

LOCUS MAP  
NOT TO SCALE

OWNER:  
SOMERBRIDGE HOTEL LLC  
C/O JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 02150

SITE ENGINEER/LANDSCAPE ARCHITECT:  
ALLEN & MAJOR ASSOCIATES, INC.  
400 HARVEY ROAD  
MANCHESTER, NH 03103

SURVEYOR:  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01888-0118

ARCHITECT:  
JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 02150

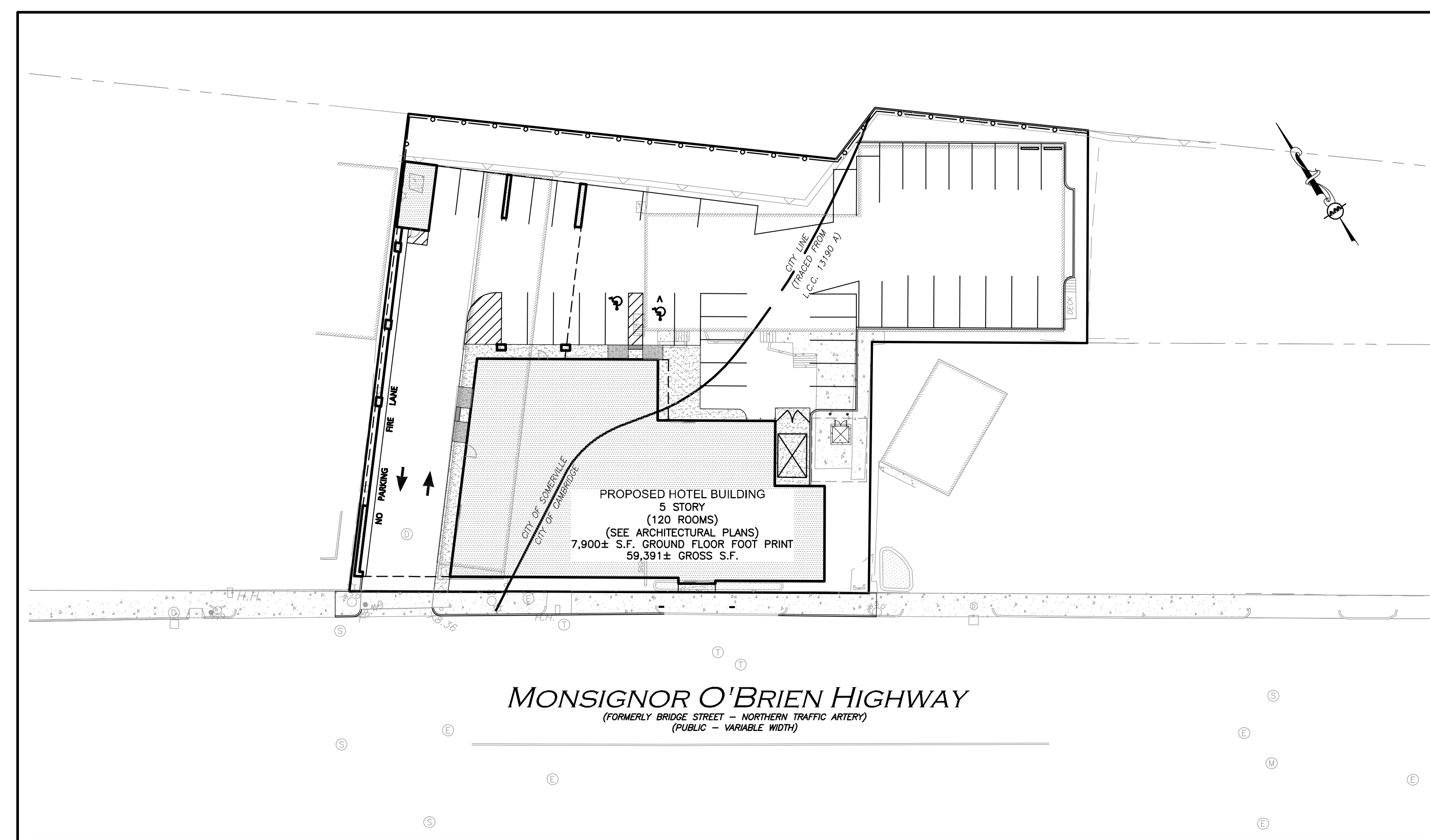
# SITE DEVELOPMENT PLANS FOR 120 ROOM EXTENDED STAY HOTEL

1 McGRATH HIGHWAY  
SOMERVILLE, MA

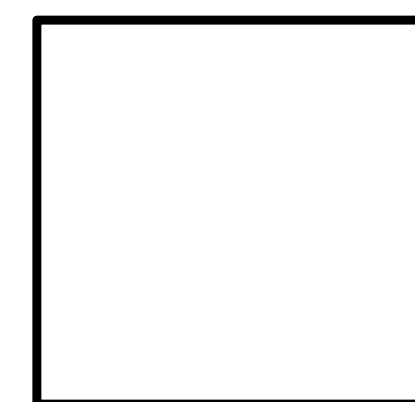
MAP 115, BLOCK B, LOT 8

263 MSGR. O'BRIEN HIGHWAY  
CAMBRIDGE, MA

MAP 7, LOT 35

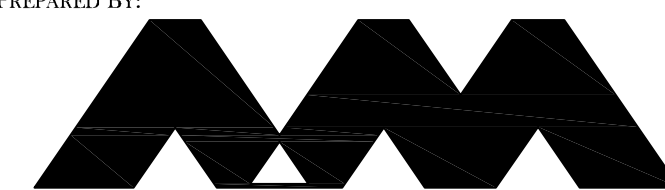


MONSIGNOR O'BRIEN HIGHWAY  
(FORMERLY BRIDGE STREET - NORTHERN TRAFFIC ARTERY)  
(PUBLIC - VARIABLE WIDTH)



CITY OF SOMERVILLE STAMP

PREPARED BY:

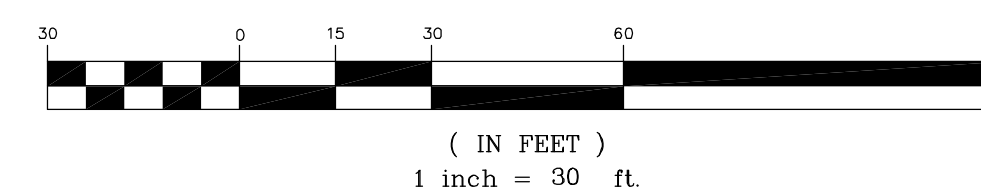


ALLEN & MAJOR  
ASSOCIATES, INC.

civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501  
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GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

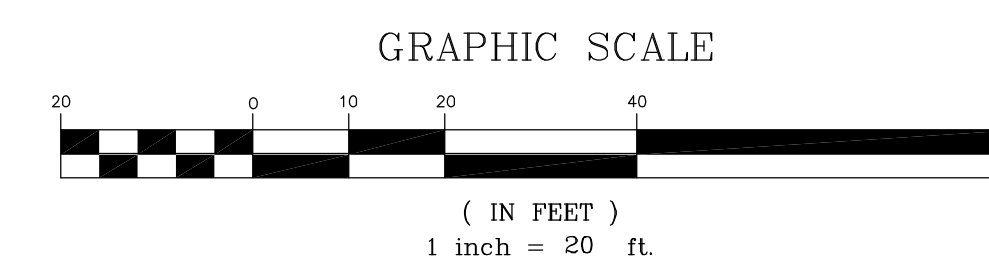
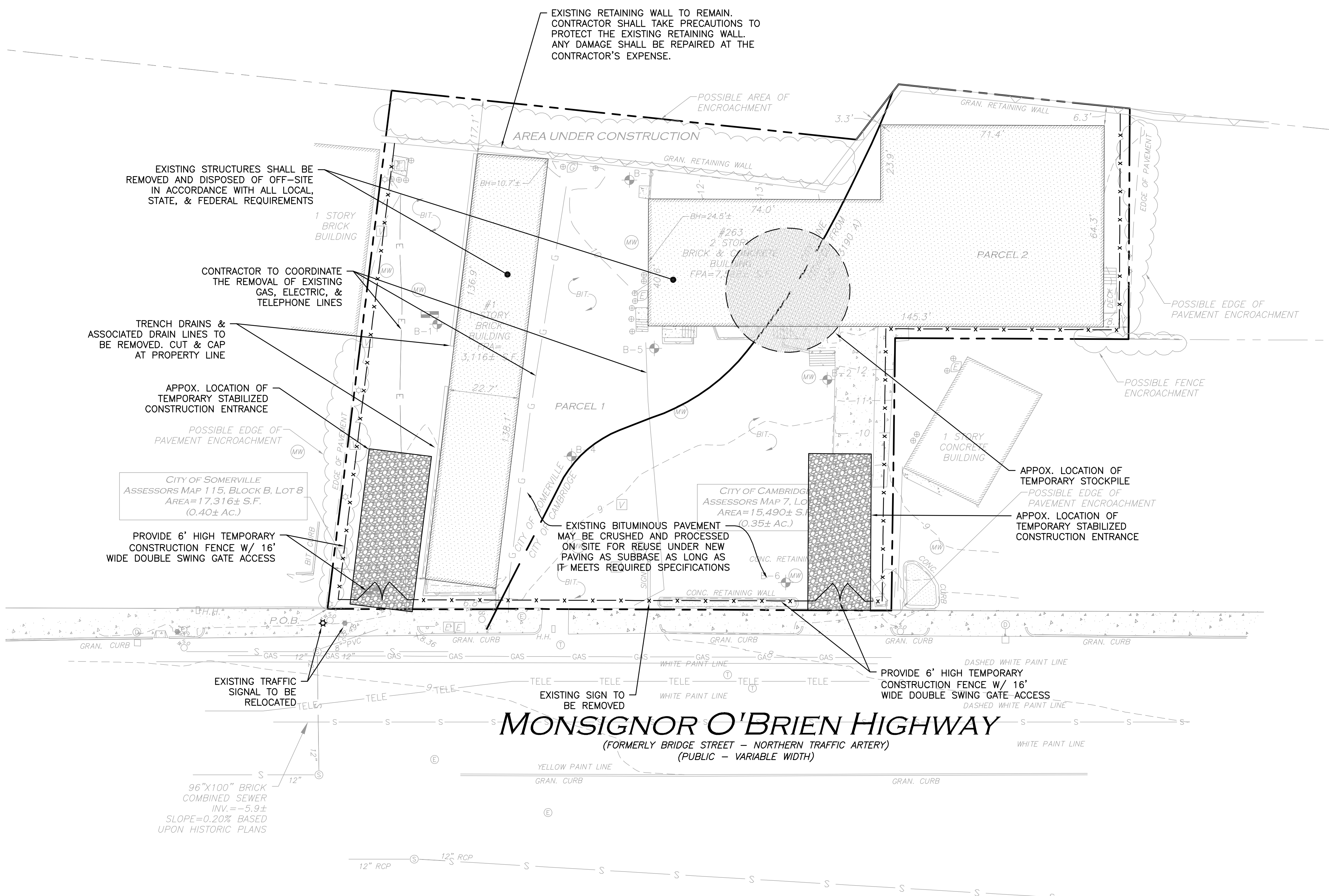
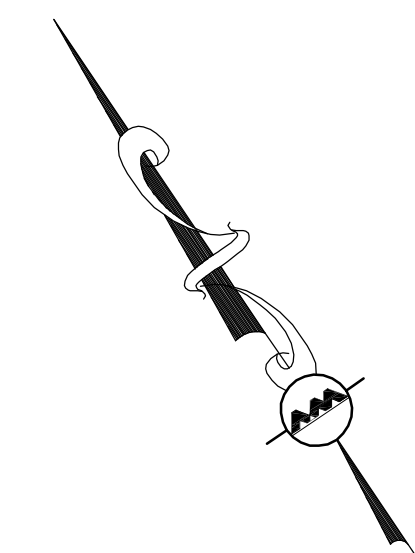
ISSUED FOR SUBMISSION: AUGUST 22, 2016







1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. DOES NOT RESPECTFULLY REQUEST THAT DEMOLITION ITEMS NOT SHOWN ON THE SURVEY OR SPECIFICALLY NOTED, THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. CLEAR GRUB AND REMOVE ALL EXISTING VEGETATION ON SITE, EXCEPT AS NOTED ON PLAN.
5. REFER TO STORMWATER POLLUTION PREVENTION PLANS FOR ADDITIONAL DETAIL REGARDING EROSION CONTROL MEASURES.
6. WITHIN THE LIMITS OF WORK, ALL TOPSOIL IS TO BE STOCKPILED AND RE-USED WITHIN THE PROPOSED LANDSCAPE AREAS.
7. REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS REGARDING THE TREATMENT OF TOPSOIL.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR MISQUOTATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT:  
120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO.	1362-16	DATE:	08-22-1
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SCALE: 1" = 20' DWG.: 1362-16\_Demo

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:



ALLEN & MAJOR  
ASSOCIATES, INC.

civil & structural engineering ♦ land surveying  
environmental consulting ♦ landscape architecture  
www.allenmajor.com

400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

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**DRAWING TITLE:**

## DEMOLITION PLAN

SHEET No.

C1



CITY OF SOMERVILLE  
(IA) INDUSTRIAL A DISTRICT

ITEM	EXISTING	REQUIRED/ ALLOWED	PROPOSED
LOT AREA (MIN)	17,316 SF	N/A	17,316 SF
FLOOR AREA RATIO (MAX)	3.3	2.0	1.9
BUILDING HEIGHT (MAX)	15'±	50'	64'*
FRONT YARD SETBACK (MIN)	6.8'	N/A	5.2'
SIDE YARD SETBACK (MIN)	29.8'	N/A	0.7'
REAR YARD SETBACK (MIN)	17.1'	N/A	16.5'
FRONTAGE (MIN)	54'	N/A	54'
LOADING ZONES (MIN)	N/A	2	0*
GROUND COVERAGE (MAX)	29.9%	80%	56.4%
LANDSCAPED AREA (MIN)	12.5%	10%	12.9%

\* VARIANCE REQUIRED

NOTES:

- FLOOR AREA RATIO (FAR) BASED UPON THE ASSUMPTION OF 32,978 G.S.F. OF BUILDING WITHIN THE SOMERVILLE CITY LIMITS. (AN ADDITIONAL 3,192 G.S.F. NOT USED IN FAR CALCULATION PER ZONING ORDINANCE ITEM 2.2.58)
- REQUIRED LOADING ZONE DIMENSIONS: 30 FEET LONG X 12 WIDE X 14 FEET HIGH.

SPECIAL PERMIT REQUIRED FOR:

HOTEL USE

OFF STREET PARKING SUMMARY - SOMERVILLE

USE:	HOTEL, MOTEL (ORDINANCE SECTION 9.5)	
	0.8 SPACE FOR GUESTROOM (74 GUESTROOMS)	= 60
	AND 0.5 SPACE FOR EACH EMPLOYEES ON PEAK SHIFT (10 EMP)	= 5
PLUS	1/4 THE NORMAL REQUIREMENT FOR ANY OTHER USE IN THE HOTEL (N/A)	= 0
SITE TOTAL OFF-STREET PARKING REQUIRED		= 65 SPACES
ADA REQUIRED:	2 TOTAL PARKING STALLS SHALL BE ACCESSIBLE (MINIMUM OF 1 ACCESSIBLE STALL BE VAN ACCESSIBLE)	
ADA PROVIDED:	2 TOTAL ACCESSIBLE PARKING STALLS ARE PROVIDED (1 IS VAN ACCESSIBLE)	
COMPACT SPACES (ORDINANCE SECTION 9.11.C)	COMPACT SPACES MAY NOT ACCOUNT FOR MORE THAN 20% OF REQUIRED SPACES	
	11 PROVIDED / 65 REQUIRED = 16.9% COMPACT SPACES	
	STANDARD (9'x18')	ADA ACCESSIBLE
	8	2
	COMPACT (8'x16')	11
	TOTAL PROVIDED	21*
ONSITE PARKING		

\*VARIANCE REQUIRED

NOTE:

- PARKING CALCULATIONS BASED UPON 120 GUESTROOMS, 74 OF WHICH LIE WITHIN SOMERVILLE CITY LIMITS, WITH A MAXIMUM OF 10 EMPLOYEES ON THE LARGEST SHIFT.

CITY OF CAMBRIDGE  
(SD 1) SPECIAL DISTRICT 1

ITEM	EXISTING	REQUIRED/ ALLOWED	PROPOSED
LOT AREA (MIN.)	15,490 S.F.	N/A	15,490 S.F.
FLOOR AREA RATIO (MAX)	2.8	1.5	1.5
BUILDING HEIGHT (MAX)	>85'	85'	64'
FRONT YARD SETBACK (MIN)	91'±	3'	3'
SIDE YARD SETBACK (MIN)	3.3'	N/A	15.4'
REAR YARD SETBACK (MIN)	6.3'	N/A	113.8'
FRONTAGE (MIN)	126'	N/A	126'
LOADING ZONES (MIN)	1	1	0*
PARKING SETBACK (MIN)	0	5'	5'

\* VARIANCE REQUIRED

NOTE:

- FLOOR AREA RATIO BASED UPON THE ASSUMPTION OF 23,221 G.S.F. OF BUILDING WITHIN THE CAMBRIDGE CITY LIMITS.
- REQUIRED LOADING ZONE DIMENSIONS: 30 FEET LONG X 10 WIDE X 14 FEET HIGH.

SPECIAL PERMIT REQUIRED FOR:

HOTEL USE

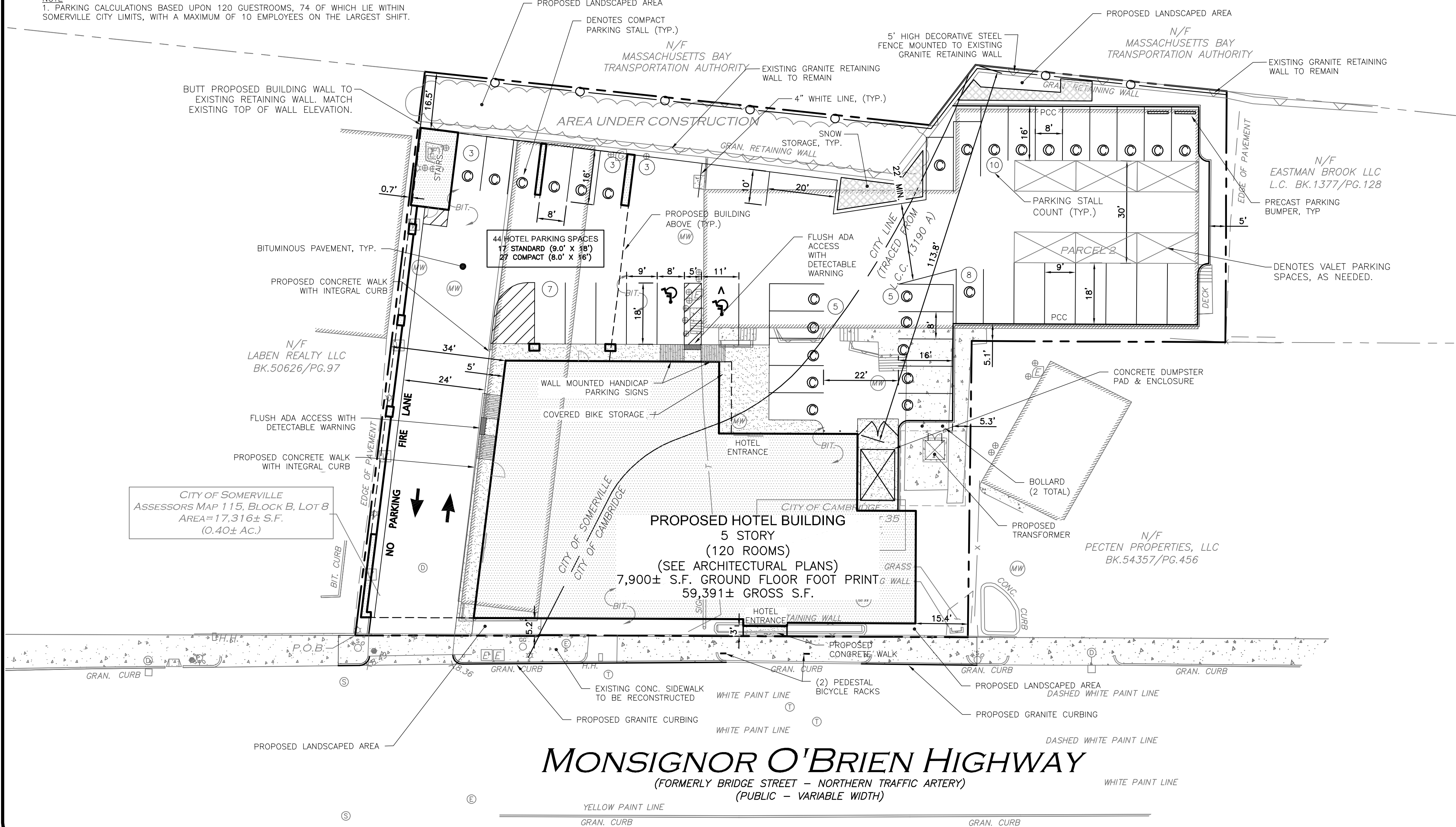
OFF STREET PARKING SUMMARY - CAMBRIDGE

USE:	HOTEL (ORDINANCE SECTION 6.36.1.1,2)	
	1 SPACE PER 2 SLEEPING ROOMS (46 SLEEPING ROOMS)	= 23
SITE TOTAL OFF-STREET PARKING REQUIRED		= 23 SPACES
ADA REQUIRED:	1 TOTAL PARKING STALL SHALL BE ACCESSIBLE (MINIMUM OF 1 ACCESSIBLE STALL BE VAN ACCESSIBLE)	
ADA PROVIDED:	0 TOTAL ACCESSIBLE PARKING STALLS ARE PROVIDED (ACCESSIBLE PARKING STALLS ARE PROVIDED ON SOMERVILLE SIDE OF PROJECT)	
COMPACT SPACES (ORDINANCE SECTION 6.34)	COMPACT SPACES MAY NOT ACCOUNT FOR MORE THAN 50% OF REQUIRED SPACES	
	16 PROVIDED / 23 REQUIRED = 69.6% COMPACT SPACES*	
	STANDARD (9'x18')	ADA ACCESSIBLE
	7	0*
	COMPACT (8'x16')	16
	TOTAL PROVIDED	23
ONSITE PARKING		

\*VARIANCE REQUIRED

NOTE:

- PARKING CALCULATIONS BASED UPON 120 GUESTROOMS, 46 OF WHICH LIE WITHIN CAMBRIDGE CITY LIMITS



PLAN NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY ENGINEERING DEPARTMENT AND OTHER SOURCES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.

LAYOUT NOTES:

- CURB RADII SHALL BE AS SHOWN ON THE PLAN, THOUGH TYPICALLY 10-FT. AT CORNERS AND 2-FT. ADJACENT TO PARKING STALLS.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.

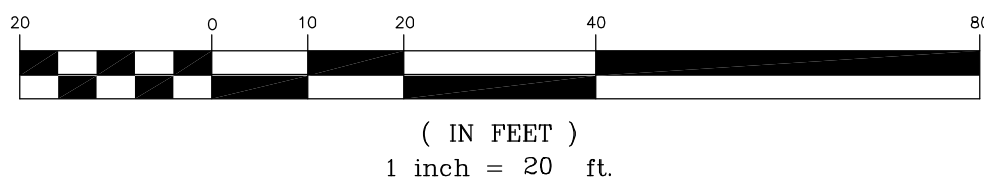
GENERAL NOTES:

- THIS PROJECT WILL BE SERVED BY PUBLIC SEWER, WATER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY, MADOT, MADEF, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- GRANITE CURBING REMOVED FROM PUBLIC ROADS SHALL BE STOCKPILED AND RETURNED TO THE RESPECTIVE CITY DPW.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED, ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- A SIGN PERMIT APPLICATION SHALL BE APPROVED BY THE TOWN PRIOR TO INSTALLATION OF FREESTANDING BUILDING/WALL SIGNS.
- SEE SHEET 1 FOR EXISTING CONDITIONS.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- SNOW STORAGE SHOWN FOR CONCEPTUAL PURPOSES ONLY. SNOW SHALL BE TAKEN OFF-SITE ONCE SNOW STORAGE AREAS ON SITE BECOME INADEQUATE, AND BEGINS TO BLOCK ACCESS TO AND FROM THE SITE OR BLOCKS THE USE OF ON-SITE PARKING. ANY EXCESS WILL BE TRUCKED OFF-SITE & DISPOSED OF IN ACCORDANCE WITH CITY AND MADEF REQUIREMENTS.

LEGEND:

PROP. PROPERTY LINE	---
SIGN	+
BOLLARD	.
BUILDING	[Building Symbol]
BUILDING OVERHEAD	---
BUILDING INTERIOR WALLS	---
CURB	---
PARKING STRIPING	[Parking Striping Symbol]
ROADWAY STRIPING	---
TRAFFIC ARROWS	[Traffic Arrows Symbol]
VERTICAL GRANITE CURB	VGC
PRECAST CONC. CURB	PCC
INTEGRAL CONC. CURB	ICC
SIDEWALK	[Sidewalk Symbol]
SNOW STORAGE	[Snow Storage Symbol]
PARKING COUNT	10
COMPACT PARKING STALL	[Compact Parking Stall Symbol]

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT:  
120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: 1" = 20' DWG.: 1362-16 Layout and Materials

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
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400 HARVEY ROAD  
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DRAWING TITLE: SHEET NO.

LAYOUT &  
MATERIALS PLAN

C2

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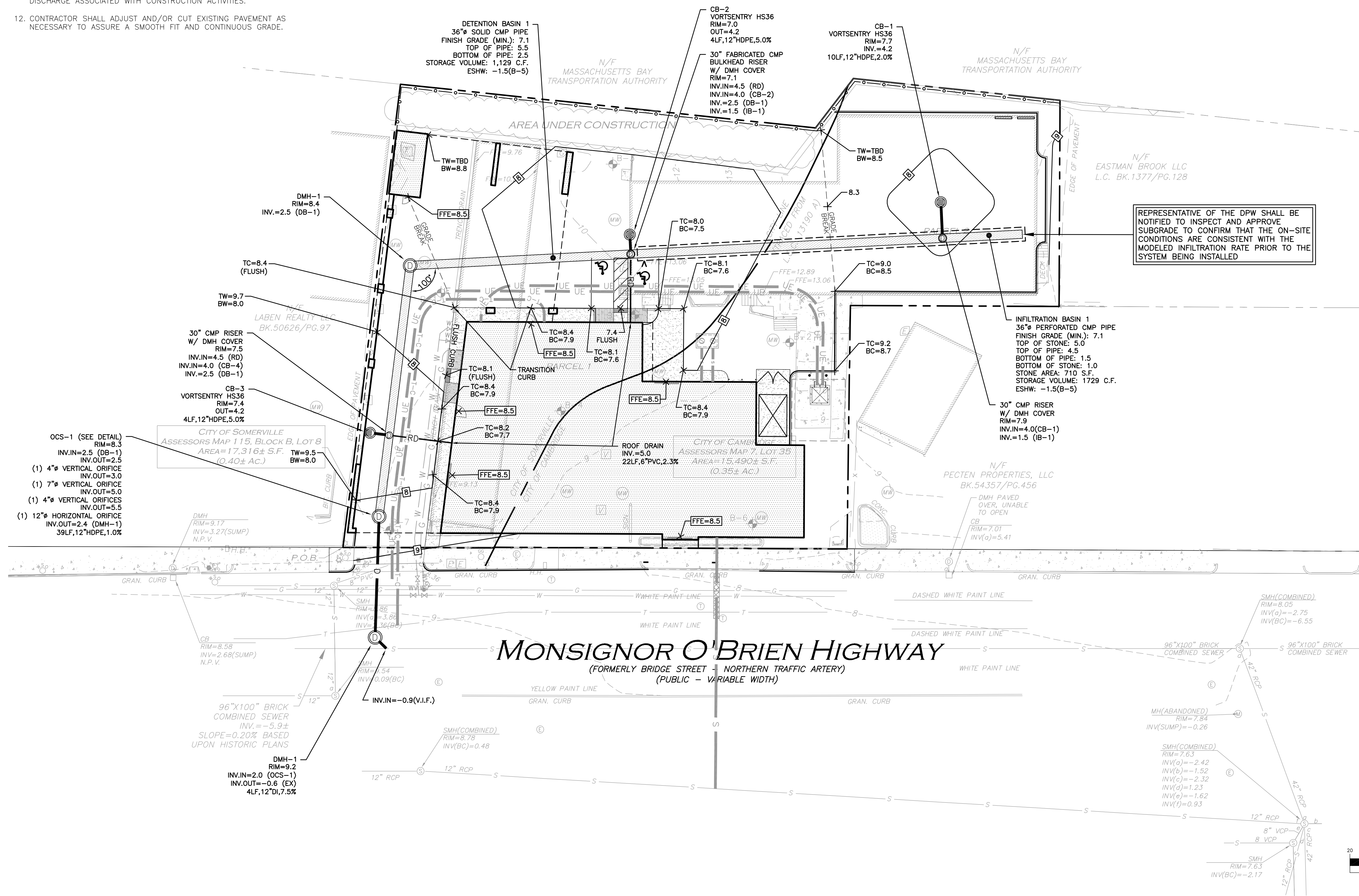
R:\PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\1362-16 LAYOUT AND MATERIALS.DWG



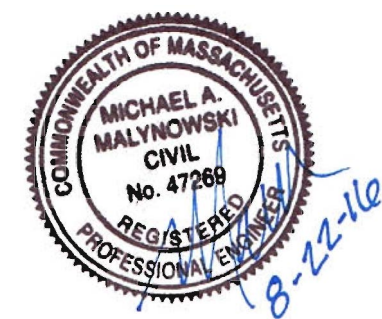
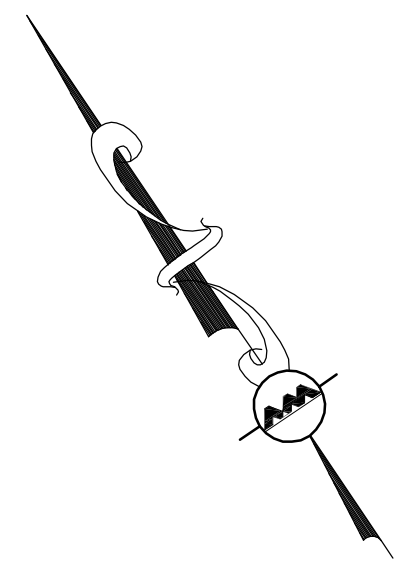
1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
4. STORM PIPE SHALL BE HDPE.
5. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT
7. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".

11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

13. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
14. TOPOGRAPHIC INFORMATION OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED ON OR BETWEEN JULY 9, 2015 AND JULY 28, 2015.
15. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
16. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
17. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
18. ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
19. ROOF DRAINS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS AND FLOW VIA GRAVITY TO THE PROPOSED DETENTION SYSTEM.



R:\PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\1362-16\_GRADING AND DRAINAGE.DWG



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

**PROJECT:**  
**120 ROOM EXTENDED STAY HOTEL**  
**263 MONSIGNOR O'BRIEN HIGHWAY**  
**CAMBRIDGE, MA**

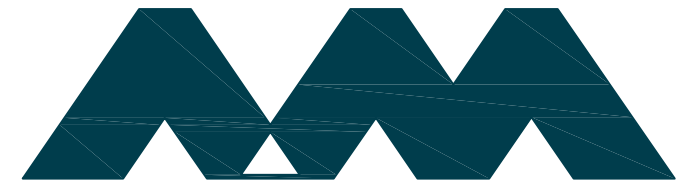
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO.	1362-16	DATE:	08-22-16
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SCALE: 1" = 20' DWG.: 1362-16\_Grading and Drainage

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:



ALLEN & MAJOR  
ASSOCIATES, INC.

civil & structural engineering ♦ land surveying  
environmental consulting ♦ landscape architecture  
www.allenmajor.com

400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
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## GRADING AND DRAINAGE PLAN

SHEET No.

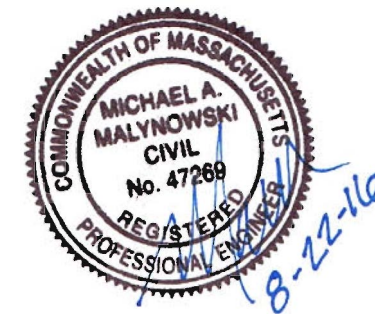
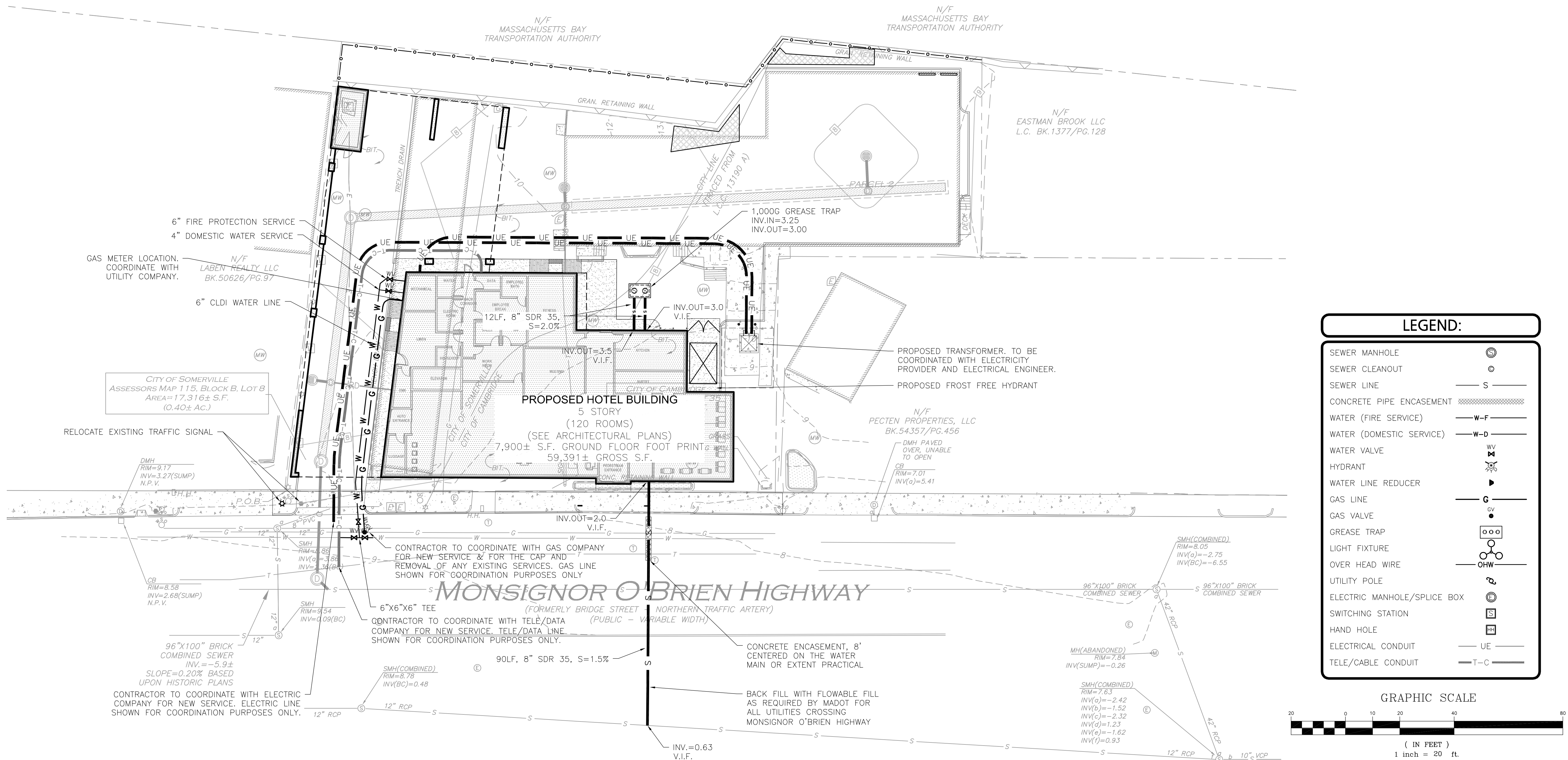
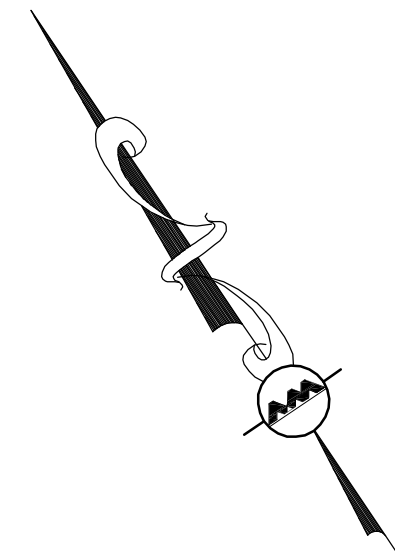
C3

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1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, THE WATER MAIN WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
3. THE LATEST STANDARDS OF THE CITY OF CAMBRIDGE & CITY OF SOMERVILLE DEPARTMENT OF PUBLIC WORKS, WASTEWATER DIVISION SHALL BE FOLLOWED WHEN PERFORMING ANY SANITARY SEWER WORK. SEWER WORK WILL BE INSTALLED IN A TRENCH AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE LATEST STANDARDS OF THE CITY OF CAMBRIDGE & CITY OF SOMERVILLE DEPARTMENT OF PUBLIC WORKS SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINES, AND ALL WATER LINE WORK WILL BE INSPECTED BY CITY OF CAMBRIDGE PERSONNEL. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING PERMITS, TESTING, DISINFECTING, AND FLUSHING. THE INSPECTION COSTS, TESTING, DISINFECTING, AND FLUSHING COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED.
5. THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY WORK. THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
6. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.

7. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER, WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
8. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
9. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:  
  
SEWER                    - PVC (POLYVINYL CHLORIDE), SCHEDULE 35  
  
DRAIN                - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D3231 (UNLESS OTHERWISE SPECIFIED OR PLANNED)  
  
                             - RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
10. ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
11. THE CONTRACTOR SHALL FIELD VERIFY/LOCATE EXISTING WATER MAINS AND WATER SERVICES.
12. PRESSURE AND LEAKAGE TEST, DISINFECTING AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
13. SEWER FORCEMAIN SHALL BE TESTED AT TWO TIMES THE WORKING PRESSURE OR 150 PSI, WHICH EVER IS GREATER. THE PRESSURE SHALL BE MAINTAINED FOR TWO HOURS WITH NO MORE THAN A 5 PSI OR 5% DROP IN PRESSURE, WHICH EVER IS GREATER.
14. CONTRACTOR IS ADVISED THAT INSTALLATION OF GRAVITY SERVICE LINES TAKE PRECEDENCE OVER PRESSURIZED SYSTEMS; CONTRACTOR TO FULLY UNDERSTAND LIMITS OF WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION; CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS ACTUAL OR ANTICIPATED.



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

**PROJECT:**  
**120 ROOM EXTENDED STAY HOTEL**  
**263 MONSIGNOR O'BRIEN HIGHWAY**  
**CAMBRIDGE, MA**

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO.	1362-16	DATE:	08-22-16
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SCALE: 1" = 20' DWG.: 1362-16\_Utities

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY: \_\_\_\_\_



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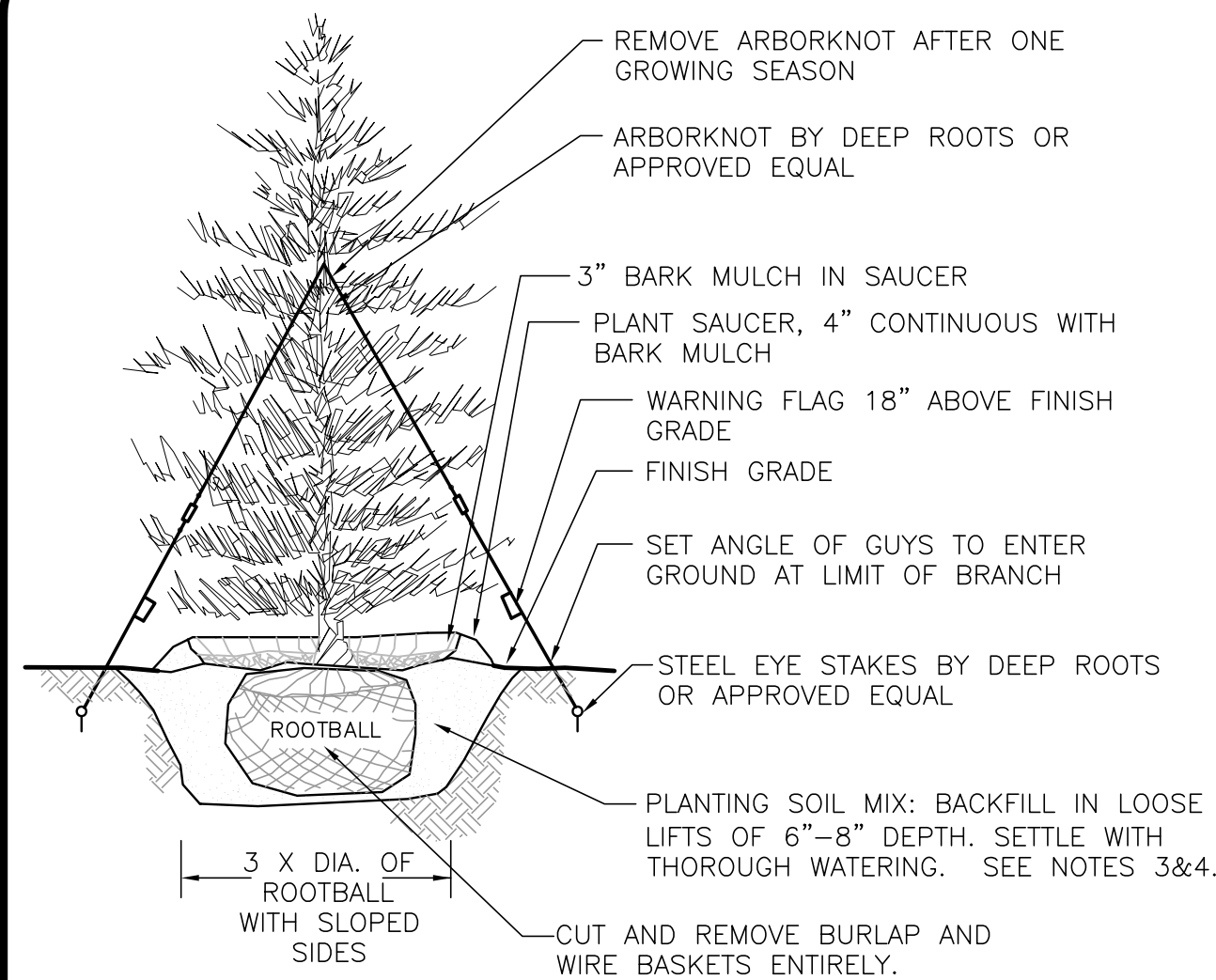
UTILITY PLAN	C4
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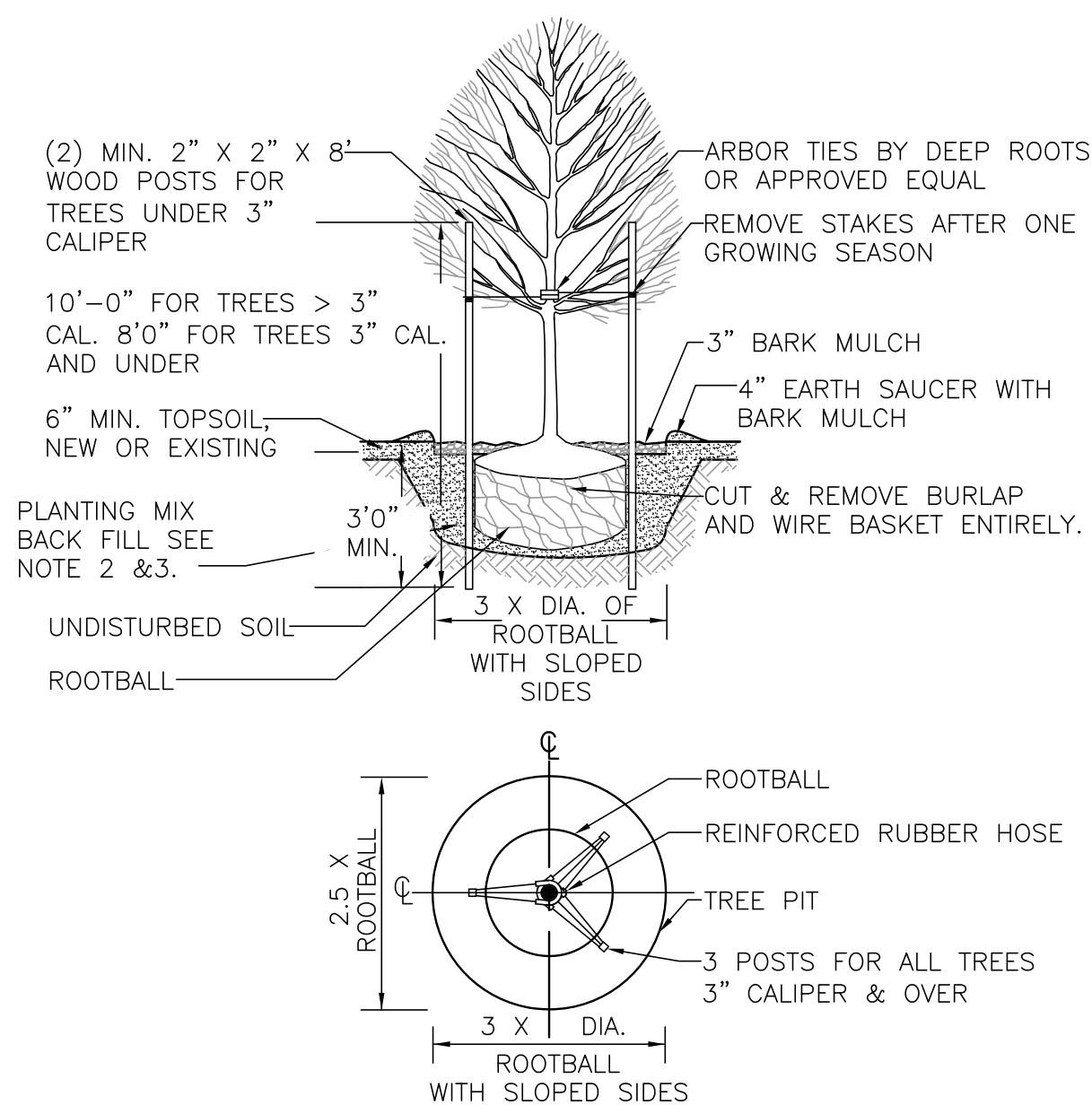


#### NOTES:

1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE DETAIL  
NOT TO SCALE

1

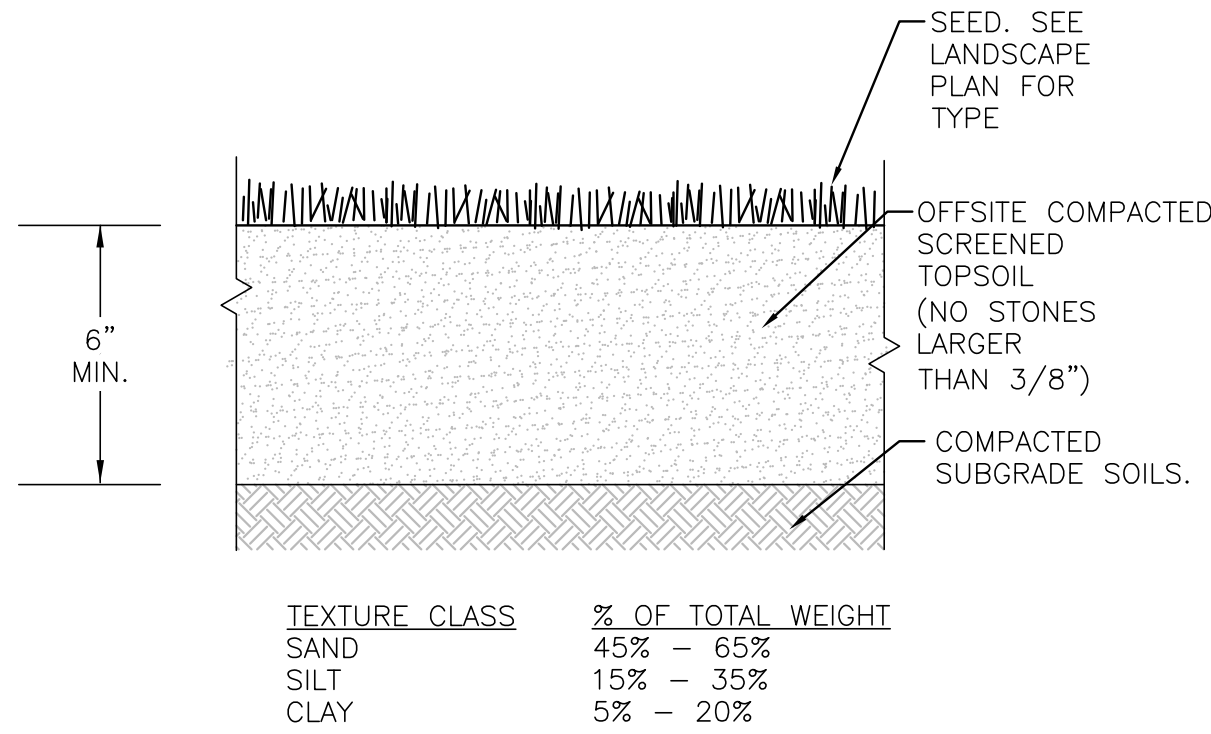


#### NOTES:

1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

2



TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 $\mu$ m	LESS THAN 5%

#### NOTES:

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
2. ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, VARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLOUDS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS  
NOT TO SCALE

3

#### LANDSCAPE MANAGEMENT NOTES:

**LANDSCAPE MANAGEMENT PLAN**  
IT SHOULD BE RECOGNIZED THAT THIS IS A GENERAL GUIDELINE TOWARDS ACHIEVING HIGH QUALITY AND WELL GROOMED LANDSCAPED AREAS. THE GROUNDS STAFF / LANDSCAPE CONTRACTOR MUST RECOGNIZE THE SHORTCOMINGS OF A GENERAL MAINTENANCE PROGRAM SUCH AS THIS, AND MODIFY AND/OR AUGMENT IT BASED ON WEEKLY, MONTHLY, AND YEARLY OBSERVATIONS. IN ORDER TO ASSURE THE HIGHEST QUALITY CONDITIONS, THE STAFF MUST ALSO RECOGNIZE AND APPRECIATE THE NEED TO BE AWARE OF THE CONSTANTLY CHANGING CONDITIONS OF THE LANDSCAPING AND BE ABLE TO RESPOND TO THEM ON A PROACTIVE BASIS.

**FERTILIZER**  
MAINTENANCE PRACTICES SHOULD BE AIMED AT REDUCING ENVIRONMENTAL, MECHANICAL AND PEST STRESSES TO PROMOTE HEALTHY AND VIGOROUS GROWTH. WHEN NECESSARY, PEST OUTBREAKS SHOULD BE TREATED WITH THE MOST SENSITIVE CONTROL MEASURE AVAILABLE. SYNTHETIC CHEMICAL CONTROLS SHOULD BE USED ONLY AS A LAST RESORT TO ORGANIC AND BIOLOGICAL CONTROL METHODS. FERTILIZER, SYNTHETIC CHEMICAL CONTROLS AND PEST MANAGEMENT APPLICATIONS (WHEN NECESSARY) SHOULD BE PERFORMED ONLY BY LICENSED APPLICATORS IN ACCORDANCE WITH THE MANUFACTURER'S LABEL INSTRUCTIONS WHEN ENVIRONMENTAL CONDITIONS ARE CONDUCTIVE TO CONTROLLED PRODUCT APPLICATION.

ONLY SLOW-RELEASE ORGANIC FERTILIZERS SHOULD BE USED IN THE LANDSCAPED AREAS TO LIMIT THE AMOUNT OF NUTRIENTS THAT COULD ENTER DOWNSTREAM RESOURCE AREAS. FERTILIZATION OF DEVELOPED AREAS ON SITE WILL BE PERFORMED WITHIN MANUFACTURERS LABELING INSTRUCTIONS AND SHALL NOT EXCEED AN NPK RATION OF 1:1:1 (I.E. TRIPLE 10 FERTILIZER MIX), CONSIDERED A LOW NITROGEN MIXTURE. ADDITIONALLY, THE FERTILIZER WILL INCLUDE A SLOW RELEASE ELEMENT.

**SUGGESTED AERATION PROGRAM**  
IN-SEASON AERATION OF LAWN AREAS IS GOOD CULTURAL PRACTICE, AND IS RECOMMENDED WHENEVER FEASIBLE. IT SHOULD BE ACCOMPLISHED WITH A SOLID THIN TINE AERATION METHOD TO REDUCE DISRUPTION TO THE USE OF THE AREA. THE DEPTH OF SOLID TINE AERATION IS SIMILAR TO CORE TYPE, BUT SHOULD BE PERFORMED WHEN THE SOIL IS SOMEWHAT DRIER FOR A GREATER OVERALL EFFECT.

DEPENDING ON THE INTENSITY OF USE, IT CAN BE EXPECTED THAT ALL LANDSCAPED LAWN AREAS WILL NEED AERATION TO REDUCE COMPACTION AT LEAST ONCE PER YEAR. THE FIRST OPERATION SHOULD OCCUR IN LATE MAY FOLLOWING THE SPRING SEASON. METHODS OF REDUCING COMPACTION WILL VARY BASED ON THE NATURE OF THE COMPACTION. COMPACTION ON NEWLY ESTABLISHED LANDSCAPED AREAS IS GENERALLY LIMITED TO THE TOP 2-3" AND CAN BE ALLEVATED USING HOLLOW CORE OR THIN TINE AERATION METHODS.

THE SPRING AERATION SHOULD CONSIST OF TWO PASSES AT OPPOSITE DIRECTIONS WITH 1/4" HOLLOW CORE TINES PENETRATING 3-5" INTO THE SOIL PROFILE. AERATION SHOULD OCCUR WHEN THE SOIL IS MOIST BUT NOT SATURATED. THE CORES SHOULD BE SHATTERED IN PLACE AND DRAGGED OR SWEEPED BACK INTO THE TURF TO CONTROL THATCH. IF DESIRED THE CORES MAY ALSO BE REMOVED AND THE AREA TOP-DRESSED WITH SAND OR SANDY LOAM. IF THE AREA DRAINS ON AVERAGE TOP SLOWLY, THE TOPDRESSING SHOULD CONTAIN A HIGHER PERCENTAGE OF SAND. IF IT IS DRAINING ON AVERAGE TOO QUICKLY, THE TOP DRESSING SHOULD CONTAIN A HIGHER PERCENTAGE OF SOIL AND ORGANIC MATTER.

#### LANDSCAPE MAINTENANCE PROGRAM PRACTICES:

##### LAWN

- MOW A MINIMUM OF ONCE A WEEK IN SPRING, TO A HEIGHT OF 2" TO 2 1/2" HIGH. MOWING SHOULD BE FREQUENT ENOUGH SO THAT NO MORE THAN 1/3 OF GRASS BLADE IS REMOVED AT EACH MOWING. THE TOP GROWTH SUPPORTS THE ROOTS; THE SHORTER THE GRASS IS CUT, THE LESS THE ROOTS WILL GROW. SHORT CUTTING ALSO DRIES OUT THE SOIL AND ENCOURAGES WEEDS TO GERMINATE.
- MOW APPROXIMATELY ONCE EVERY TWO WEEKS FROM JULY 1ST TO AUGUST 15TH DEPENDING ON LAWN GROWTH.
- MOW ON A TEN-DAY CYCLE IN FALL, WHEN GROWTH IS STIMULATED BY COOLER NIGHTS AND INCREASED MOISTURE.
- DO NOT REMOVE GRASS CLIPPINGS AFTER MOWING.
- KEEP MOWER BLADES SHARP TO PREVENT RAGGED CUTS ON GRASS LEAVES, WHICH CAUSE A BROWNISH APPEARANCE AND INCREASE THE CHANCE FOR DISEASE TO ENTER A LEAF.

##### SHRUBS

- MULCH NOT MORE THAN 3" DEPTH WITH SHREDDED PINE OR FIR BARK.
- HAND PRUNE ANNUALLY, IMMEDIATELY AFTER BLOOMING, TO REMOVE 1/3 OF THE ABOVE-GROUND BIOMASS (OLDER STEMS). STEM REMOVALS TO OCCUR WITHIN 6" OF THE GROUND TO OPEN UP SHRUB AND MAINTAIN TWO-YEAR WOOD (THE BLOOMING WOOD).
- FERTILIZE WITH 1/2 LB. SLOW-RELEASE FERTILIZER (SEE ABOVE SECTION ON FERTILIZER) EVERY SECOND YEAR.
- HAND PRUNE EVERGREEN SHRUBS ONLY AS NEEDED TO REMOVE DEAD AND DAMAGED WOOD AND TO MAINTAIN THE NATURALISTIC FORM OF THE SHRUB. NEVER MECHANICALLY SHEAR EVERGREEN SHRUBS.

##### TREES

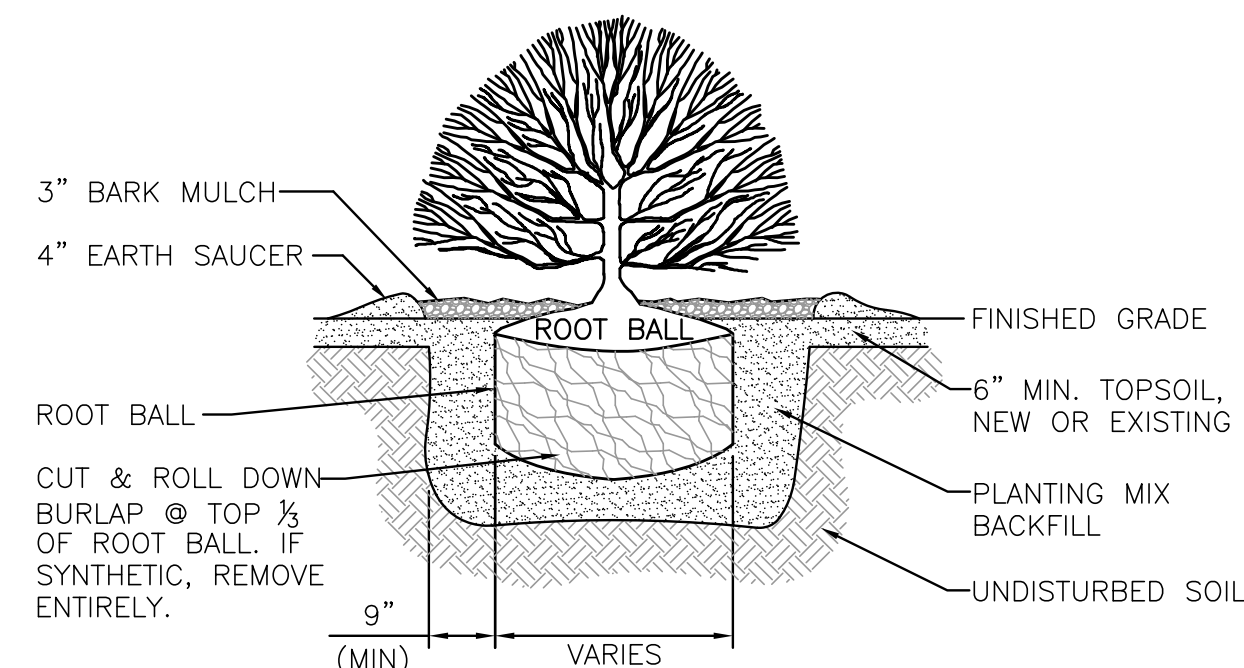
- PROVIDE AFTERCARE FOR NEW TREE PLANTINGS FOR THE FIRST THREE YEARS.
- DO NOT FERTILIZE TREES, IT ARTIFICIALLY STIMULATES THEM (UNLESS TREE HEALTH WARRANTS).
- WATER ONCE A WEEK FOR THE FIRST YEAR, TWICE A MONTH THE SECOND, ONCE A MONTH THE THIRD YEAR.
- PRUNE TREES ON A FOUR-YEAR CYCLE.

##### ORNAMENTAL GRASSES

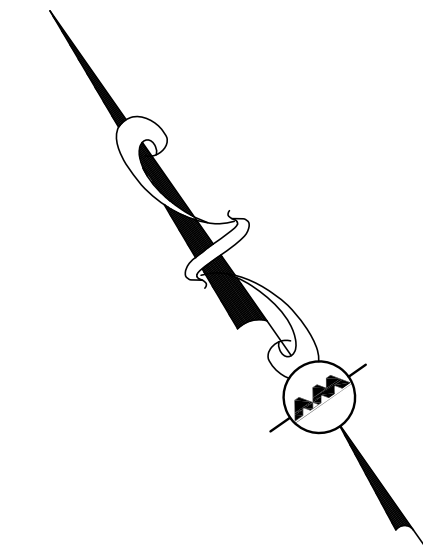
- APPLY LOW- NITROGEN 10-10-10 FERTILIZER AS GROWTH RESUMES IN THE SPRING. WATER IN THOROUGHLY.
- GRASSES DO NOT NEED TO BE CUT DOWN BEFORE WINTER. IN FACT, THEY ARE ATTRACTIVE WHEN LEFT STANDING AND THE FOLIAGE HELPS TO INSULATE THE CROWN OF THE PLANT. CUT BACK THE FOLIAGE TO ABOUT 4-6 INCHES IN THE SPRING BEFORE GROWTH RESUMES. WHEN FOLIAGE IS REMOVED, SPRING GROWTH WILL BEGIN EARLIER. OLD FOLIAGE LEFT ON THE PLANT CAN DELAY THE CROWN'S WARMING AND SUBSEQUENT GROWTH BY AS MUCH AS 3 WEEKS.

#### NOTE:

1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING.
2. ALL SHRUBS ARE TO BE PLANTED AT 3'-0" O.C. OR AS SPECIFIED ON THE PLANS.



SHRUB PLANTING DETAIL  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT: 120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: AS SHOWN DWG.: 1362-16 Landscape

DESIGNED BY: BCD CHECKED BY: MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

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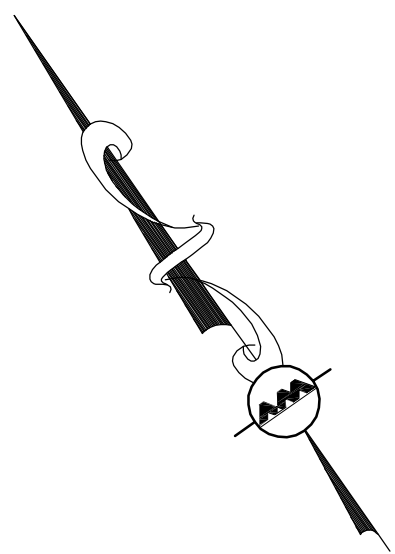
SHEET No.

C6







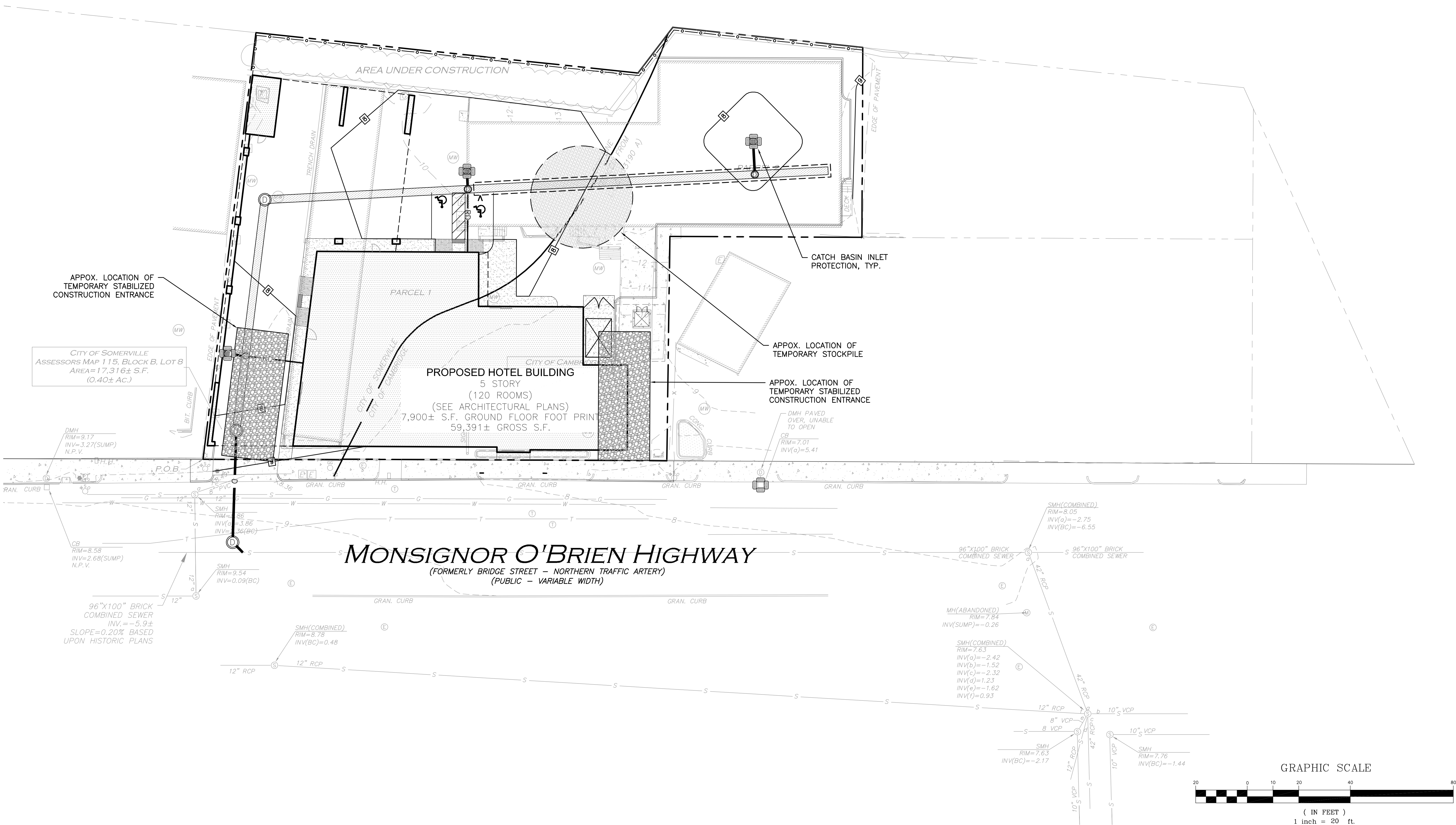


GENERAL NOTES:

1. SEE SHEET C3 FOR GRADING & DRAINAGE.
2. SEE SHEET 1 FOR EXISTING CONDITIONS.
3. SHEETS SWPPP 1-3 MAKE UP THE COMPLETE STORMWATER PREVENTION PACKAGE.
4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

LEGEND:

SILT FENCE	—SF—
HAYBALE LINE	—
EROSION CONTROL FABRIC	—
HAYBALE FILTER W/SILT SACK	—
STABILIZED CONST. ENTRANCE	—
STOCKPILE/CONSTRUCTION STAGING AREA	—



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT:  
120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: 1" = 20' DWG.: 1362-16-SWPPP-Erosion Control

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

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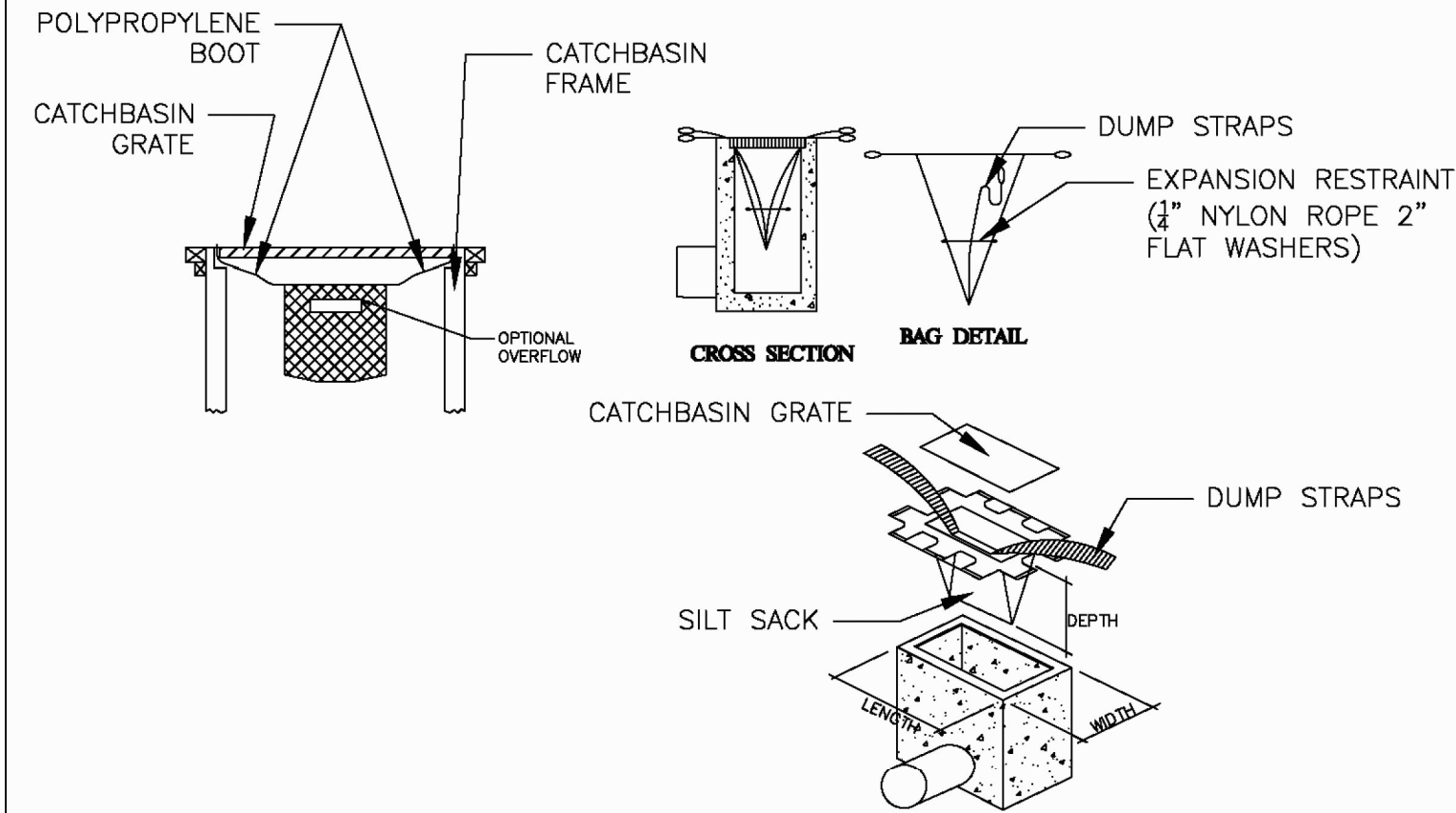
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STORMWATER POLLUTION PREVENTION PLAN SWPPP 2

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THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS SHEET, OVERLAND AND CONCENTRATED FLOWS (NOT GREATER THAN 1 CFS). THE METHOD CAN DRAIN FLAT AREA TO STEEP SLOPES. INLET CAPACITY WILL DECREASE WITH THIS METHOD AND CONTRACTOR SHALL EXPECT FLOODING TO OCCUR DURING HIGH FLOW EVENTS.

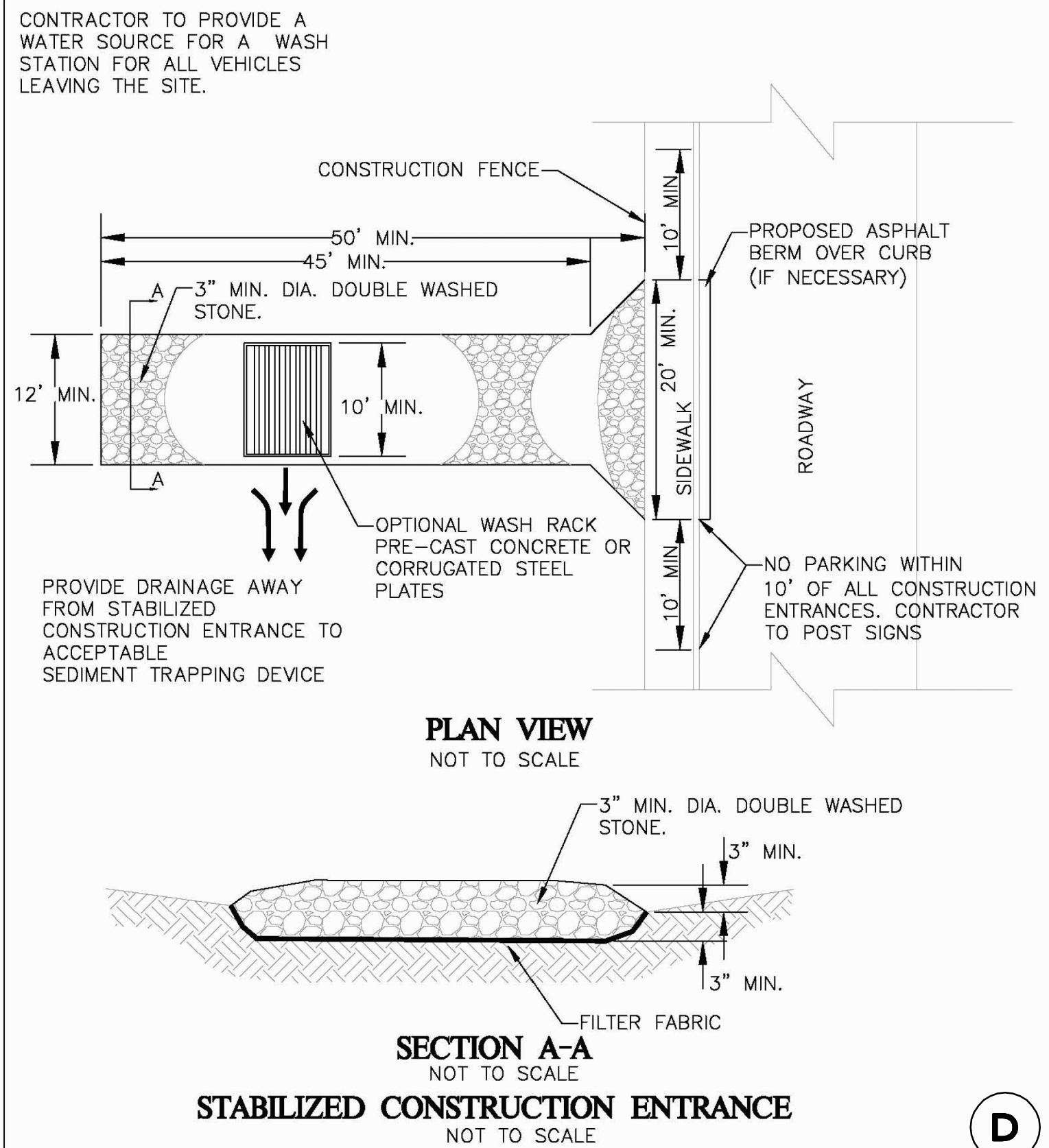
INSPECTION SCHEDULE SHALL COMPLY WITH THE 2008 EPA CONSTRUCTION GENERAL PERMIT

MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT SACKS SHALL BE CLEANED ONCE THE BAG IS FILLED HALF WAY WITH DEBRIS. CONTRACTOR SHALL REMOVE SILT SACK AND PLACE NEW UNIT. DO NOT EMPTY SILT SACK CONTENTS INTO THE CATCHBASIN.

**CATCH BASIN W/ SILT SACK  
INLET PROTECTION**  
NOT TO SCALE

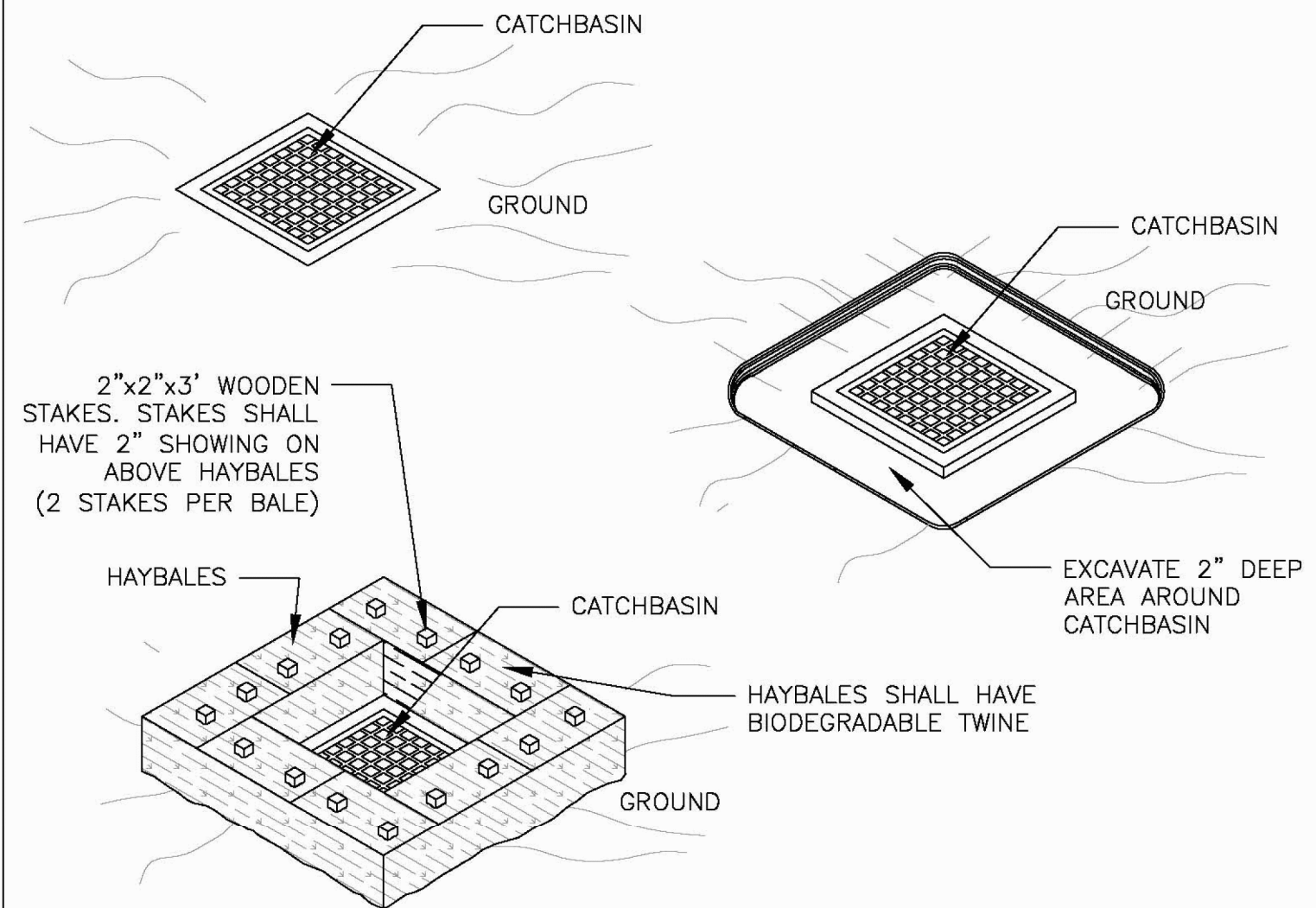
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<b>THE WORKS</b> CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS	INLET PROTECTION		
	CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS		
	SCALE: N.T.S	DATE: 07/09	DRAWN BY: McLANE



D

<b>THE WORKS</b> CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS	STABILIZED CONSTRUCTION ENTRANCE		
	CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS		
	SCALE: N.T.S	DATE: 07/09	DRAWN BY: McLANE



INSPECTION SCHEDULE SHALL COMPLY WITH THE 2008 EPA CONSTRUCTION GENERAL PERMIT

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%). WHERE THE INLET ACCEPTS SHEET OR OVERLAND FLOWS (NOT GREATER THAN 1 CFS). THIS METHOD SHOULD NOT APPLY TO AN INLET ACCEPTING CONCENTRATED FLOW.

HAYBALES SHOULD BE MADE FROM REGIONALLY FARMED HAY TO REDUCE THE POSSIBILITY OF INVASIVE SPECIES. WHEN POSSIBLE STRAW BALES SHOULD BE USED.

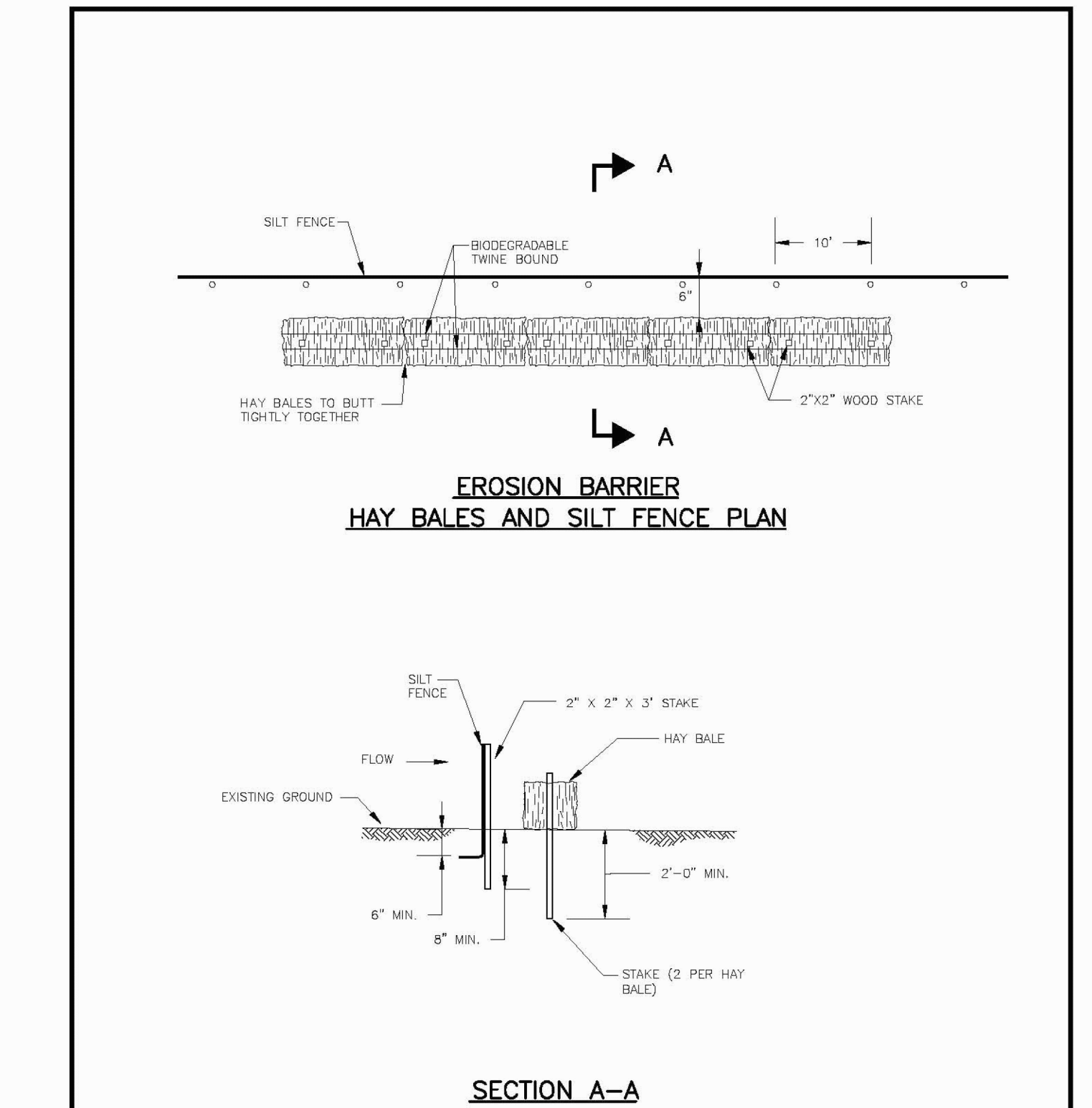
HAYBALES SHOULD ONLY BE USED WHEN APPROVED BY THE CITY OF CAMBRIDGE. HAYBALES ARE ALLOWS FOR PROJECTS THAT HAVE A DURATION OF LESS THAN THREE MONTHS.

MAINTENANCE SHALL OCCUR WHEN NECESSARY. HAYBALES ARE HIGHLY IMPERVIOUS AND THE CONTRACTOR SHOULD EXPECT PONDING IN THE AREA. HAYBALES SHOULD BE REPLACED EVERY 1 TO 3 MONTHS DEPENDING ON CONDITIONS.

**CATCH BASIN W/ HAYBALES  
INLET PROTECTION**  
NOT TO SCALE

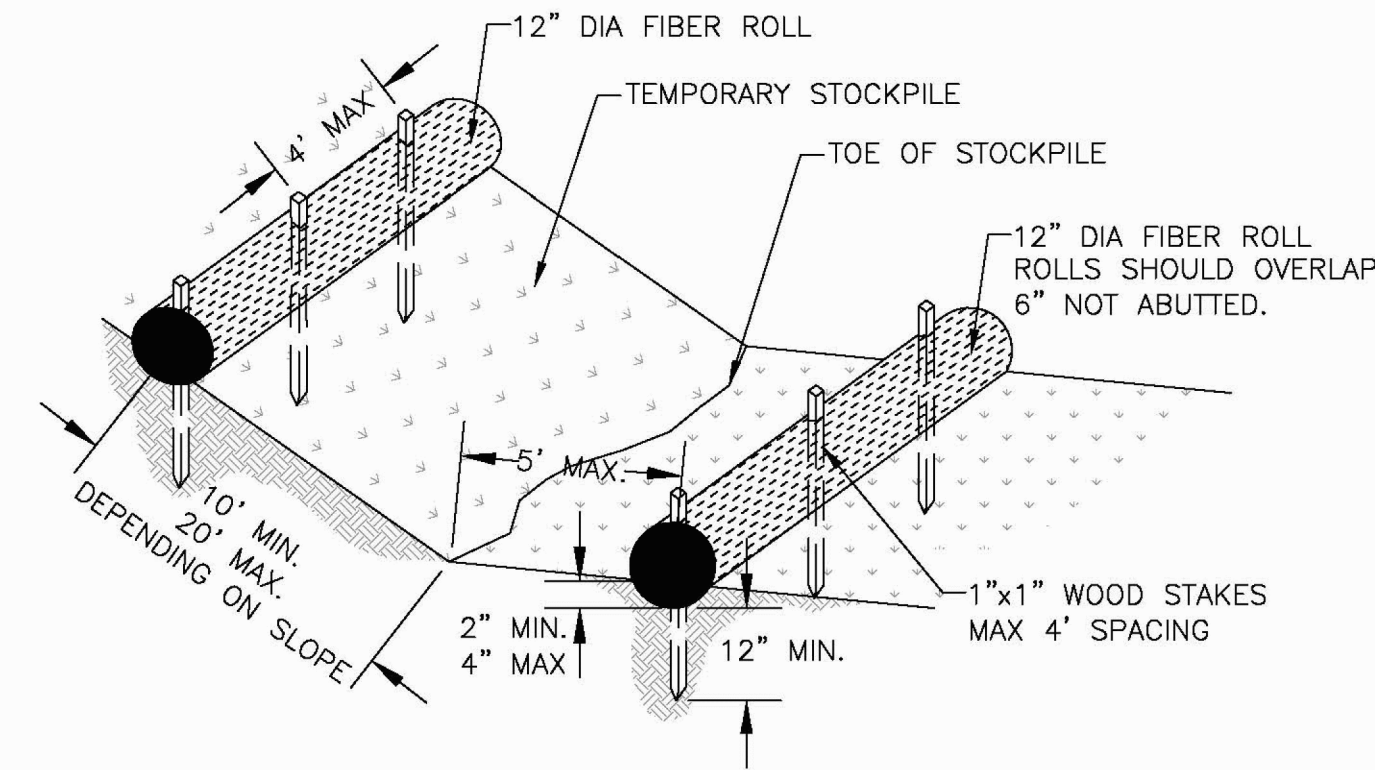
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<b>THE WORKS</b> CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS	INLET PROTECTION		
	CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS		
	SCALE: N.T.S	DATE: 07/09	DRAWN BY: McLANE



E

<b>THE WORKS</b> CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS	SILT FENCE			
	CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS			
	SCALE: N.T.S	DATE OF ISSUE: 2/2009	SPEC. SECTION REF#: 01500	1500.1



INSPECTION SCHEDULE SHALL COMPLY WITH THE 2008 EPA CONSTRUCTION GENERAL PERMIT

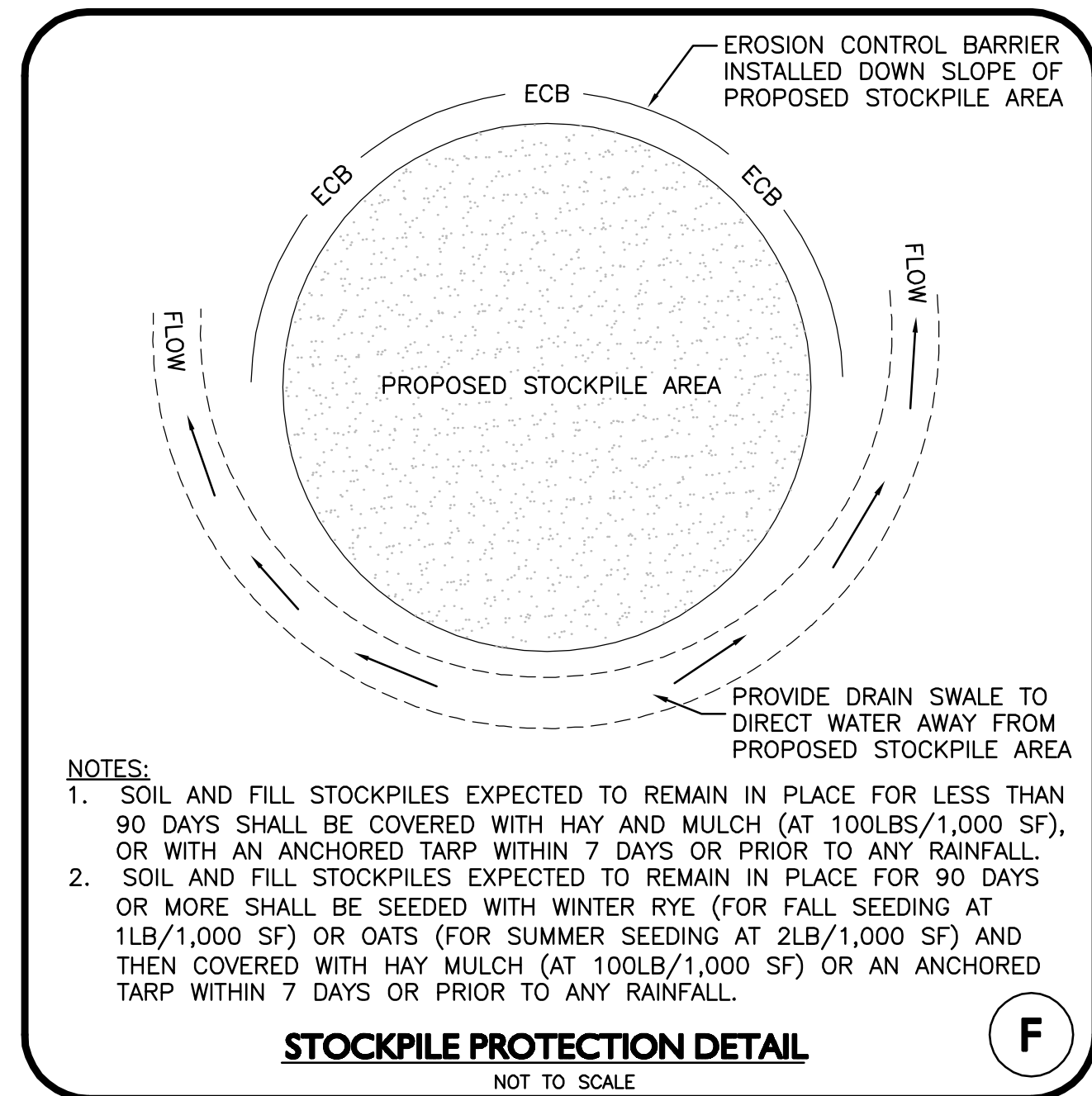
MAINTENANCE SHALL OCCUR WHEN NECESSARY. FIBER ROLLS SHALL BE REPLACE EVERY 6 MONTHS AND STACKS SHALL BE INSPECTED TO ENSURE STRUCTURAL INTEGRITY. FIBER ROLLS SHALL BE INSPECTED WEEKLY AND ALL MAINTENANCE ISSUES SHALL BE CORRECT AT THAT TIME.

TEMPORARY STOCKPILES ARE STOCKPILES THAT WILL BE USED WITHIN 14 DAYS FOR BEING PLACED. IF A STOCKPILE IS BEING LEFT UNDISTURBED FOR LONGER THAT 14 DAYS THEN PERMANENT STABILIZATION WILL BE REQUIRED

**FIBER ROLL STOCKPILE PROTECTION**  
NOT TO SCALE

C

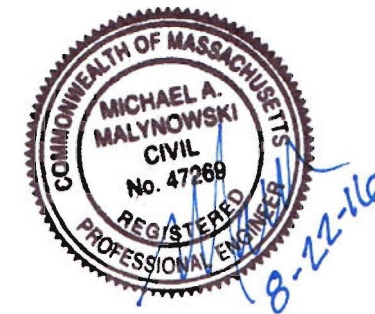
<b>THE WORKS</b> CITY OF CAMBRIDGE DEPARTMENT OF PUBLIC WORKS	FIBER ROLL STOCKPILE PROTECTION		
	CITY OF CAMBRIDGE STANDARD SPECIFICATIONS AND DETAILS		
	SCALE: N.T.S	DATE: 07/09	DRAWN BY: McLANE



F

- NOTES:**
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
  2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

**STOCKPILE PROTECTION DETAIL**  
NOT TO SCALE



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT: 120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: AS SHOWN DWG.: 1362-16-SWPPP-Prevention

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

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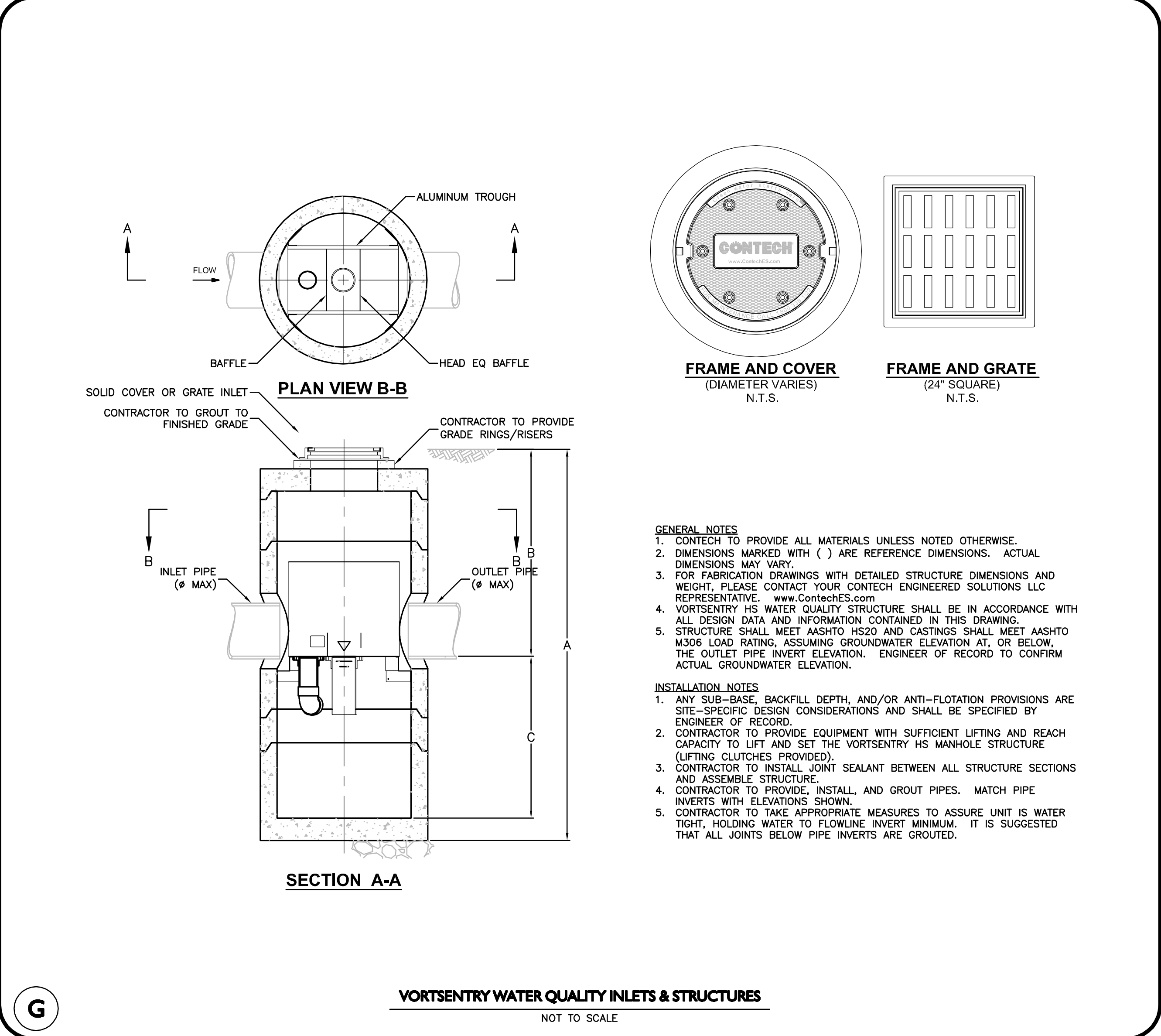
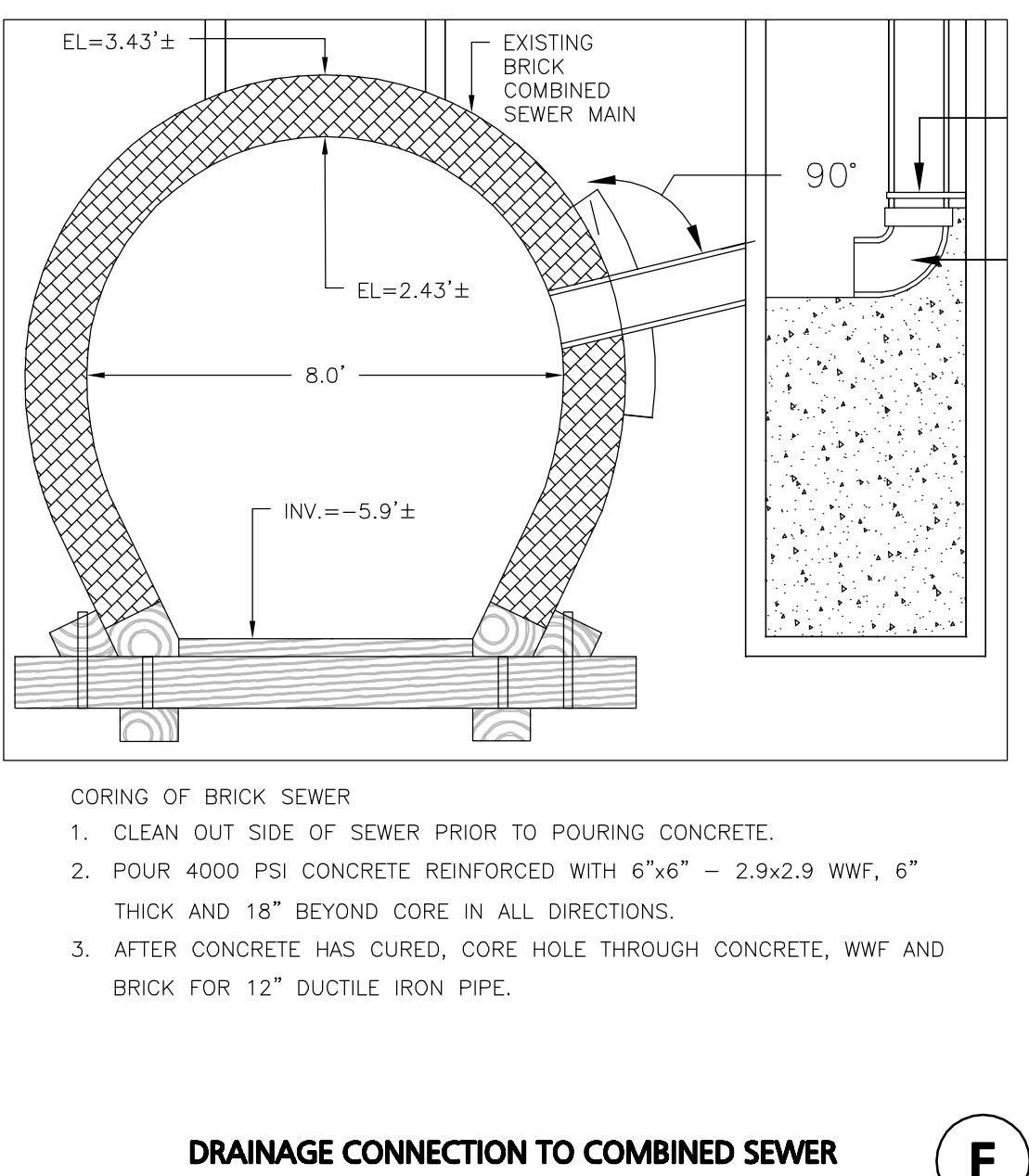
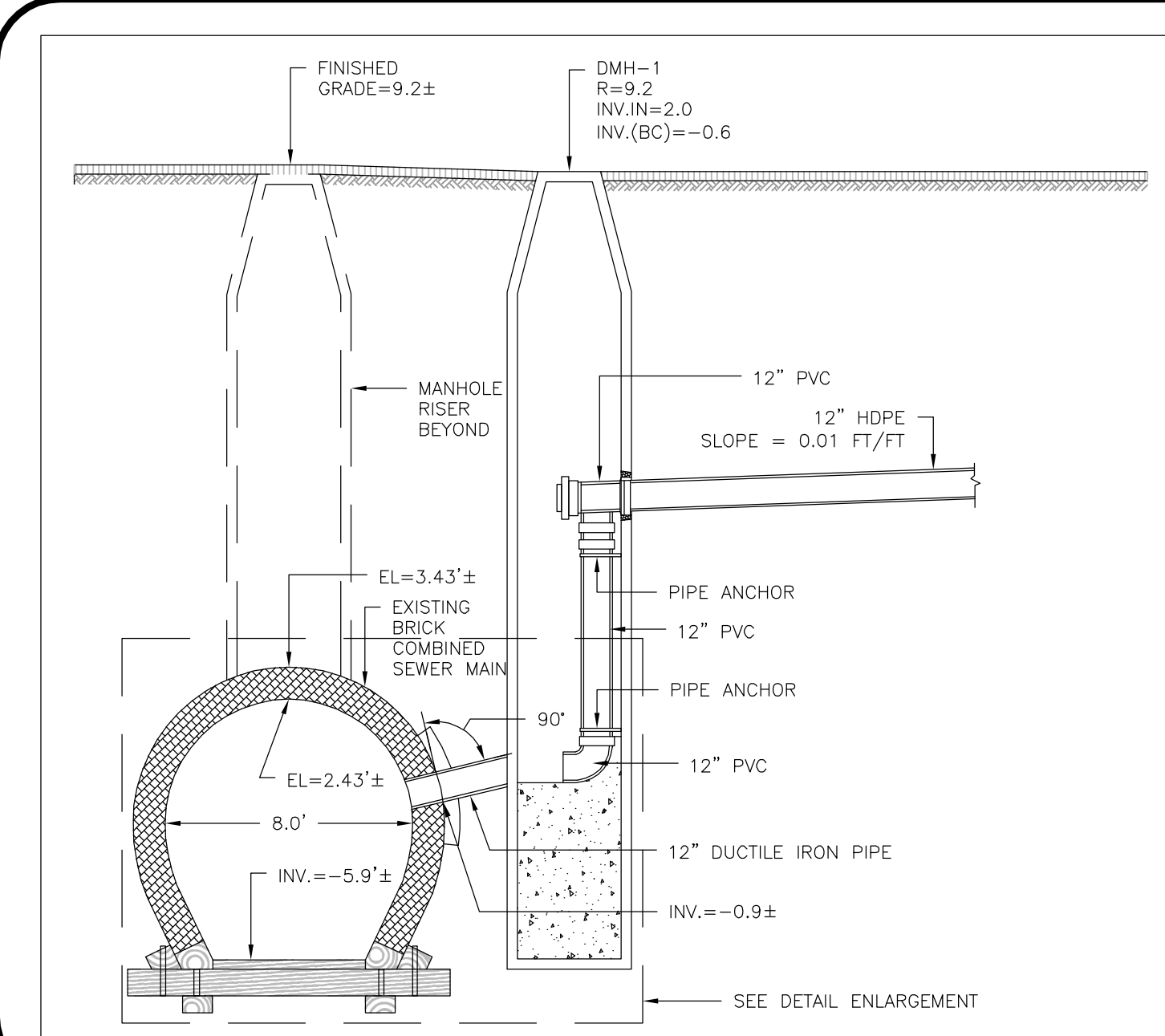
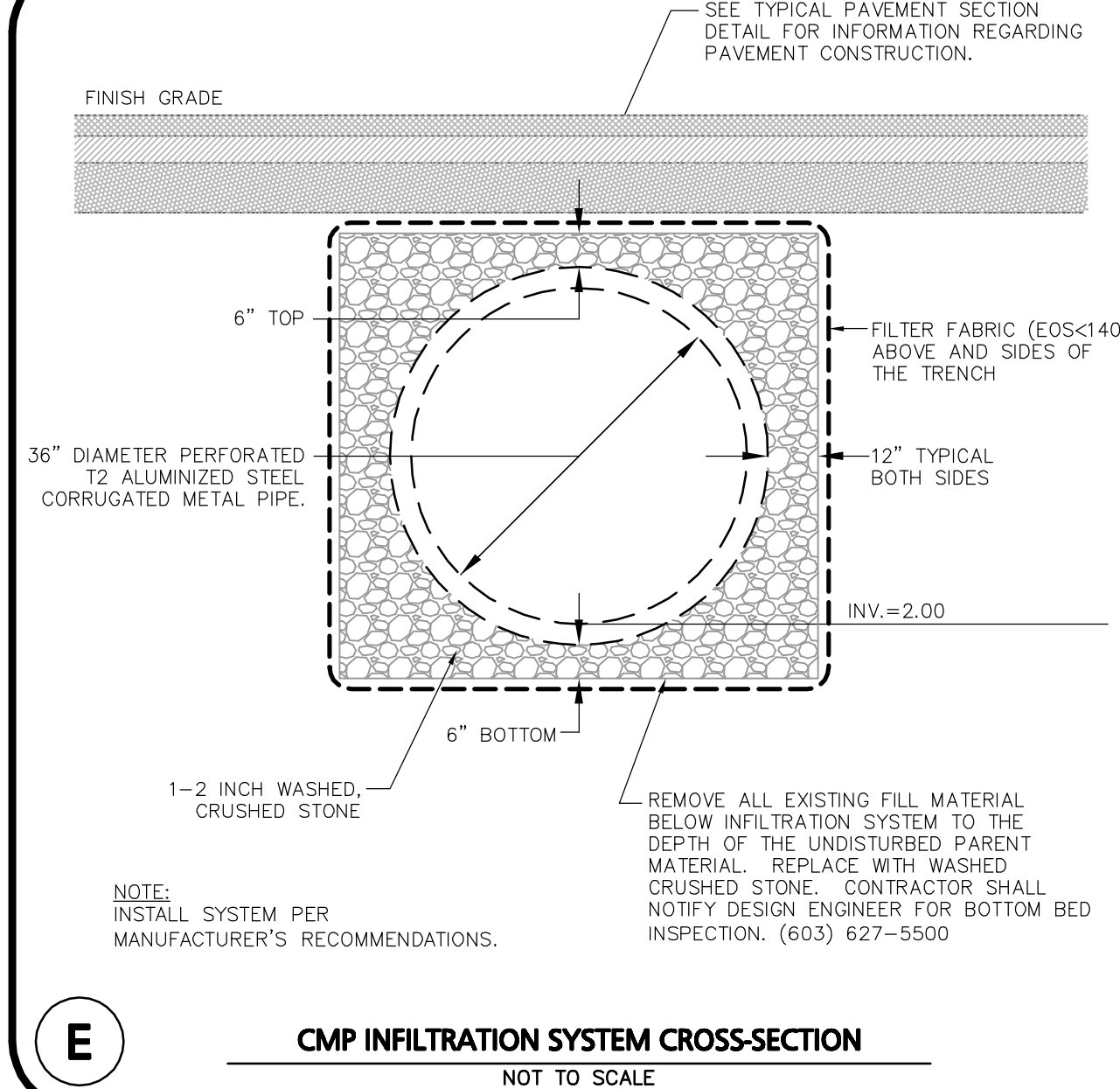
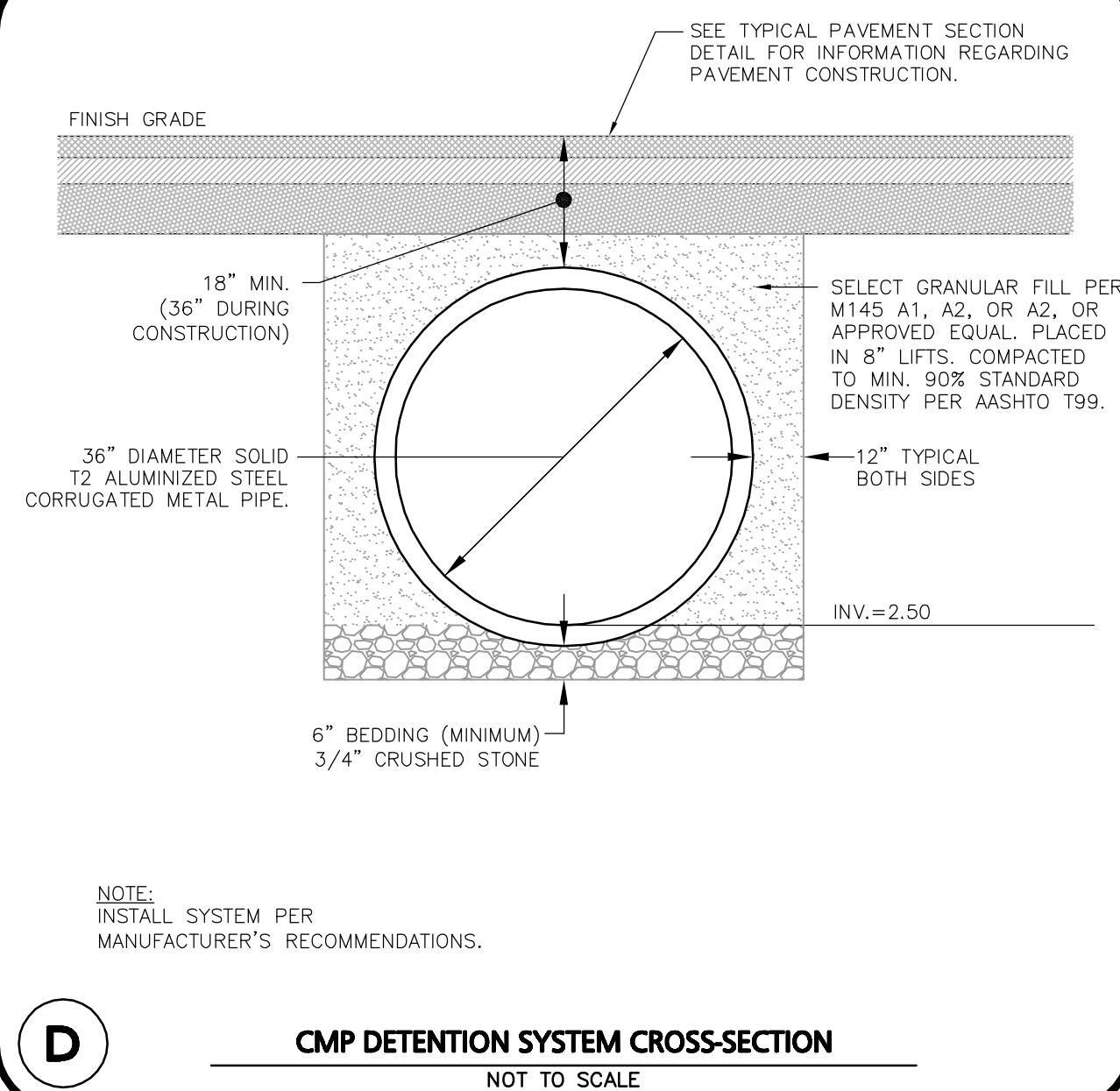
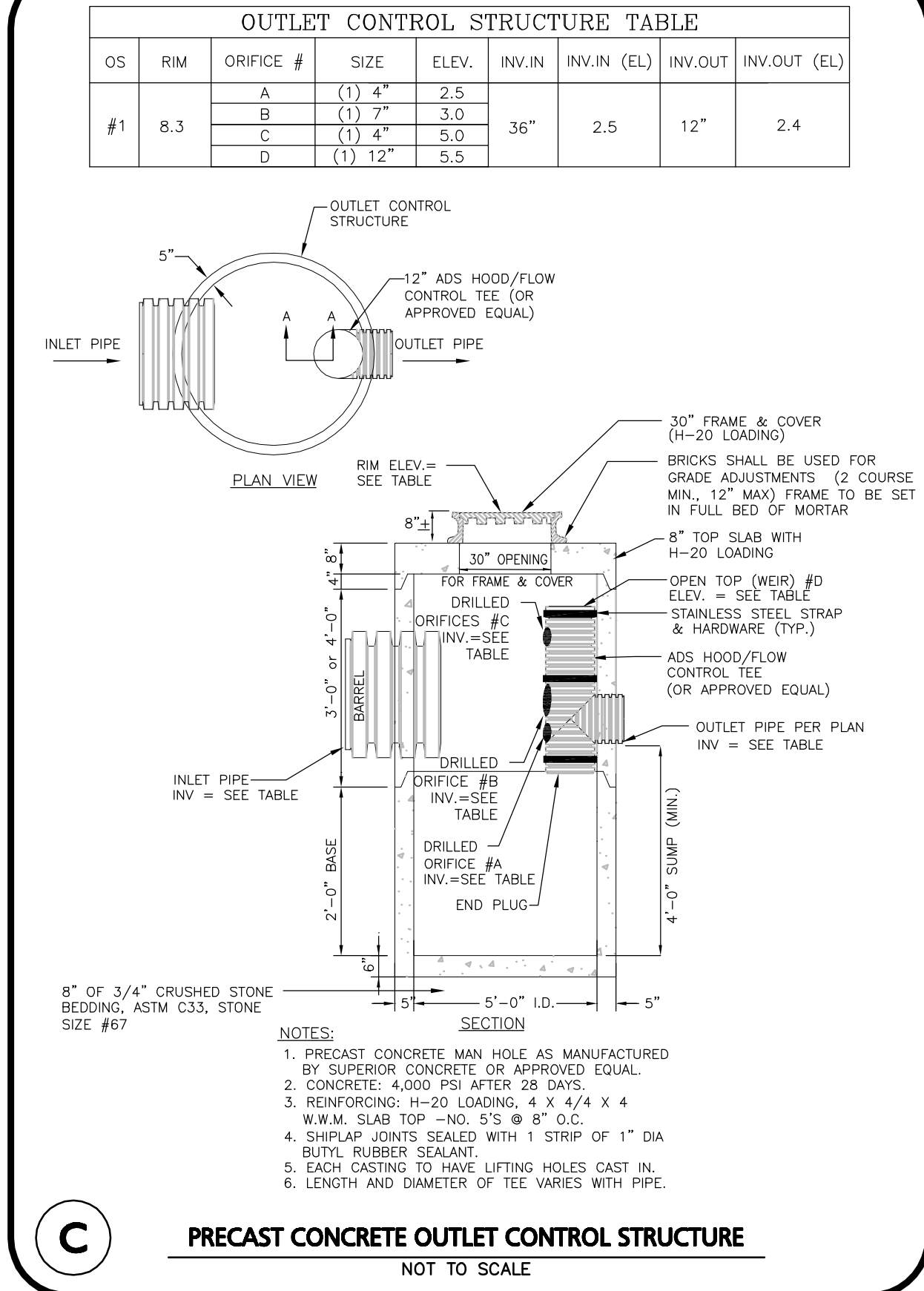
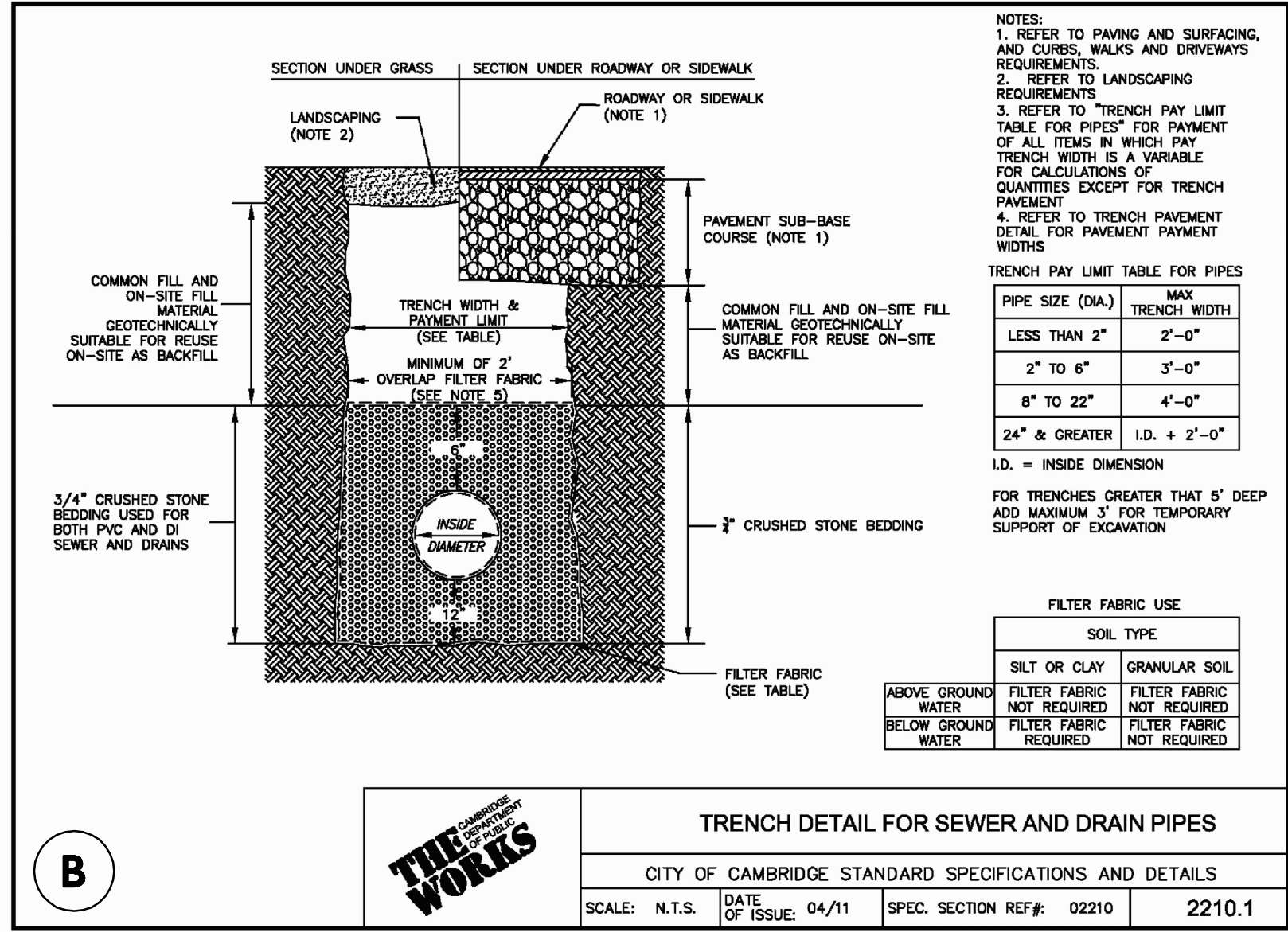
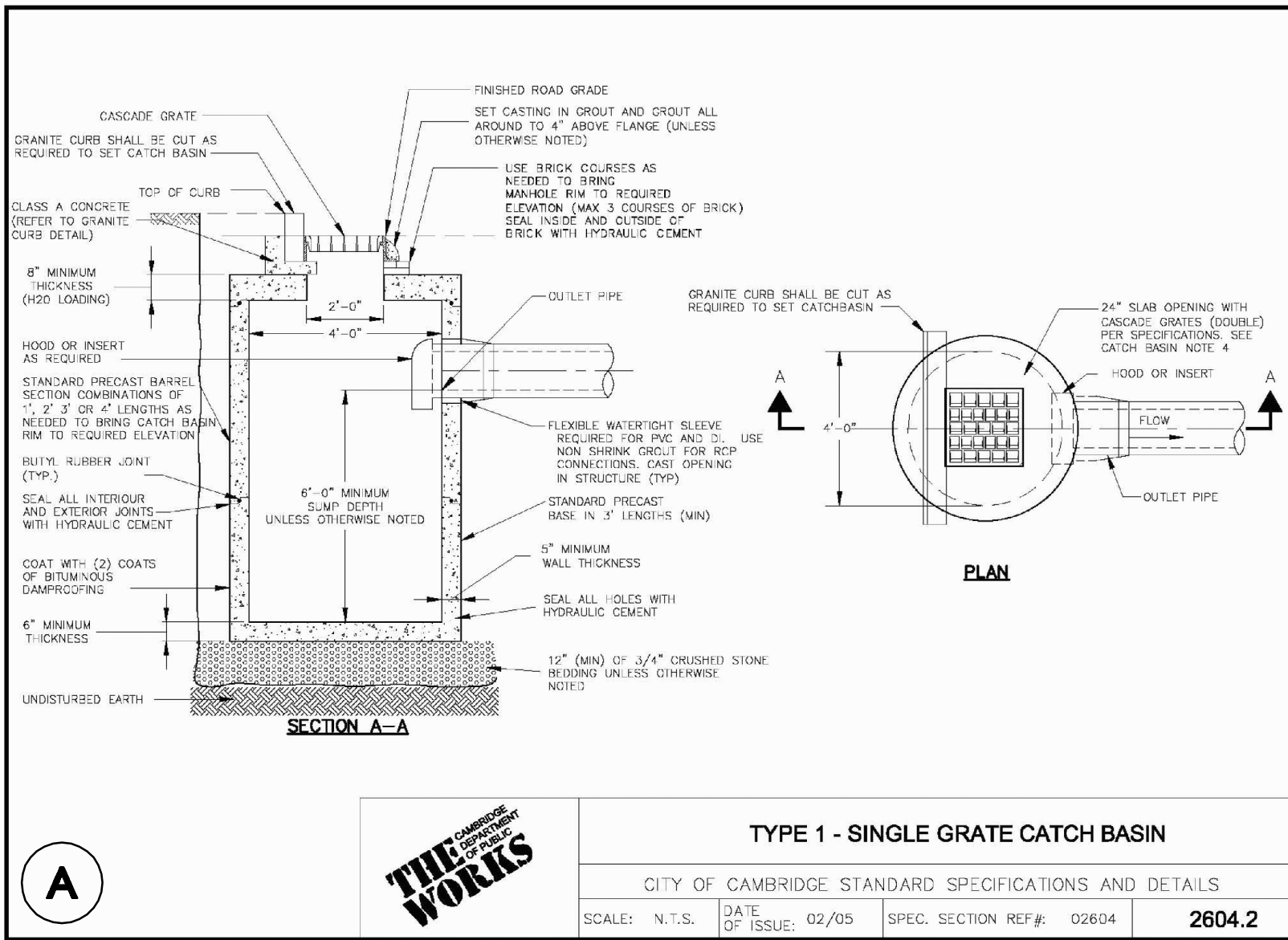
DRAWING TITLE: SHEET NO.

STORMWATER POLLUTION PREVENTION DETAILS SWPPP 3

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OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT: 120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: AS SHOWN DWG.: 08-22-16

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:  
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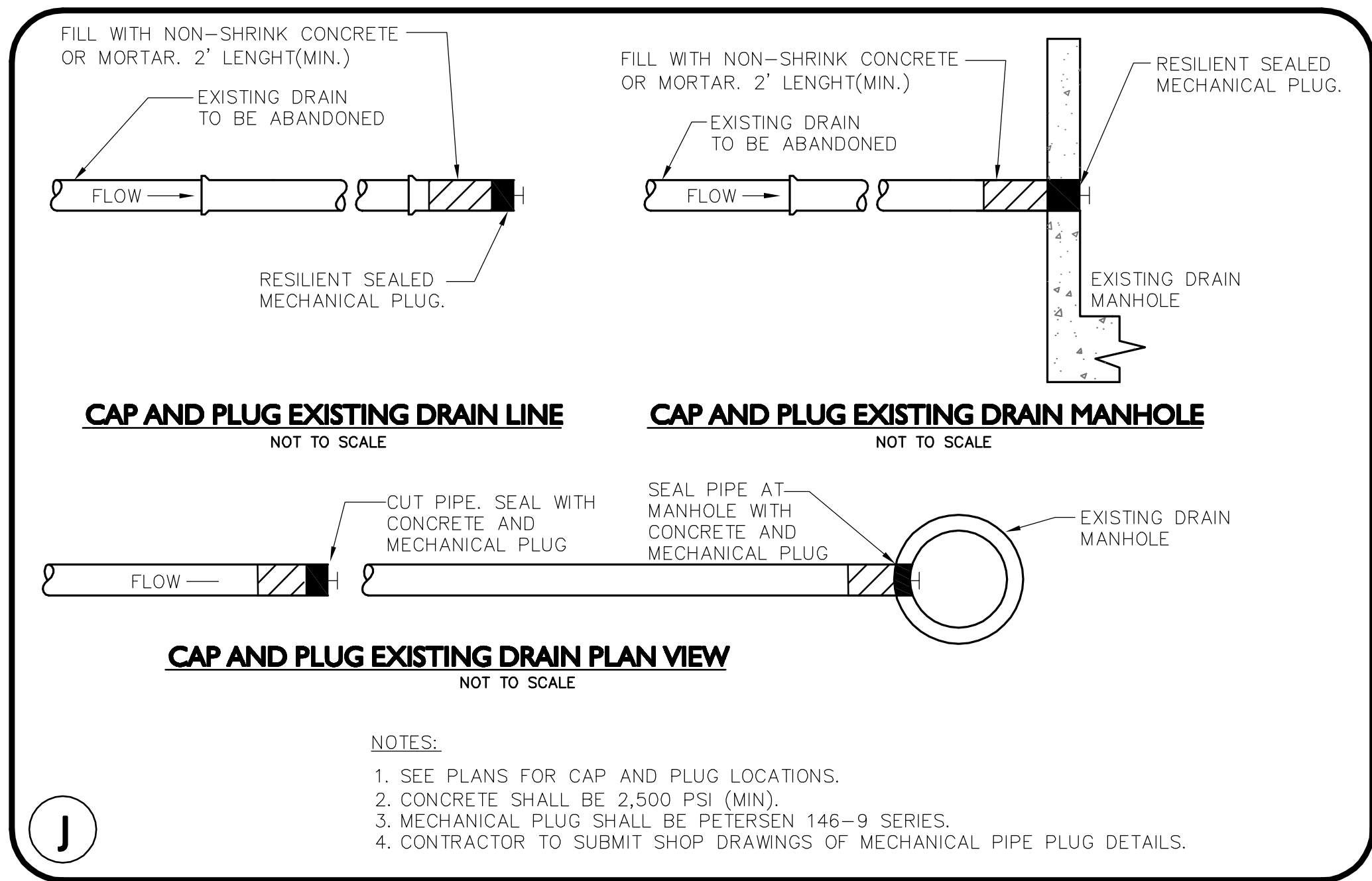
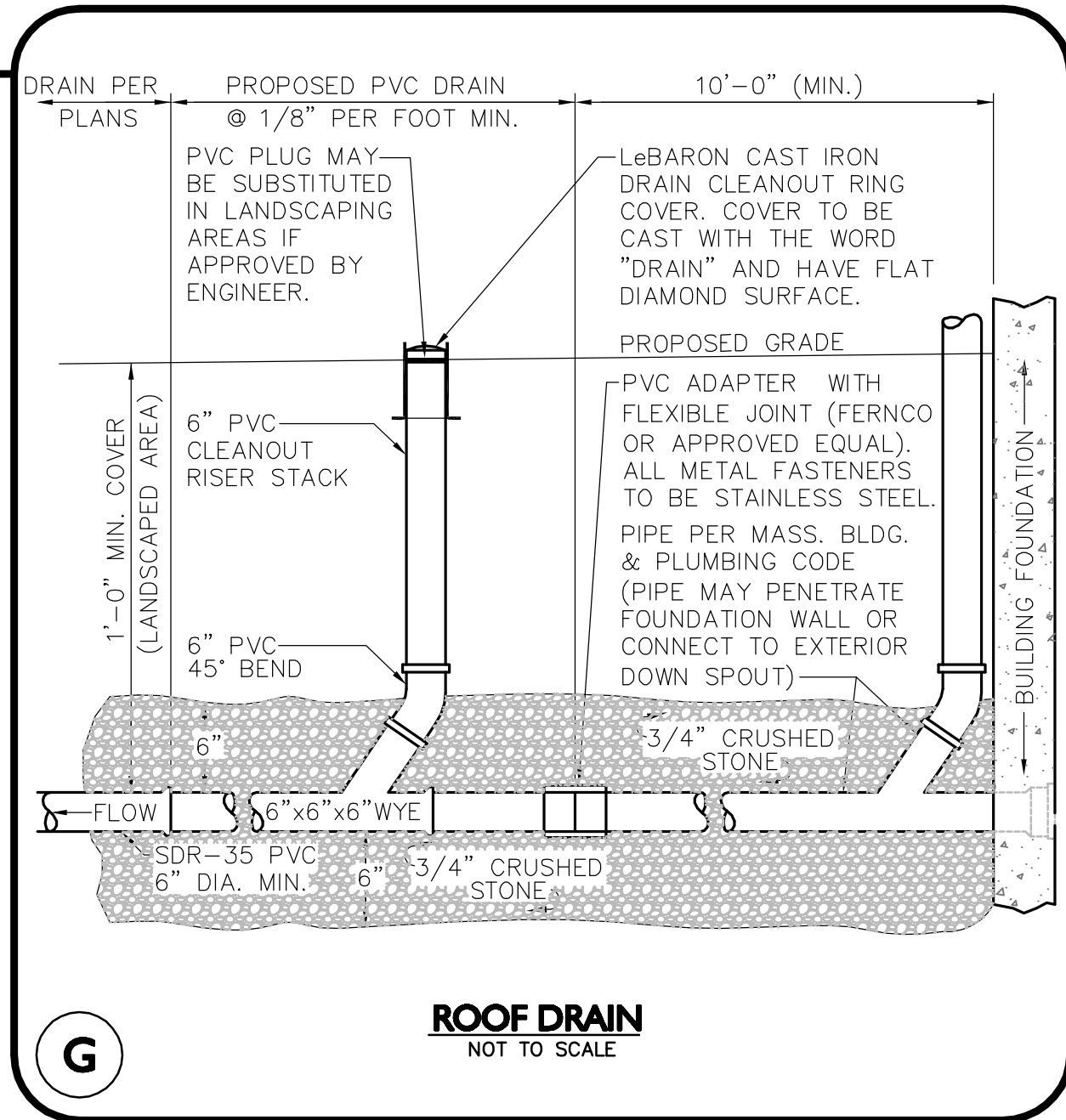
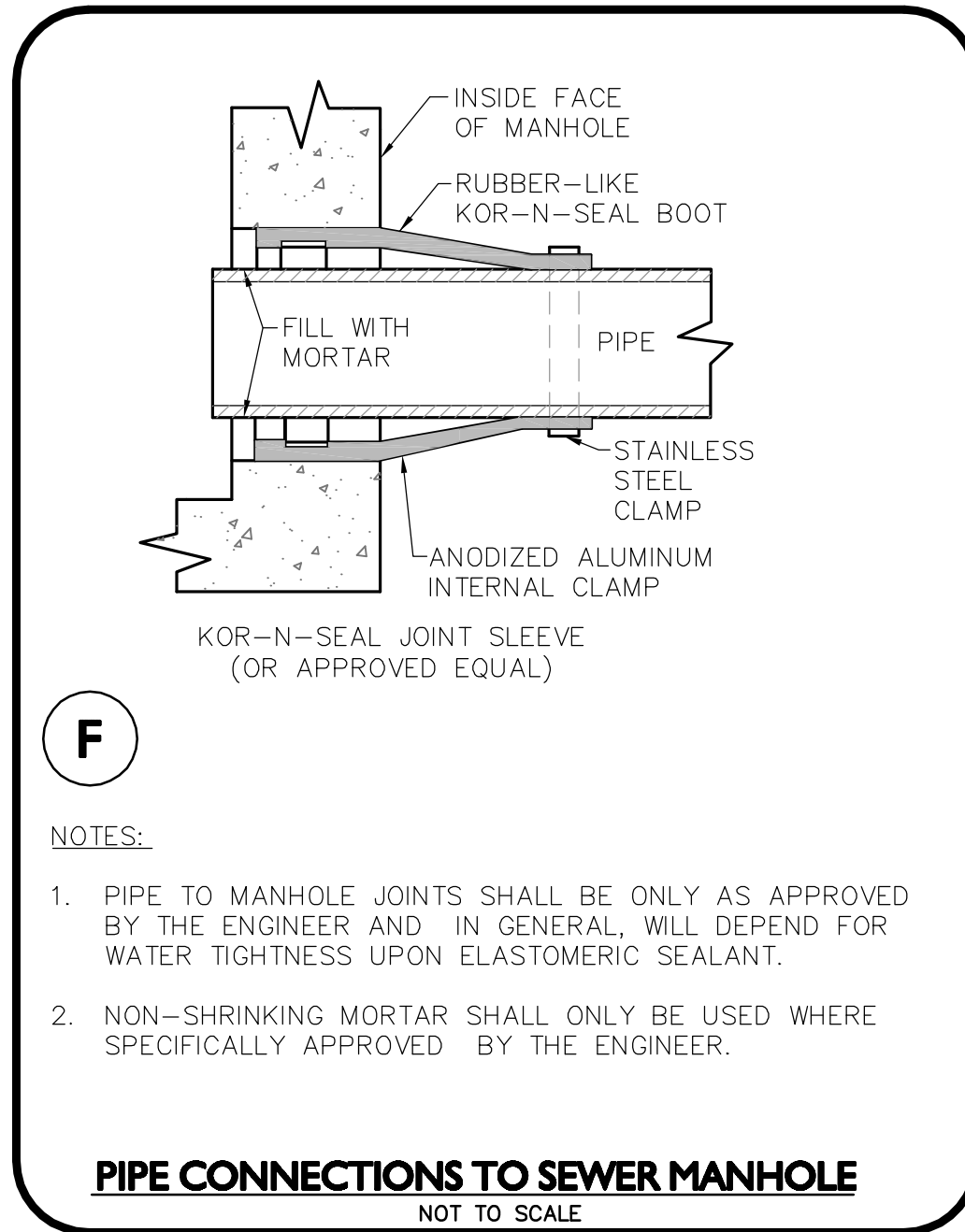
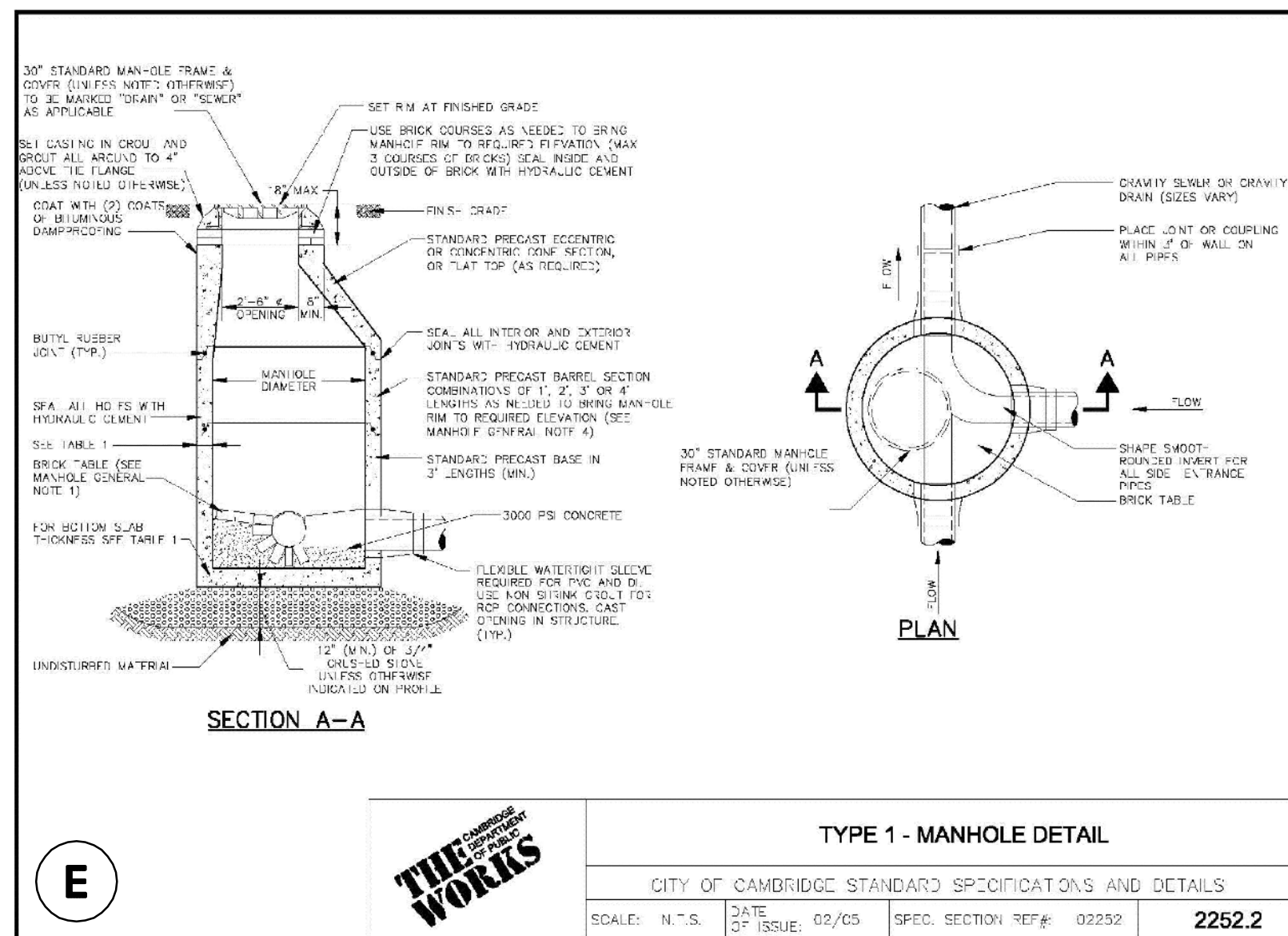
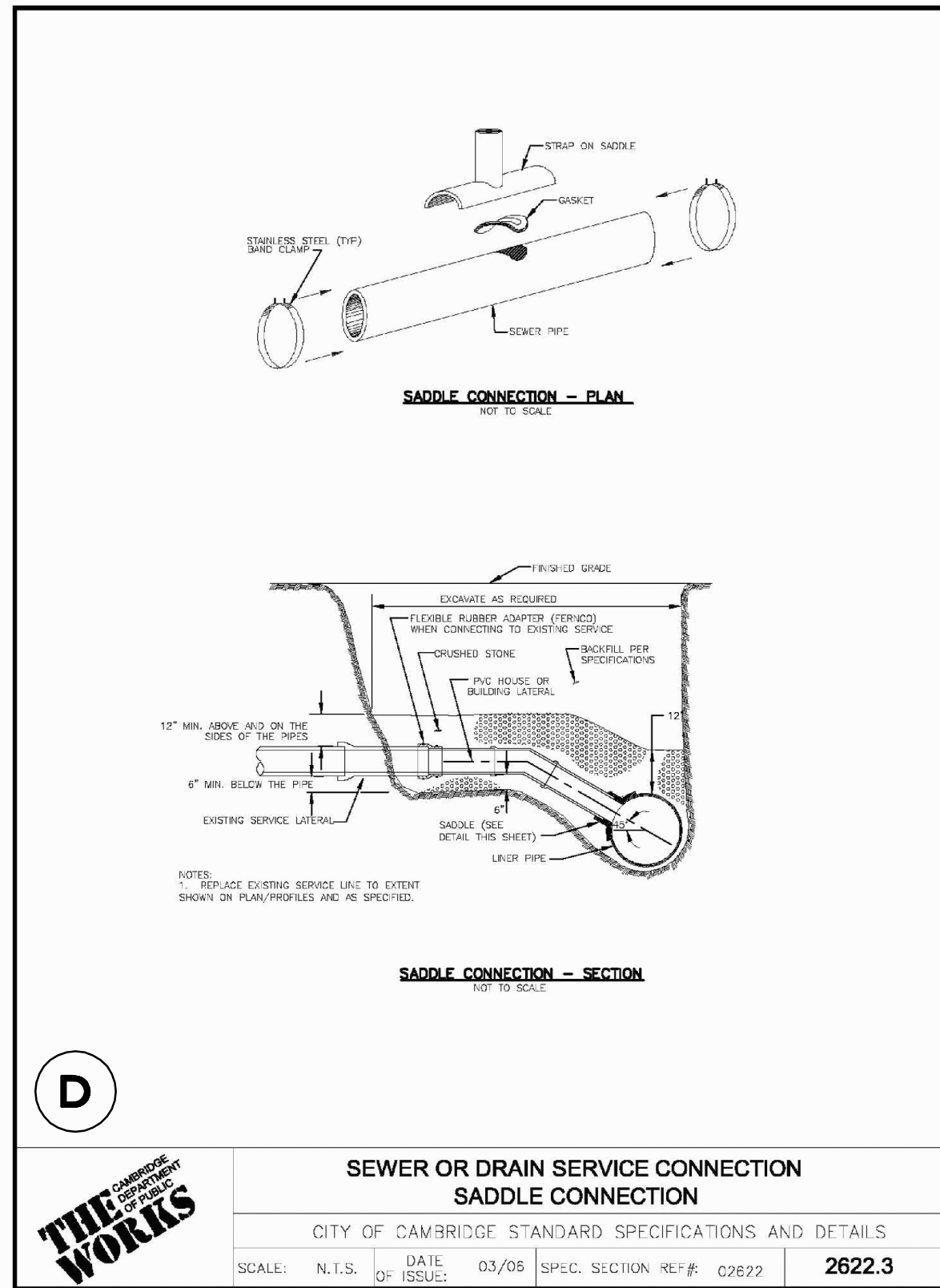
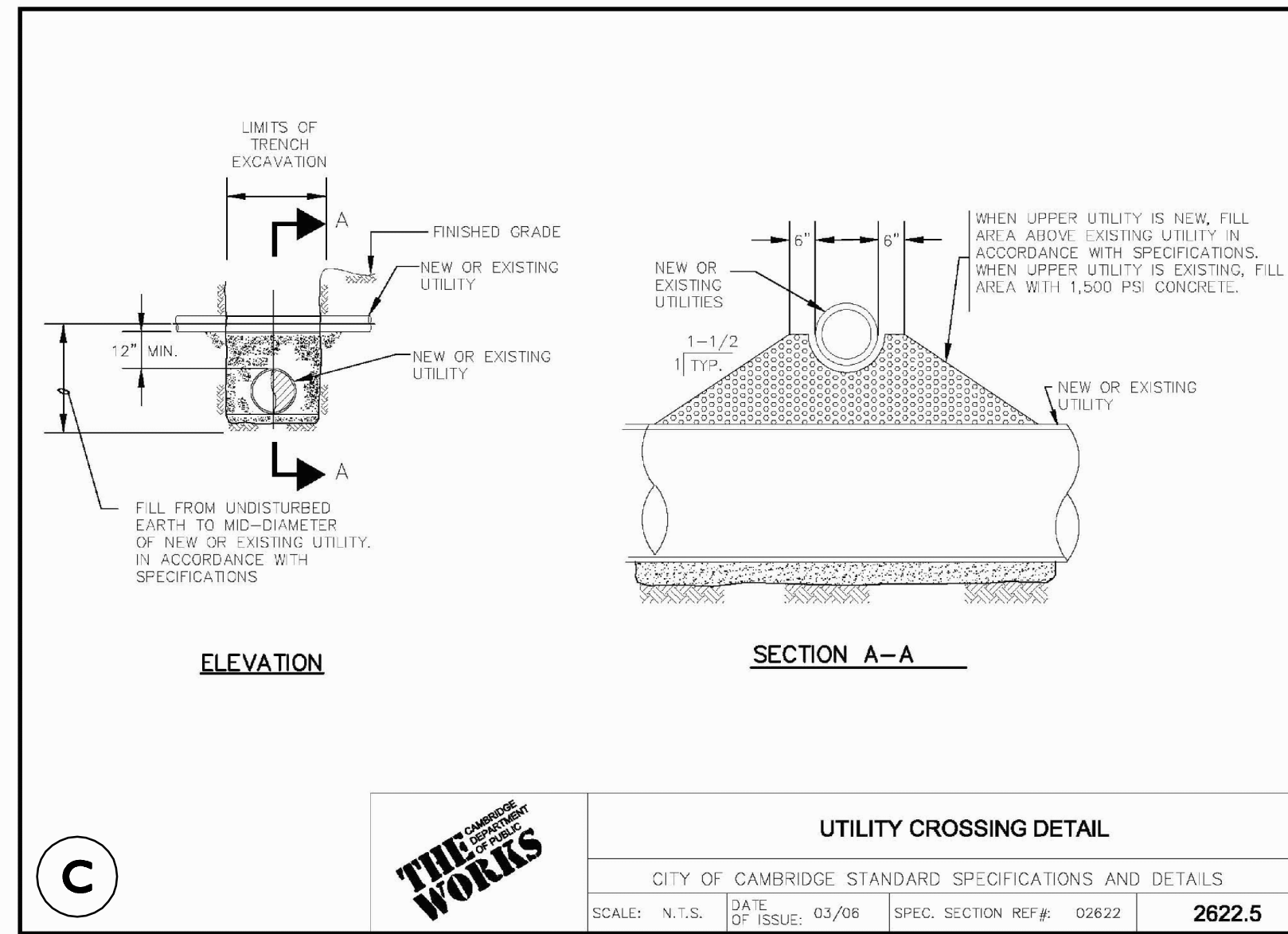
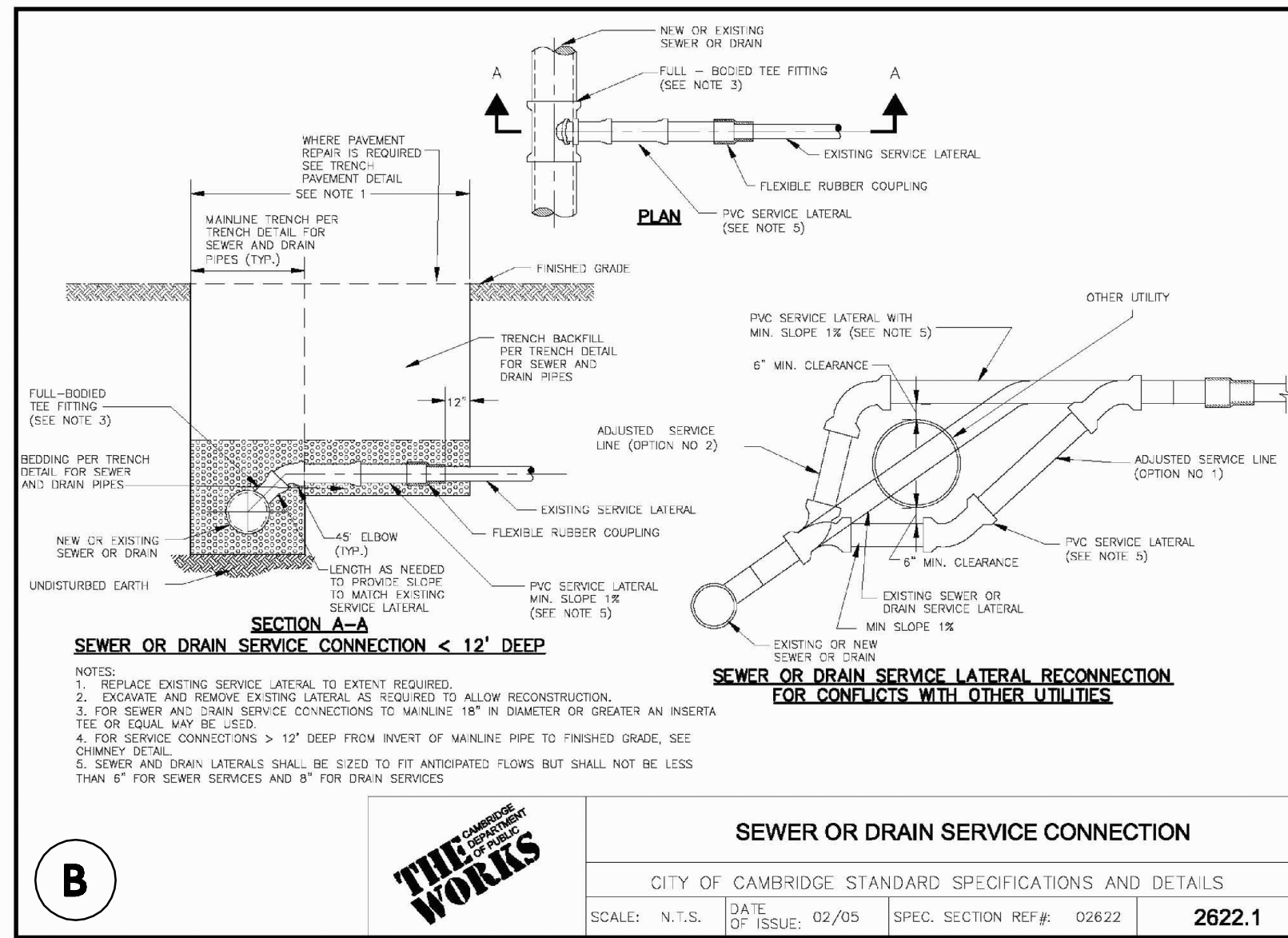
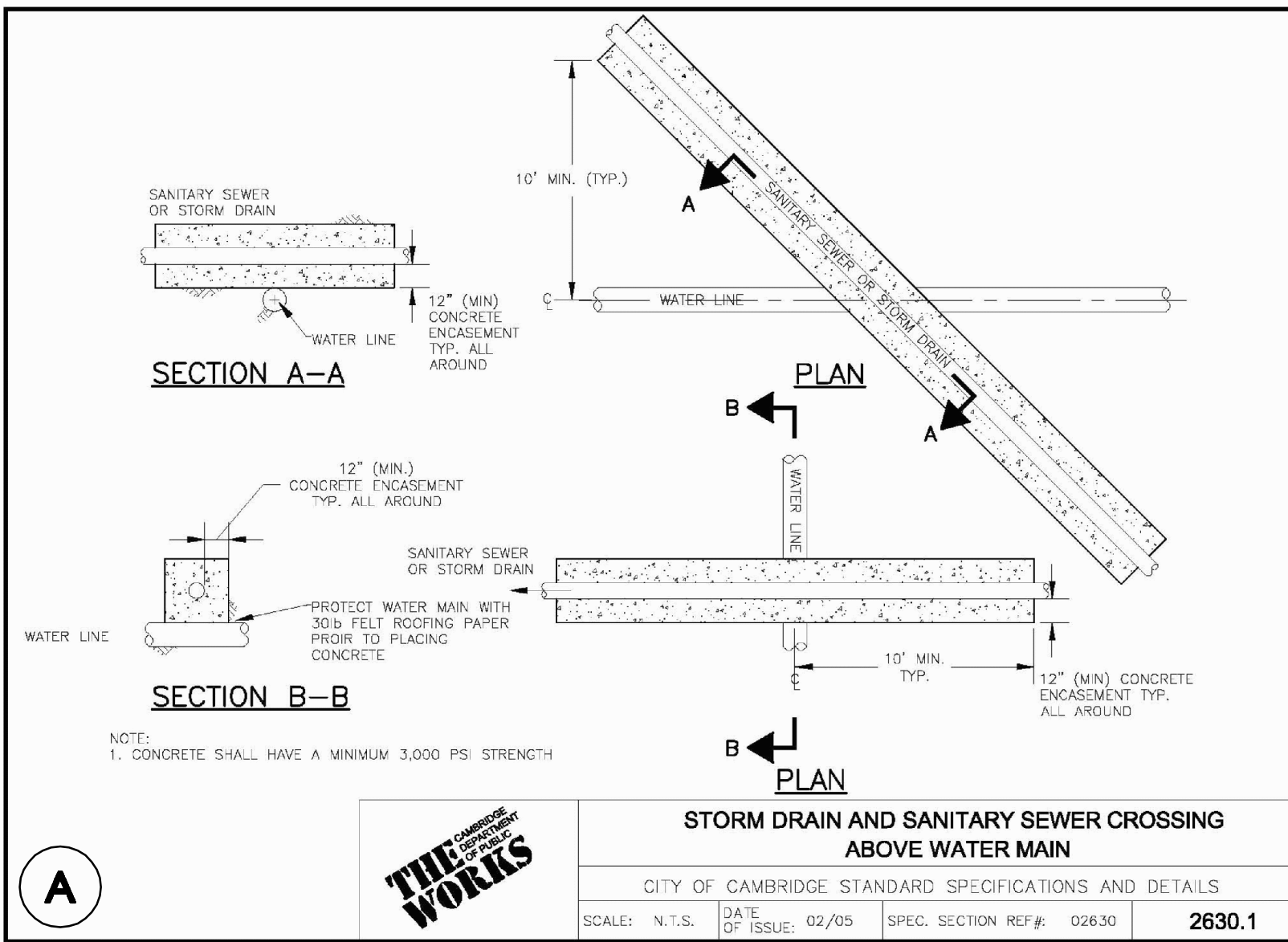
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**REV DATE DESCRIPTION**

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c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

**PROJECT:** 120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

**1 McGRATH HIGHWAY  
SOMERVILLE, MA**

**PROJECT NO. 1362-16 DATE: 08-22-16**

**SCALE: AS SHOWN DWG.: 1362-16Details**

**DESIGNED BY: SM CHECKED BY: MM**

**PREPARED BY:**

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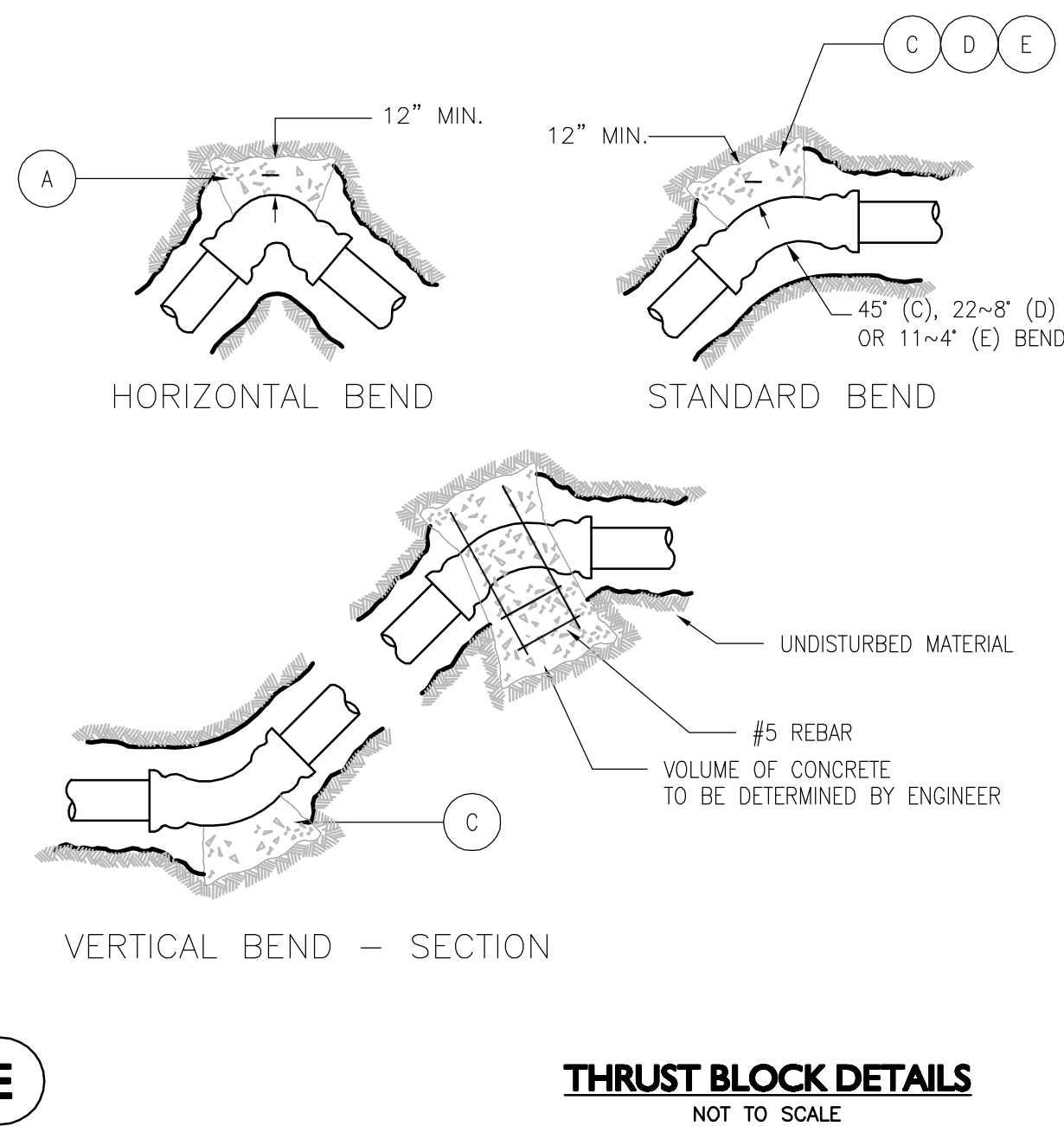
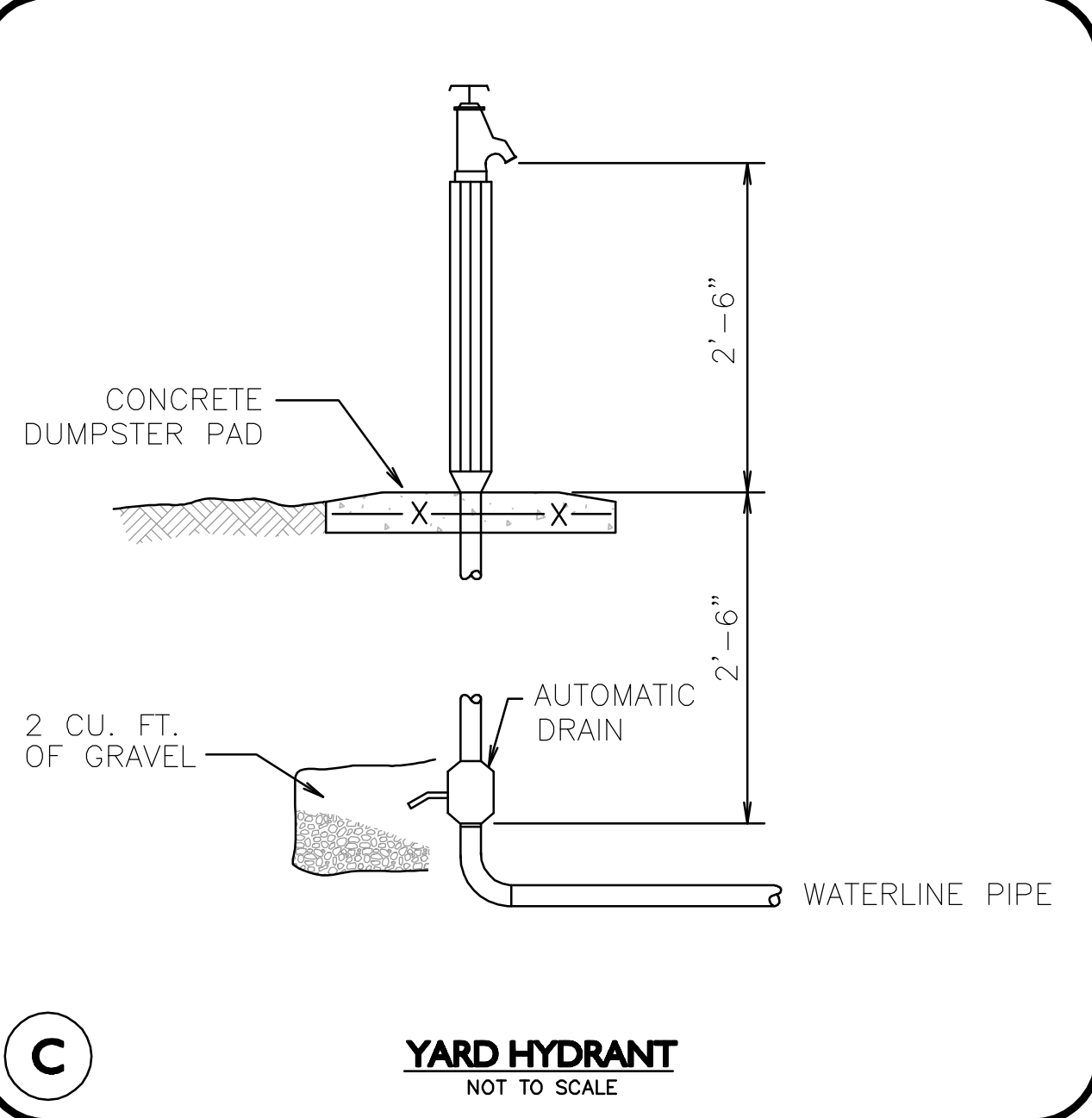
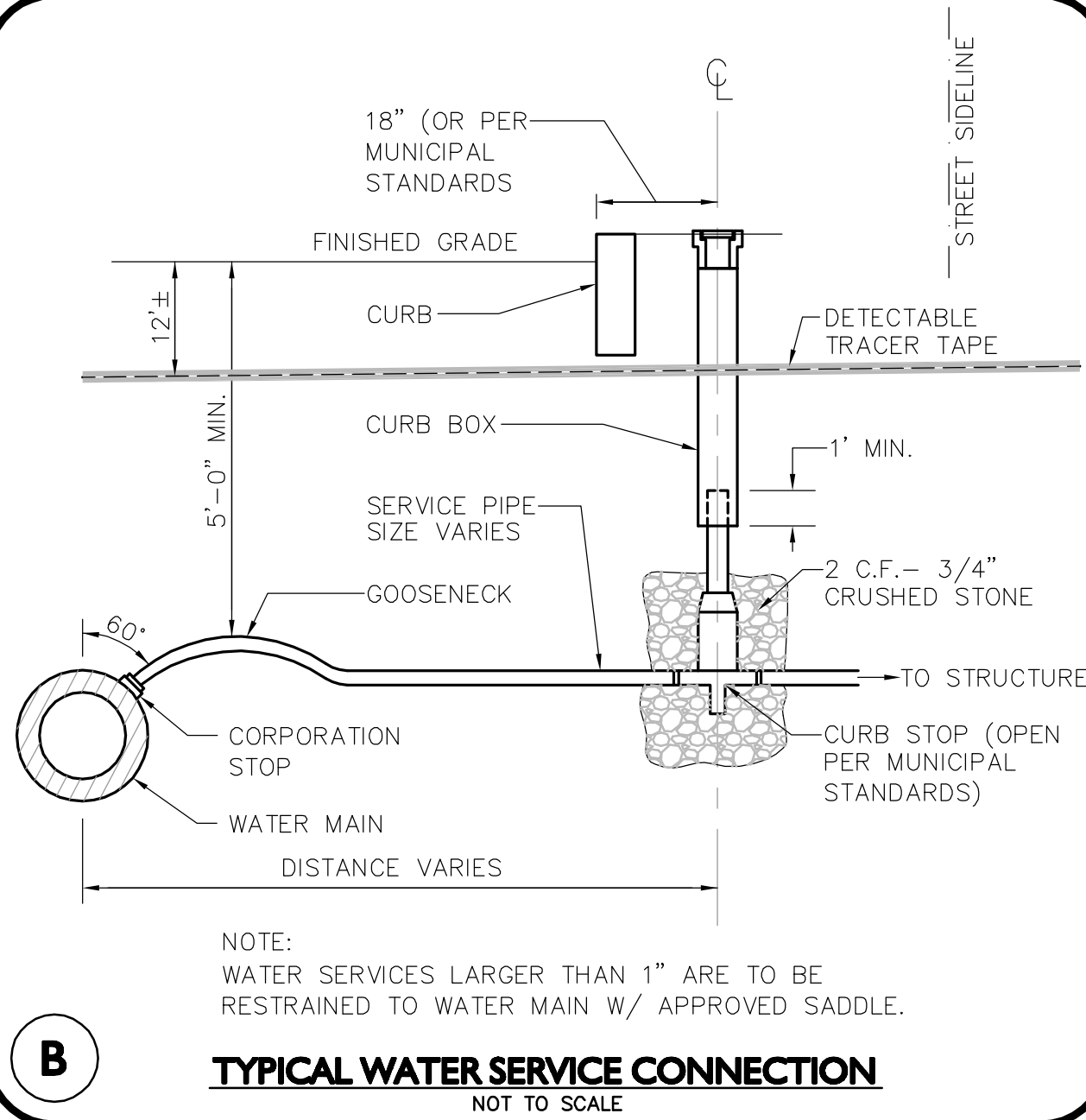
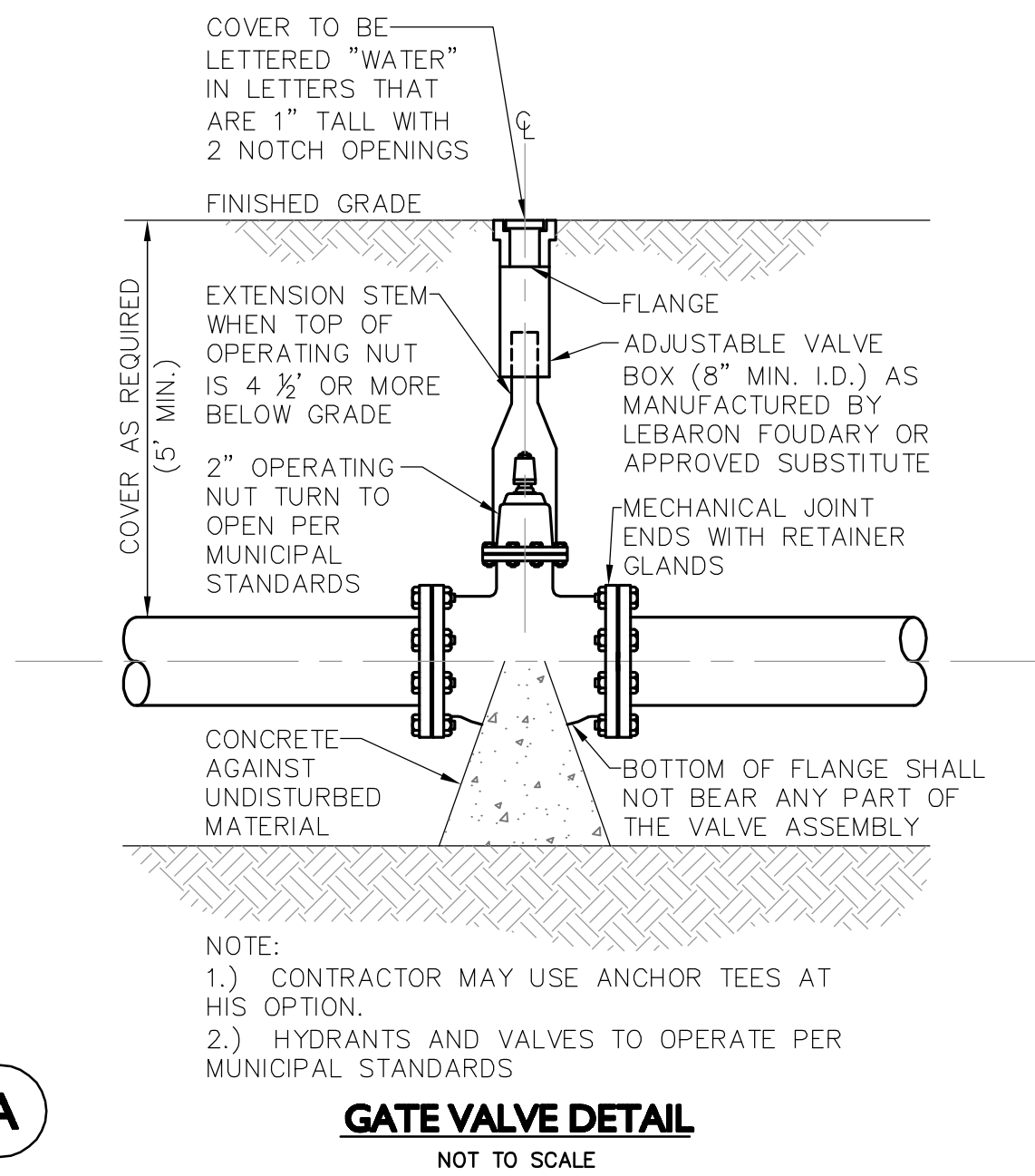
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CONCRETE PATIO BLOCK WRAPPED IN POLYETHYLENE

PIPE & CAP

THRUST BLOCK SCHEDULE SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL						
REACTION TYPE	PIPE SIZE					
	1" TO 4"	6"	8"	10"	12"	
TEST PRESSURE = 100 PSIG						
(A)	0.89	2.19	3.92	5.57	8.62	
(B)	0.65	1.55	2.76	4.19	6.09	
(C)	0.48	1.19	2.12	3.01	4.66	
(D)	0.25	0.60	1.08	1.54	2.37	
(E)	0.13	0.30	0.54	0.77	1.19	
OTHER TEST PRESSURES FOR THE ABOVE REACTIONS	TEST PRESSURE TO BE 200 PSI MINIMUM AT LOW END OF THE TEST SECTION. SQUARE FEET OF CONCRETE THRUST BLOCKING FOR OTHER TEST PRESSURES IS DIRECTLY PROPORTIONAL TO THE ABOVE TABLE.					

#### NOTES:

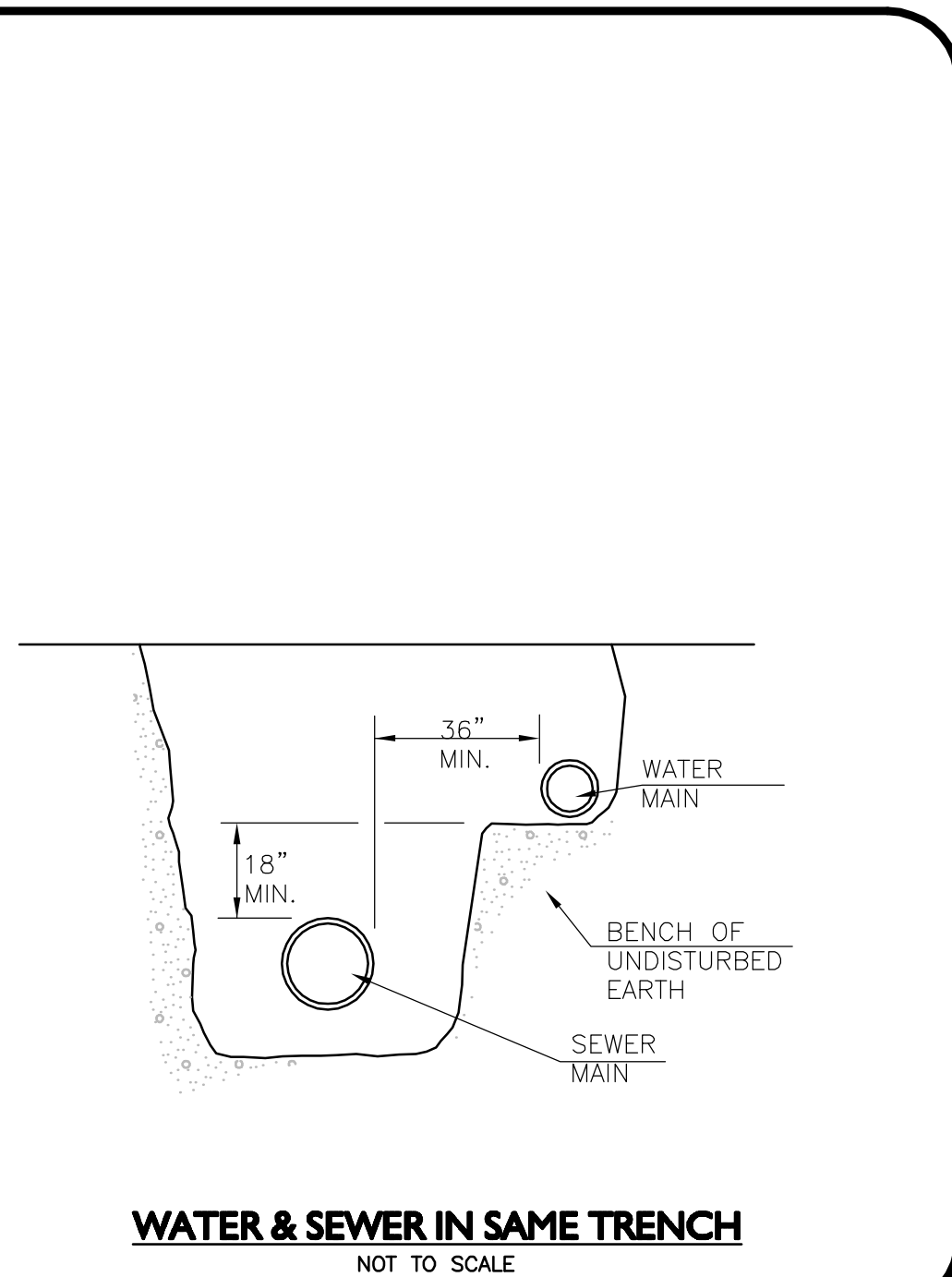
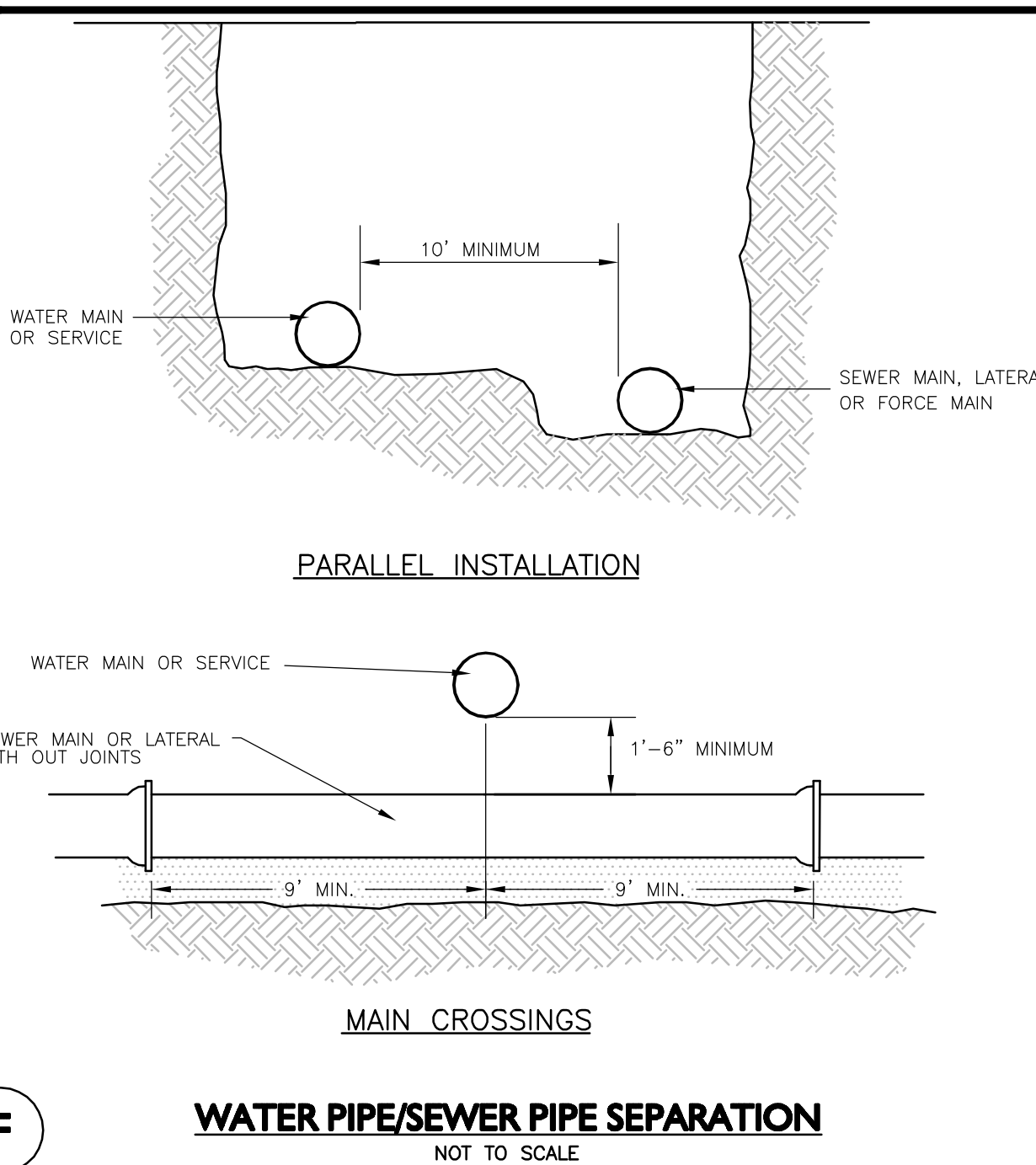
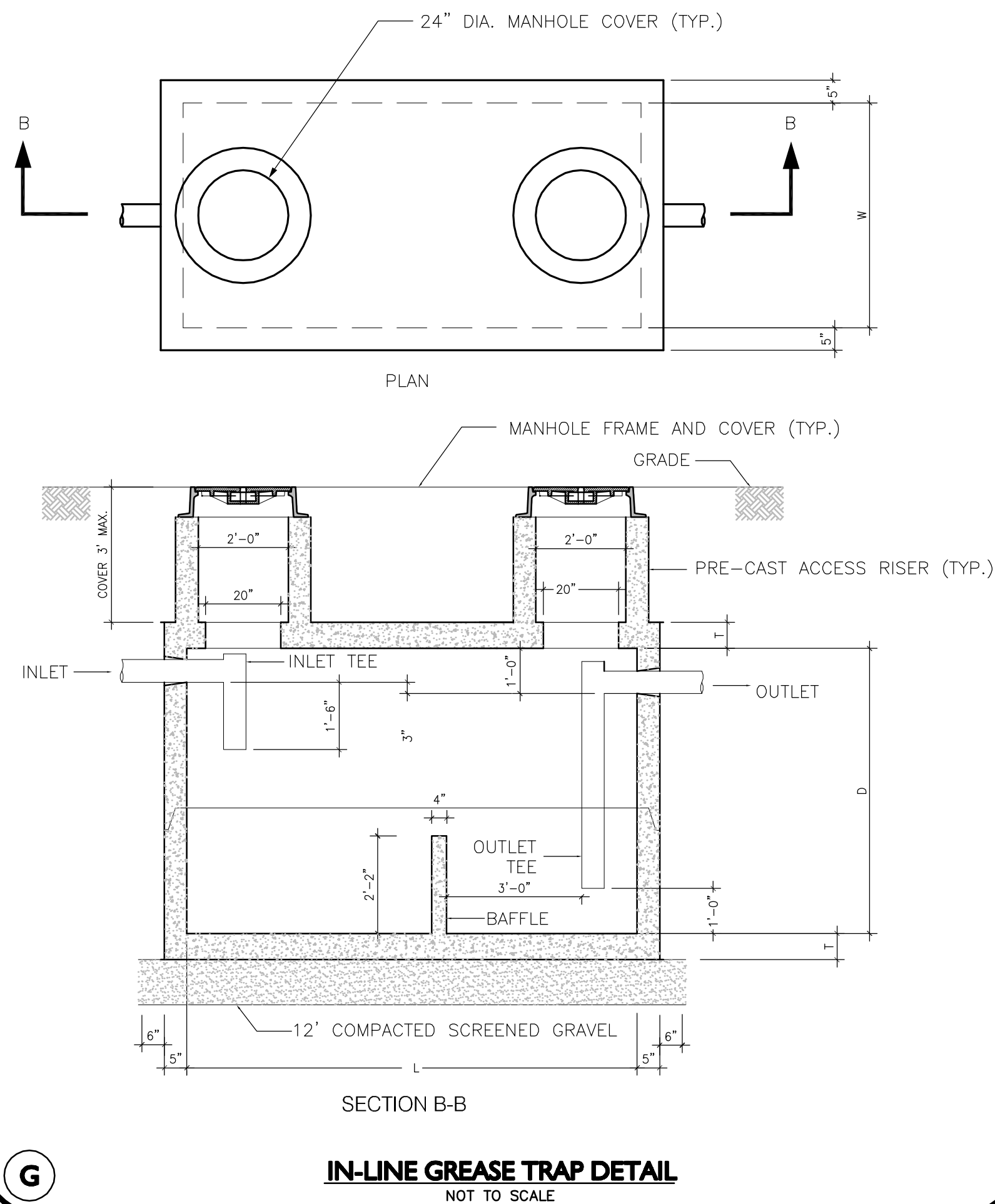
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH SHALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- PLACE CONCRETE PATIO BLOCKS IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCK.
- REQUIREMENTS OF THE ABOVE TABLE PRESUME MINIMUM SOIL BEARING OF 1 TON PER SQUARE FOOT AND MAY BE VARIED BY THE ENGINEER TO MEET OTHER CONDITIONS ENCOUNTERED.
- RETAINER GLANDS ARE REQUIRED FOR ALL MECHANICAL JOINTS. THESE GLANDS DO NOT REDUCE THE REQUIREMENTS FOR THRUST RESTRAINT.
- ALL FITTINGS SHALL BE WRAPPED IN POLYETHYLENE OR BUILDING PAPER PRIOR TO INSTALLATION OF CONCRETE RESTRAINT.
- THREADED RODS SHALL BE ANSI A242 F550 PIPE RESTRAINT NUTS TO MATCH AWWA C111. THREADED RODS AND NUTS TO BE FIELD COATED WITH BITUMINOUS PAINT.
- THRUST RESTRAINT IS REQUIRED FOR ALL TEES, BENDS, REDUCERS, CAPS PLUGS, OR CROSSES.
- INSTALL LIFT HOOKS INTO THRUST BLOCKS AT END CAPS AND PLUGS.

#### IN-LINE GREASE TRAP SIZING CHART

NUMBERS OF MEALS SERVED PER DAY	REQUIRED CAPACITY IN GALLONS	DIMENSIONS			THICKNESS OF TOP AND BOTTOM SLABS T
		D	L	W	
<500	1000	4'-1"	8'-10"	4'-2"	5"
500-1000	2000	5'-4"	10'-0"	5'-0"	6"

#### NOTE:

COVER IN EXCESS OF 3'-0" WILL REQUIRE SUBMITTAL STAMPED, SIGNED, AND DATED BY PROFESSIONAL ENGINEER REGISTERED IN MASSACHUSETTS WITH DESIGN THAT PREVENTS BUOYANCY FORCES FROM PUSHING EMPTY GREASE TRAP OUT OF THE GROUND.



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

OWNER: SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT: 120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA  
1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: AS SHOWN DWG.: 1362-16Details

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:

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400 HARVEY ROAD  
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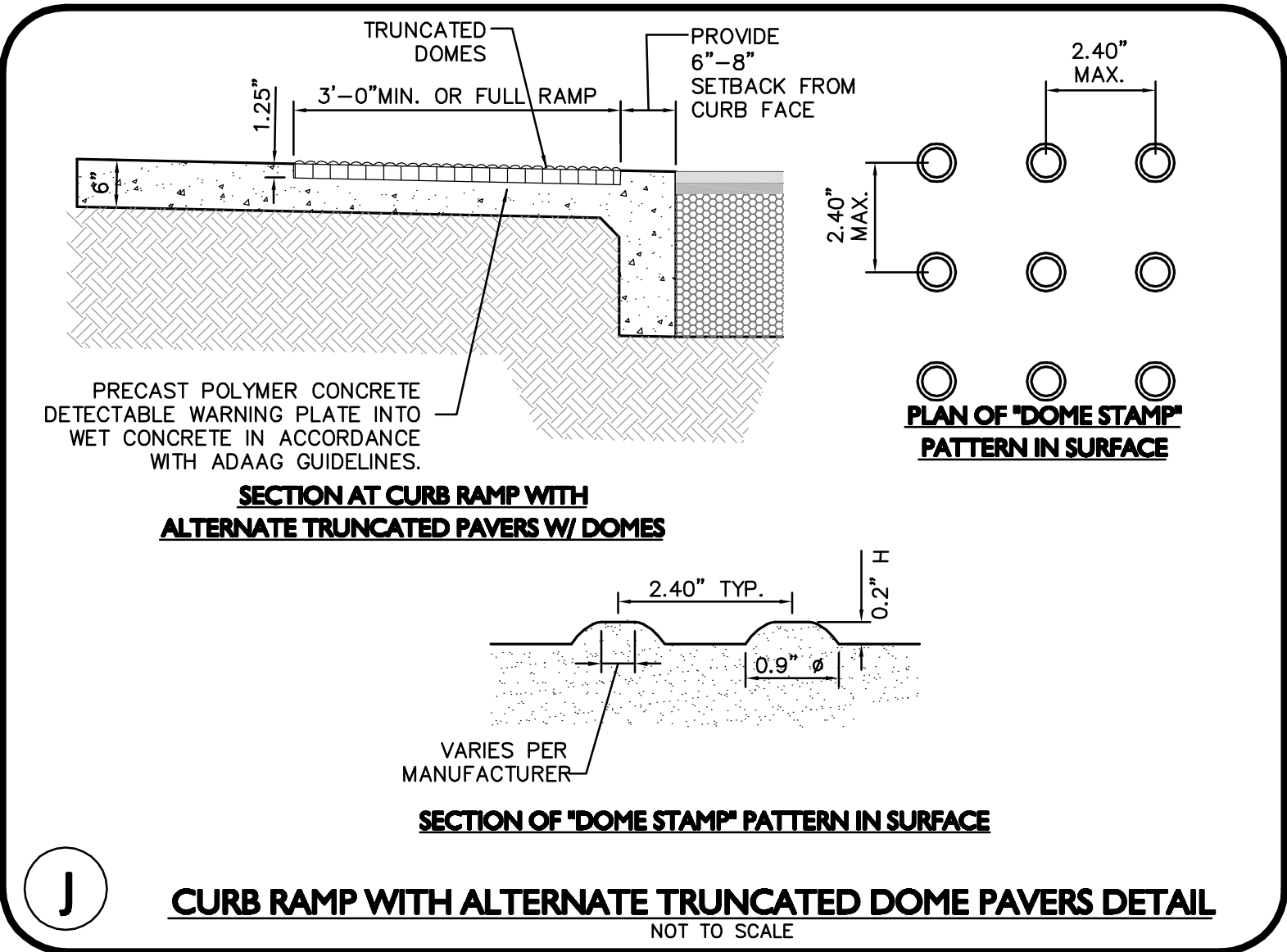
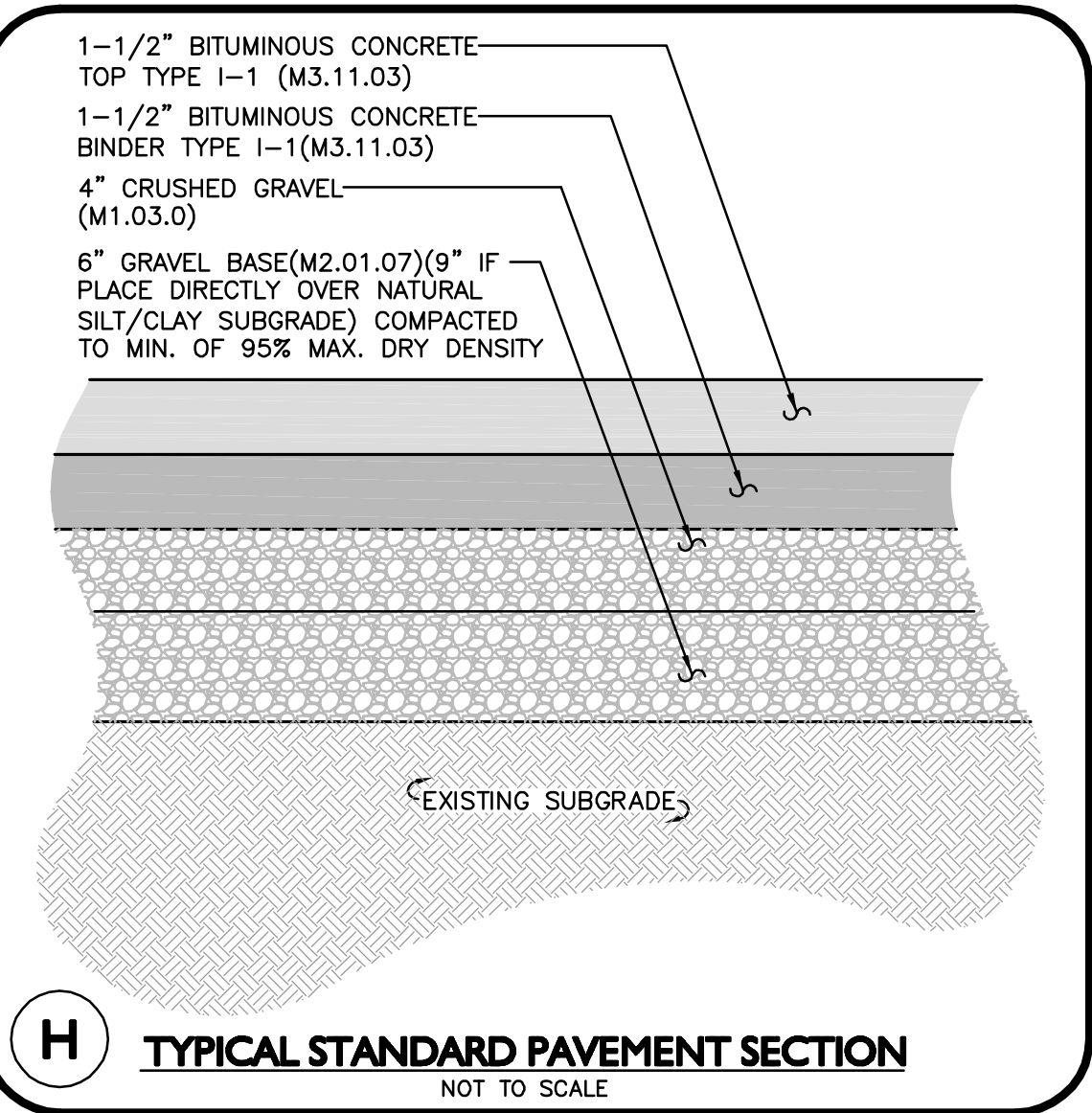
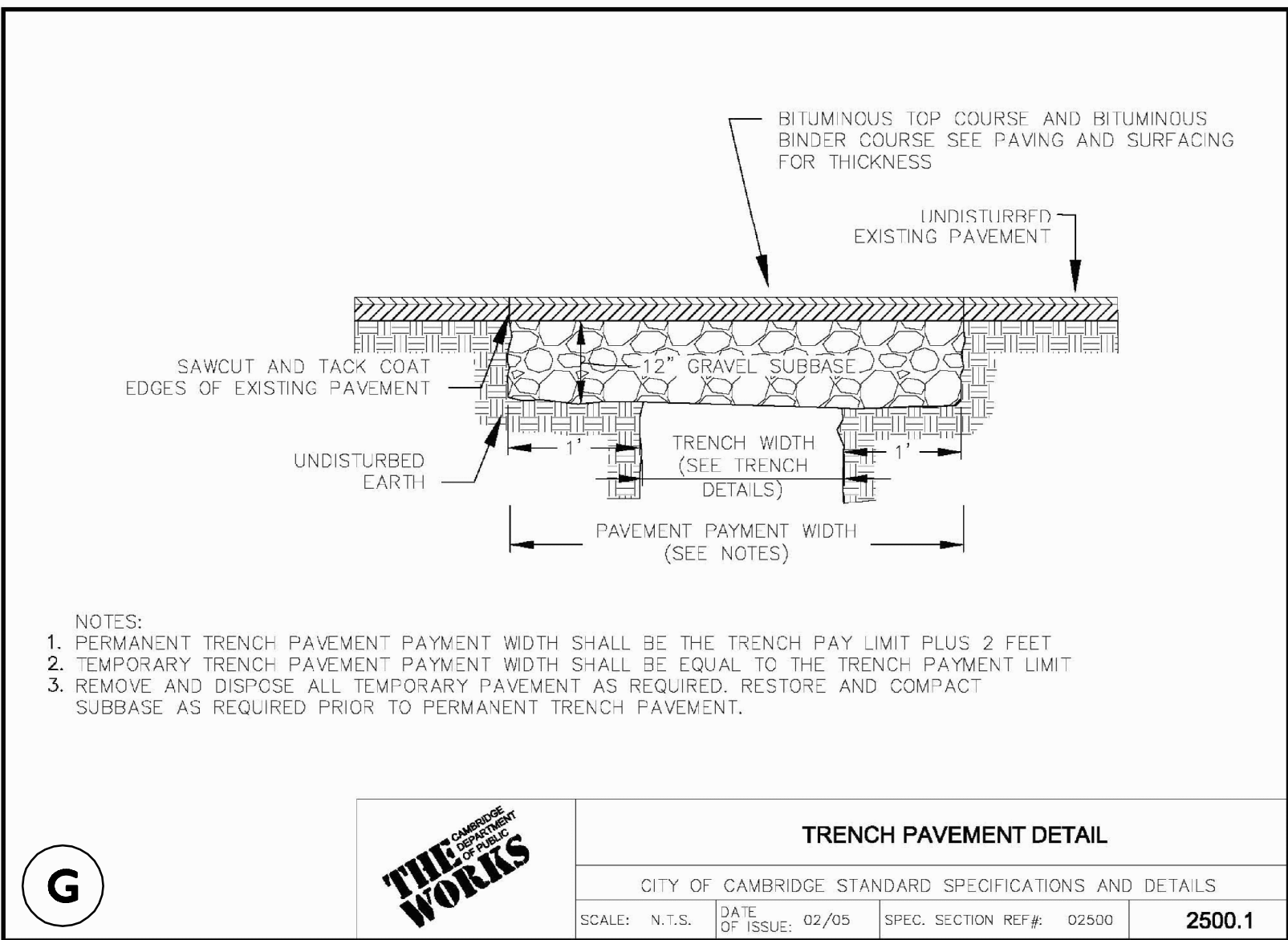
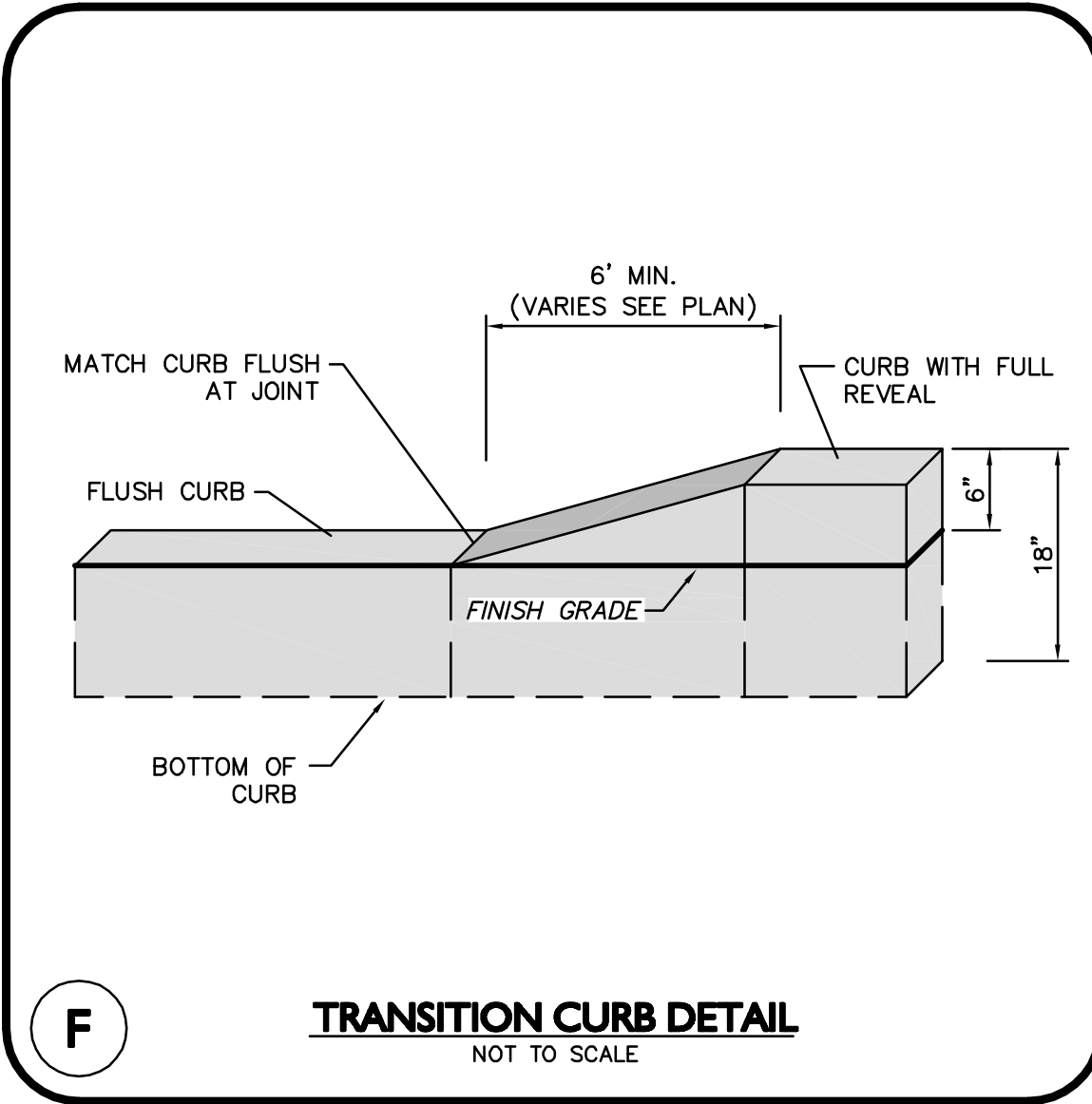
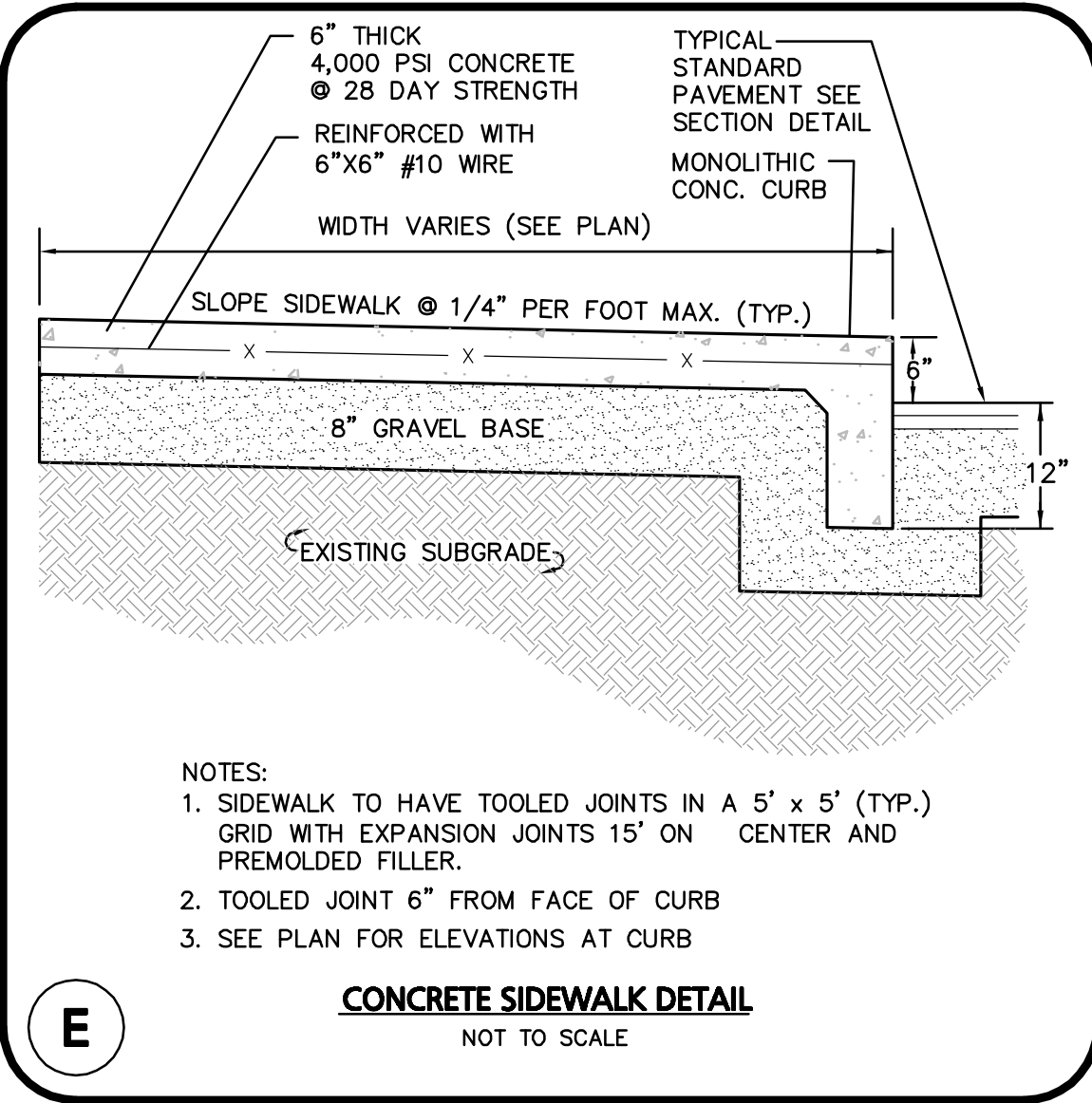
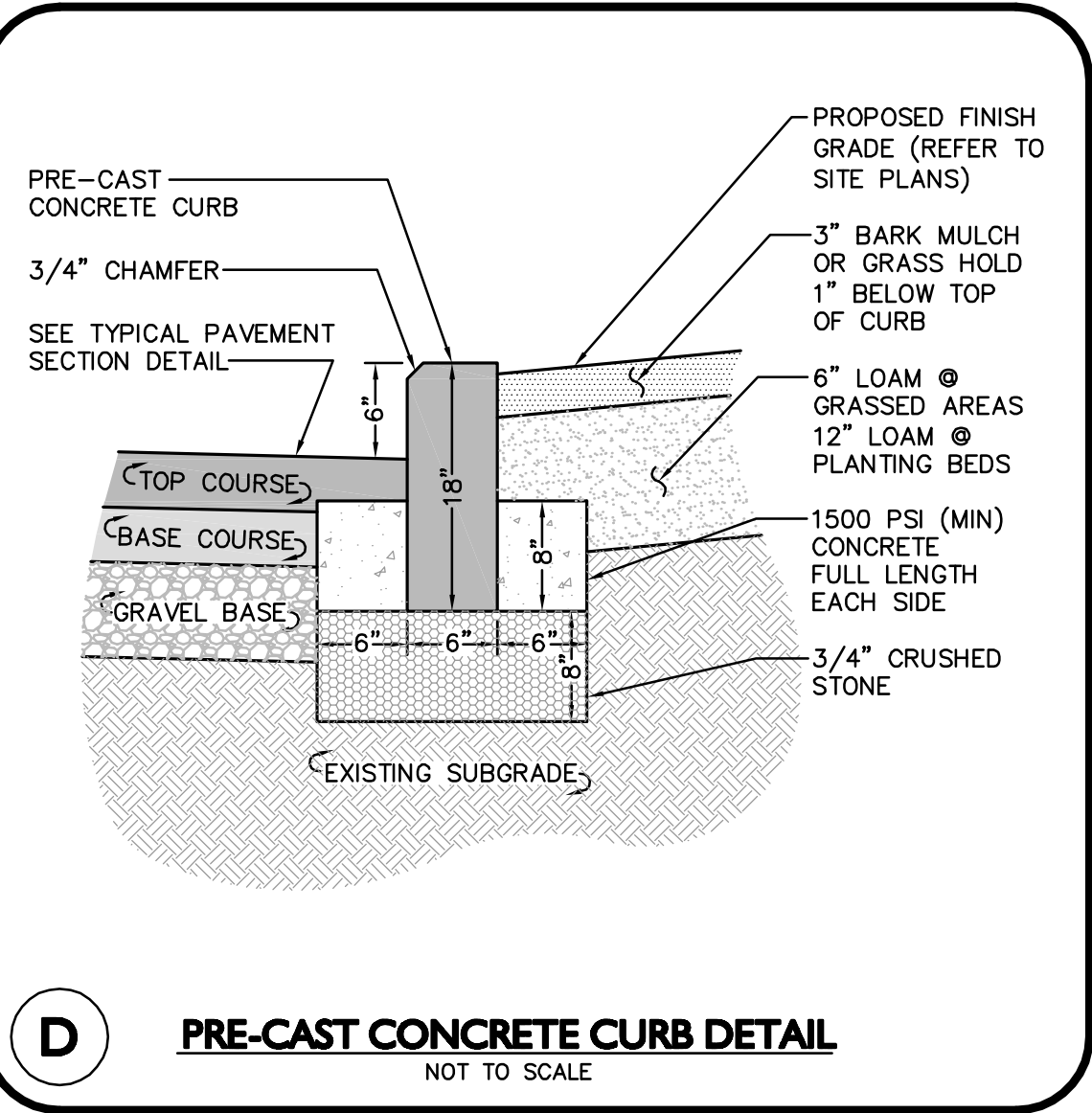
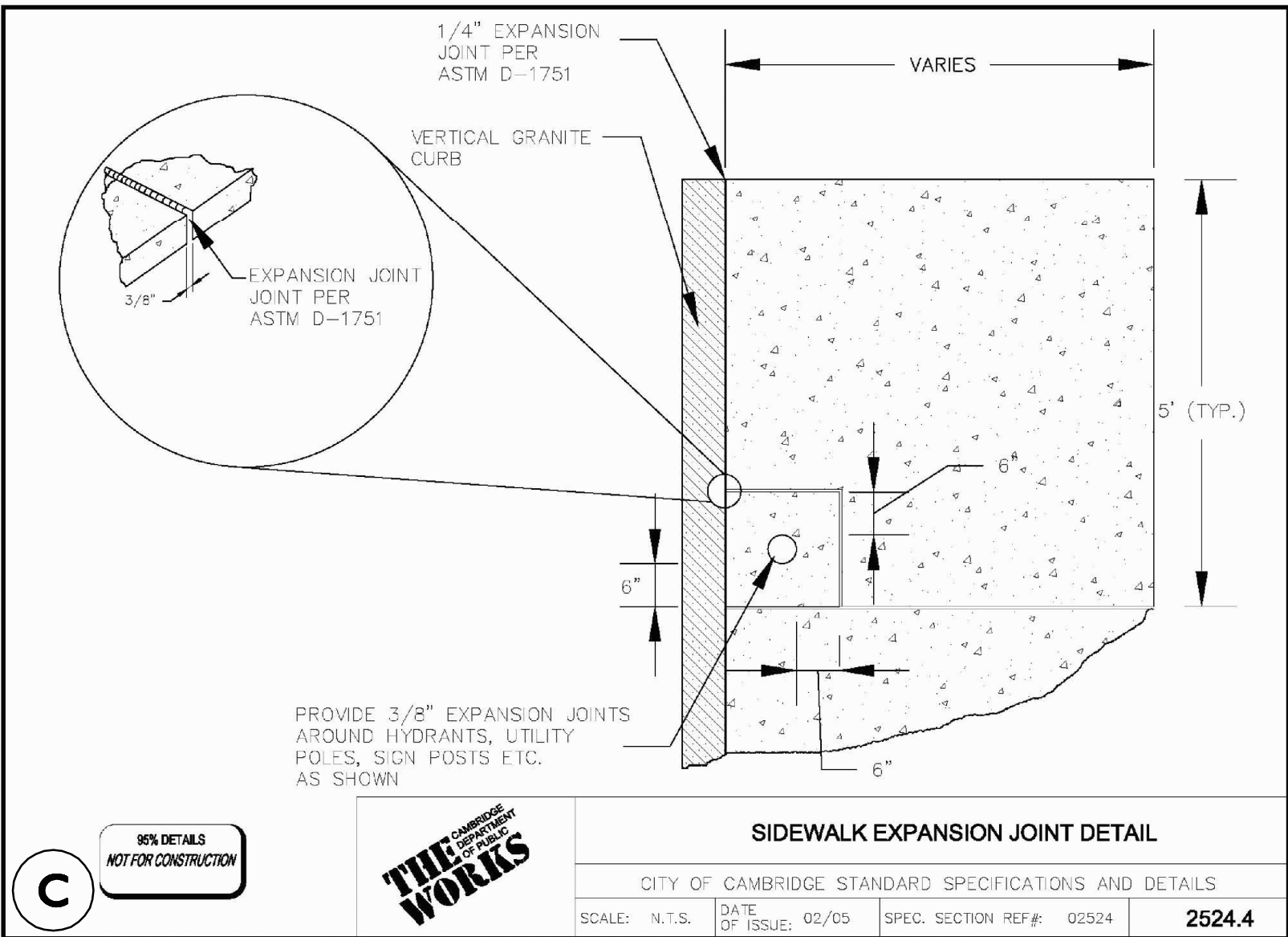
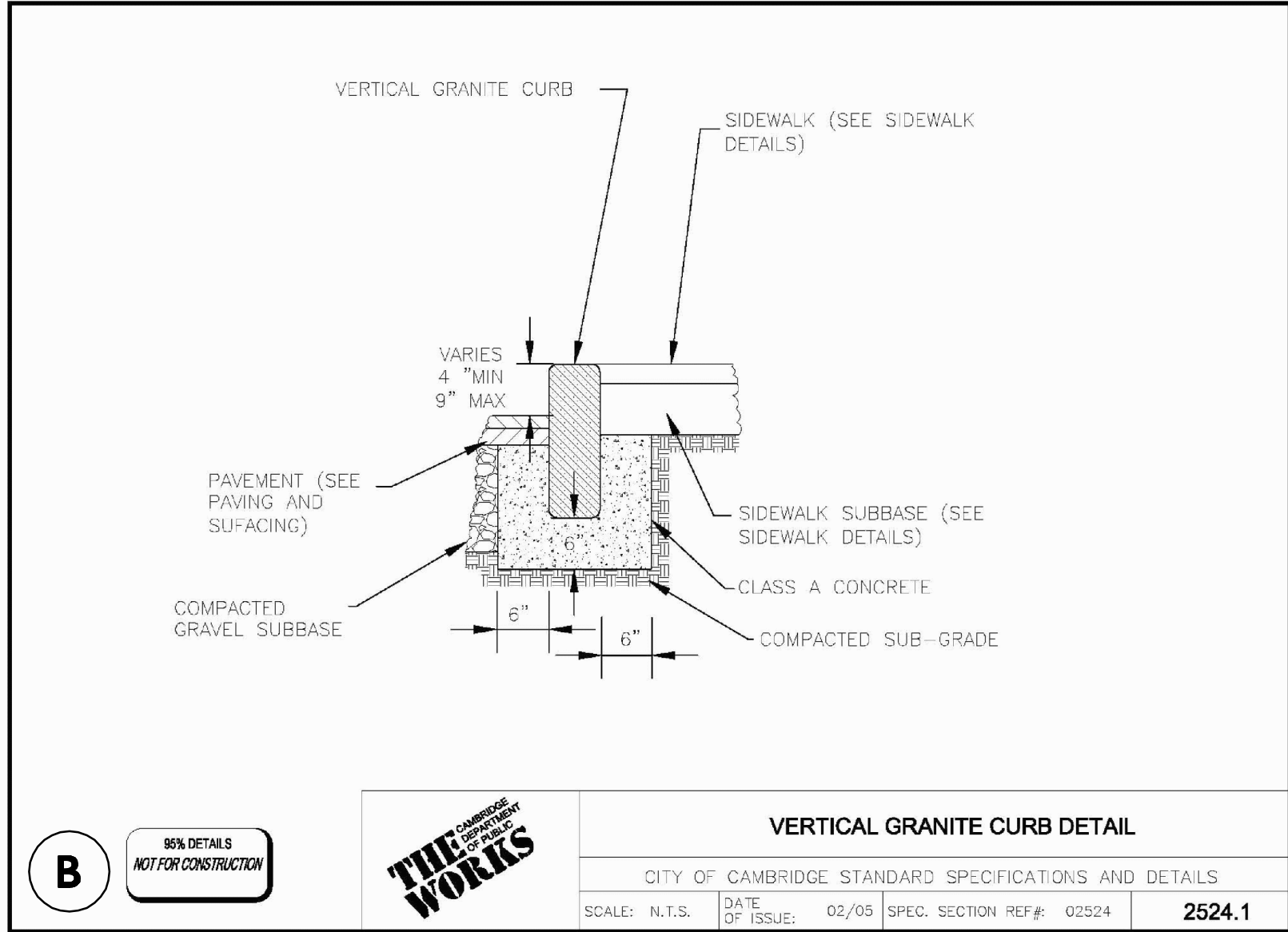
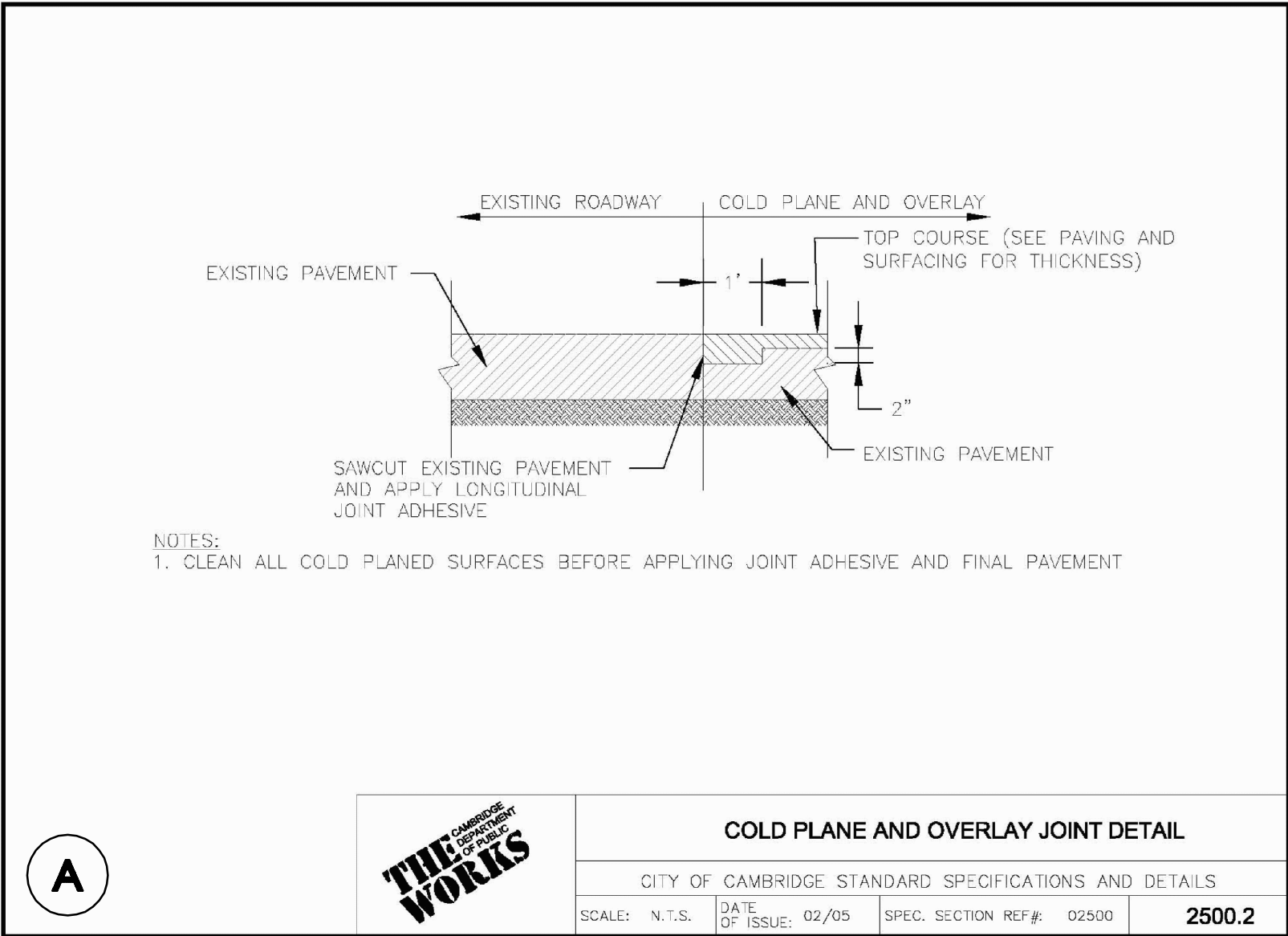
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DETAILS

SHEET No.

D-3





PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
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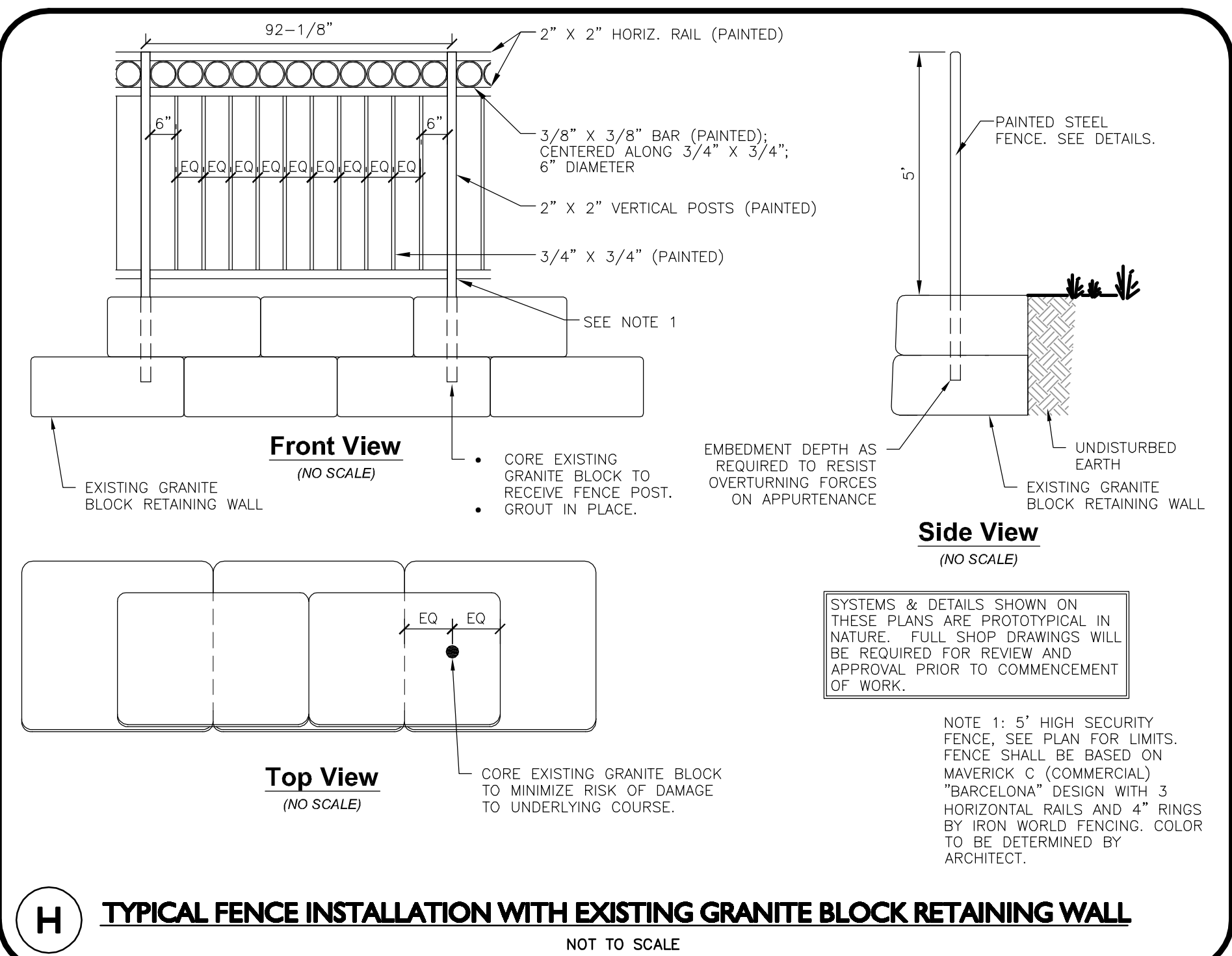
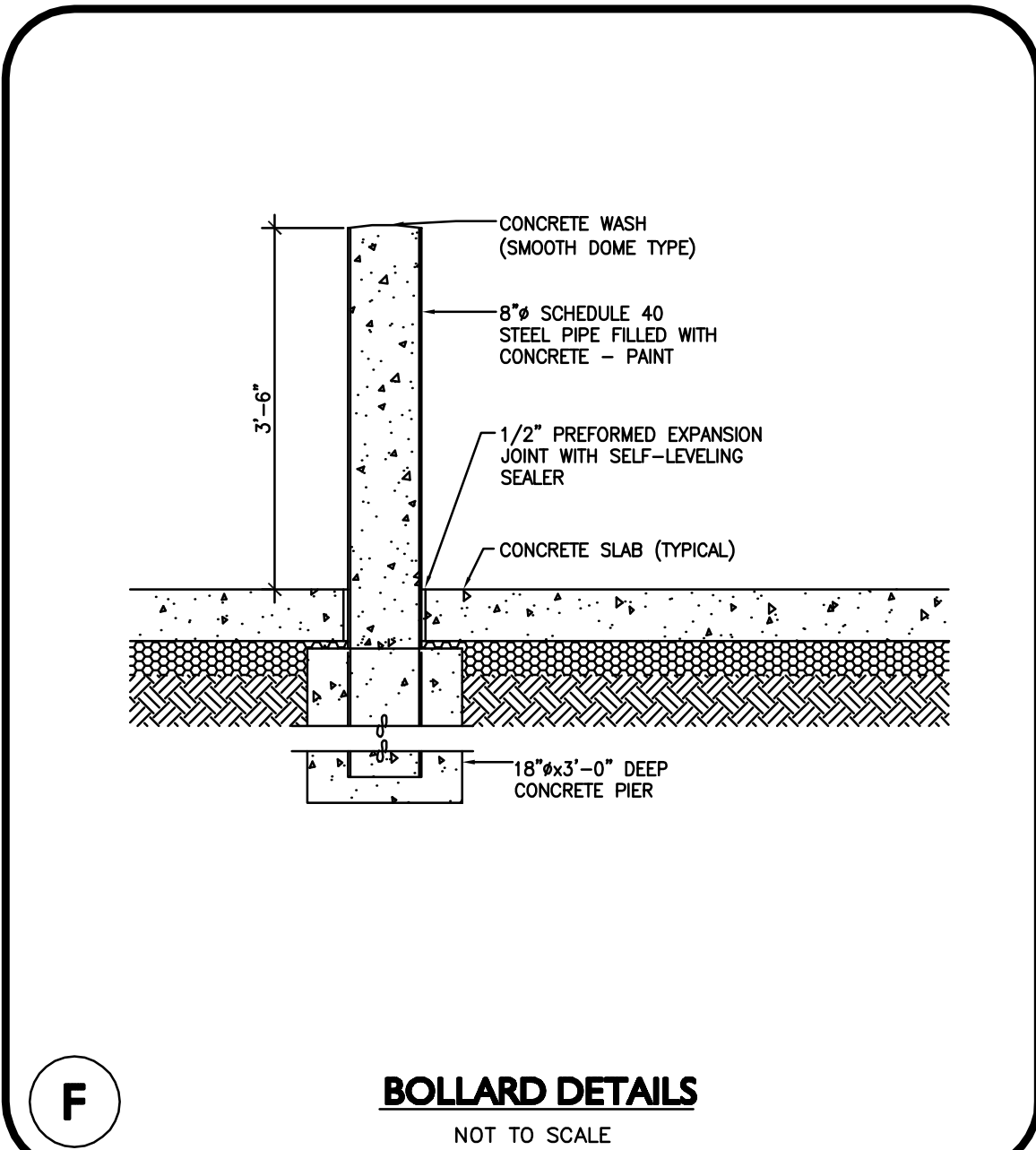
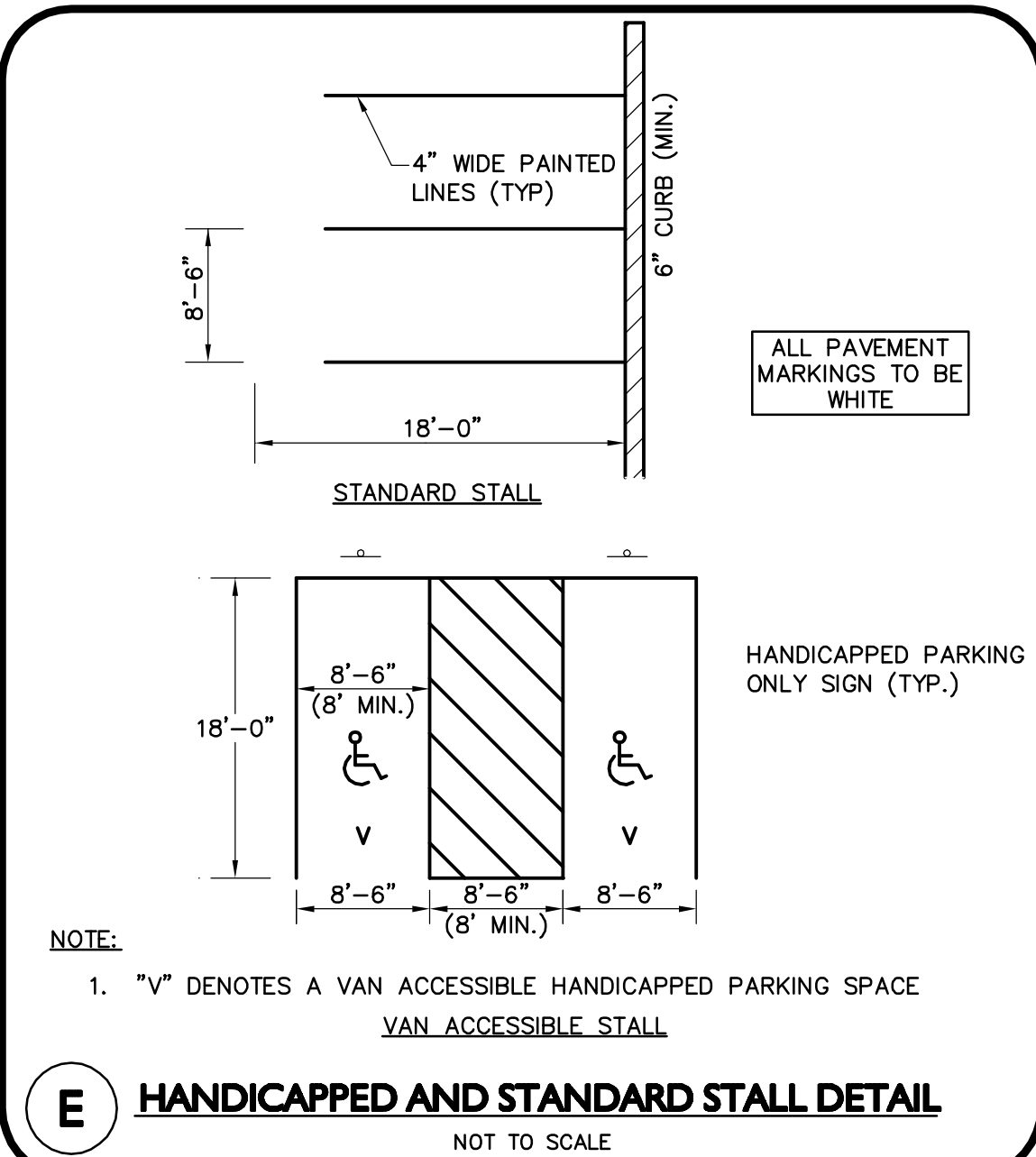
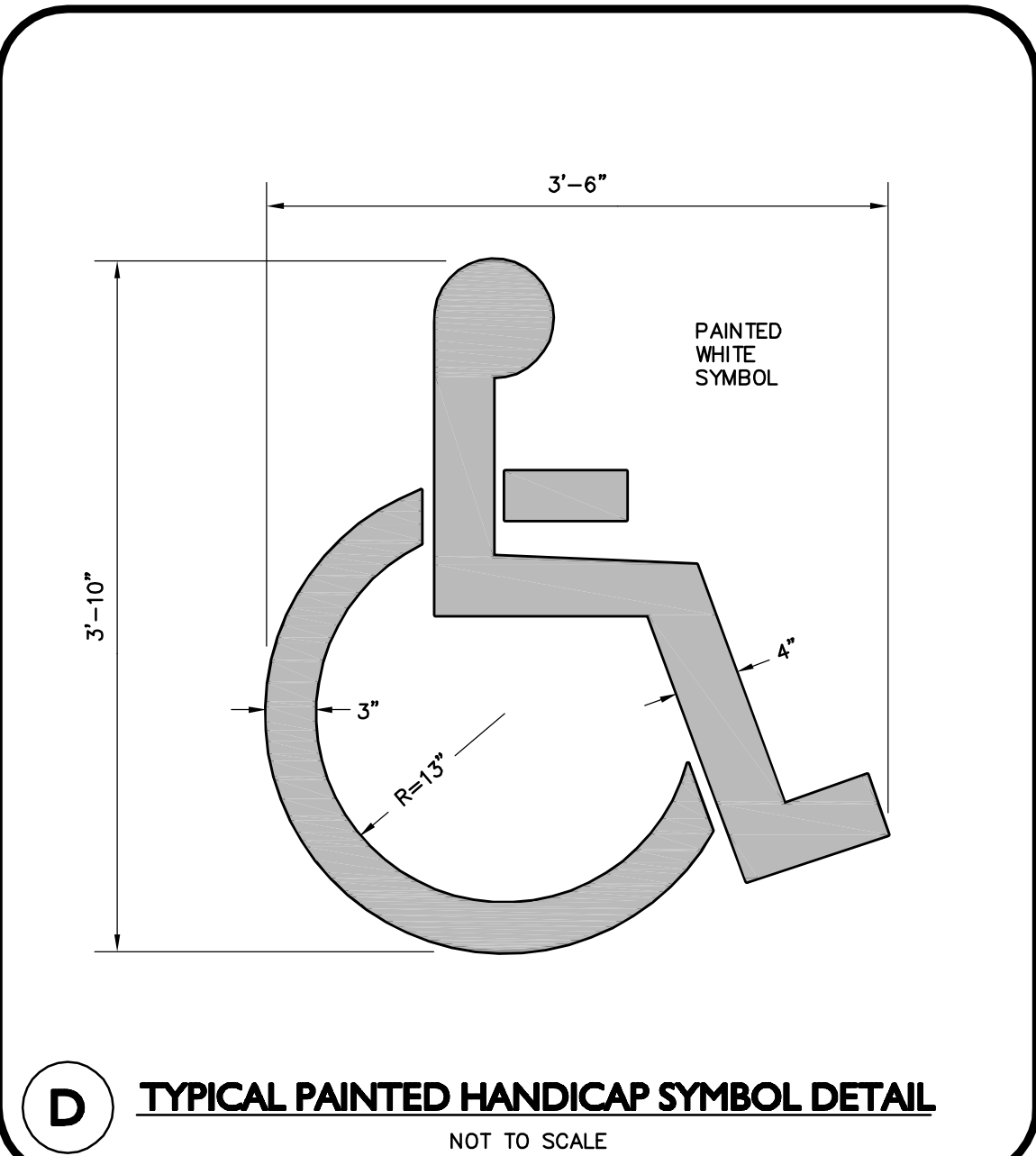
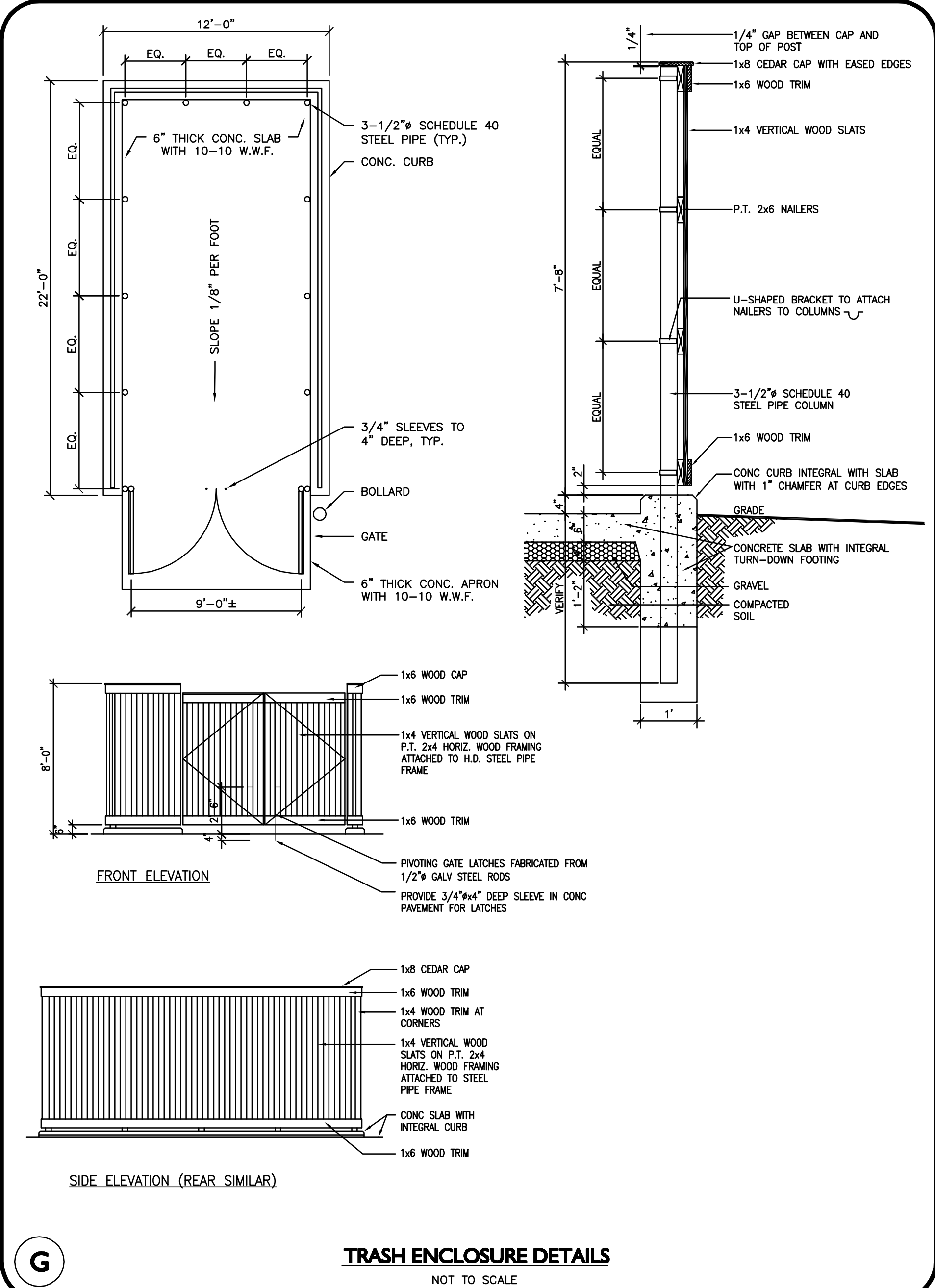
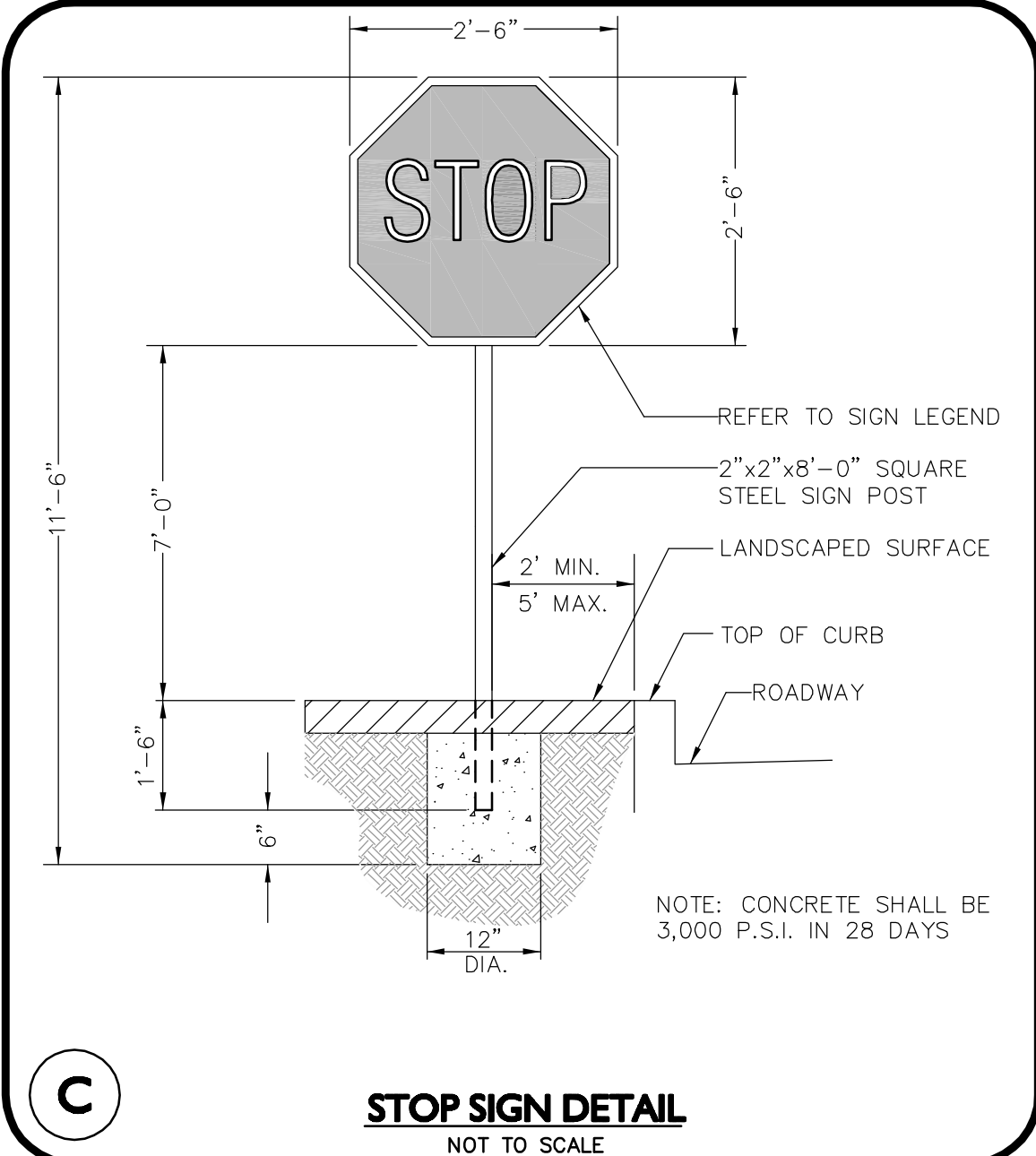
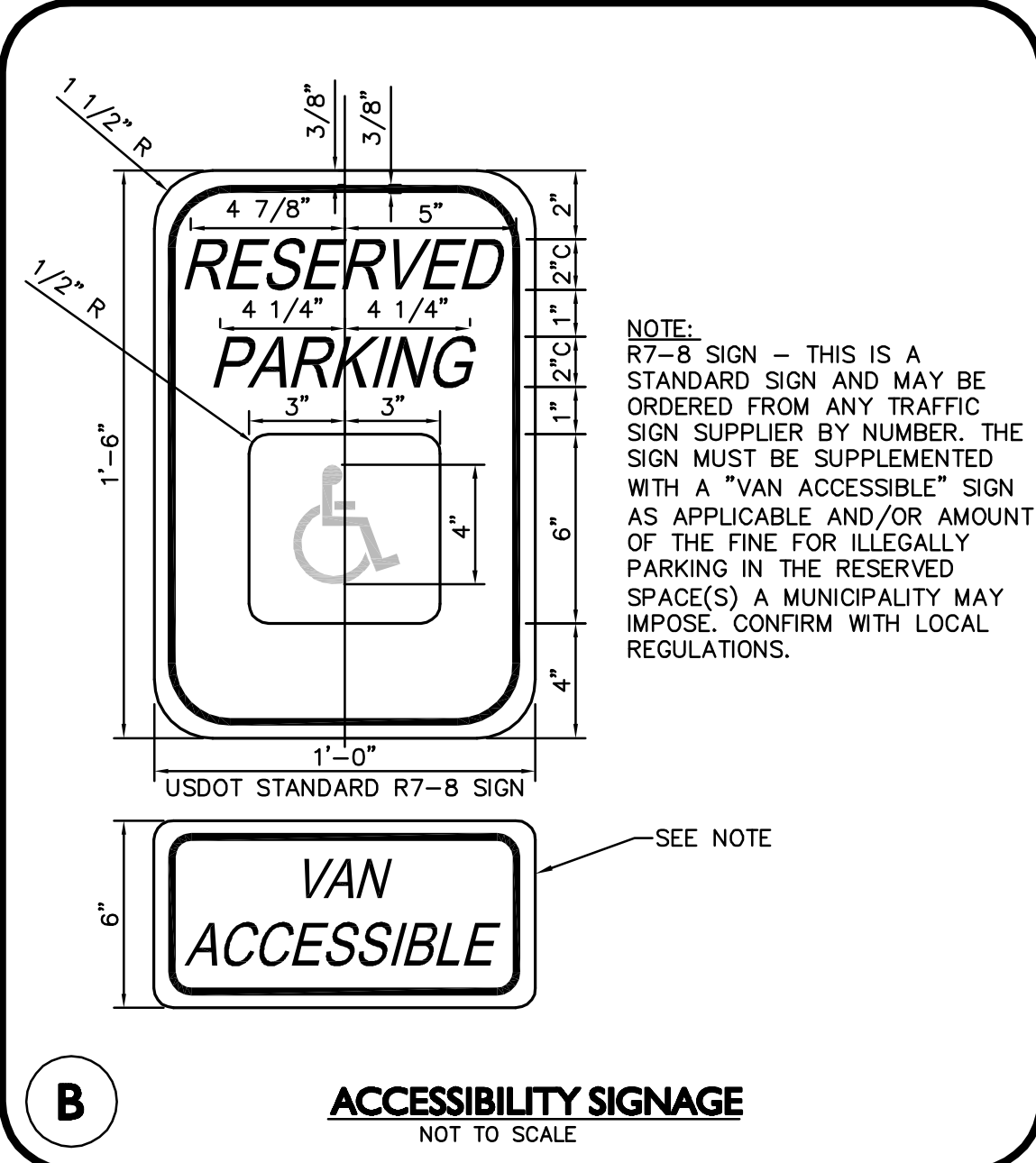
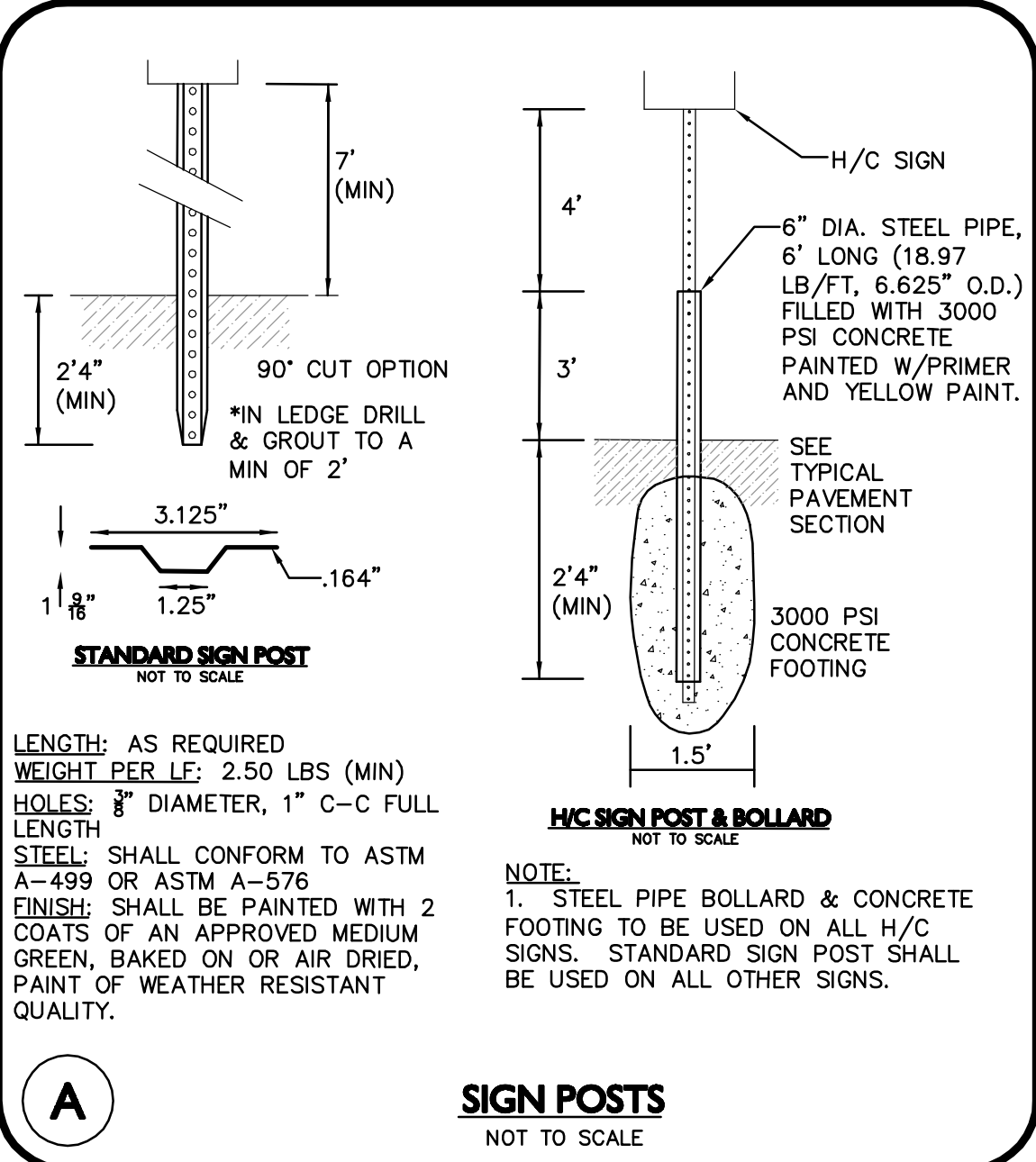
400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

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DRAWING TITLE: DETAILS SHEET No. D-4





PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.


REV	DATE	DESCRIPTION
OWNER:		SOMERBRIDGE HOTEL LLC c/o JAL HOSPITALITY DESIGN, LLC 227 MARGINAL STREET CHELSEA MA 021500

PROJECT:	120 ROOM EXTENDED STAY HOTEL 263 MONSIGNOR O'BRIEN HIGHWAY CAMBRIDGE, MA
----------	--

	1 McGRATH HIGHWAY SOMERVILLE, MA
--	-------------------------------------

PROJECT NO.	1362-16	DATE:	08-22-16
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SCALE:	AS SHOWN	DWG.:	1362-16 Details
--------	----------	-------	-----------------

DESIGNED BY:	SM	CHECKED BY:	MM
--------------	----	-------------	----

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil & structural engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

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DRAWING TITLE:	SHEET No.
DETAILS	D-5







LEGEND:

EX. PROPERTY LINE

PRE-DEV. WATERSHED AREA

Tc FLOW PATH

WATERSHED LEGEND:

E

SP1

1

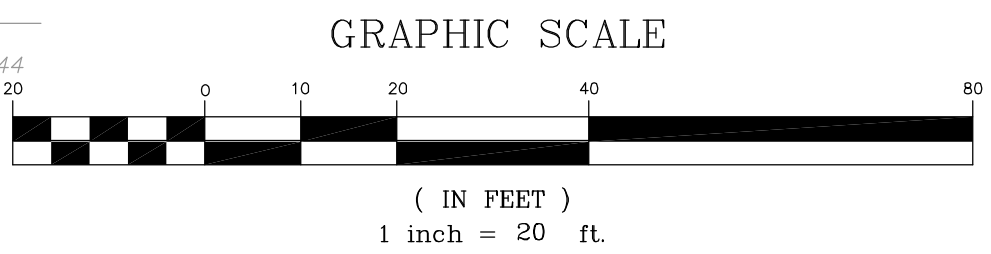
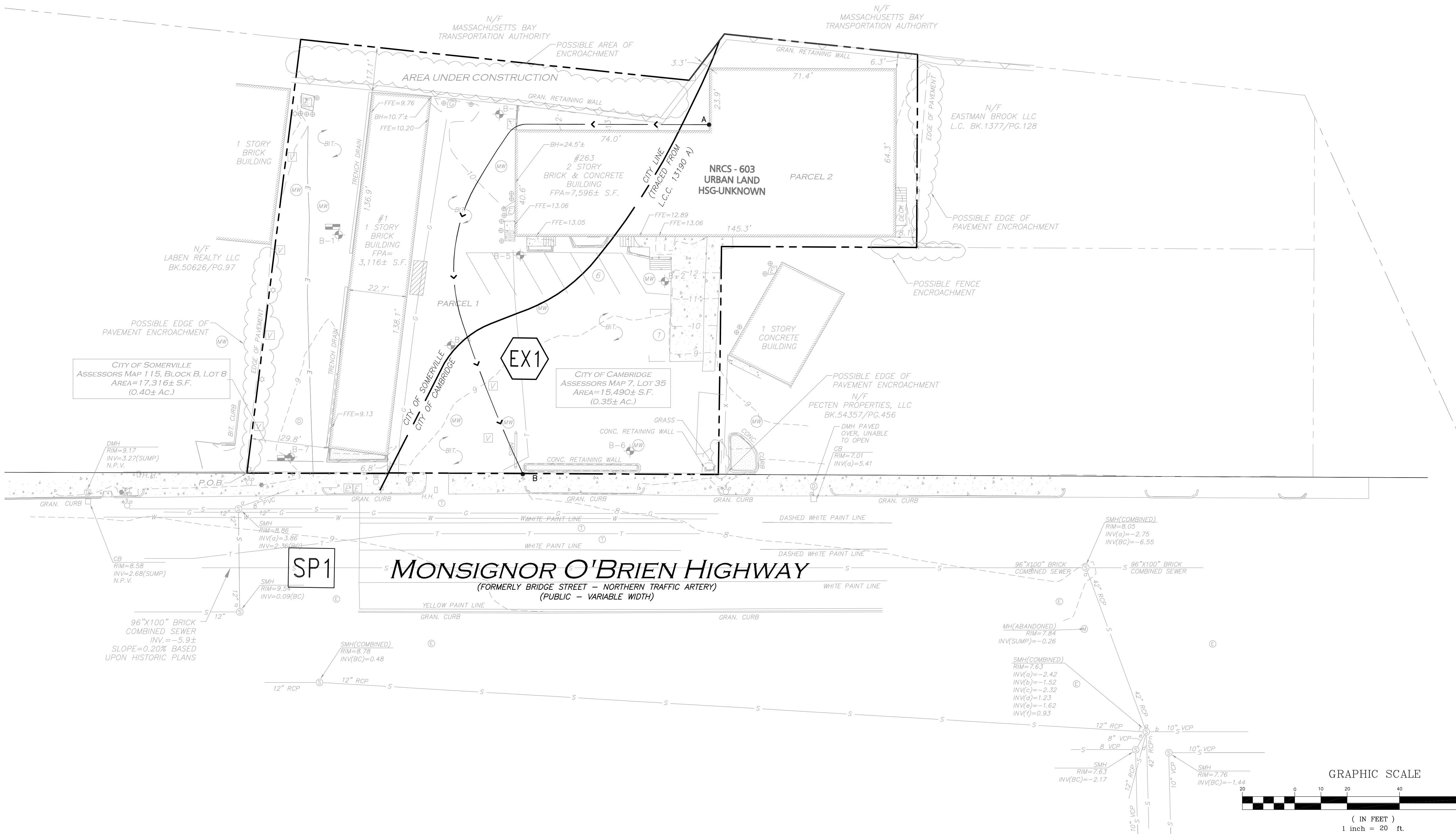
1L

SUBCATCHMENT: A relatively homogeneous area of land that drains into a single reach or pond. Each subcatchment generates a runoff hydrograph. (A subcatchment may also be used to account for the rain falling directly on the surface of a pond.)

REACH: A uniform stream, channel, or pipe that conveys water from one point to another reach or pond. The outflow of each reach is determined by a hydrograph routing calculation.

POND: A pond, swamp, dam, or other impoundment that fills with water from one or more sources and empties in a manner determined by a weir, culvert, or other device(s) at its outlet. The outflow(s) of each pond is determined by a hydrograph routing calculation. The primary and/or secondary outflow may drain into a reach or into another pond.

LINK: Used to enter a hydrograph generated outside HydroCAD, or to interconnect several routing diagrams. A link can also be used to scale a hydrograph, to split it into two components for independent routing, or to define a fixed or tidal tailwater elevation for certain routing methods.



R:\PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\C-1362-16 - WATERSHED\_PRE.DWG



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT:  
120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO. 1362-16 DATE: 08-22-16

SCALE: 1" = 20' DWG.: C1362-16-Watershed\_Pre

DESIGNED BY: SM CHECKED BY: MM

PREPARED BY:



400 HARVEY ROAD  
MANCHESTER, NH 03103  
TEL: (603) 627-5500 FAX: (603) 627-5501

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DRAWING TITLE: SHEET No.

PRE-DEVELOPMENT WATERSHED PLAN WS-1

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LEGEND:

EX. PROPERTY LINE

POST DEV. WATERSHED AREA

WATERSHED LEGEND:

E

SUBCATCHMENT: A relatively homogeneous area of land that drains into a single reach or pond. Each subcatchment generates a runoff hydrograph. (A subcatchment may also be used to account for the rain falling directly on the surface of a pond.)

SP1

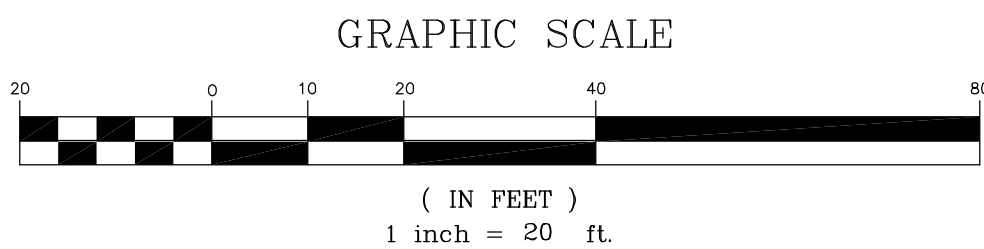
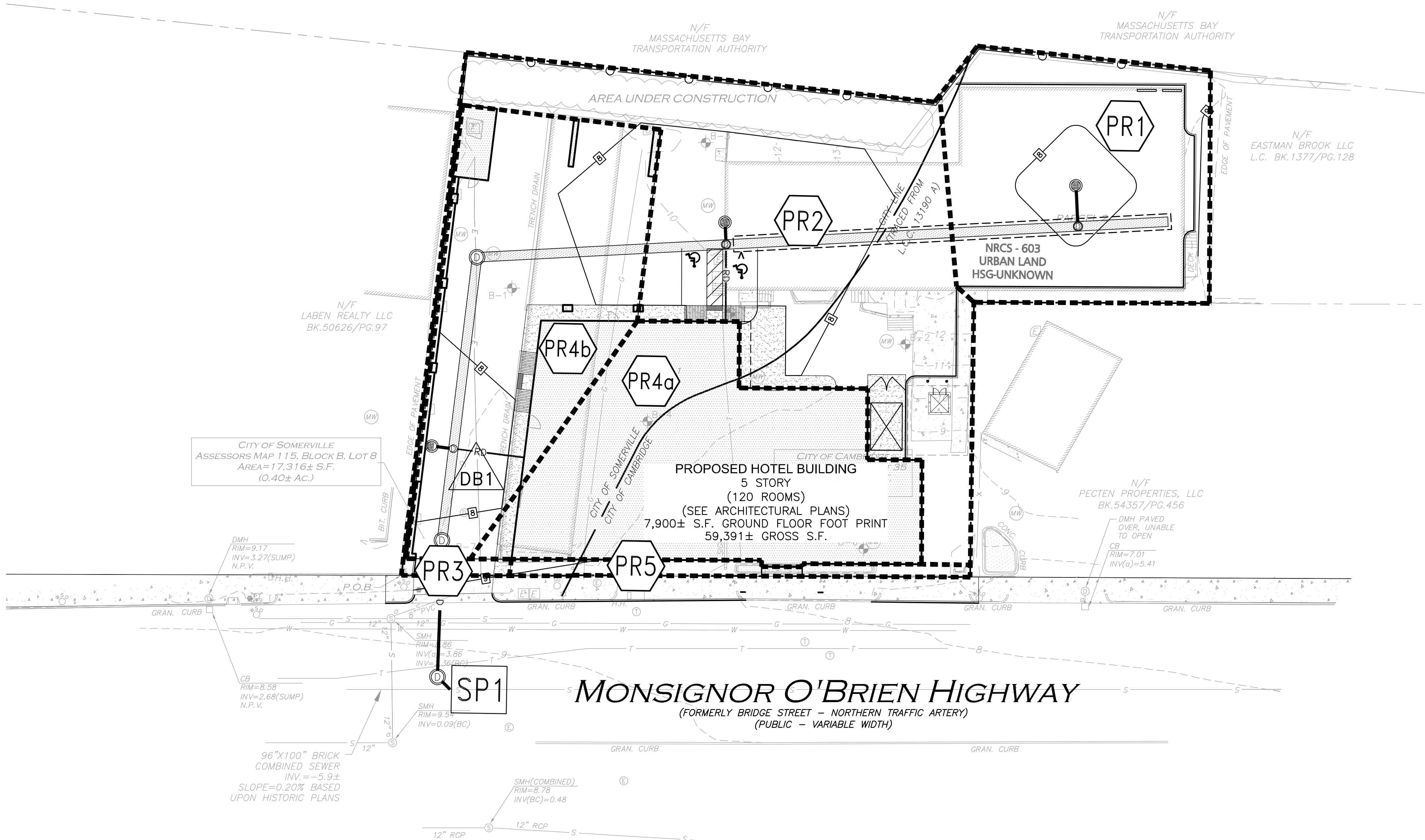
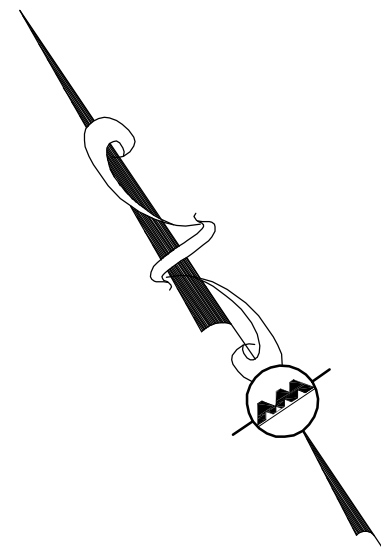
REACH: A uniform stream, channel, or pipe that conveys water from one point to another reach or pond. The outflow of each reach is determined by a hydrograph routing calculation.

1

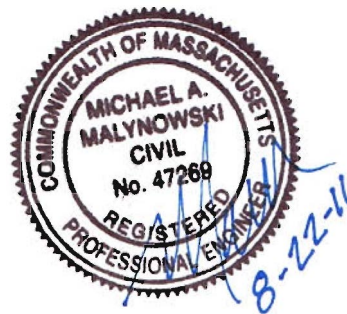
POND: A pond, swamp, dam, or other impoundment that fills with water from one or more sources and empties in a manner determined by a weir, culvert, or other device(s) at its outlet. The outflow(s) of each pond is determined by a hydrograph routing calculation. The primary and/or secondary outflow may drain into a reach or into another pond.

1L

LINK: Used to enter a hydrograph generated outside HydroCAD, or to interconnect several routing diagrams. A link can also be used to scale a hydrograph, to split it into two components for independent routing, or to define a fixed or tidal tailwater elevation for certain routing methods.



R:\PROJECTS\1362-16\CIVIL\DRAWINGS\CURRENT\C-1362-16 - WATERSHED\_POST.DWG



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

OWNER:  
SOMERBRIDGE HOTEL LLC  
c/o JAL HOSPITALITY DESIGN, LLC  
227 MARGINAL STREET  
CHELSEA MA 021500

PROJECT:  
120 ROOM EXTENDED STAY HOTEL  
263 MONSIGNOR O'BRIEN HIGHWAY  
CAMBRIDGE, MA

1 McGRATH HIGHWAY  
SOMERVILLE, MA

PROJECT NO.	1362-16	DATE:	08-22-16
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SCALE:	1" = 20'	DWG.:	C:1362-16 - Watershed_Post
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DESIGNED BY:	SM	CHECKED BY:	MM
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PREPARED BY:



**ALLEN & MAJOR  
ASSOCIATES, INC.**

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DRAWING TITLE:	SHEET No.
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POST DEVELOPMENT WATERSHED PLAN	WS-2
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