY THE CONSTRUCTION AND INVERTS OF ALL DRAIN MANHOLES AFFECTED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND DOOR LOCATIONS.
- REFER TO ELECTRICAL PLANS FOR FIXTURE DETAILS, AND BUILDING CONNECTION LOCATIONS.
- MATERIAL FOR BACKFILL SHALL NOT INCLUDE UNSUITABLE MATERIAL SUCH AS PEAT, TRASH, STUMPS, DEBRIS OR HAZARDOUS WASTE.
- ALL STUMPS, PEAT, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS ON THE SITE AT THE TIME OF CONSTRUCTION ARE TO BE REMOVED FROM THE SITE TO AN APPROVED LANDFILL. NO SUCH MATERIALS ARE TO BE BURIED OR OTHERWISE DISPOSED OF ON THE SITE.
- AA. ALL EXISTING GATE VALVES, CORPORATION STOPS, AND SHUT OFF'S WITHIN THE LIMIT OF WORK AND AFFECTED BY SITE GRADING SHALL BE COORDINATED WITH FINISH GRADE. CONTRACTOR SHALL WORK IN ACCORDANCE WITH CITY OF SOMERVILLE WATER DEPARTMENT SPECIFICATIONS.
- AB. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. CARE SHALL BE TAKEN TO PRESERVE EXISTING TREES, GROUND COVER AND OTHER NATURAL FEATURES WHENEVER POSSIBLE.

NOTE:

LIMITS OF CONSTRUCTION TO BE BOUNDED AS SHOWN ON PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK WITHIN THIS AREA, INCLUDING BUT NOT LIMITED TO; BUILDING UTILITIES, CONCRETE, AND LANDSCAPING UNLESS OTHERWISE NOTED.

THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION REFERENCED BY EXISTING PLANS OF RECORD. IT IS CRITICAL THAT THE GENERAL CONTRACTOR COORDINATE CONSTRUCTION SEQUENCES, TIMING AND PLACEMENT AND INSTALLATION OF MATERIALS WITH THE DEVELOPER'S CONSTRUCTION MANAGER OR PROJECT ARCHITECT ON SITE FOR THE COMPLETION OF THIS PROJECT.



IT IS THE LAW IN MASSACHUSETTS THAT YOU MUST GIVE ADVANCE NOTICE OF AT LEAST 72 BUSINESS HOURS PRIOR TO EXCAVATION. YOU MUST CALL REGARDLESS OF WHERE THE EXCAVATION IS.

LEGEND

---	SUBJECT PROPERTY LINE
---	CURB
---	PARKING STRIPING
---	EXISTING WATER LINE
---	EXISTING GAS LINE
SD	EXISTING STORM DRAIN LINE
RD	EXISTING ROOF DRAIN LINE
SS	EXISTING SEWER LINE
UGE	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE TV LINE
W	WATER GATE
H	HYDRANT
S	SEWER MANHOLE
D	DRAIN MANHOLE
E	ELECTRIC MANHOLE
T	TELEPHONE MANHOLE
C	CATCH BASIN
L	LIGHT
x 176.73	SPOT ELEVATION
- 170	EXISTING CONTOUR ELEVATION

KEYED NOTES

- EXISTING SIDEWALK TO REMAIN. NOTE: CONTRACTOR TO REMOVE AND REPLACE SIDEWALK SECTION IN THIS AREA AS NECESSARY TO PROVIDE A LEVEL CONNECTION BETWEEN NEW AND EXISTING SIDEWALK SURFACES. SEE LANDSCAPE ARCHITECTURE PLANS FOR FURTHER DETAILS.
- EXISTING WALL TO REMAIN
- EXISTING BIKE RACK TO BE RELOCATED. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- EXISTING CONCRETE PAD TO REMAIN
- EXISTING SIGN TO REMAIN.
- SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILED INFORMATION ON EXISTING LANDSCAPE MATERIAL TO REMAIN.
- REMOVE EXISTING VERTICAL GRANITE CURBING. REUSE IF POSSIBLE. COORDINATE WITH OWNERS' REPRESENTATIVE FOR AVAILABLE STOCK PILE LOCATIONS.
- REFER TO ARCHITECTURAL PLANS FOR DETAILED INFORMATION ON LOADING DOCK DOORS.
- REMOVE EXISTING SIDEWALK, VERTICAL GRANITE CURBING.
- SAWCUT EXISTING PAVEMENT.
- REMOVE EXISTING PAVEMENT AND DISPOSE AS REQUIRED BY STATE AND LOCAL BYLAW.
- LIMIT OF WORK DELINEATION IS APPROXIMATE. CONTRACTOR SHALL COORDINATE WITH OWNERS' REPRESENTATIVE TO MINIMIZE IMPACT TO EXISTING STABILIZED LANDSCAPE AREAS
- COORDINATE PAVEMENT TO REMAIN WITH LANDSCAPE ARCHITECTURE PLANS. SAWCUT EXISTING ONLY AS NEEDED.
- REMOVE EXISTING METAL RAIL.
- GENERATOR, PAD AND FENCE TO REMAIN
- BLACK OUT EXISTING STRIPING
- EXISTING FLAGPOLE TO REMAIN

CIVIL ENGINEER:



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Bridgewater, MA 02324
508.659.0041

CLIENT:

CoreSite
55 SOUTH MARKET ST, SUITE 230
SAN JOSE, CA 95113
www.coresite.com



CONSULTANT:

C

C

SITE IMPROVEMENT NEW ENTRY ELEMENT

PROJECT TITLE

REV	DATE	DESCRIPTION
1	8/27/2010	NO CHANGES

DESIGN
DELIVERABLE | CD'S:

PROJECT NUMBER | 10019
ISSUE DATE | July 7, 2010

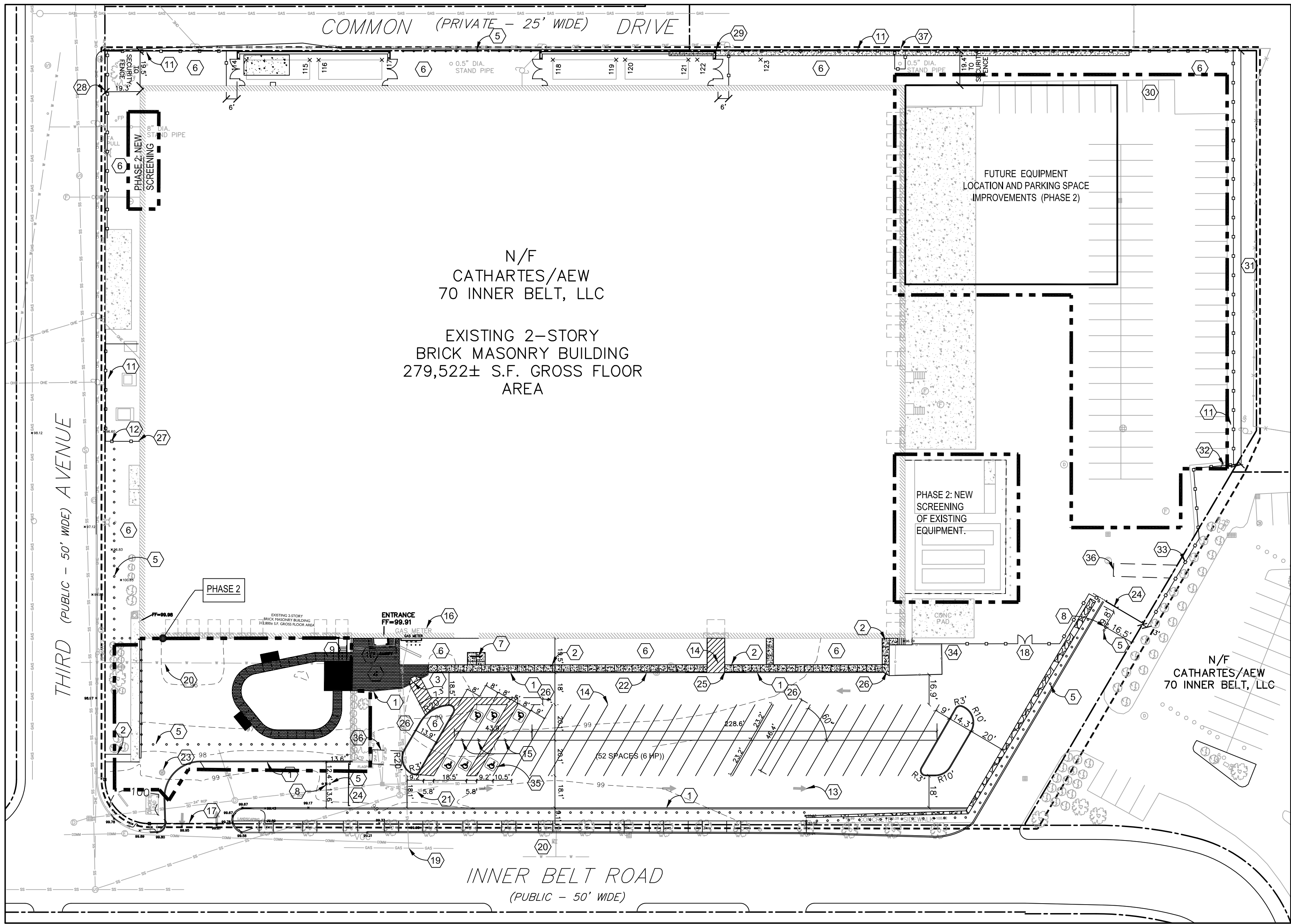
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SHEET TITLE:

SITE DEMOLITION

SHEET NUMBER:

C1



GENERAL NOTES

- THE PROPERTIES ARE SHOWN ON THE CITY OF SOMERVILLE ASSESSORS MAPS WITH THE FOLLOWING REFERENCES:
 - MAP 115, LOT 2
 - MAP 116, LOT 2
- LOCUS TITLE IS RECORDED AT THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS FOLLOWS:
 - DEED BOOK | 49287 PAGE 213
 - OWNERS | CRG 70 INNER BELT LLC
 - | 70 INNER BELT, LLC
- PLAN REFERENCE:
 - "A.L.T.A./A.C.S.M. LAND TITLE SURVEY | 70-100 INNER BELT ROAD," PREPARED BY GUNTHER ENGINEERING, INC., DATED JANUARY 2007.
- LOCUS IS LOCATED IN AN INDUSTRIAL "A" (IA) ZONE AS DEPICTED ON THE CITY OF SOMERVILLE ZONING MAP DATED OCTOBER 27, 2005.
- AN ACTUAL FIELD SURVEY WAS NOT PERFORMED BY HIGHPOINT ENGINEERING, INC. CONTRACTOR MUST VERIFY EXISTENCE OF UTILITIES PRIOR TO CONSTRUCTION IF APPLICABLE.
- LOCATION AND DEPTH OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY, AND IS NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS.
- ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.
- EXISTING CONDITIONS ON SOUTH SIDE OF EXISTING BUILDING IS RECORD INFORMATION TAKEN FROM THE PLAN ENTITLED "70-100 INNER BELT ROAD, ALTA/ACSM LAND TITLE SURVEY IN SOMERVILLE, MASSACHUSETTS, MIDDLESEX COUNTY", DATED JANUARY 2007, BY GUNTHER ENGINEERING.

KEYED NOTES

- NEW CURB. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- NEW SIDEWALK. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- NEW HANDICAP RAMP. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- NEW HARDSCAPE. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS. GRADE TO DRAIN AWAY FROM BUILDING.
- NEW BOLLARD. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- NEW LAWN AREA. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- RELOCATED BIKE RACK. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
- NEW SECURITY INTERCOM AND CARD READER/BIOSCAN. CONTRACTOR TO COORDINATE UNDERGROUND UTILITIES AS REQUIRED FOR POWER AND SECURITY TO GATES AND SECURITY DEVICES WITH OWNER.
- NEW TEMPORARY STAIRCASE TO EXISTING PAVEMENT IN TRUCK DOCK AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW BUILDING ENTRANCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW PERIMETER | SECURITY FENCE. MANUFACTURER IS BRYNICK. SEE WWW.BRYNICK.COM. MODEL NO. BNJF0030 | HXL=1800X2250 | MESH=2"x4" | WIRE=DIA:6 | COLOR: POWDER COAT GREEN
- FENCE POST. MANUFACTURER IS BRYNICK. SEE WWW.BRYNICK.COM. MODEL NO. BNJFF003 | COLOR: POWDER COAT GREEN.
- FIELD LAYOUT OF FENCING LOCATIONS TO BE REVIEWED WITH OWNER PRIOR TO INSTALLATION.
- NEW MANUAL SWING GATE. LOCATION TO BE DETERMINED BY OWNER. CONTRACTOR TO COORDINATE.
- DIRECTIONAL PAINTED ARROW TO REMAIN
- NEW PARKING LOT STRIPING
- NEW HANDICAP SIGNS - HP SIGNS, VAN SPACES AND PAINTED SYMBOLS SHALL ALL BE PER CITY OF SOMERVILLE SPECIFICATIONS.
- SEE BUILDING ARCHITECTURALS FOR DETAILED INFORMATION ON BUILDING MODIFICATIONS.
- PROVIDE HIGHPOINT IN GRADING. MATCH ELEVATIONS A SHOWN.
- NEW 8' WIDE MANUAL SWING GATE. CONTRACTOR TO COORDINATE LOCATION WITH OWNER.
- GAS - NO CHANGE
- WATER - NO CHANGE
- SEWER - NO CHANGE
- TRANSITION SIDEWALK DOWN TO A FLUSH CONDITION SO THAT SEWER MANHOLE COVERS CAN BE COORDINATED TO FINISH GRADE. REFER TO LANDSCAPE ARCHITECTURE PLANS FOR FURTHER DETAILS.
- MONITORING WELL TO REMAIN.
- NEW SECURE ACCESS SLIDE GATE. CONTRACTOR TO COORDINATE SLIDE GATE INSTALLATION WITH OWNER.
- CONTRACTOR TO COORDINATE TRANSITION AT END OF SIDEWALK WITH EXISTING SIDEWALK. MODIFY SIDEWALK AS NECESSARY SO 6" REVEAL AT PAVEMENT CAN BE MAINTAINED. REMOVE EXISTING SIDEWALK AS NECESSARY. IF DESIGN CONFLICTS EXIST CONTRACTOR SHALL REFER TO FINAL LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS.
- TOP OF CURB SHALL BE SET 6" ABOVE EXISTING GRADE OF PAVEMENT TO REMAIN. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS ON VERTICAL CURB.
- START NEW SECURITY FENCE APPROXIMATELY 63' WEST OF EXISTING METAL ENCLOSURE.
- PLACE NEW SECURITY FENCE 19.3' NORTH OF EXISTING BUILDING.
- TERMINATE NEW SECURITY FENCE AT EXISTING GENERATOR ENCLOSURE.
- PLACE NEW SECURITY FENCE APPROXIMATELY 184' SOUTH OF EXISTING BUILDING. FENCE IS SET 2.5' BEHIND EDGE OF PAVEMENT.
- EXTEND SECURITY FENCE APPROXIMATELY 244' WEST ON SOUTH SIDE OF BUILDING TO 30° BEND IN FENCE.
- CONTRACTOR TO ENSURE THAT THE NEW SECURITY FENCE DOES NOT ENCR OACH ONTO THE ABUTTING PROPERTY IN THIS LOCATION.
- PLACE NEW SECURITY FENCE WITHIN EXISTING LANDSCAPED ISLAND FROM 30° BEND TO NEW ACCESS GATE. CONTRACTOR TO USE PRECAUTION TO ENSURE MINIMAL DISTURBANCE TO EXISTING PLANT LIFE WITHIN ISLAND.
- TERMINATE NEW SECURITY FENCE AT SOUTHEAST CORNER OF EXISTING GENERATOR PAD.
- NEW HP PAINTED SYMBOL PER MAAB/ADA AND CITY OF SOMERVILLE DESIGN REGULATIONS.
- NEW EXIT CONTROL LOOP DETECTOR FOR ACCESS GATE. CONTRACTOR TO COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION.
- COORDINATE FENCE WITH EXISTING WATER STAND PIPE. MAINTAIN 36" CLEAR ALL SIDES MINIMUM.

NOTE:

LIMITS OF CONSTRUCTION TO BE BOUNDED AS SHOWN ON PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK WITHIN THIS AREA, INCLUDING BUT NOT LIMITED TO: BUILDING UTILITIES, CONCRETE, AND LANDSCAPING UNLESS OTHERWISE NOTED.

THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION REFERENCED BY EXISTING PLANS OF RECORD. IT IS CRITICAL THAT THE GENERAL CONTRACTOR COORDINATE CONSTRUCTION SEQUENCES, TIMING AND PLACEMENT AND INSTALLATION OF MATERIALS WITH THE DEVELOPER'S CONSTRUCTION MANAGER OR PROJECT ARCHITECT ON SITE FOR THE COMPLETION OF THIS PROJECT.



IT IS THE LAW IN MASSACHUSETTS THAT YOU MUST GIVE ADVANCE NOTICE OF AT LEAST 72 BUSINESS HOURS PRIOR TO EXCAVATION. YOU MUST CALL REGARDLESS OF WHERE THE EXCAVATION IS.

LEGEND

---	SUBJECT PROPERTY LINE
---	CURB
---	PARKING STRIPING
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING ROOF DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND CABLE TV LINE
---	WATER GATE
---	HYDRANT
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	ELECTRIC MANHOLE
---	TELEPHONE MANHOLE
---	CATCH BASIN
---	LIGHT
---	SPOT ELEVATION
---	EXISTING CONTOUR ELEVATION

PARKING SUMMARY

TOTAL REQUIRED PARKING = 294 PER SOMERVILLE PLANNING BOARD DECISION MAY 21, 1999
TOTAL EXISTING PARKING = 262 SPACES (8 HANDICAPPED)
TOTAL PROPOSED PARKING = 211 SPACES PER SOMERVILLE ZONING BOARD OF APPEALS DECISION SEPTEMBER 17, 2008. (6 HANDICAPPED PROVIDED - 6 HANDICAPPED REQUIRED. NOTE THAT BALANCE IN PARKING SPACES WILL BE PROVIDED AS A PART OF PHASE 2 WORK. TOTAL PARKING MAY NOT FALL BELOW 211 TOTAL. ALL HP SPACES ARE PROVIDED NEAR FRONT ENTRANCE LOCATION.)

*** PLEASE NOTE: EXPANSION OF CO-LOCATION WILL REDUCE PARKING REQUIREMENTS PER ARTICLE 9, SECTION 9.5.16 OF THE SOMERVILLE ZONING ORDINANCE. THE NUMBER OF ANTICIPATED FULL-TIME EMPLOYEES IS LESS THAN 15 WITH VISITOR REQUIREMENTS OF LESS THAN 50 AT ANY TIME. IN ADDITION, THE FIRST FLOOR MEZZANINE WILL BE AN OFFICE AREA TO SUPPORT THE CO-LOCATION USE AND PER ARTICLE 9, SECTION 9.5.7.a, 22 PARKING SPACES ARE REQUIRED FOR THIS AREA. THEREFORE, PARKING IS ONLY REQUIRED FOR 52 VEHICLES.

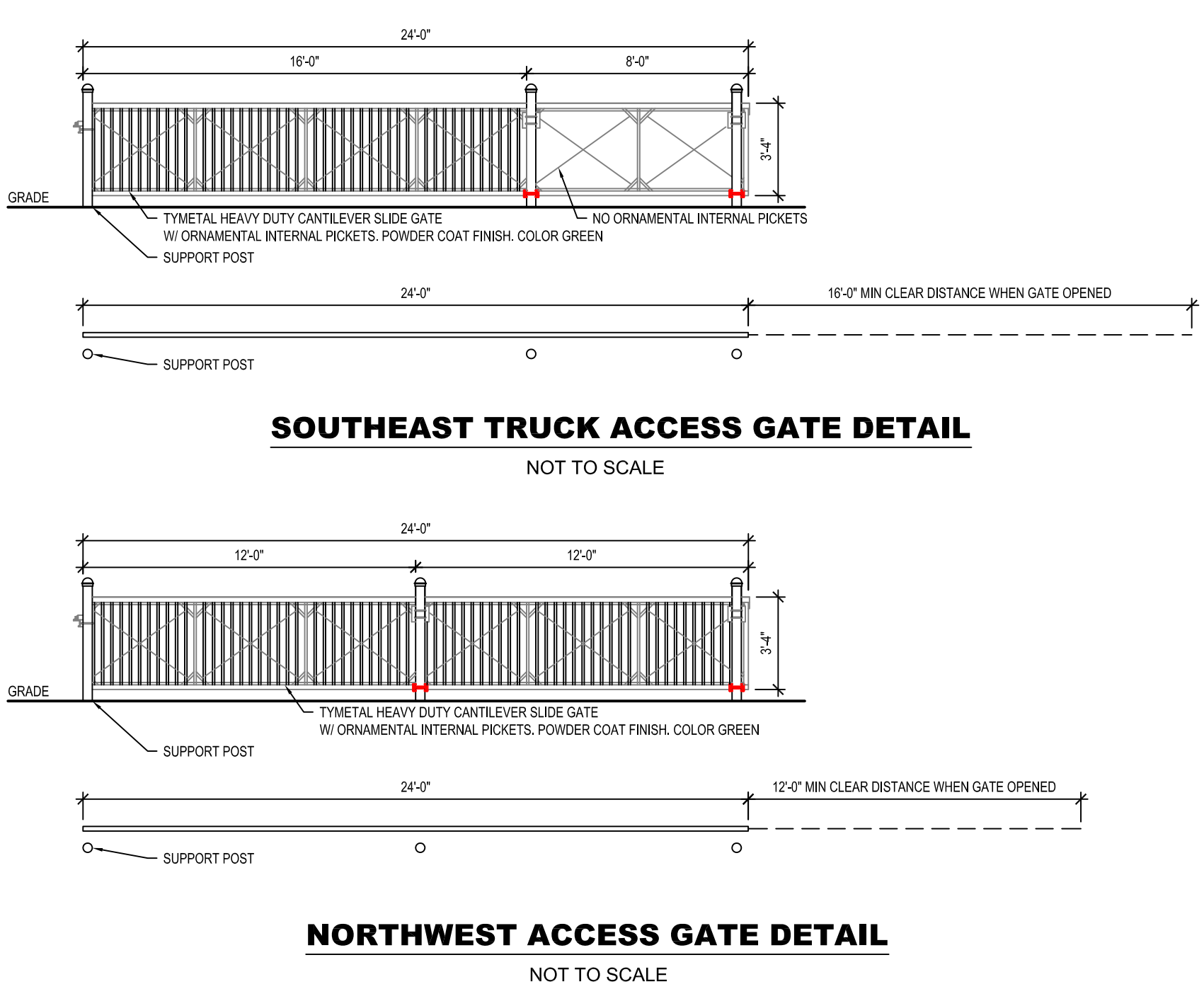
TOTAL REQUIRED BIKE PARKING = 10 PER SOMERVILLE PLANNING BOARD DECISION MAY 21, 1999
TOTAL EXISTING BIKE PARKING = 10
TOTAL PROPOSED BIKE PARKING = 10

LOADING SUMMARY

TOTAL REQUIRED LOADING BAYS = 3 FOR FIRST 50,001-90,000 S.F. + 1 FOR EACH ADDTL. 70,000 S.F. = 6
TOTAL EXISTING LOADING BAYS = 24
TOTAL PROPOSED LOADING BAYS = 8 (AFTER PHASE 2 IMPROVEMENTS)

BENCHMARK INFORMATION

CONTRACTOR TO COORDINATE BENCHMARK WITH LANDLORD/DEVELOPER SURVEYOR PRIOR TO STARTING CONSTRUCTION.



CIVIL ENGINEER:



63 Main Street, Suite 6
Bridgewater, MA 02324
508.659.0041

CLIENT:

CoreSite
55 SOUTH MARKET ST, SUITE 230
SAN JOSE, CA 95113
www.coresite.com



CONSULTANT:

SITE IMPROVEMENT NEW ENTRY ELEMENT

70 INNERBELT ROAD
SOMERVILLE, MA 02143

CLIENT: CoreSite

DESIGN
DELIVERABLE | CD'S:
PROJECT NUMBER | 10019
ISSUE DATE July 7, 2010

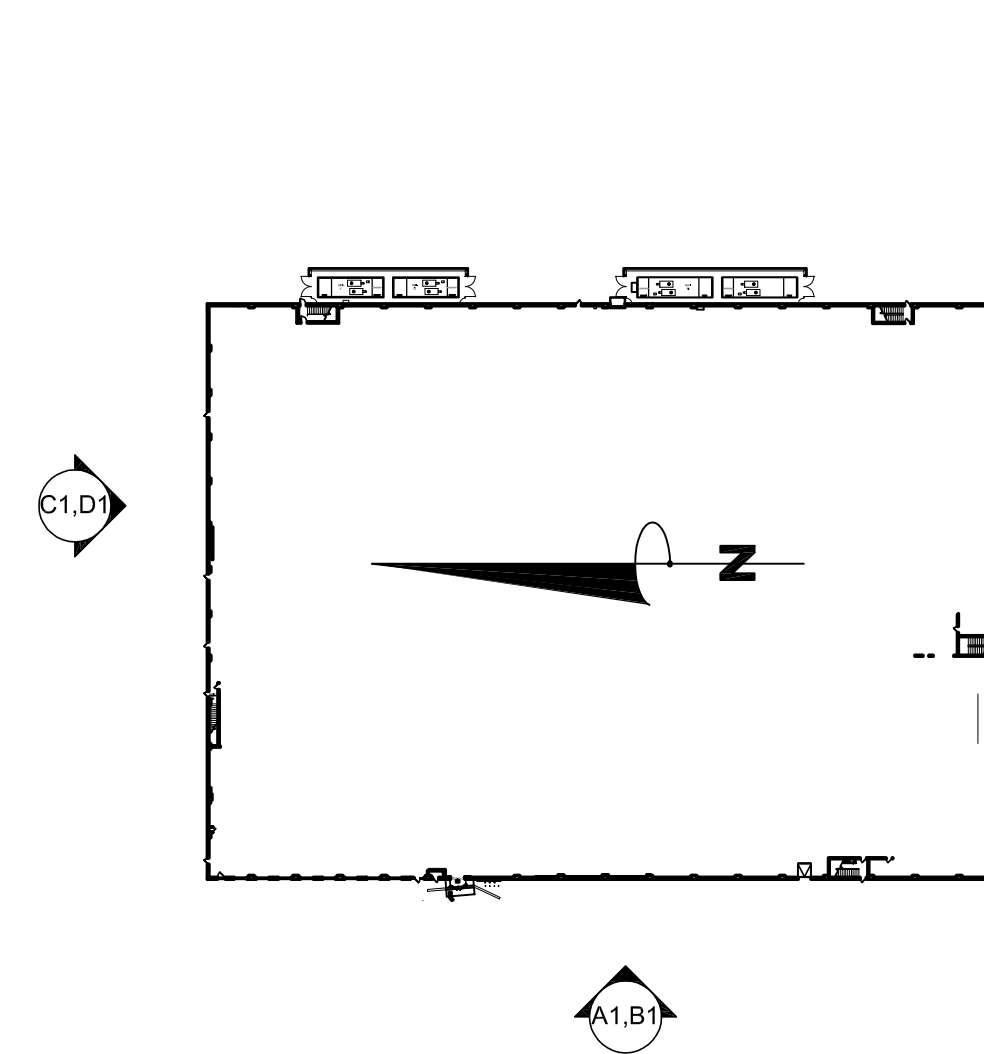
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SHEET TITLE:

SITE DEVELOPMENT

SHEET NUMBER:

C2



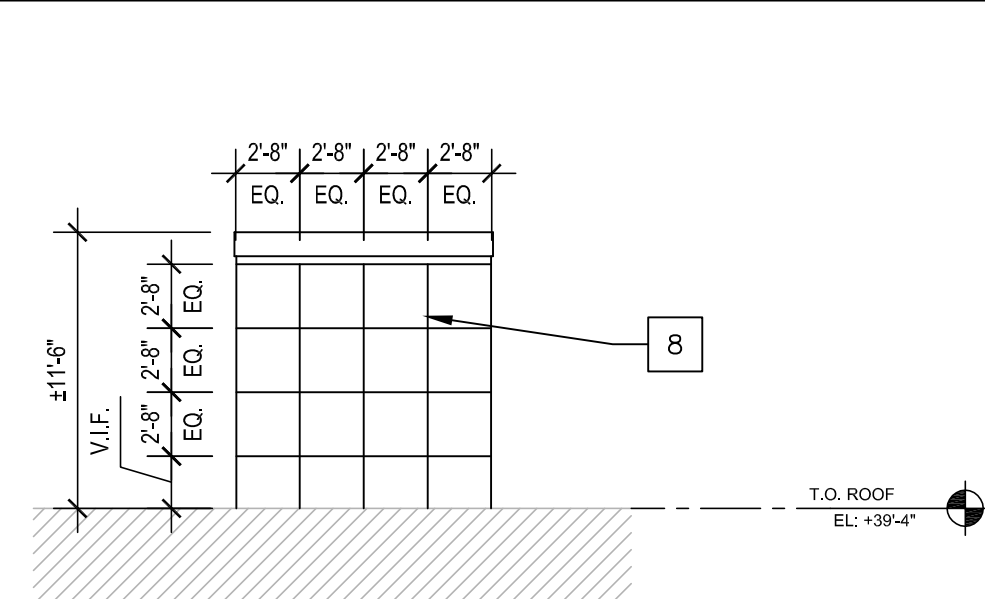
#	ELEVATION CONSTRUCTION KEYNOTES
1	CENTRA FORMWALL 2" INSULATED ALUMINUM METAL PANEL SYSTEM FINISH - STRIATED COLOR - MEDIUM GRAY METALLIC (SUNSHINE MICA) NOTE: PANEL SHAP DRAWINGS TO BE BY METAL PANEL MANUFACTURER. NOT METAL PANEL CONTRACTOR.
2	EXISTING WINDOW TO REMAIN
3A	NEW 1" INSULATED GLAZING IN "KAWNEER TRIFAB-4517 THERMALLY BROKEN ALUMINUM FRAME V.L.F. ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION
3B	NEW 1" INSULATED GLAZING IN "KAWNEER TRIFAB-450 NON-THERMALLY BROKEN ALUMINUM FRAME V.L.F. ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION
4	ALL EXISTING MASONRY OUTSIDE EXTENTS OF METAL PANEL TO BE PRIMED AND PAINTED PRIMER - NON-ALKALINE PAINT - METALLIC ELASTO COLOR - TO MATCH BENJAMIN MOORE COLOR 2721-AD
5	CENTRA ECOSCREEN PERFORATED ALUMINUM PANELS COLOR - FINISH - TO MATCH ANODIZED ALUMINUM PATTERN - HORIZONTAL OPEN STAGGERED BR556
6	6" W CLEAR ANODIZED ALUMINUM C-SHAPED CHANNEL BY CENTRA. SEE PLAN DETAILS
7	7" CLEAR ANODIZED ALUMINUM ANGLE
8	CENTRA FORMWALL HORIZONTAL PANELS TO MATCH EXISTING FIN WALL COLOR
9	EXTRUDED CLEAR ANODIZED ALUMINUM CAP BY CENTRA
10	RELOCATE ANTENNAE SUPPORT TO EAST SIDE OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE

#	ELEVATION CONSTRUCTION KEYNOTES <i>(continued)</i>
11	RELOCATE SECURITY LIGHT AND SUPPORT TO EAST WALL OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.
12	RELOCATE SECURITY CAMERA TO EAST WALL OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE CONFIRMED WITH OWNER.
13	PRIME AND PAINT EAST WALL EXPOSED MASONRY. SEE NOTE #4 FOR SPECIFICATION.
14	EXISTING STOREFRONT TO BE REPLACED.
15	EXISTING LOUVERS TO BE PRIMED AND PAINTED. TYPICAL FOR ALL LOUVERS.
16	EXISTING DOOR TO BE PRIMED AND PAINTED. TYPICAL FOR ALL O.H. DOORS.
17	EXISTING LOUVER TO BE EXTENDED OUT. REMOVE EXISTING LOUVER, MTL. PANEL MANUFACTURER TO PROVIDE NEW LOUVER AND FRAME IN WFL PANEL. DUCT & ENCLOSURE BACK TO ORIGINAL LOUVER LOCATION, AND CONNECTION TO ORIGINAL DUCT PER MANUFACTURERS STANDARDS. COLOR OF NEW LOUVER TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS AND APPROVED BY ARCHITECT/OWNER. SEE 844701 FOR DETAILS.

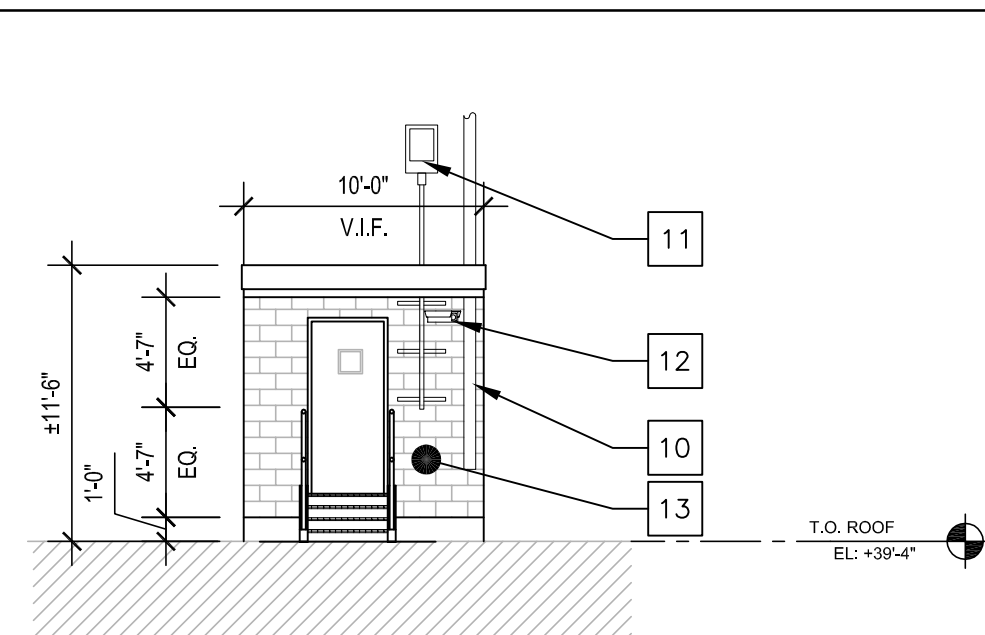
SHEET NOTES/ KEY PLAN
NTS



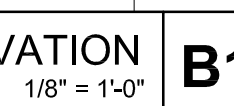
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STAIR PENTHOUSE WEST ELEVATION



STAIR PENTHOUSE EAST ELEVATION
1/8" = 1'-0" **B4**

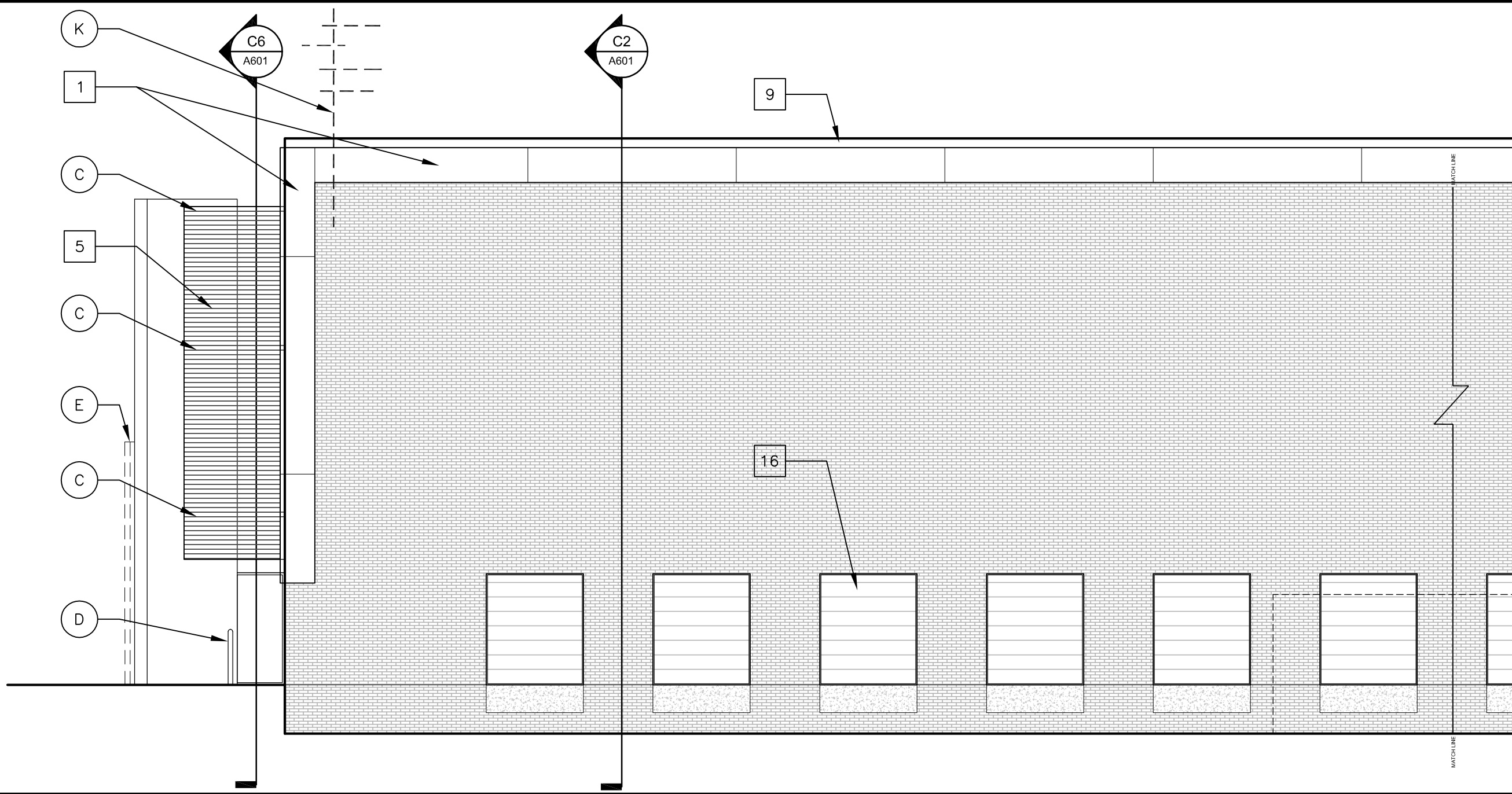


	B1
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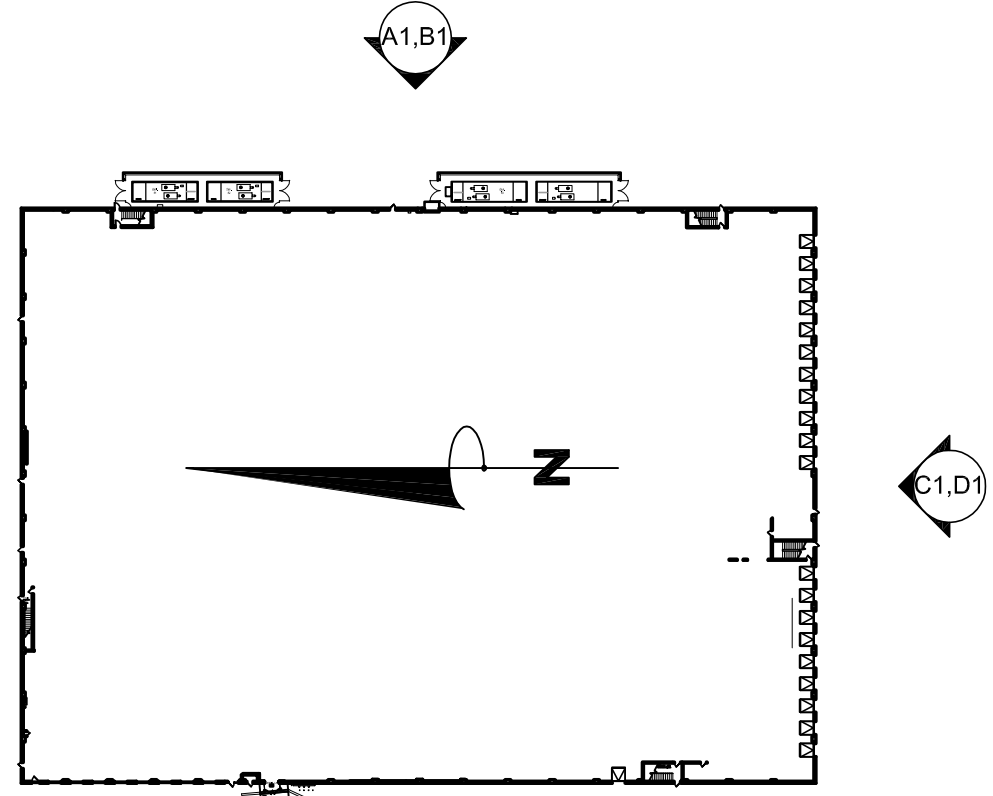


A1	
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PARTIAL SOUTH ELEVATION
1/8"=1'-0" C1

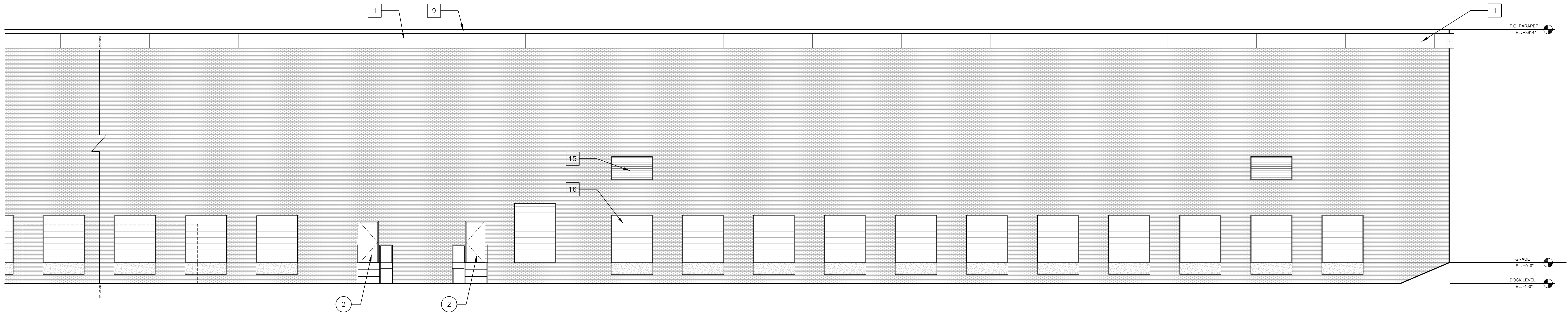


#	ELEVATION DEMOLITION KEYNOTES:
	NOTE: REMOVE ALL EXTERIOR WALL MOUNTED LIGHT AND SECURITY FIXTURES WITHIN EXTENTS OF NEW FACADE PANELS. REPAIR AND RETAIN WIRING FOR INSTALLATION OF NEW FIXTURES.
	NOTE: REMOVE ALL EXTERIOR WALL MOUNTED EMERGENCY FIXTURES/STROBES/AUDIO DEVICES THAT FALL WITHIN EXTENTS OF NEW FACADE PANELS. REPAIR AND REINSTALL ON NEW FACADE.
	REMOVE ALL EXISTING LOUVER; REPAIR, PRIME, PREP, PAINT AND REINSTALL.
A	CLEAN AND PREP EXISTING MASONRY FOR NEW PAINT WITHIN EXTENTS INDICATED ON DRAWINGS
B	PREP AND PRIME HM DOOR AND FRAME FOR NEW PAINT
C	PREP AND PRIME EXISTING FIN WALL STRUCTURAL MEMBERS FOR NEW PAINT
D	PREP, PRIME AND REPAINT SECURITY BOLLARDS
E	REMOVE EXISTING BLUE FIN WALL IN ITS ENTIRETY; PATCH AND REPAIR CONCRETE.
F	EXISTING STAIR AND RAILINGS TO BE REMOVED IN THEIR ENTIRETY; PATCH AND REPAIR CONCRETE AS REQ'D
G	REMOVE CONDUIT FROM EXISTING FACADE AND RE-ROUTE BELOW EXTENTS OF NEW METAL PANEL.
H	INFILL EXISTING LOADING DOCK, N.I.C.
J	CANOPY ANGLE PORTION TO BE REMOVED; EXISTING STRUCTURE TO REMAIN FOR CANOPY EXTENSION TO ATTACH TO.
K	EXISTING ANTENNAE TO BE RELOCATED.

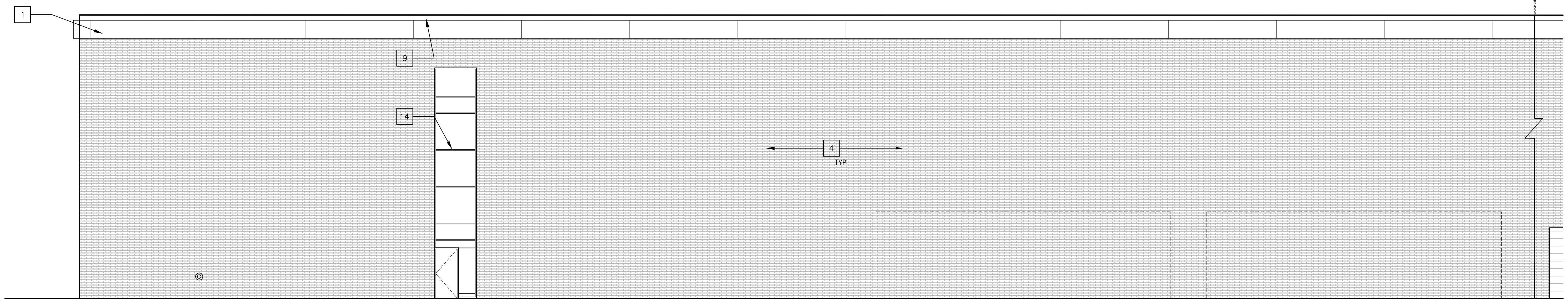
#	ELEVATION CONSTRUCTION KEYNOTES
1	CENTRIA FORMAWALL 2" INSULATED ALUMINUM METAL PANEL SYSTEM FINISH - STRIATED COLOR - MEDIUM GRAY METALLIC (SUNDANCE MICA) NOTE: PANEL SHOP DRAWINGS TO BE BY METAL PANEL MANUFACTURER, NOT METAL PANEL CONTRACTOR.
2	EXISTING WINDOW TO REMAIN
3A	NEW 1" INSULATED GLAZING IN *KAWNEER TRIFAB 451T THERMALLY BROKEN ALUMINUM FRAME: V.I.F. ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION
3B	NEW 1" INSULATED GLAZING IN *KAWNEER TRIFAB 450 NON-THERMALLY BROKEN ALUMINUM FRAME: V.I.F. ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION
4	ALL EXISTING MASONRY OUTSIDE EXTENTS OF METAL PANEL TO BE PRIMED AND PAINTED PRIMER - NON ALKALINE PAINT - METALUX ELASTO COLOR - TO MATCH BENJAMIN MOORE COLOR 2721-10
5	CENTRIA ECOSCREEN PERFORATED ALUMINUM PANELS COLOR/ FINISH - TO MATCH ANODIZED ALUMINUM PATTERN - HORIZONTAL OPEN STAGGERED BR35-6
6	6" W CLEAR ANODIZED ALUMINUM C-SHAPED CHANNEL BY CENTRIA; SEE PLAN DETAILS.
7	8" CLEAR ANODIZED ALUMINUM ANGLE
8	CENTRIA FORMAWALL HORIZONTAL PANELS TO MATCH EXISTING FIN WALL COLOR
9	EXTRUDED CLEAR ANODIZED ALUMINUM CAP BY CENTRIA
10	RELOCATE ANTENNAE SUPPORT TO EAST SIDE OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.

#	ELEVATION CONSTRUCTION KEYNOTES (continued)
11	RELOCATE SECURITY LIGHT AND SUPPORT TO EAST WALL OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.
12	RELOCATE SECURITY CAMERA TO EAST WALL OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.
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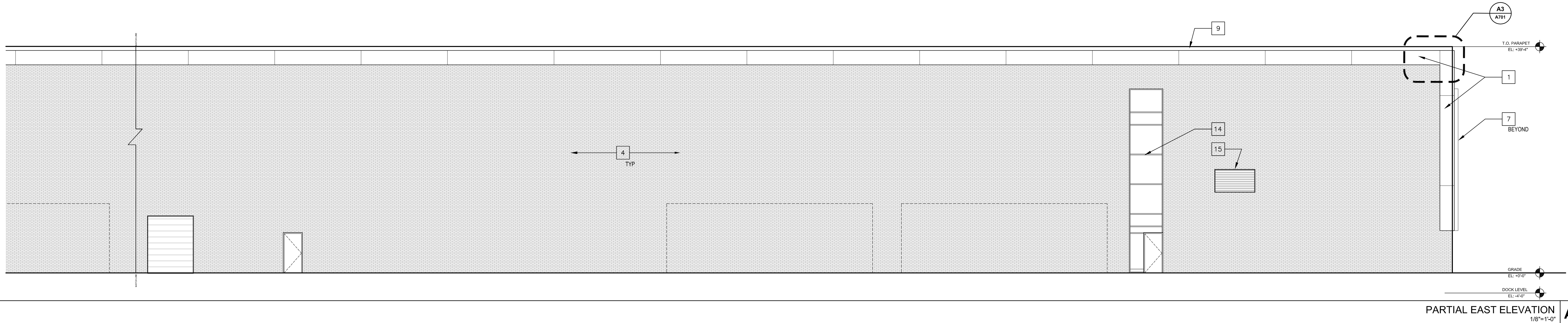
SHEET NOTES/ KEY PLAN
NTS



PARTIAL SOUTH ELEVATION
1/8"=1'-0" C1



PARTIAL EAST ELEVATION
1/8"=1'-0" B1



PARTIAL EAST ELEVATION
1/8"=1'-0" A1

CLIENT:

D

CONSULTANT:

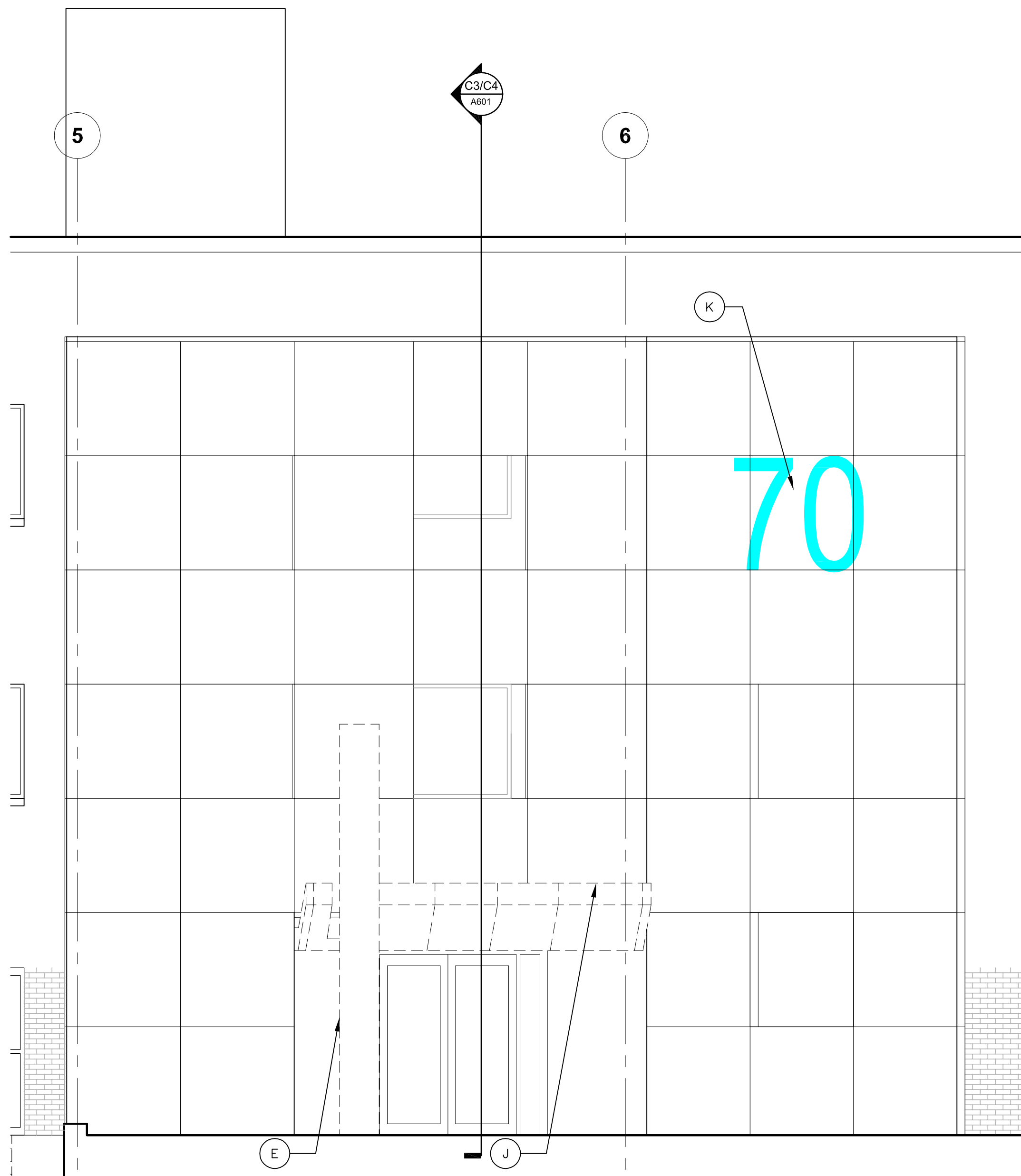
SCALE

REV	DATE	DESCRIPTION
2	08.15.11	REVISED ISSUE FOR PERMIT
1	08.08.11	ISSUE FOR PERMIT

DESIGN
DELIVERABLE: ISSUE FOR PERMIT
ISSUE DATE: 08.08.11

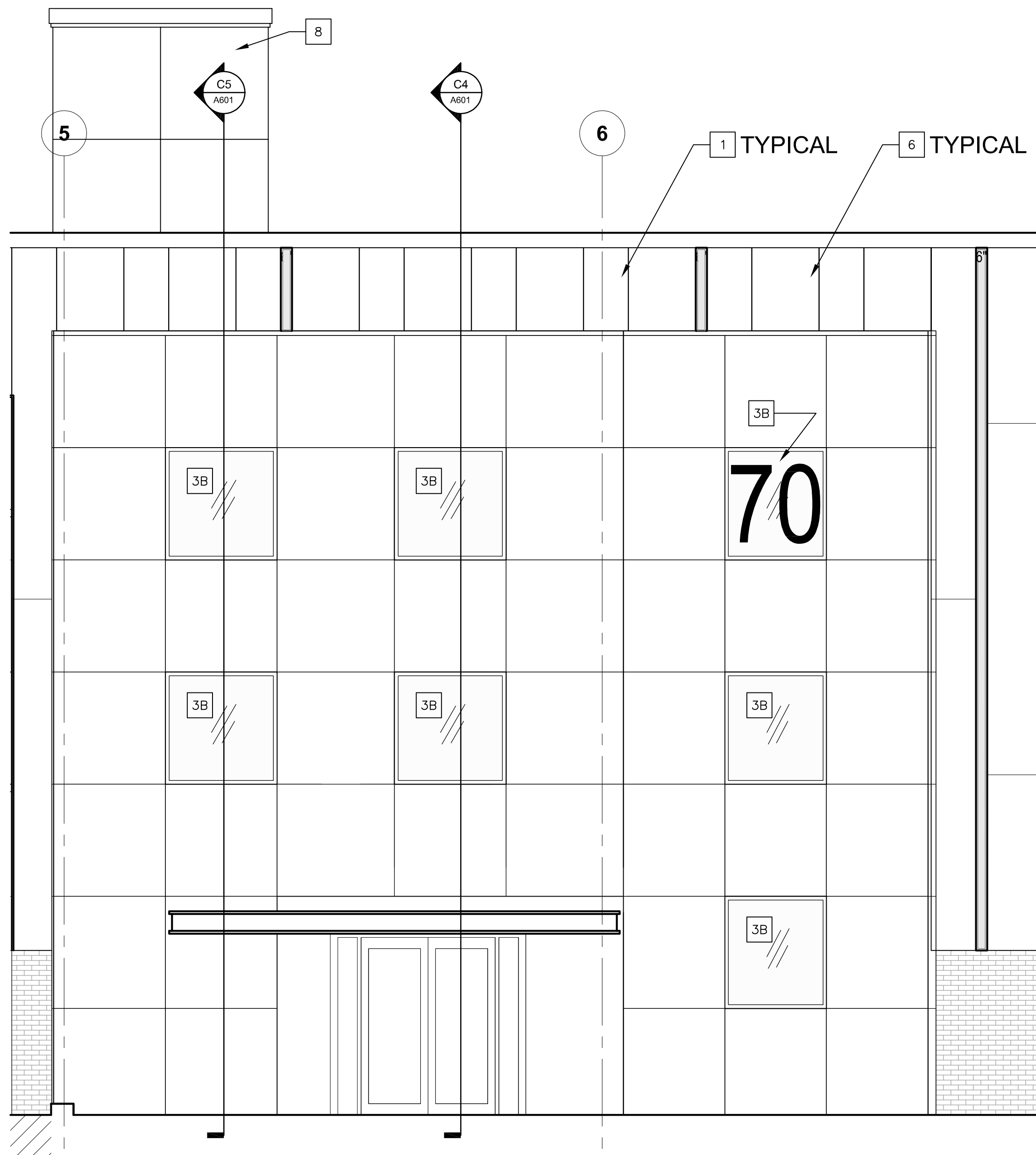
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DRAWN BY: DVS
CHECKED BY: WW
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SHEET TITLE:
EXTERIOR
ELEVATIONS



CANOPY ELEVATION (EXISTING/ DEMO)
1/4" = 1'-0"

C3

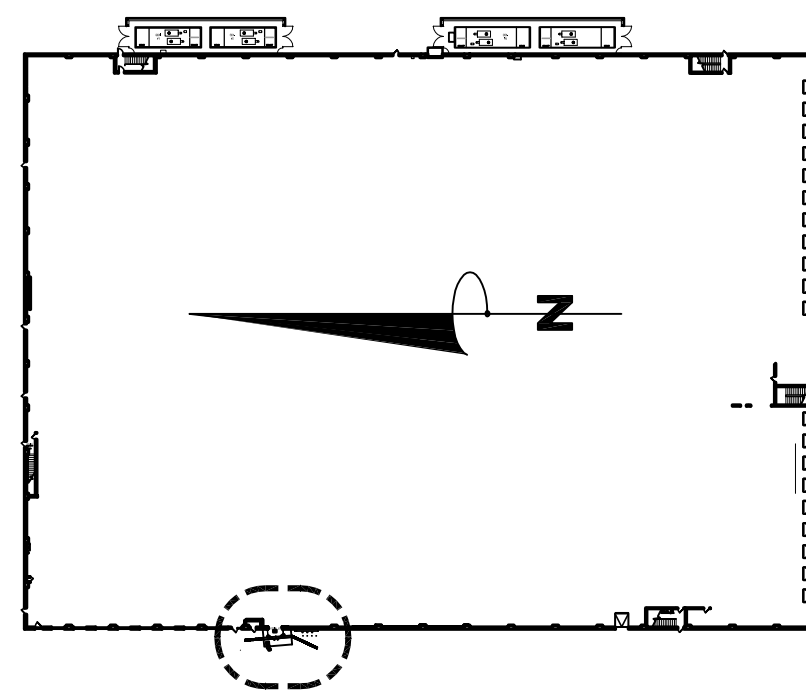


NEW CANOPY ELEVATION
1/4" = 1'-0"

C2

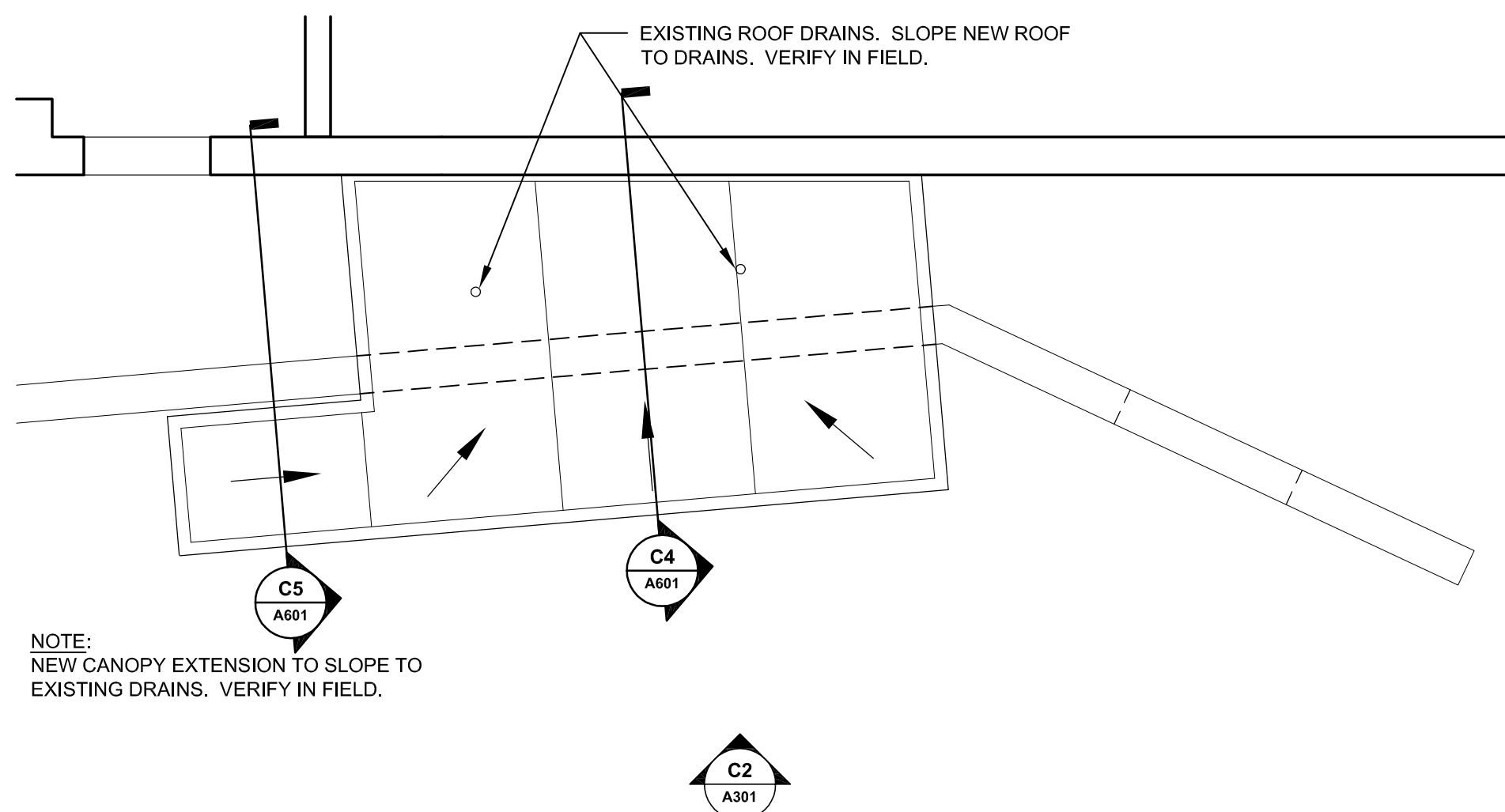
#	ELEVATION DEMOLITION KEYNOTES:
	NOTE: REMOVE ALL EXTERIOR WALL MOUNTED LIGHT AND SECURITY FIXTURES WITHIN EXTENTS OF NEW FACADE PANELS; REPAIR AND RETAIN WIRING FOR INSTALLATION OF NEW FIXTURES.
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E	REMOVE EXISTING BLUE FIN WALL IN ITS ENTIRETY; PATCH AND REPAIR CONCRETE.
F	EXISTING STAIR AND RAILINGS TO BE REMOVED IN THEIR ENTIRETY; PATCH AND REPAIR CONCRETE AS REQ'D
G	REMOVE CONDUIT FROM EXISTING FACADE AND RE-ROUTE BELOW EXTENTS OF NEW METAL PANEL
H	INFILL EXISTING LOADING DOCK. N.I.C.
J	CANOPY ANGLE PORTION TO BE REMOVED; EXISTING STRUCTURE TO REMAIN FOR CANOPY EXTENSION TO ATTACH TO.
K	REMOVE PANEL AND REPLACE WITH WINDOW. NEW '70' TO BE WITHIN WINDOW EXTENTS.
L	REMOVE EXISTING CAN LIGHT FIXTURES (2)

#	ELEVATION CONSTRUCTION KEYNOTES
1	CENTRIA FORMAWALL 2" INSULATED ALUMINUM METAL PANEL SYSTEM FINISH - STRIATED COLOR - MEDIUM GRAY METALLIC (SUNDANCE MICA)
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5	CENTRIA ECOSCREEN PERFORATED ALUMINUM PANELS COLOR / FINISH - TO MATCH ANODIZED ALUMINUM PATTERN - HORIZONTAL OPEN STAGGERED BR35-G
6	6" W CLEAR ANODIZED ALUMINUM C-SHAPED CHANNEL BY CENTRIA; SEE PLAN DETAILS
7	1" CLEAR ANODIZED ALUMINUM ANGLE
8	CENTRIA FORMAWALL HORIZONTAL PANELS TO MATCH EXISTING FIN WALL COLOR
9	EXTRUDED CLEAR ANODIZED ALUMINUM CAP BY CENTRIA
10	RELOCATE ANTENNAE SUPPORT TO EAST SIDE OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.
11	RELOCATE SECURITY LIGHT AND SUPPORT TO EAST WALL OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.
12	RELOCATE SECURITY CAMERA TO EAST WALL OF STAIR TOWER PENTHOUSE. FINAL LOCATION TO BE COORDINATED WITH OWNER.
13	PRIME AND PAINT EAST WALL EXPOSED MASONRY. SEE NOTE #4 FOR SPECIFICATION.
14	EXISTING STOREFRONT TO BE REPLACED.



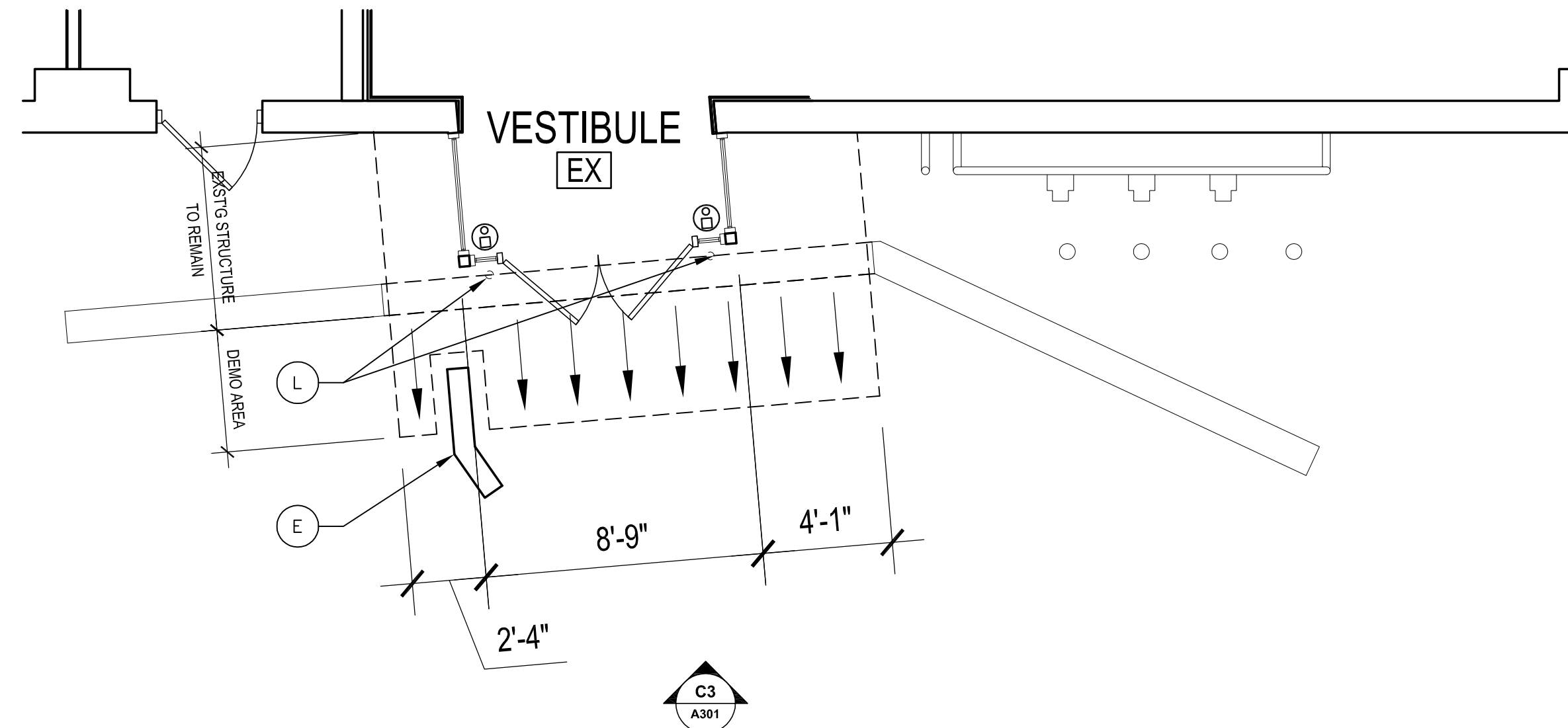
KEY PLAN
NTS

C1



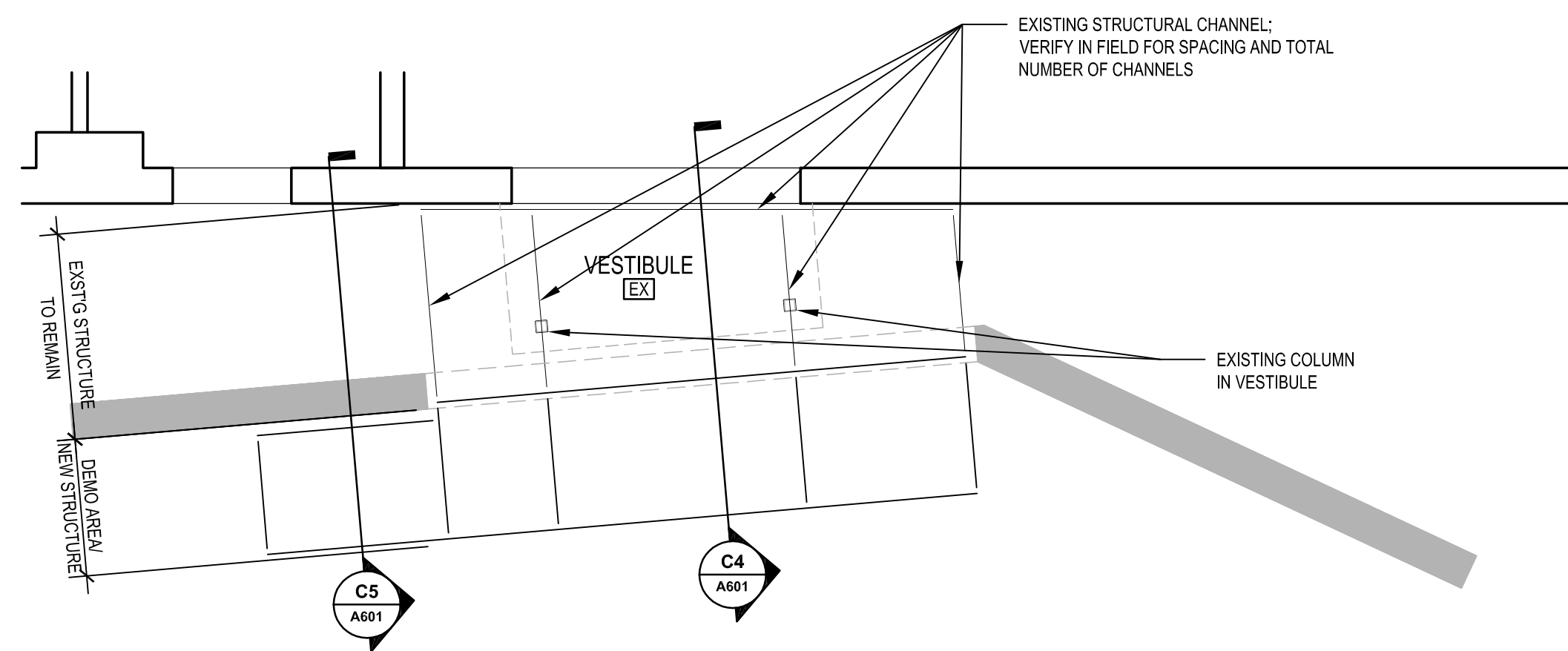
NEW CANOPY ROOF PLAN
1/4" = 1'-0"

B3



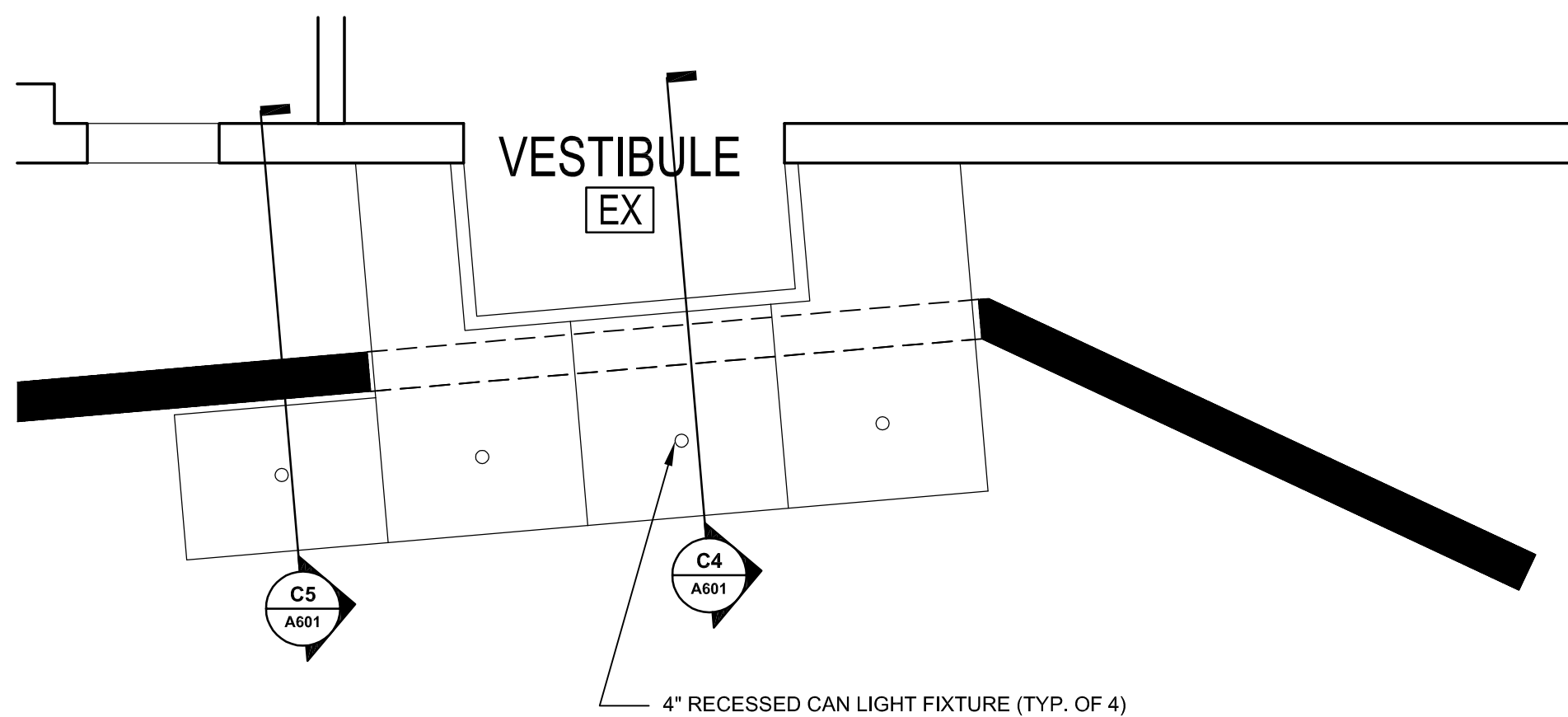
ENTRY VESTIBULE PLAN (EXISTING/ DEMO)
1/4" = 1'-0"

B1



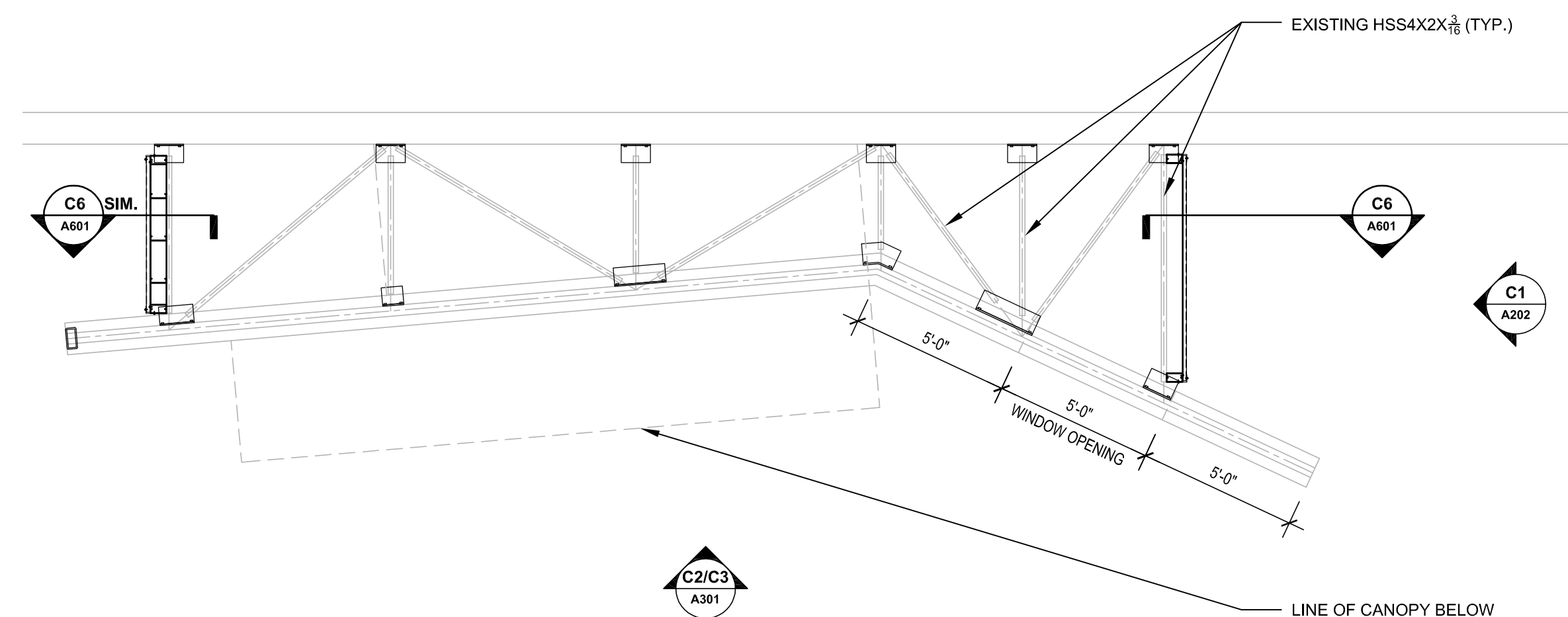
CANOPY FRAMING PLAN
1/4" = 1'-0"

A4



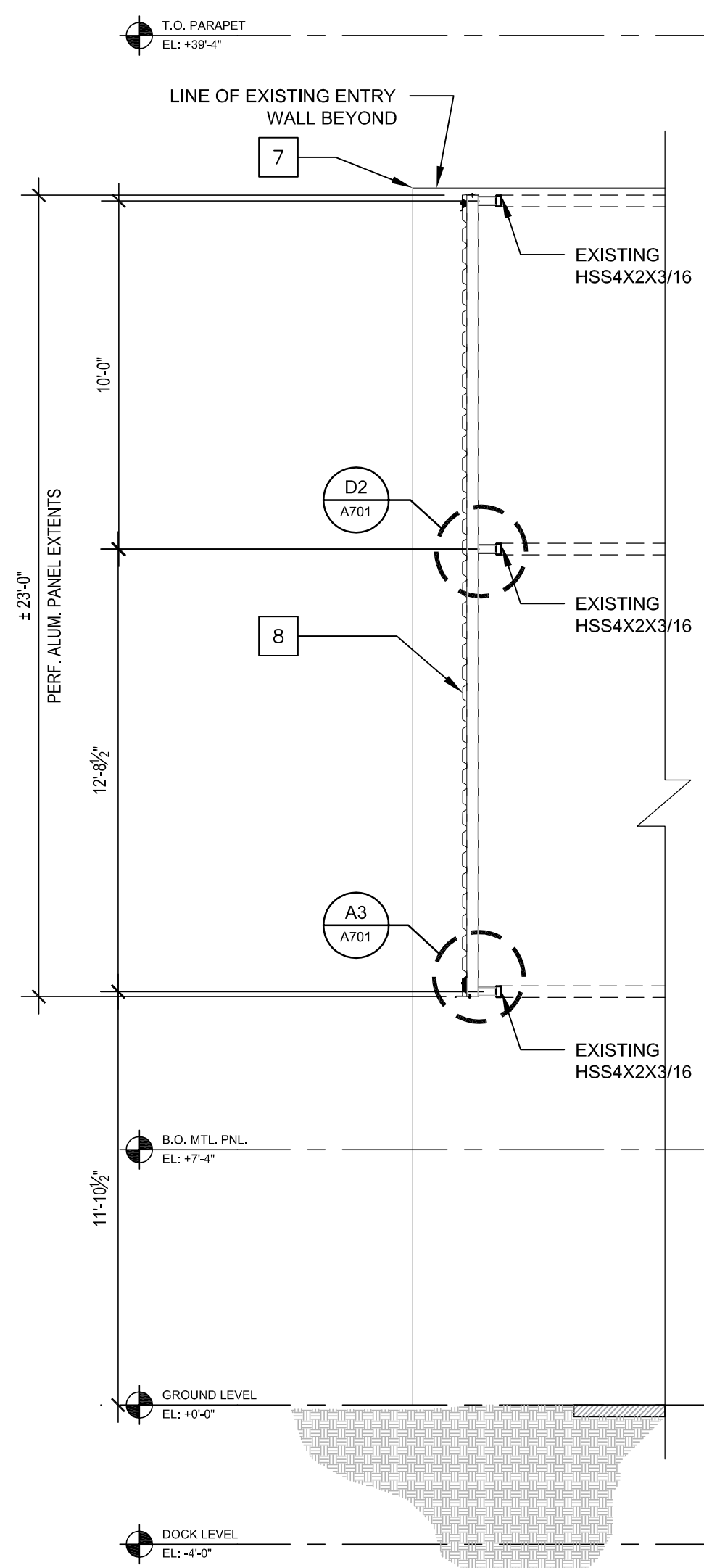
NEW CANOPY REFLECTED CEILING PLAN
1/4" = 1'-0"

A3

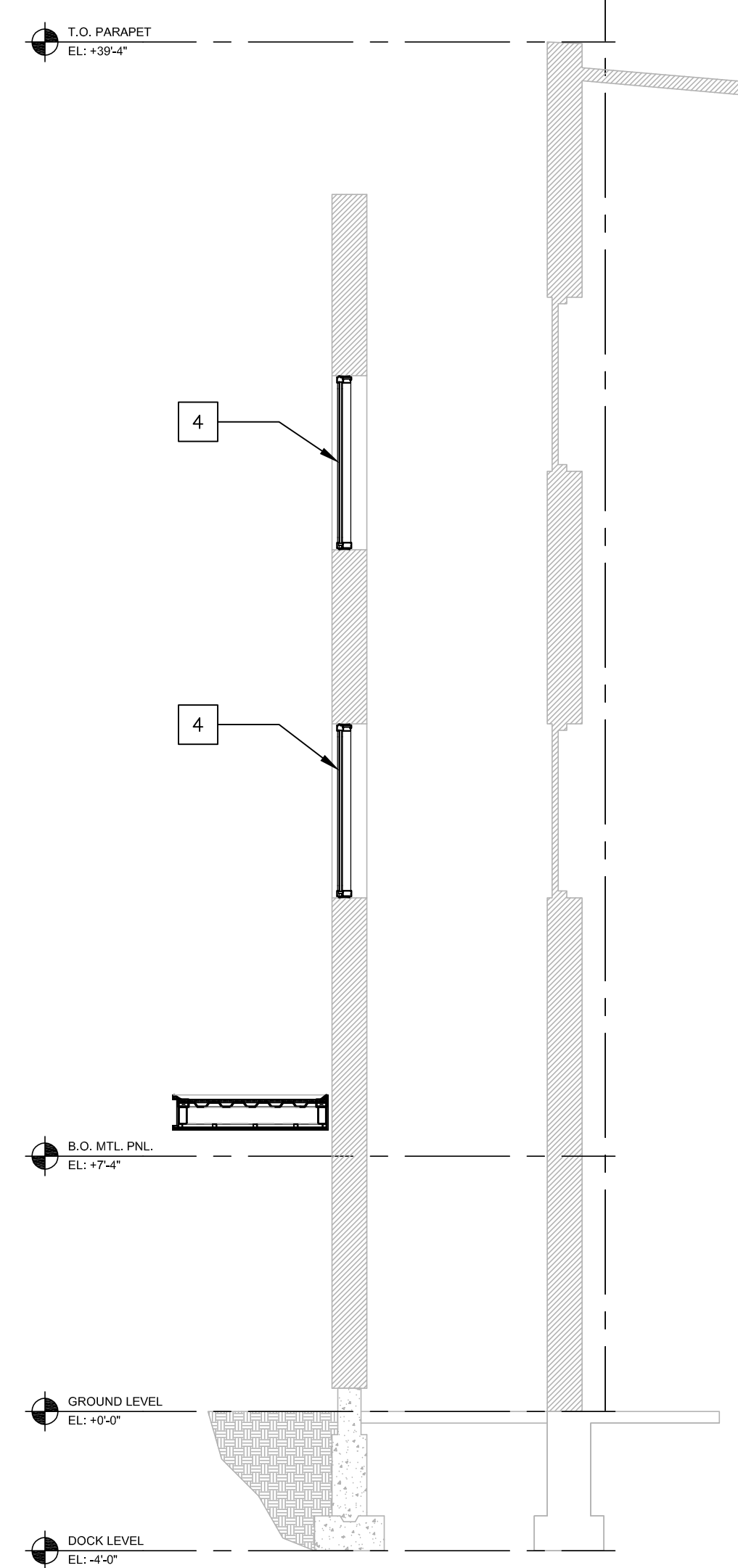


ENTRY VESTIBULE PLAN (UPPER)
1/4" = 1'-0"

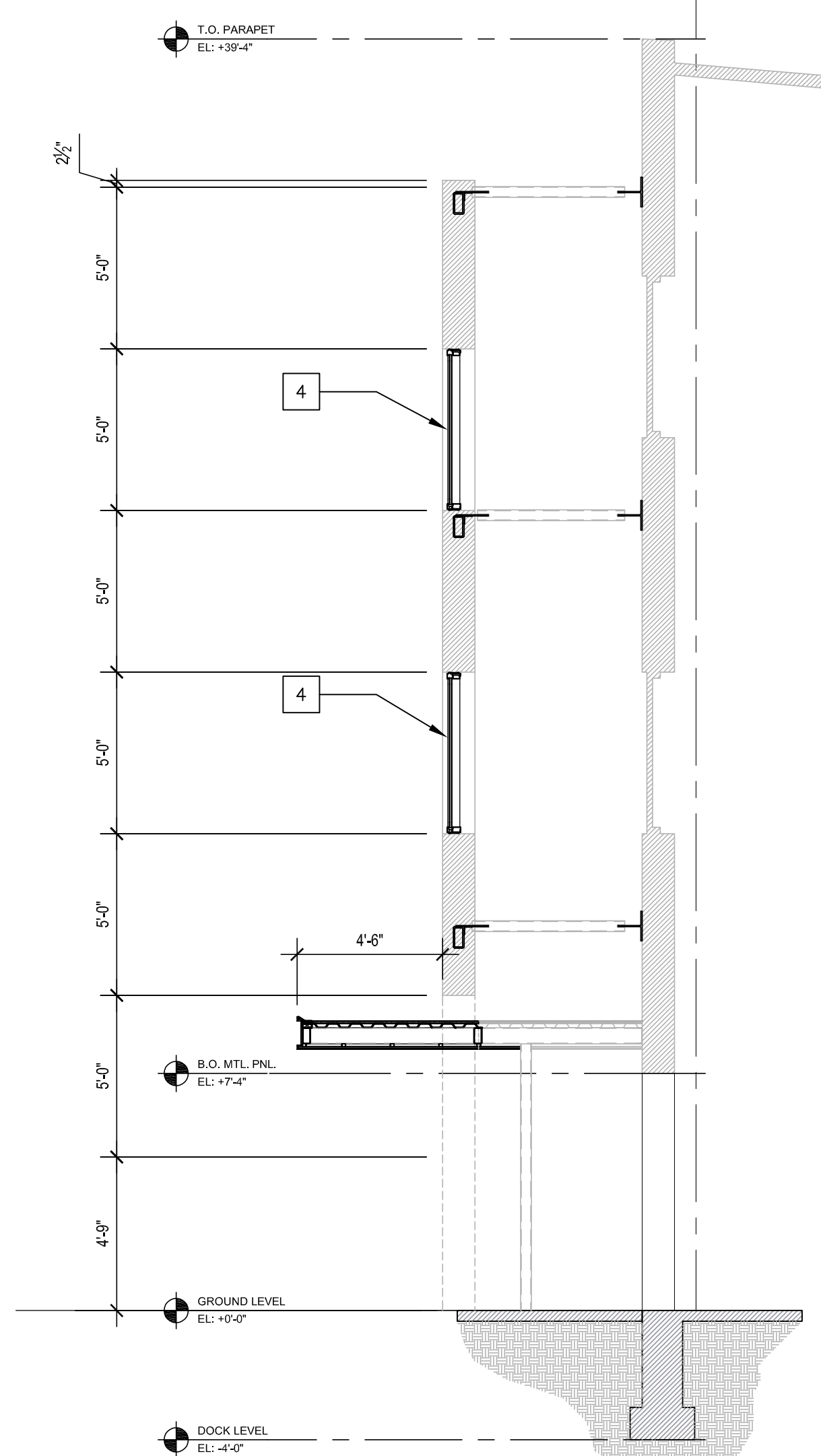
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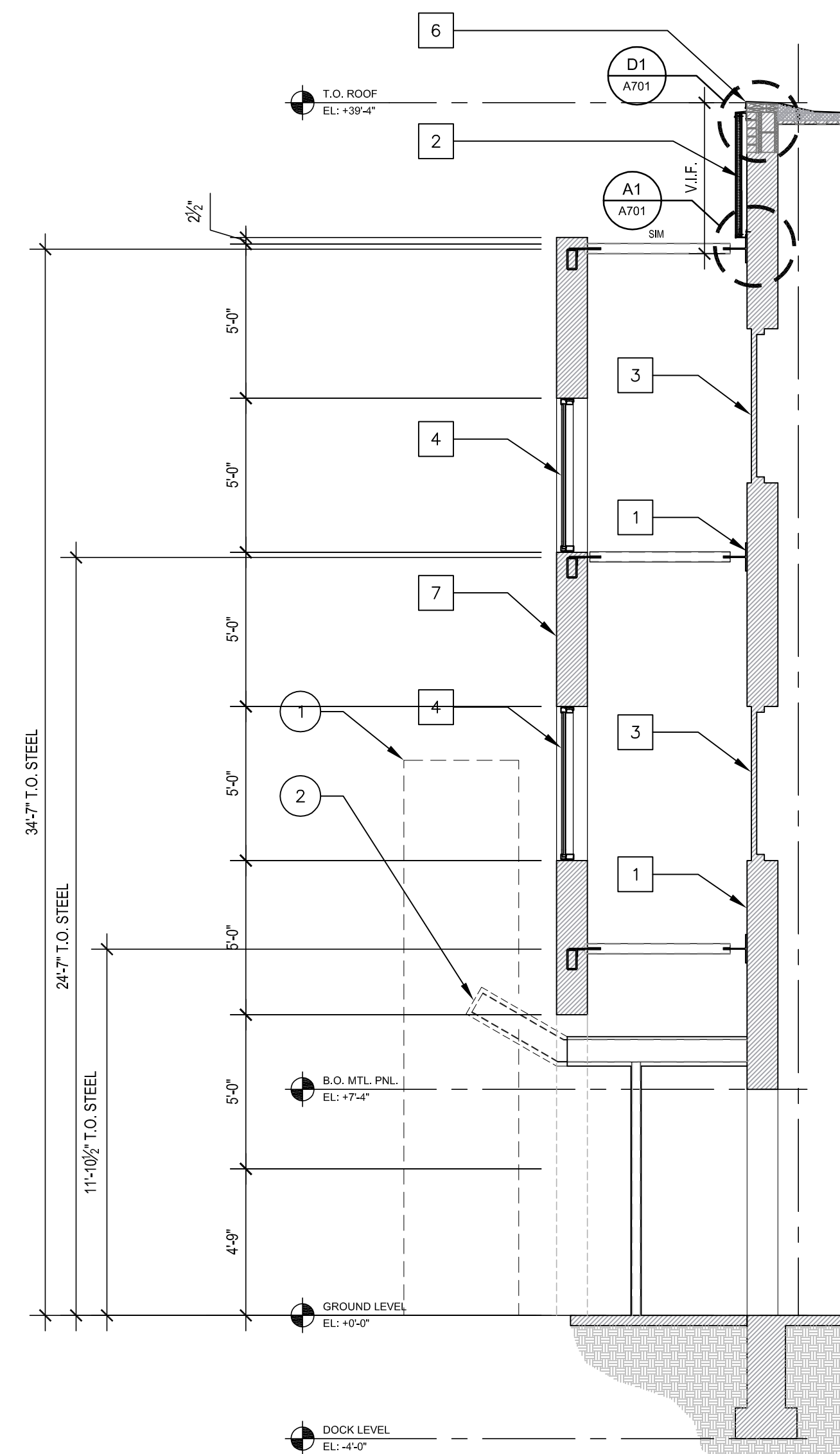
WALL SECTION 1/4"=1'-0"	C6
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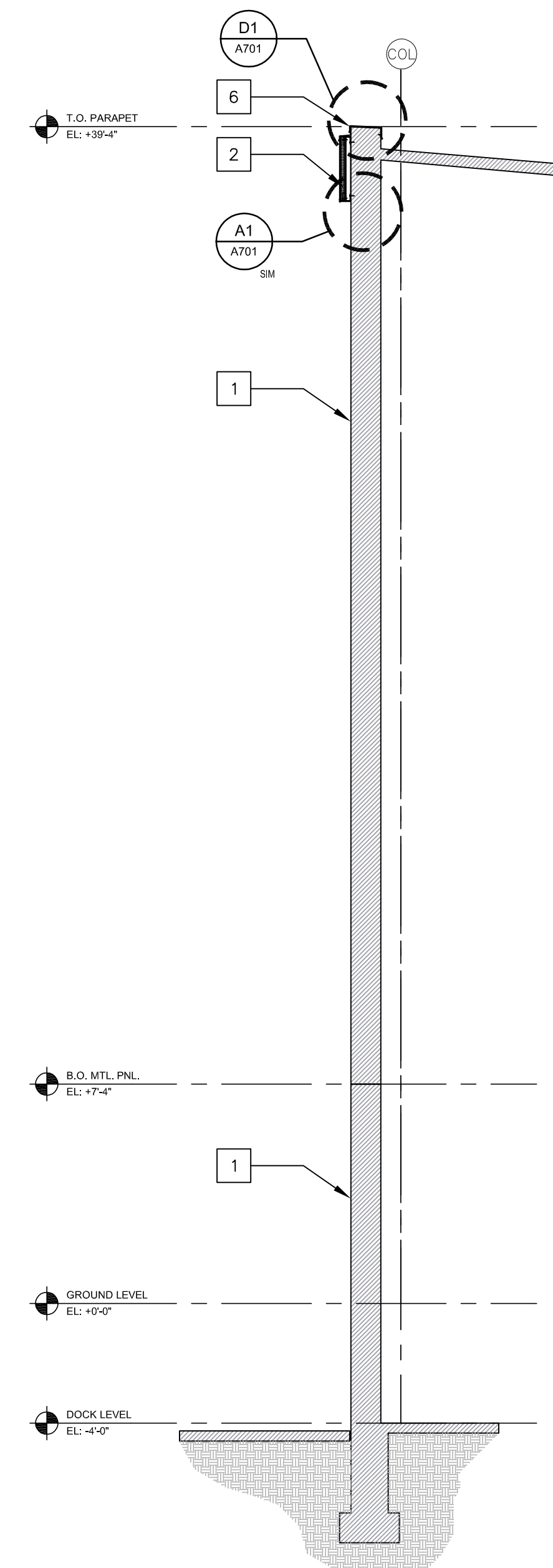
WALL SECTION 1/4"=1'-0"	C5
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WALL SECTION 1/4"=1'-0"	C4
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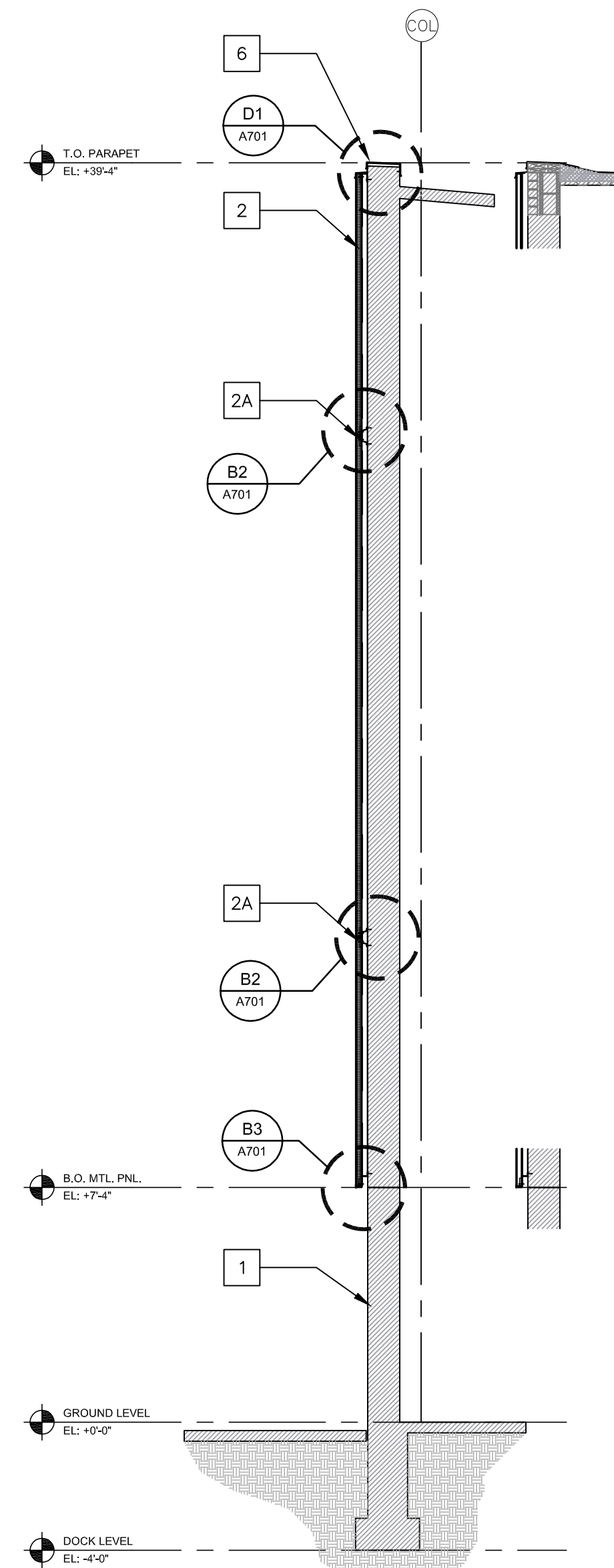
WALL SECTION 1/4"=1'-0"	C3
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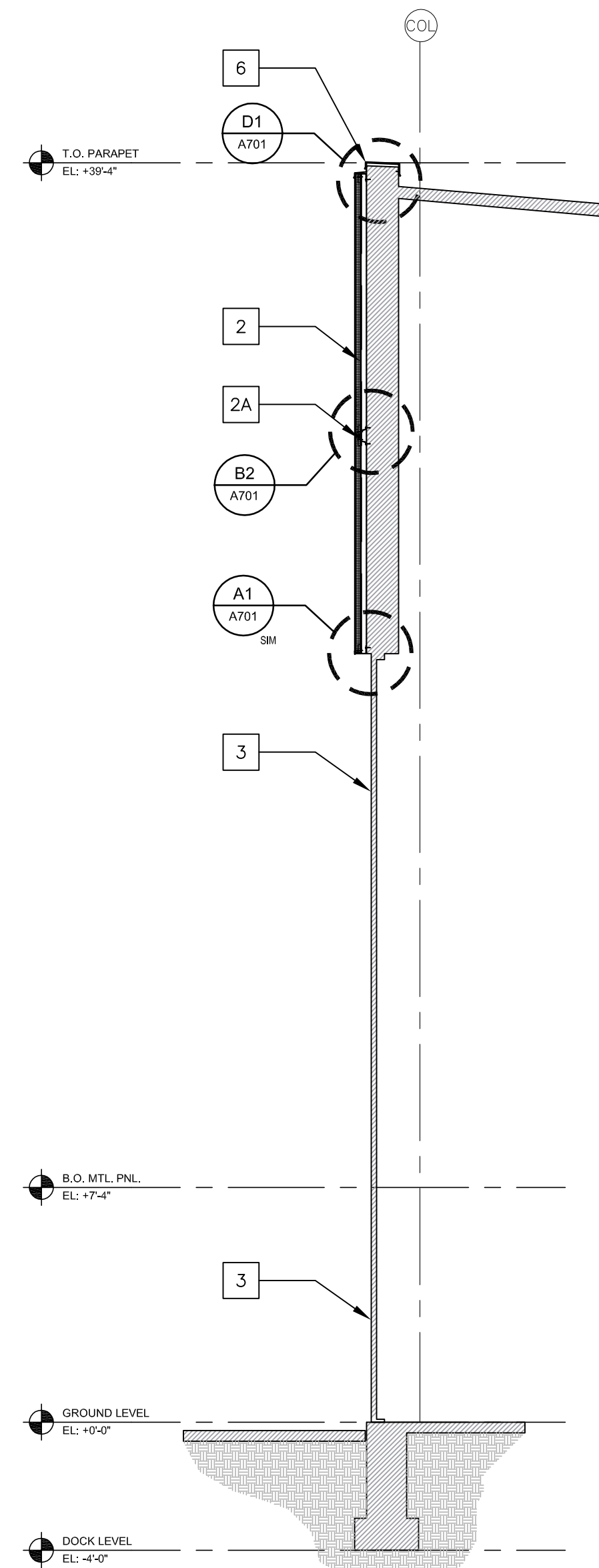
WALL SECTION 1/4"=1'-0"	C2
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#	DEMOLITION KEYNOTES:
1	REMOVE EXISTING BLUE METAL FIN WALL IN ITS ENTIRETY
2	CANOPY ANGLE PORTION TO BE REMOVED; EXISTING STRUCTURE TO REMAIN FOR CANOPY EXTENSION TO ATTACH TO.

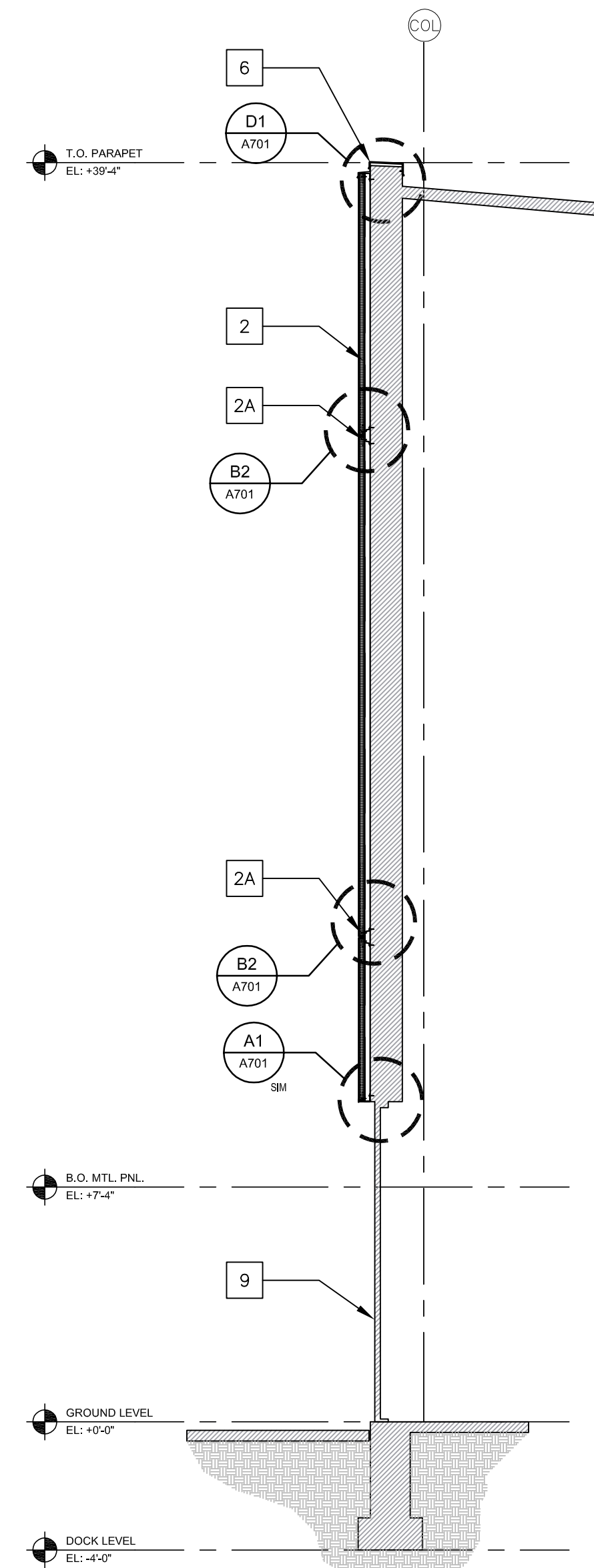
#	SHEET KEYNOTES:
1	EXISTING MASONRY WALL TO REMAIN; SEE A201 FOR FINISH
2	INSULATED METAL PANEL SYSTEM; SEE A201 FOR SPECIFICATION AND REVEAL LOCATIONS
2A	METAL PANEL REVEAL; SEE DETAILS
3	EXISTING GLAZING SYSTEM TO REMAIN
4	NEW ALUM. STOREFRONT GLAZING WITH 1" LG.U.; SEE A201 FOR SPEC.
5	ALUMINUM ANGLE TRIM; SEE SECTION DETAILS SHEET A701
6	NEW PARAPET COPING TO REPLACE EXISTING; SEE SECTION DETAIL SHEET A701
7	EXISTING METAL PANEL FIN WALL TO REMAIN
8	PERFORATED ALUMINUM SCREENWALL PANELS; SEE A201 FOR SPEC.
9	EXISTING OVERHEAD DOOR TO REMAIN; PREP SURFACES FOR REPAINTING
10	INFILL EXISTING LOADING DOCK. N.I.C.



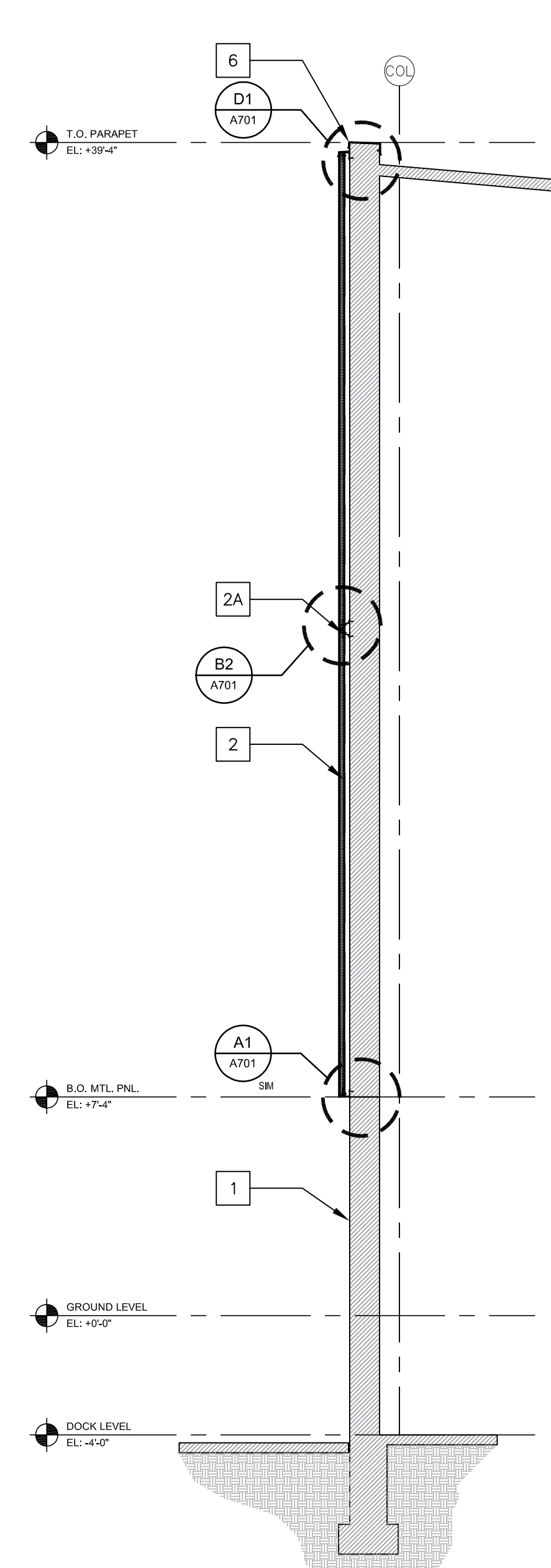
WALL SECTION
1/4"=1'-0"



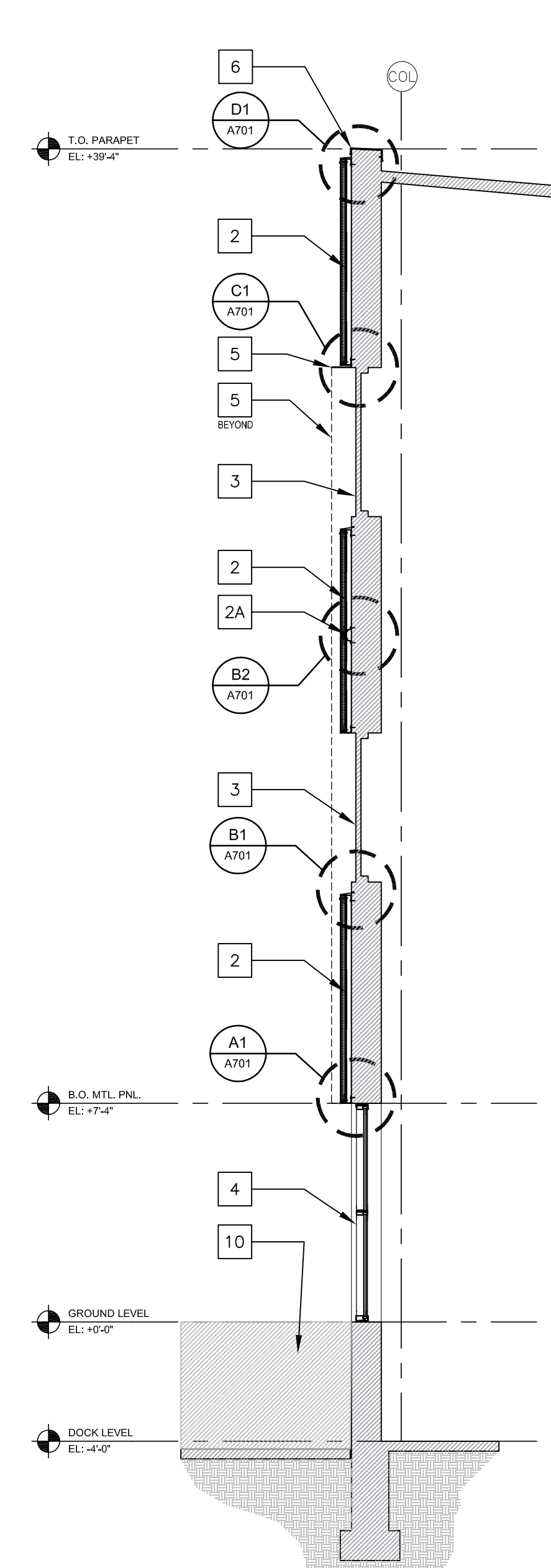
WALL SECTION
1/4"=1'-0"



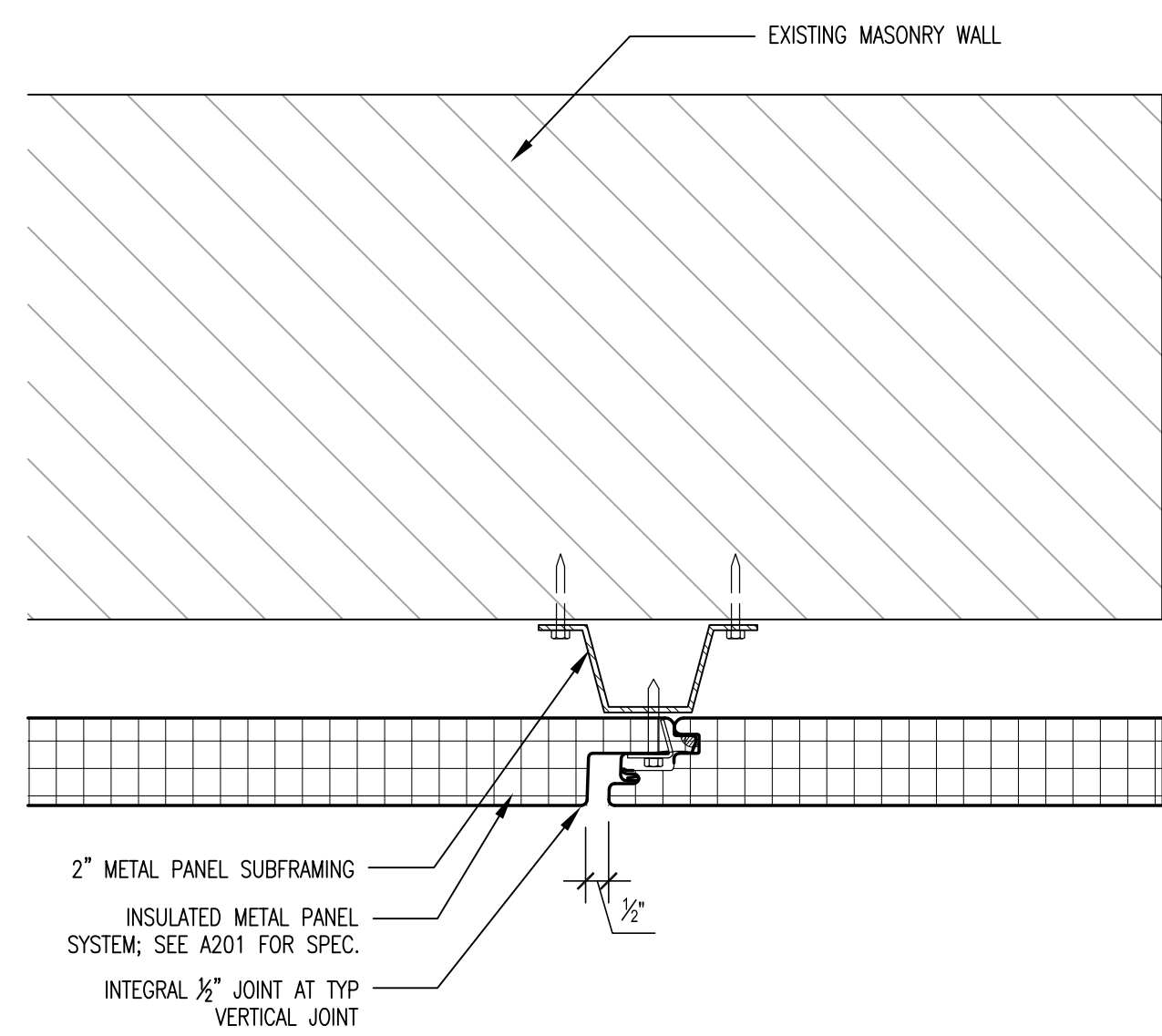
WALL SECTION
1/4"=1'-0"



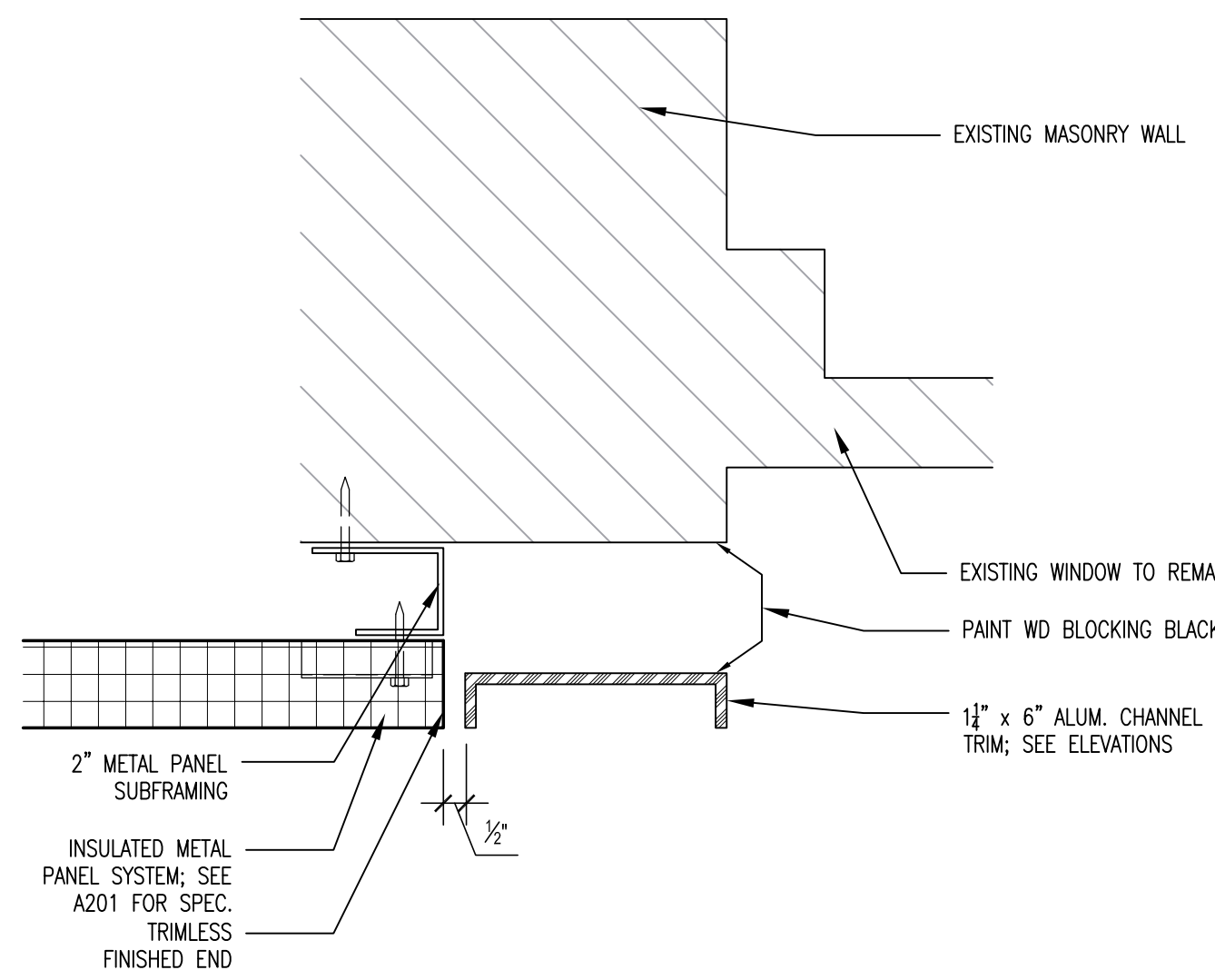
WALL SECTION	A2
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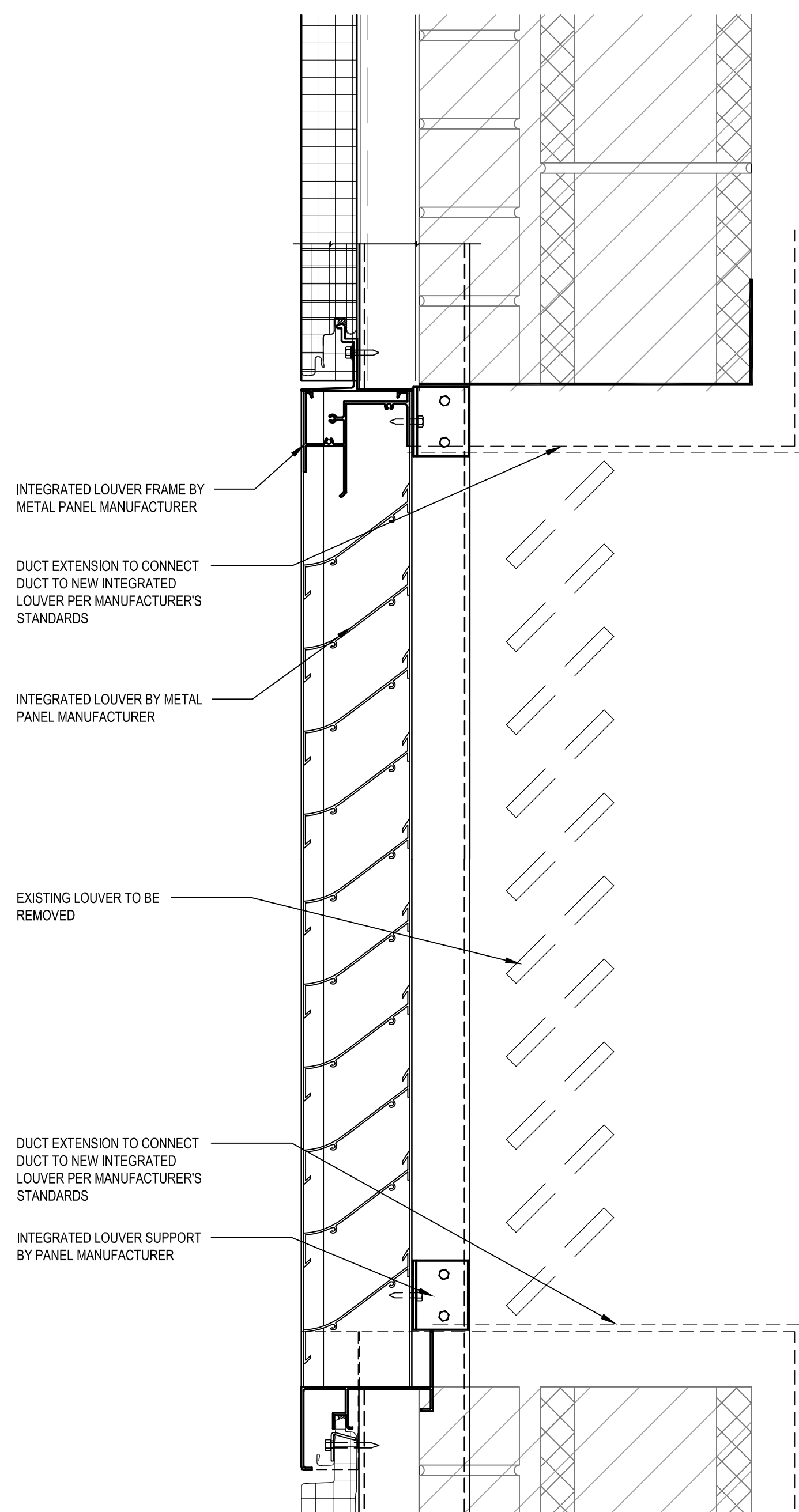
WALL SECTION
1/4"=1'-0" **A-**



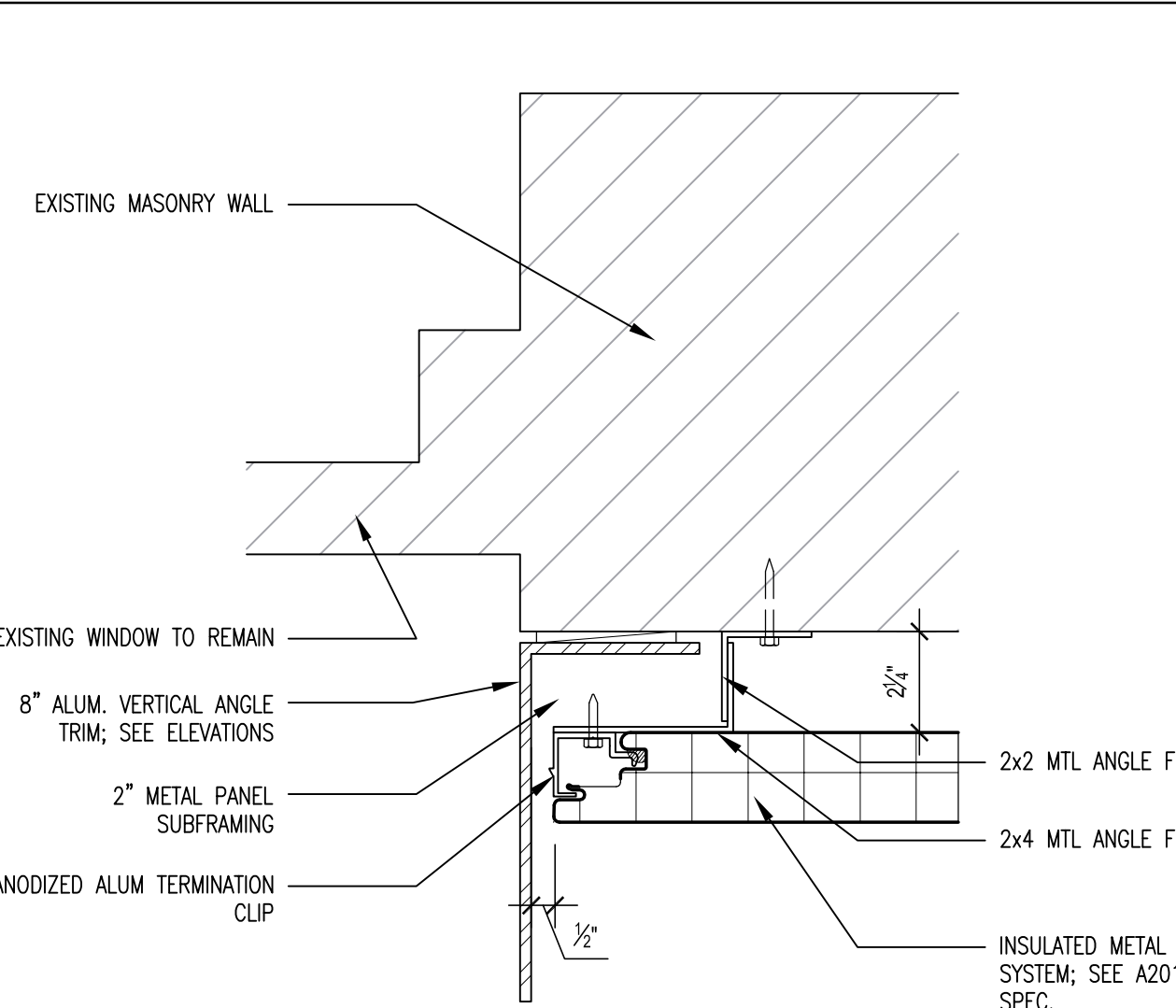
PLAN DETAIL @ MTL PANEL TYP. VERTICAL JOINT



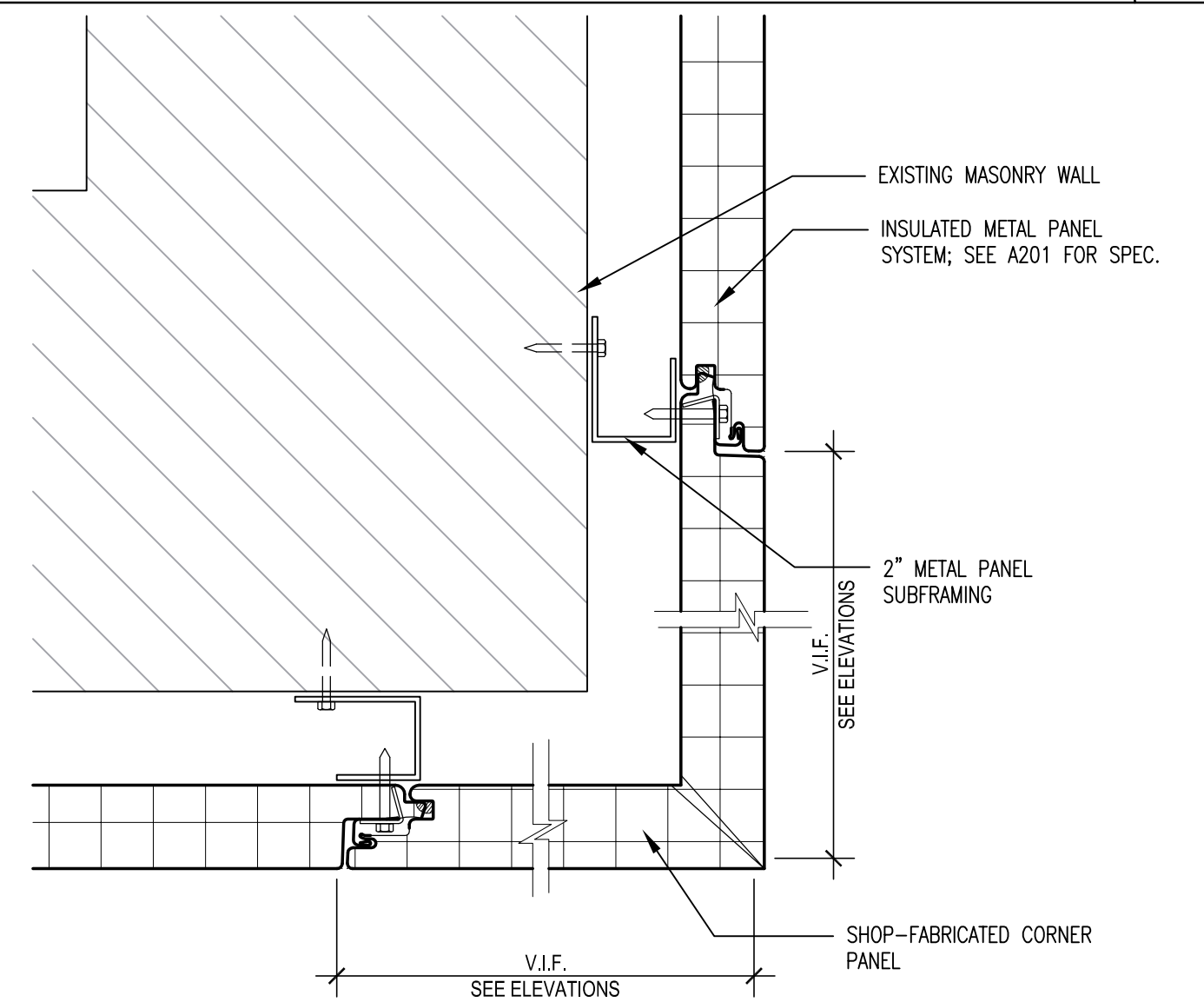
PLAN DETAIL @ ALUM CHANNEL REVEAL TYP.	C5
SCALE	



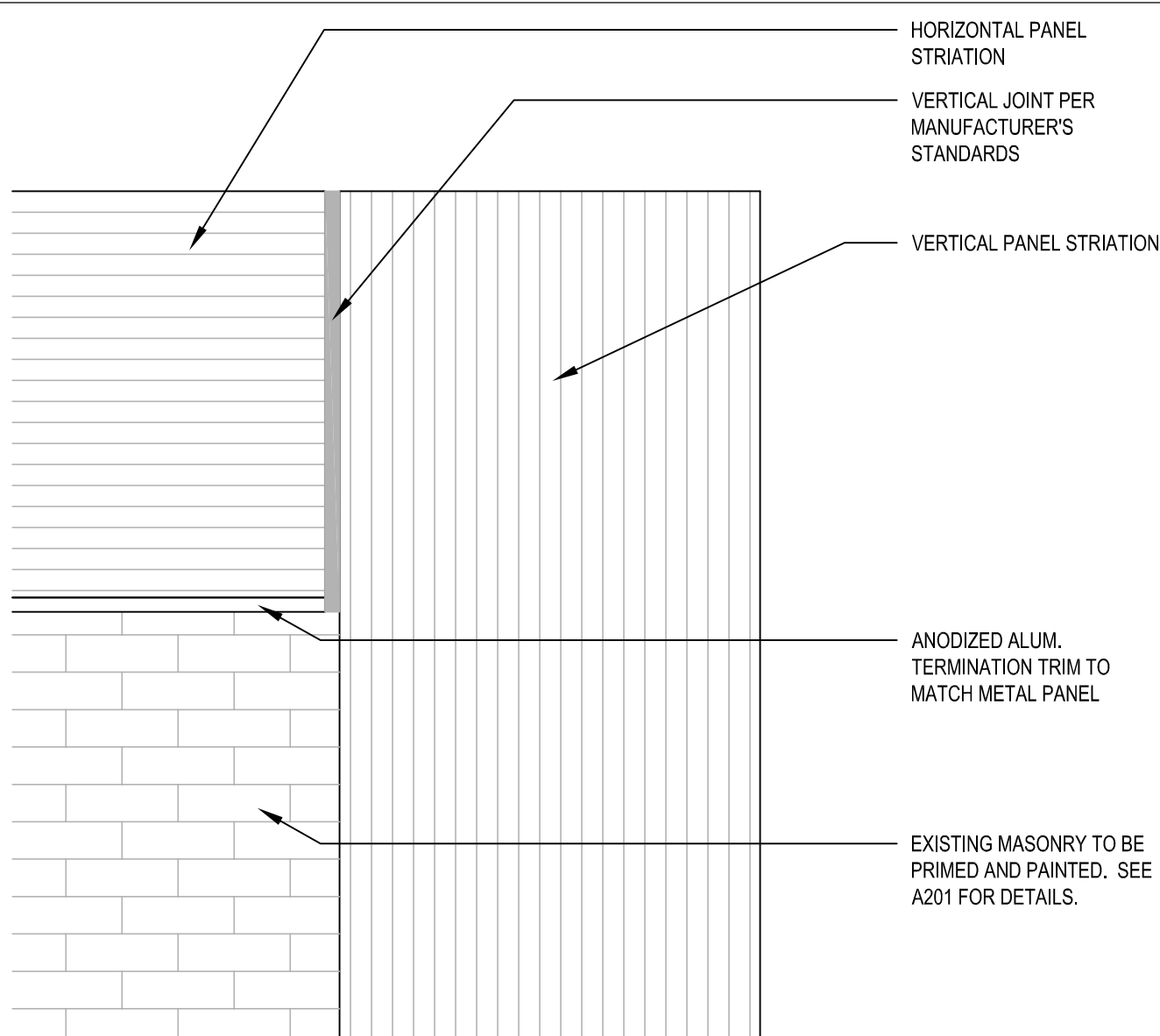
SECTION THROUGH INTEGRATED LOUVER
3" = 1'-0" **B4**



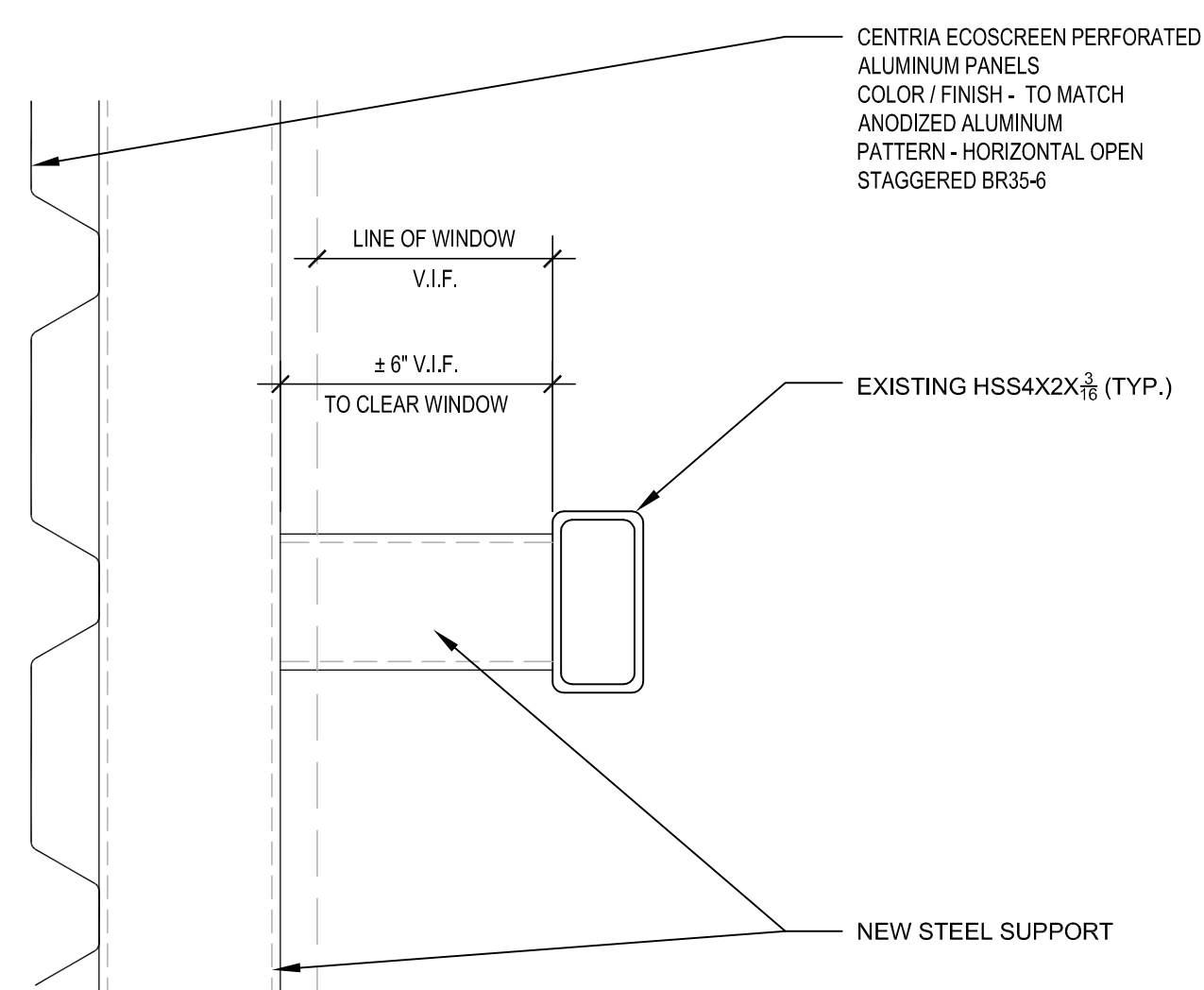
PLAN DETAIL @ ALUM. ANGLE JAMB CONDITION



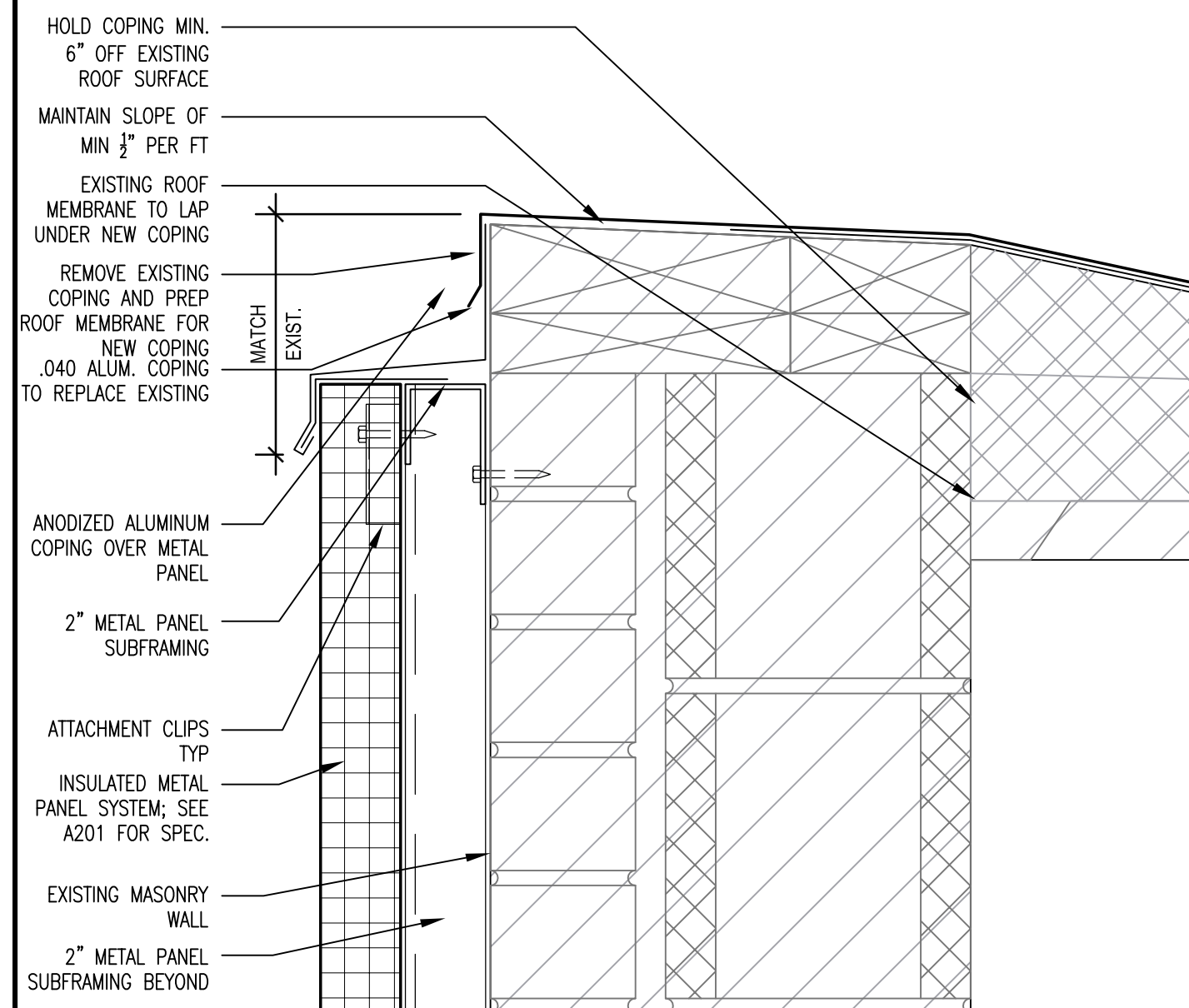
METAL PANEL CORNER DETAIL



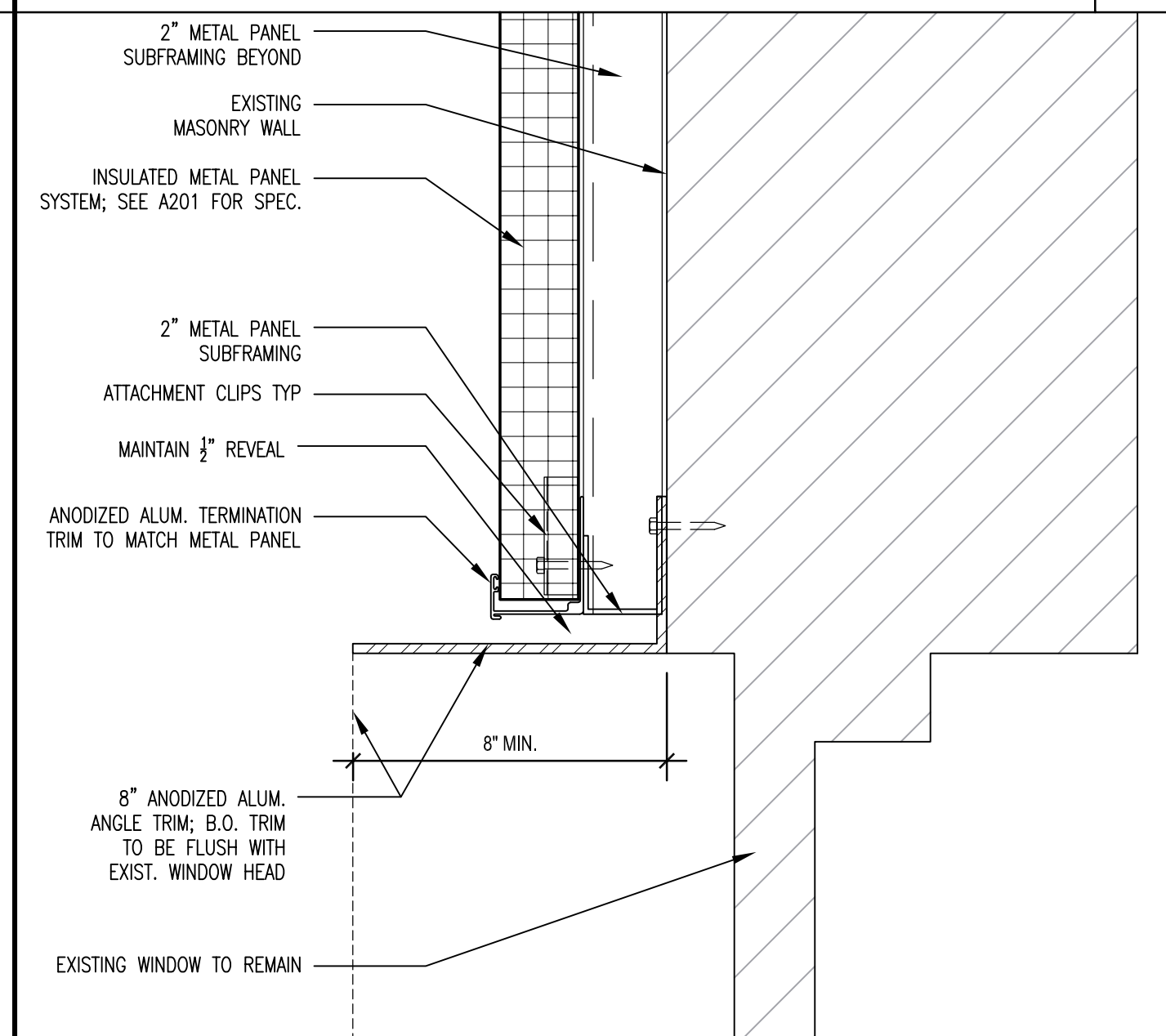
METAL PANEL CORNER DETAIL



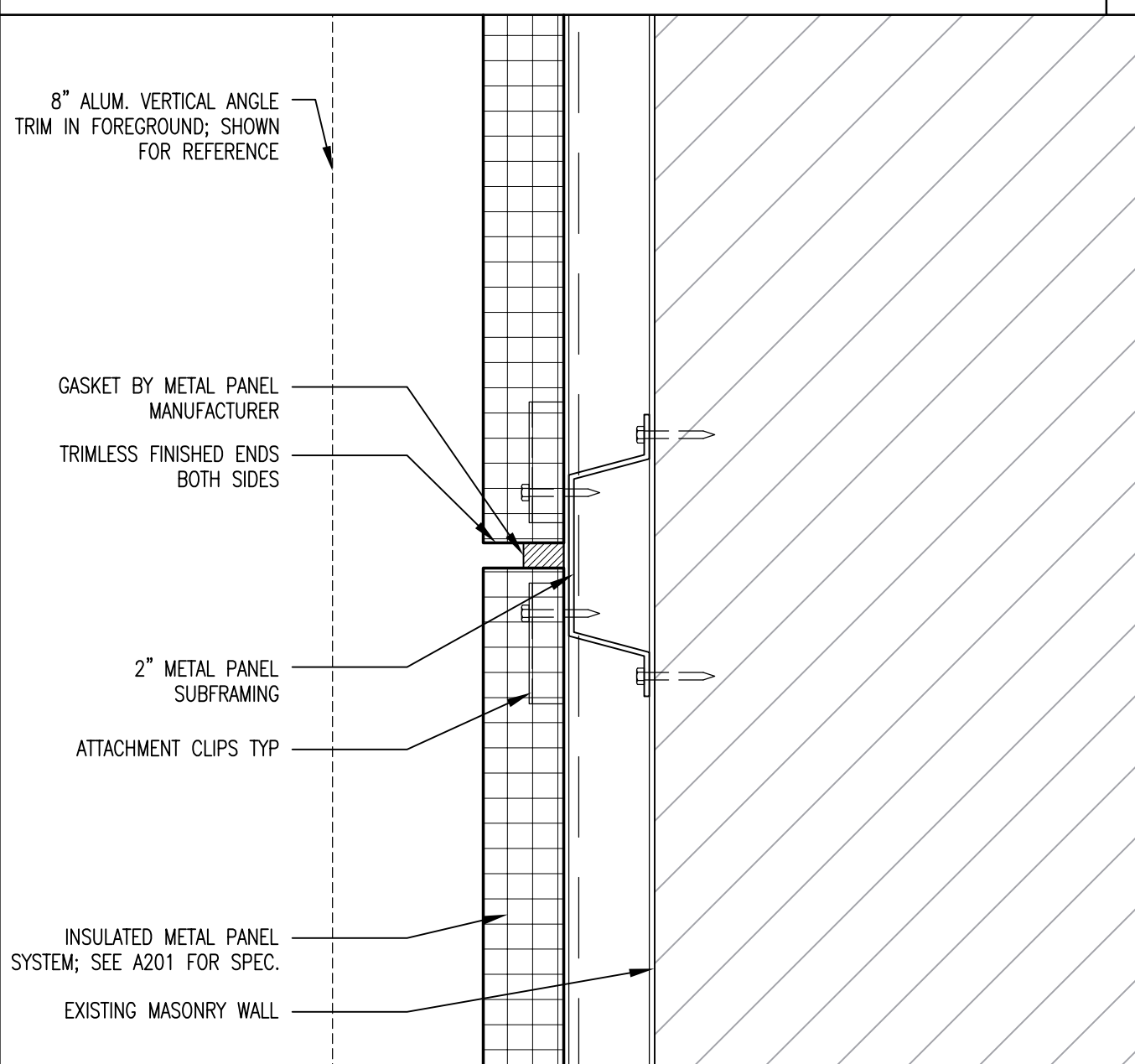
SECTION DETAIL @ PERFORATED SCREEN SUPPORT
3" = 1'-0"



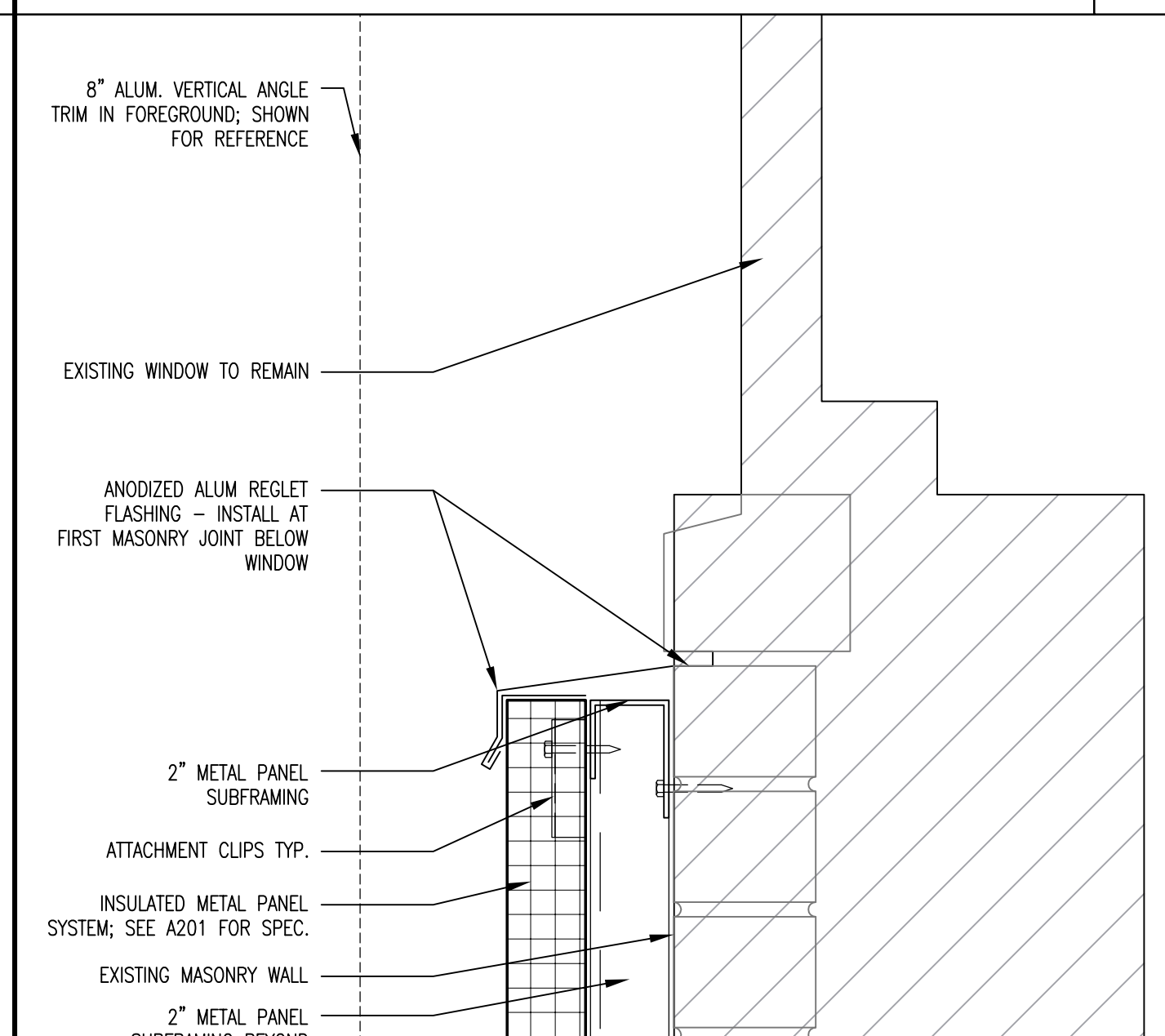
SECTION DETAIL @ NEW MTL. PANEL COPING D1
3" = 1'-0"



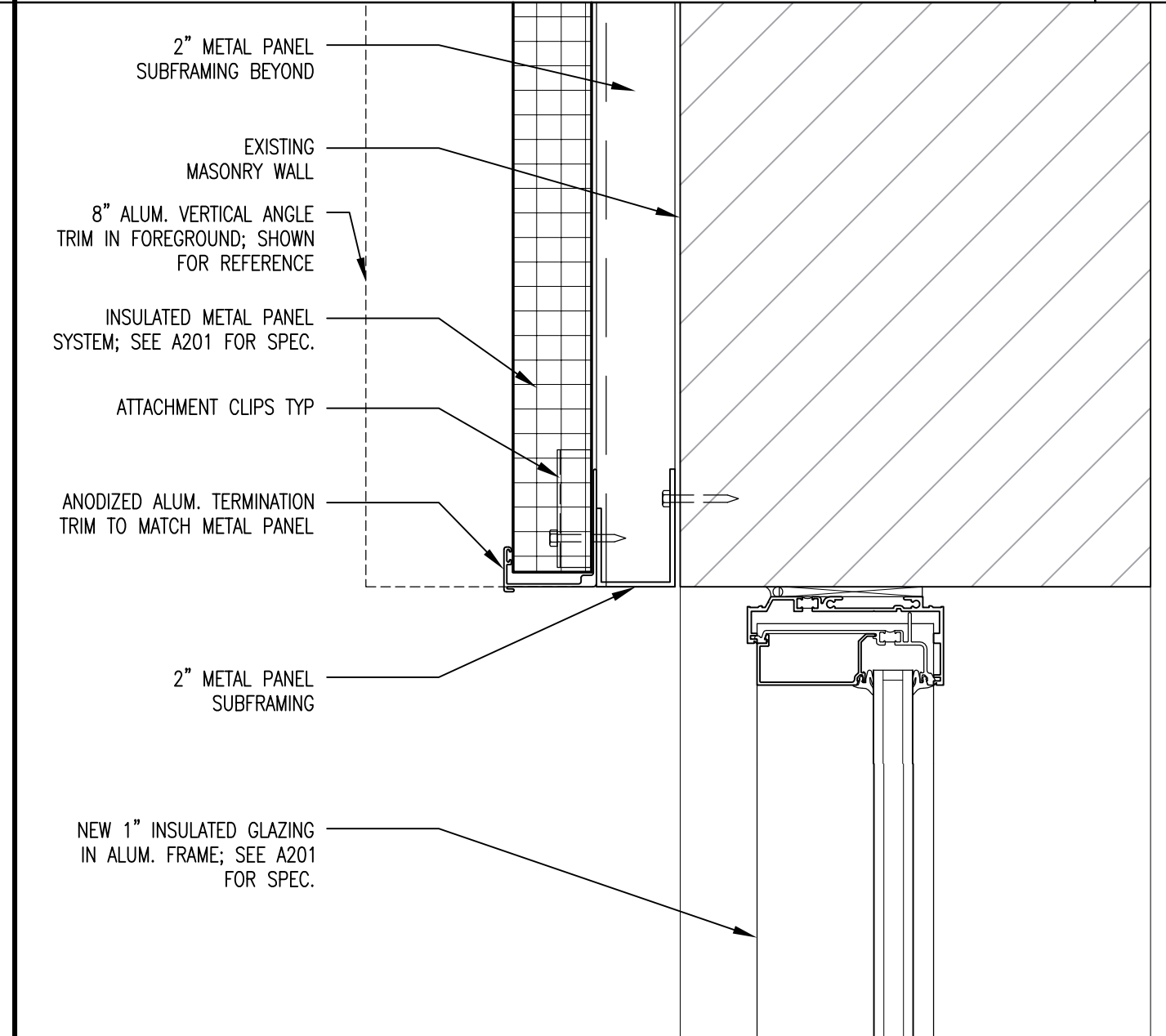
SECTION DETAIL @ MTL PANEL ANGLE TRIM **C1**
3" = 1'-0"



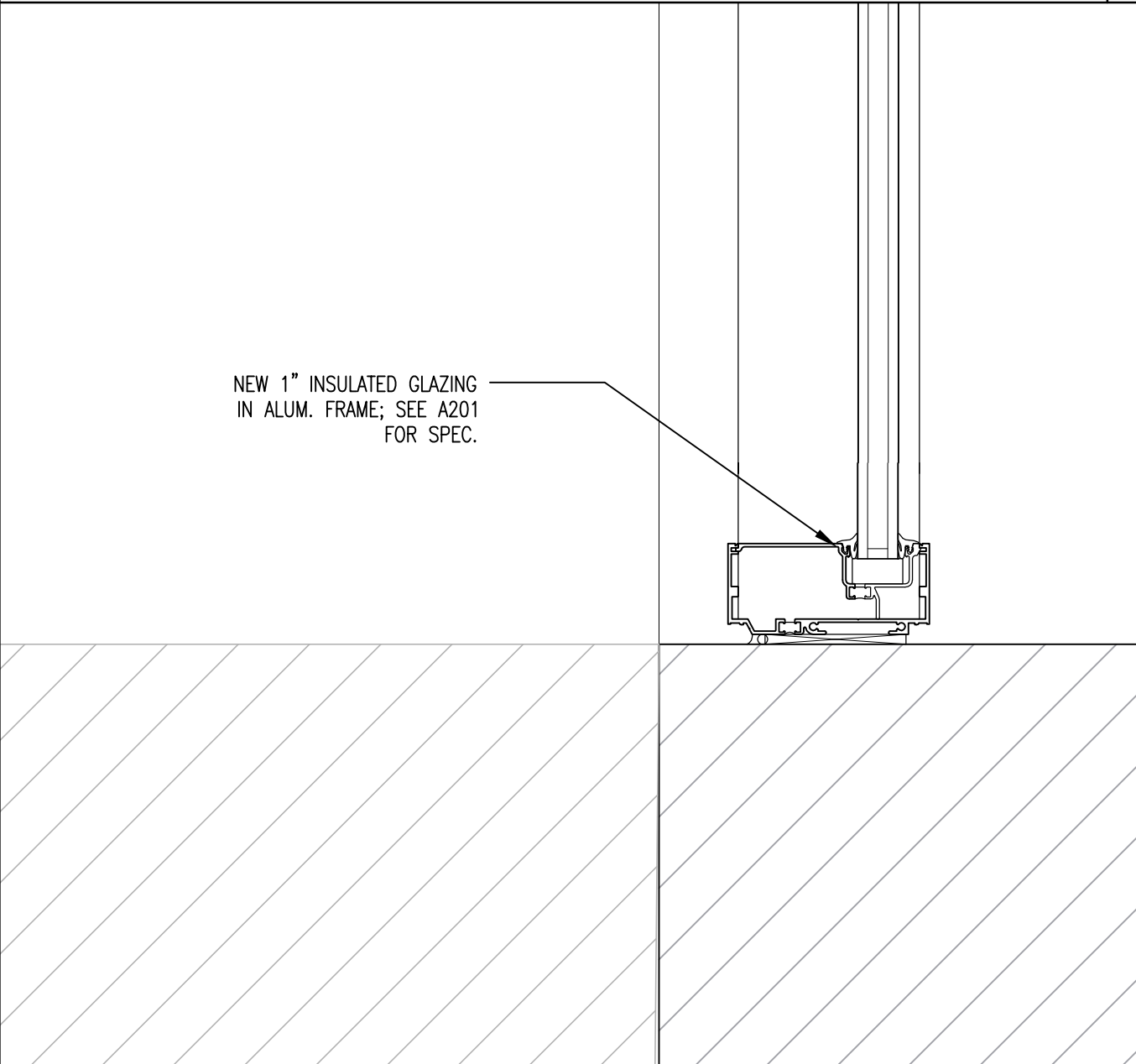
SECTION DETAIL @ MTL PANEL TYP. HORIZONTAL JOINT



SECTION DETAIL @ MTL PANEL SILL CONDITION



SECTION DETAIL @ MTL PANEL HEAD CONDITION A1



SECTION DETAIL @ NEW WINDOW SILL
SCALE