

PROPOSED 12 BEACON PLACE RESIDENCES

12 BEACON PLACE, SOMERVILLE, MA 02143

ZBA SUBMISSION

02-09-2016

REVISION 1- 02-12-2016



Front Perspective



LOCUS MAP

PREPARED BY:

ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

LANDSCAPE
BLAIR HINES DESIGN ASSOCIATES
318 HARVARD ST. #25
Brookline, MA 02446
T: (617)-735-1180

CLIENT
ANTHONY FAVA & RYAN HUNT
11 ELKINS STREET, #250
South Boston, MA 02127

CIVIL
AGH ENGINEERING
166 WATER STREET
Stoughton, MA 02072
T: (781)-344-2386

Sheet List					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
1-Cover Sheet					
A-000	Cover Sheet	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
2-CIVIL					
C-001	Plot Plan	09/09/16			
C-100	Site Layout, Grading, Drainage & Utility Plan	02/09/16			
C-101	Detail Sheet	11/20/2015			
2-Landscape					
L-1	Illustrative Landscape Plan	11/20/2015			
3-ARCHITECTURAL					
A-010	Architectural Site Plan	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
A-011	Zoning	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
AV-1	Neighborhood Photographs	02/09/16			
Ex-100	Existing Plans	02/09/16			
A-100	1st Floor Plan	02/09/16			
A-101	2nd Floor Plan	02/09/16			
A-103	3rd Floor Plan	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
A-119	Basement Plan	02/09/16			
A-104	Roof Plan	11/06/15	1	02-12-2016	Add Skylight, Delete Win.
A-300	North & West Exterior Elevations	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
A-301	South & East Exterior Elevations	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
A-302	New Units North & West Elevations	02/09/16			
A-303	New Units South & East Elevations	02/09/16			
A-400	Building Section	02/09/16			
AV-2	Perspectives	02/09/16	1	02-12-2016	Add Skylight, Delete Win.
AV-3	Rendering	02/09/16	1	02-12-2016	Add Skylight, Delete Win.

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

CLIENT

Anthony Fava & Ryan
Hunt

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 15070
Date 02-09-2016
Drawn by CMH
Checked by KDI
Scale 12" = 1'-0"

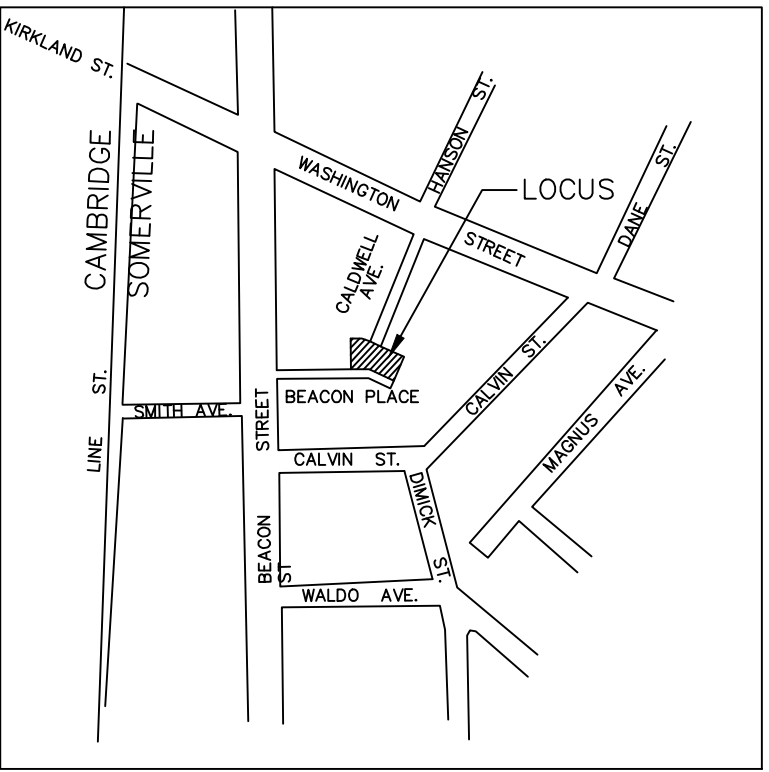
REVISIONS

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

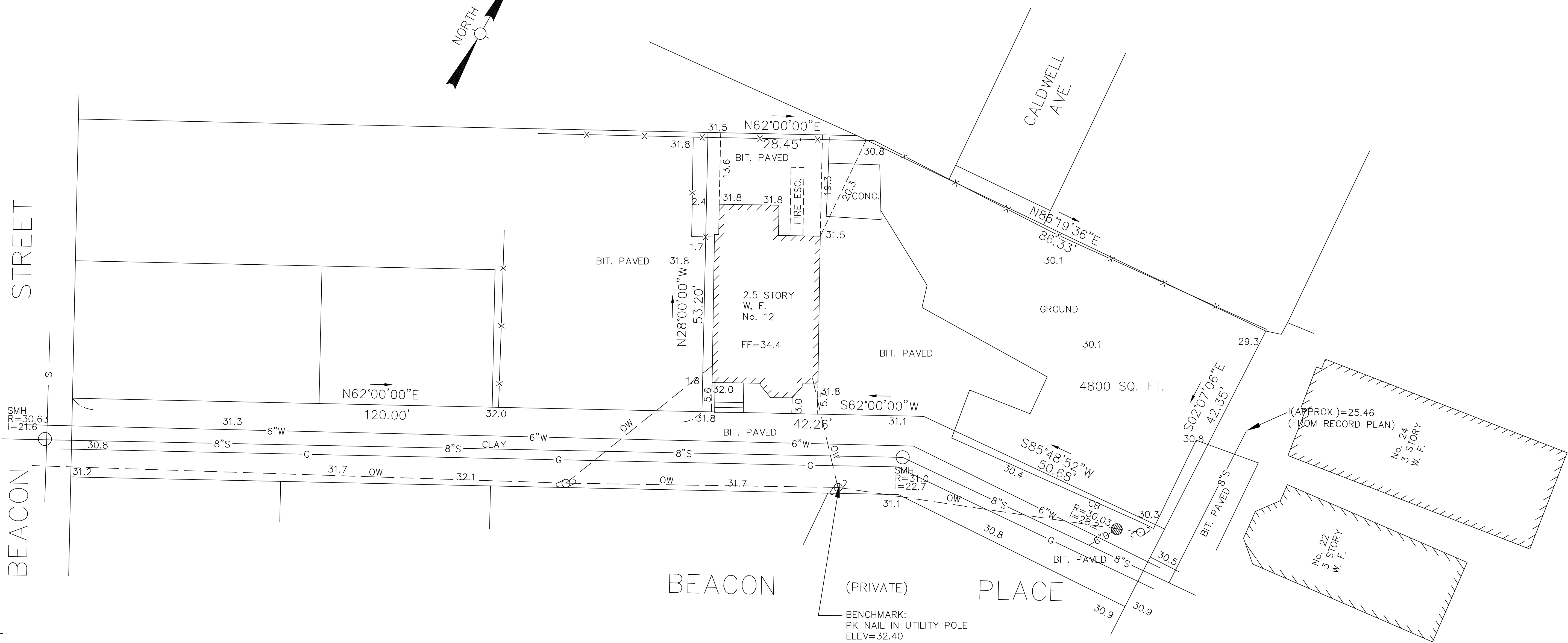
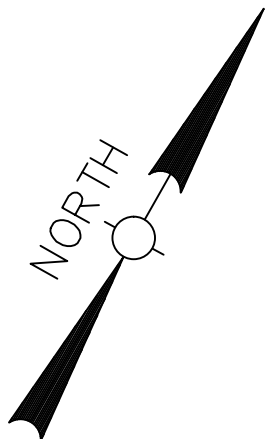
Cover Sheet

A-000

12 Beacon Place



LOCUS MAP
(NOT TO SCALE)

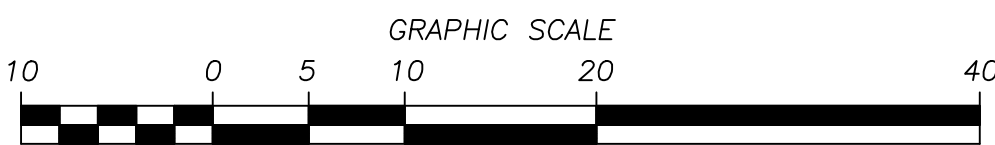


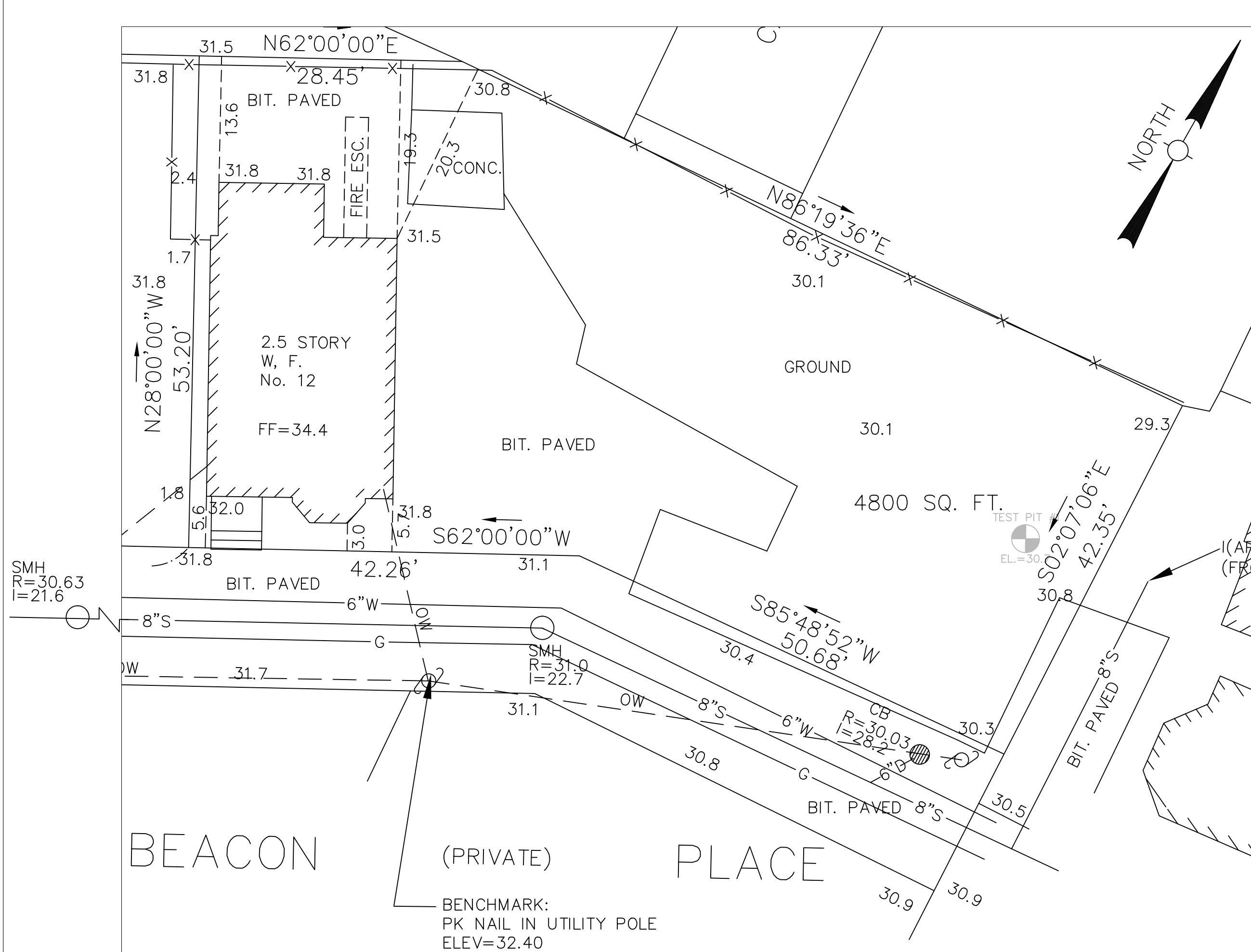
LEGEND :

- □ CB CATCH BASIN
- CONC CONCRETE
- DMH DRAIN MANHOLE
- EMH ELECTRIC MANHOLE
- GG GAS GATE
- GRAN. GRANITE
- I=102.5 INVERT ELEVATION
- ☆ LP LIGHT POLE
- OW OVERHEAD WIRES
- PVC POLYVINYLCHLORIDE
- RC REINFORCED CONCRETE
- R=105.65 RIM ELEVATION
- SMH SEWER MANHOLE
- SIGN SIGN
- MH UNKNOWN MANHOLE
- WG WATER GATE
- WSO WATER SHUTOFF
- 12"CS— COMBINED SEWER LINE AND SIZE IN INCHES
- 12"D— DRAIN LINE AND SIZE OF PIPE IN INCHES
- E — ELECTRIC LINES
- 6"G — GAS LINE AND SIZE OF PIPE IN INCHES
- 12"S— SEWER LINE AND SIZE OF PIPE IN INCHES
- 12"W— WATER LINE AND SIZE OF PIPE IN INCHES

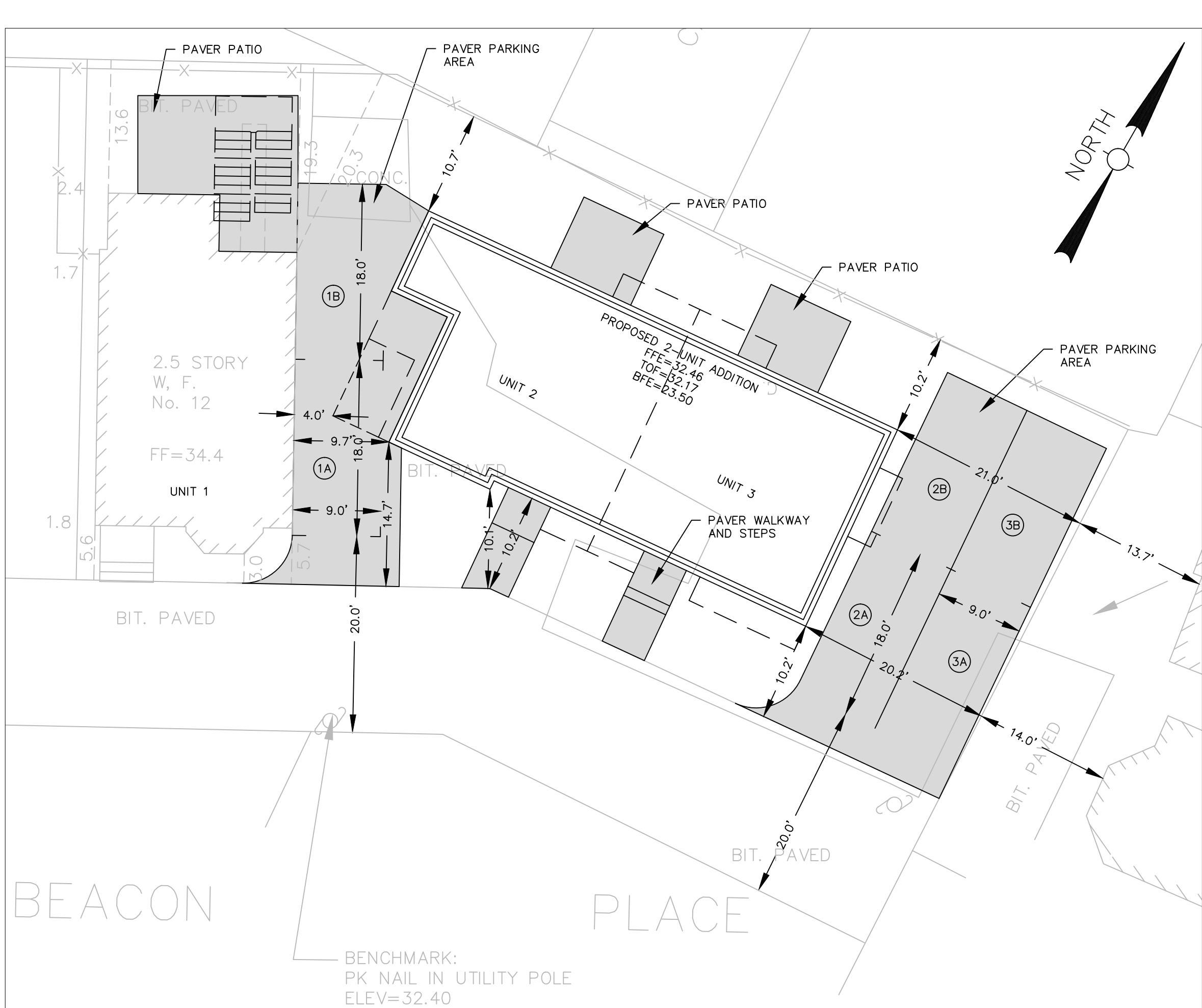
PLOT PLAN
12 BEACON PLACE
SOMERVILLE, MASS.

SCALE : 1"= 10' SEPTEMBER 9, 2015
AGH ENGINEERING
166 WATER STREET STOUGHTON, MA 02072
PHONE: (781)344-2386

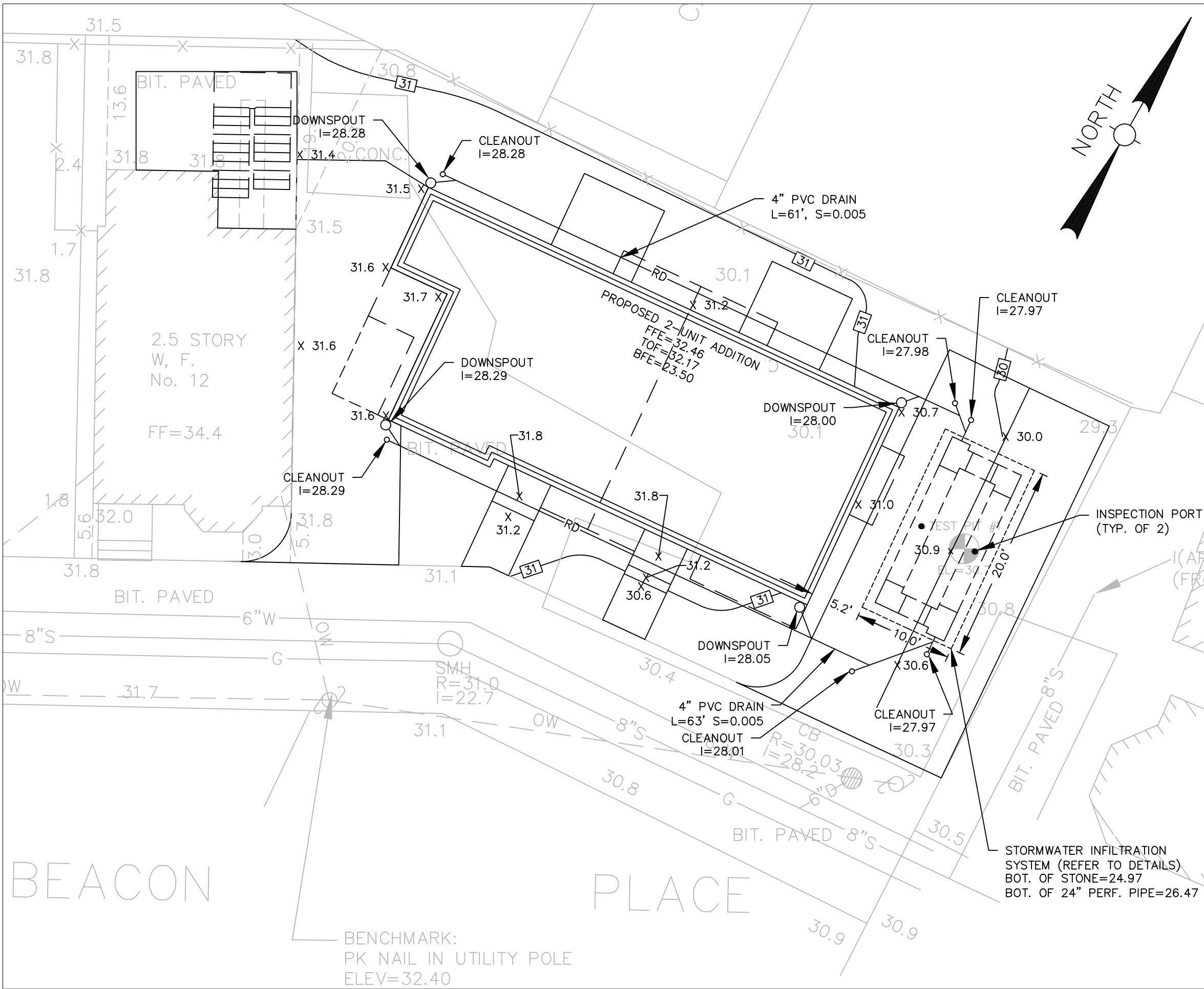




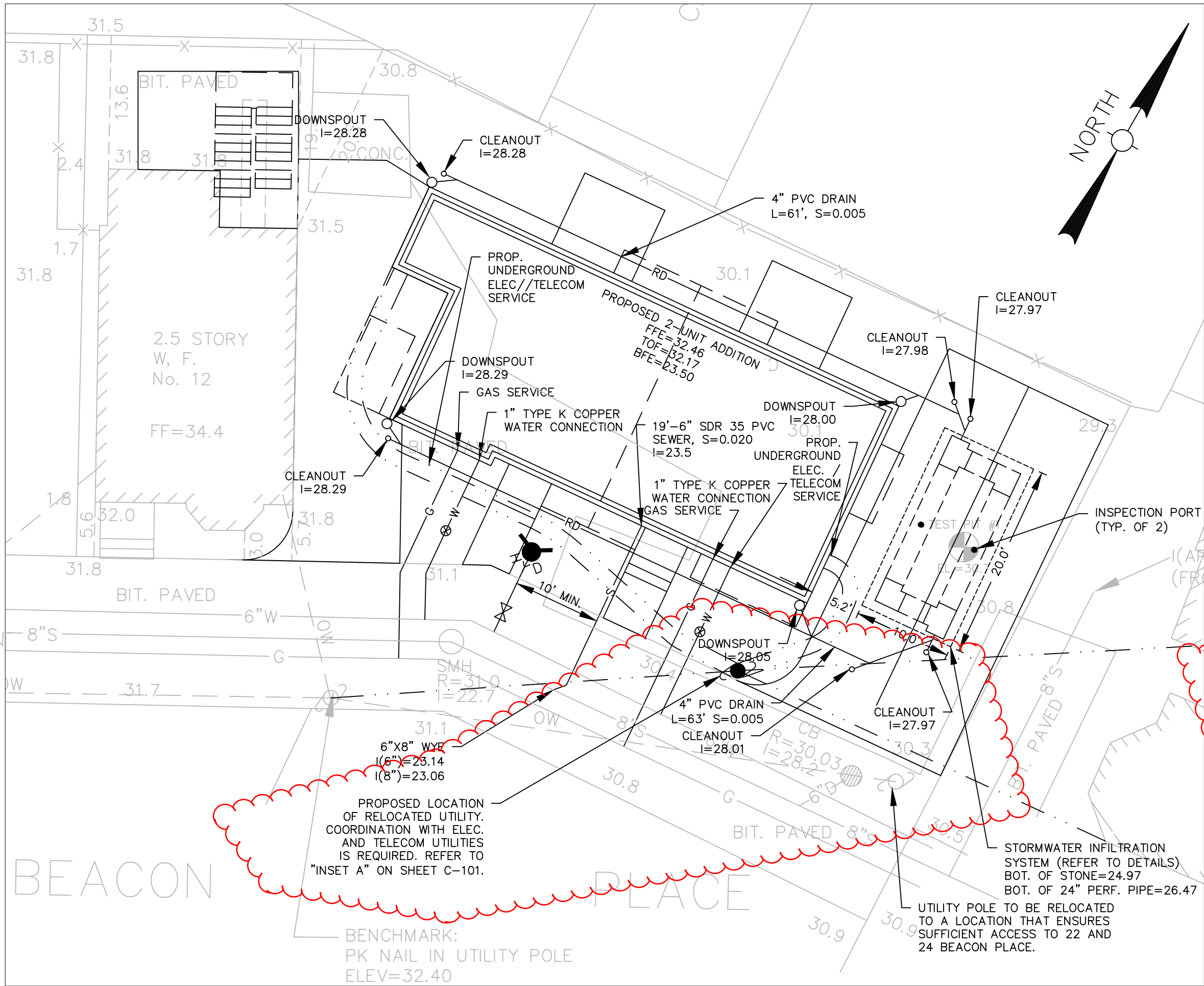
EXISTING CONDITIONS PLAN



SITE LAYOUT PLAN



GRADING AND DRAINAGE PLAN



SITE UTILITIES PLAN

- PROPOSED LEGEND:**
- | | | | |
|-----|---------------------------|--------|----------------------|
| 1A | PARKING SPACE NUMBERING | X 31.5 | SPOT GRADE |
| FFE | FIRST FLOOR ELEVATION | 31 | CONTOUR LINE |
| TOF | TOP OF FOUNDATION | RD | ROOF DRAIN |
| BFE | BASEMENT FLOOR ELEVATION | G | GAS SERVICE |
| PVC | POLYVINYLCHLORIDE | W | WATER SERVICE |
| CS | CURB STOP (WATER SHUTOFF) | S | SEWER SERVICE |
| UP | UTILITY POLE | --- | OVERHEAD WIRE |
| PA | PAVER AREA LIMITS | --- | UNDERGROUND SERVICE |
| | | HY | HYDRANT & GATE VALVE |
- NOTES:**
- LOCATIONS AND LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE BELOW REFERENCED PLAN AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CEK DESIGN GROUP ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY DEPARTMENT SHALL BE NOTIFIED AND THE ACTUAL LOCATIONS OF ALL SUBSURFACE STRUCTURES SHALL BE VERIFIED IN THE FIELD. CALL THE BWSC (617-989-7000) AND DIG SAFE CALL CENTER (888-344-7233) 72 HOURS PRIOR TO EXCAVATION.
 - ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CITY OF SOMERVILLE REQUIREMENTS AND ALL OTHER APPLICABLE MUNICIPAL REGULATIONS.
 - EXISTING CONDITIONS PLAN PREPARED BY AGH ENGINEERING AND IS TAKEN FROM AN INSTRUMENT SURVEY ON THE GROUND DATED THE DATES OF AUGUST 1, 2015 AND SEPTEMBER 16, 2015. VERTICAL DATUM: CITY OF SOMERVILLE BASE ELEVATION.
 - ALL DISTURBANCES WITHIN THE PUBLIC AND PRIVATE WAY SHALL CONFORM TO THE CITY OF SOMERVILLE STANDARDS.
 - THIS PLAN HAS BEEN PREPARED FOR APPROVAL OF THE WATER, SEWER AND DRAIN CONNECTIONS TO THE CITY OF SOMERVILLE FACILITIES. IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE DEVELOPERS AND/OR OWNERS. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTIONS ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS ARE ALSO THE RESPONSIBILITY OF THE DEVELOPERS AND/OR OWNERS. IF THE CONNECTIONS CROSS, OR ARE NEAR INDIVIDUAL PROPERTY LINES, PROVISIONS MUST BE MADE TO ALLOW EACH OWNER TO MAINTAIN OR RECONSTRUCT THEIR RESPECTIVE CONNECTIONS. THIS FACT MUST BE INCORPORATED INTO ANY PURCHASE AND SALES AGREEMENT AND DEEDS RELATED TO THE TRANSFER OF OWNERSHIP OF PROPERTIES.
 - THE SITE CONTRACTOR SHALL PROVIDE ALL EXCAVATION, INSTALLATION, BACK-FILLING, PAVEMENT PATCHING, FINAL PAVING, ETC. FOR THE INSTALLATION OF UNDERGROUND GAS, ELECTRIC, TELEPHONE, FIRE ALARM, WATER, SEWER, DRAIN AND SIMILAR SERVICES.
 - REFER TO PLUMBING PLANS FOR ALL WORK WITHIN 10 FEET OF THE BUILDING.
 - THE SEWER PIPES SHALL BE PVC PIPE (SDR 35) CONFORMING TO ASTM STANDARD AND MASS DOT SPECIFICATIONS.
 - THE STORM DRAIN PIPES SHALL BE PVC PIP (SDR 35) CONFORMING TO ASTM STANDARD AND MASS DOT SPECIFICATIONS.
 - ALL PIPE INSTALLATIONS AND MATERIALS SHALL CONFORM WITH THE STATE PLUMBING CODE, THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL PLUMBING INSPECTOR PRIOR TO STARTING WORK.
 - THE PROPOSED DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS.
 - THE SITE CONTRACTOR SHALL OBTAIN THE ROUGH CONSTRUCTION SIGN OFFS FROM THE CITY OF SOMERVILLE ENGINEERING DEPARTMENT PRIOR BACKFILLING ALL UTILITY TRENCHES.
 - THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR PREPARING AS-BUILT DRAWINGS IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS.
 - THE SITE CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND INVERT ELEVATIONS OF THE EXISTING UTILITIES PRIOR TO THE INSTALLATION OF NEW SERVICE CONNECTIONS. SERVICES SHALL BE FIELD LOCATED AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION BEGINS.
 - ANY CONSTRUCTION DEWATERING SHALL EMPLOY MEASURES TO FILTER OUT ANY SEDIMENT PRIOR TO ITS DISCHARGE AND SHALL CONFORM TO THE CITY OF SOMERVILLE REQUIREMENTS. THE SITE CONTRACTOR SHALL SUBMIT A SKETCH OF THE PROPOSED METHODS TO THE ENGINEER FOR APPROVAL.
 - THE SITE CONTRACTOR SHALL EMPLOY MEASURES TO CONTROL DUST DURING CONSTRUCTION.
 - THE SITE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM AND ALL OTHER PRIVATE COMPANIES AS REQUIRED.
 - COORDINATE ANY ELECTRIC, CATV, TELEPHONE AND GAS INSTALLATION OR MODIFICATIONS WITH THE APPROPRIATE UTILITY COMPANIES.
 - EXISTING WATER, SEWER AND DRAIN SERVICES ARE SHOWN ON THIS PLAN STRICTLY FOR PERMITTING PURPOSES ONLY. EXACT LOCATIONS AND ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - COORDINATE ALL PROPOSED SITE LAYOUT DESIGN AND MATERIALS WITH THE ENGINEER PRIOR TO CONSTRUCTION. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY.
 - ALL WORK SHALL BE CONSTRUCTED SO THAT THERE IS MINIMAL DISTURBANCE TO STREETS, SIDEWALKS, TRAFFIC AND PEDESTRIANS.
 - THE PROPOSED BUILDING SIZE AND LOCATION WERE SCALED FROM THE ARCHITECTURAL PLANS. THE EXACT SIZE AND PROPOSED LOCATION OF THE BUILDING LAYOUT SHALL BE TAKEN FROM THE FINAL ARCHITECTURAL CONSTRUCTION PLANS.
 - ALL EXISTING FEATURES WITHIN THE PROPERTY LINES, SUCH AS FENCES, PAVEMENT, CONCRETE, ETC., SHALL BE REMOVE AND DISPOSED OF BY THE CONTRACTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ANY EXCAVATED TRENCHES THAT ARE TO REMAIN OPEN OVERNIGHT OR FOR AN EXTENDED PERIOD OF TIME AT NO EXTRA COST TO THE OWNER.
 - REFER TO A-SHEETS FOR FOUNDATION DIMENSIONS OF PROPOSED ADDITION/STRUCTURE.
 - REFER TO ILLUSTRATIVE LANDSCAPE PLAN BY BLAIR HINES DESIGN + ASSOCIATES DATED SEPTEMBER 16, 2015 FOR ALL LANDSCAPING DETAILS.
 - REFER TO STRUCTURAL PLANS FOR DETAILS ON TOP OF FOUNDATION ELEVATIONS AND BASEMENT FLOOR ELEVATIONS.
 - SEWER FLOWS: 3 UNITS, (3) 3 BEDROOM UNITS = 9 BEDROOMS
9 BEDROOMS X 110 GALLONS PER DAY = 990 GPD OF SEWER FLOW
 - ALL WATER CONNECTIONS MUST BE APPROVED BY THE CITY OF SOMERVILLE WATER DEPARTMENT PRIOR TO CONSTRUCTION.
 - THE EXISTING A PROPOSED STRUCTURES AT 12 BEACON PLACE ARE TO BE SPRINKLERED. REFER TO FIRE PROTECTION PLANS.

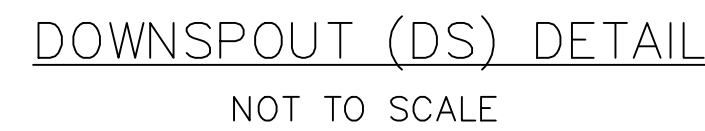
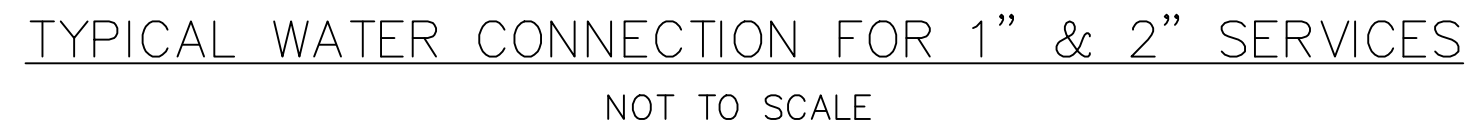
SITE LAYOUT, GRADING, DRAINAGE AND UTILITY PLANS

12 BEACON PLACE
SOMERVILLE, MASS.

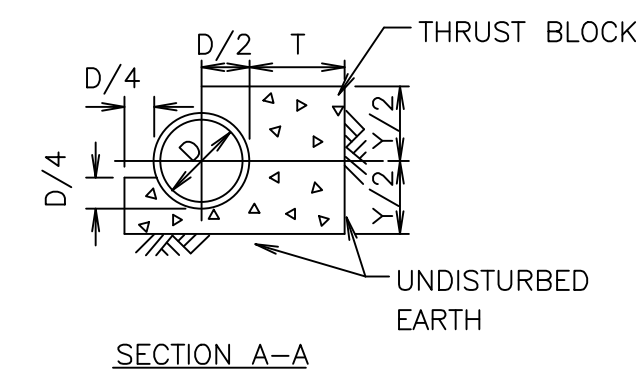
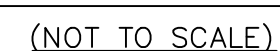
SCALE : 1" = 10' SEPTEMBER 17, 2015
REV. NOVEMBER 20, 2015

AGH ENGINEERING
166 WATER STREET STOUGHTON, MA 02072
PHONE: (781)344-2386





NOT TO SCALE



DIMENSION	90° BEND								45° BEND								22 1/2° BEND								11 1/4° BEND							
D (in.)	4	6	8	10	12	14	4	6	8	10	12	14	4	6	8	10	12	14	4	6	8	10	12	14	4	6	8	10	12	14		
X (in.)	35	35	50	56	72	80	24	24	35	45	51	60	28	28	30	32	37	42	12	12	19	21	27	33	12	12	19	21	27	33		
Y (in.)	20	20	24	32	35	40	16	16	19	21	27	33	13	13	13	16	19	22	8	8	8	9	12	13	16	16	16	19	22	22		
T (in.)	11	11	14	16	19	22	11	11	14	16	19	22	11	11	13	16	19	22	11	11	11	13	16	19	22	22	22	22	22	22		

NOT TO SCALE

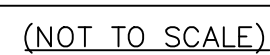
NOTES:

- HYDRANT SHALL CONFORM TO CITY OF SOMERVILLE STANDARDS.
- ALL HYDRANTS AND GATE VALVES TO OPEN TO THE RIGHT.
- HYDRANT TO BE LOCATED AS SHOWN ON PLANS.

Labels and Dimensions:

- WATER MAIN
- VARIES
- 1'-0" TYP.
- 4'-6" MIN.
- 1'-0"
- HYDRANT TO BE ADJUSTED TO GRADE AND ROTATED AS REQUIRED
- EDGE OF PAVEMENT
- 18" MIN
- 2" MAX
- FINISH GRADE
- 5'-0" MIN. COVER
- ADJUSTABLE GATE BOX
- DRAIN
- CRUSHED STONE AT DRAIN
- THRUST BLOCK AND RESTRAINED JOINT FITTING
- FLAT ROCK OR CONCRETE
- 6" WATER MAIN (VERIFY IN FIELD)
- THRUST BLOCK AND RESTRAINED JOINT FITTING
- 6" CL52 CLDI PIPE AND GATE VALVE
- 6" SCREENED & COMPACTED GRAVEL
- ANCHOR TEE
- FILTER FABRIC

NOT TO SCALE



1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. NO VEHICLES SHALL DRIVE OVER THE PIPE SYSTEM UNTIL PAVERS HAVE BEEN INSTALLED.
3. INFILTRATION SYSTEM PIPE SHALL BE ADS N-12 ST IB HEAVY DUTY CORRUGATED HDPE OR APPROVED EQUAL.

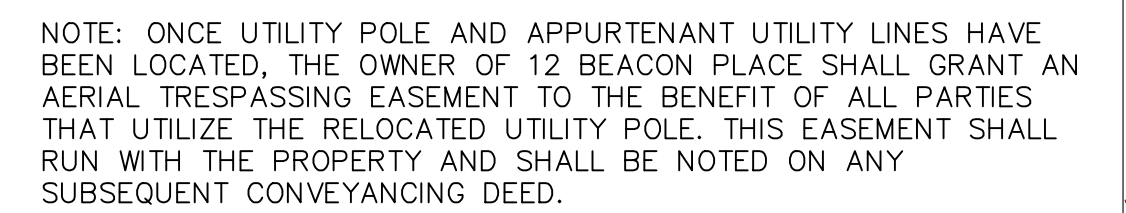


TABLE OF DIMENSIONS						
D (in)	4	6	8	10	12	14
J (in)	6	6	7	9	10	12
K (in)	16	16	20	26	32	36
L (in)	16	16	21	24	29	34
M (in)	11	11	14	16	19	22

NOT TO SCALE

T.P. #1
3/2/15

NO WATER
NO REFUSAL


$$1'' = 10'$$


NOT TO SCALE

PLANTING NOTES

- 1. All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- 2. All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- 3. No substitution of plant species will be allowed without the approval of the Landscape Architect.
- 4. The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- 5. All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- 6. No planting shall be installed before acceptance of rough grading of topsoil.
- 7. The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- 8. The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- 9. All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 10. 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- 11. All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- 12. All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.

PROPOSED PLANT LIST

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NO
TREES					
AL	2	Amelanchier laevis	Allegheny Serviceberry	6-7' ht.	
LS	2	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweetgum	2.5"-3" cal.	
TO	2	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	2.5"-3" cal.	
SHRUBS					
DB	17	Daphne x burkwoodii 'Carole Mackie'	Carol Macke Daphne	5 gal. pot	
IM	1	Ilex x meservae	Blue Princess Holly	3-4' ht.	
IV	18	Itea virginica 'Little Henry'	Sweetspire	5 gal pot	
SJ	9	Spirea japonica 'Little Princess'	'Little Princess Japanese Spirea	5 gal. pot.	
PERENNIALS					
HE	7	Hemerocallis 'Stella D'Oro' and 'Ruby Stella'	Everblooming Daylily	#2 pot	
NF	8	Nepeta fasseniui 'Blue Wonder'	Persian Catmint	1 gal. pot	
VINES + GROUNDCOVER					
VM	182	Vinca minor	Periwinkle	1 gal. pot	12" o.c.
PQ	5	Parthenocissus quinquefolia	Virginia Creeper	5 gal. pot	
RG	2	Rosa 'Gertrude Jekyll Climbing'	Gertrude Jekyll Climbing Rose		



Rose on Trellis

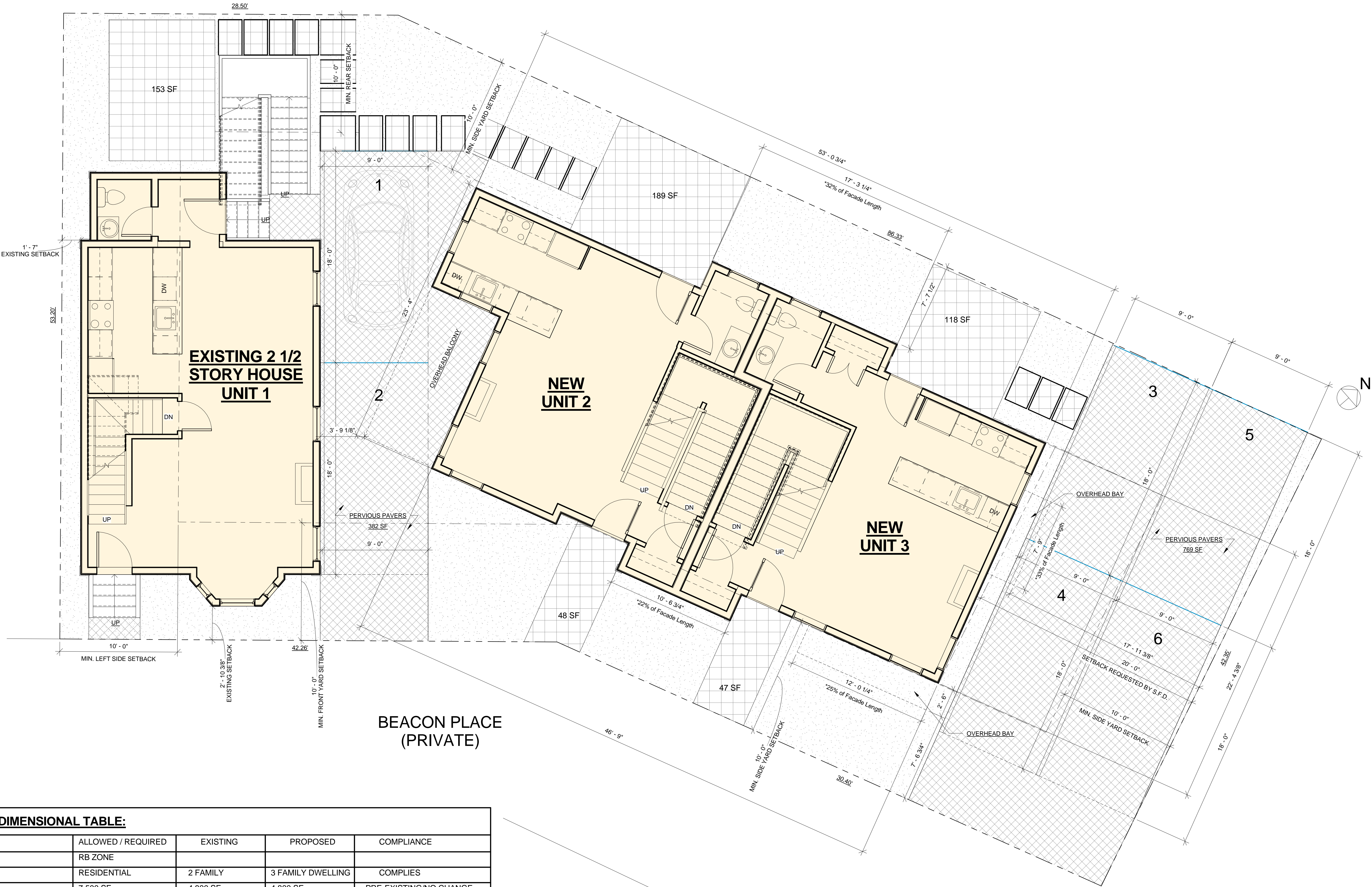


Horizontal Wood Slat Fence



1' Sq. Permeable Pavers

ZONING DIMENSIONAL TABLE:				
ZONE	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
USE	RESIDENTIAL	2 FAMILY	3 FAMILY DWELLING	COMPLIES
MIN LOT SIZE	7,500 SF	4,800 SF	4,800 SF	PRE-EXISTING/NO CHANGE
MIN LOT PER DWELLING	1,500 SF/DU=4,500/3DU	2,400 SF/DU	1,600 SF/DU	COMPLIES
MAX GROUND COVERAGE	50% / 2,400 SF	15% / 709 SF	41% / 1,983 SF	COMPLIES
LANDSCAPE AREA	25% / 1,200 SF	55%/ 2,657.16 SF	33% / 1,581 SF	COMPLIES
MAX FLOOR AREA RATIO (FAR)	1.0	.28 / 1,387 SF	.90 / 4,339 SF	COMPLIES
MAX BUILDING HEIGHT	40' - 0" / 3ST	25' - 9 1/2" / 2.5 ST	40' - 0" / 3ST	COMPLIES
MIN YARD FRONT	15'-0" OR STREET AVG. = 3' - 0"	2' - 10"	2'-10" EXISTING 10'-0" NEW	COMPLIES (8.6.5)
SIDE REAR	N/A 10'-0"	1'-7" (L) 72'-3" (R)	1'-7" L 20'-0"R 13'-6"	PRE-EXISTING L COMPLIES R COMPLIES
MIN FRONTAGE	50' - 0"	92' - 11"	92' - 11"	COMPLIES
PERVIOUS AREA, MIN % OF LOT	35% / 1,680 SF	55% / 2,657.16 SF	50% / 2,390 SF	COMPLIES
PARKING REQUIREMENTS	2 / DU = 6 SPACES	2 SPACES	6 FULL SIZE SPACES	COMPLIES
BICYCLE PARKING	0 REQUIRED	0	0	COMPLIES

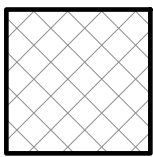


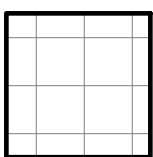
① Site Plan
1/4" = 1'-0"

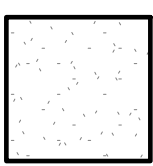
***Section 8.6 - Footnotes to 8.5**

6. Projections into side yards: Bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than one-third of the length of the side of the structure they project from), balconies, chimneys, flues and fire escapes, steps down from the first story, and cornices, belt courses, leaders, sills, pilasters, lintels, decks, unenclosed porches, or other similar structures and ornamental features may project into a required side yard not more than one-quarter (¼) of the required setback, nor more than three (3) feet in any case.

10. Reduction of side yards for narrow lots: For each foot by which a lot is less than fifty (50) feet wide on the effective date of this Ordinance, one (1) inch may be deducted from the required width of each side yard and two (2) inches from the required width of both side yards, provided that no side yard shall be less than five (5) feet. No building projections, as enumerated in footnote 6 above, shall be allowed in the minimum five (5) foot side yard.

- 

PERVIOUS PAVERS
- 

PATIO PAVERS
- 

LANDSCAPING

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

CLIENT

Anthony Fava & Ryan
Hunt

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
Drawn by	CMH
Checked by	KDI
Scale	As indicated

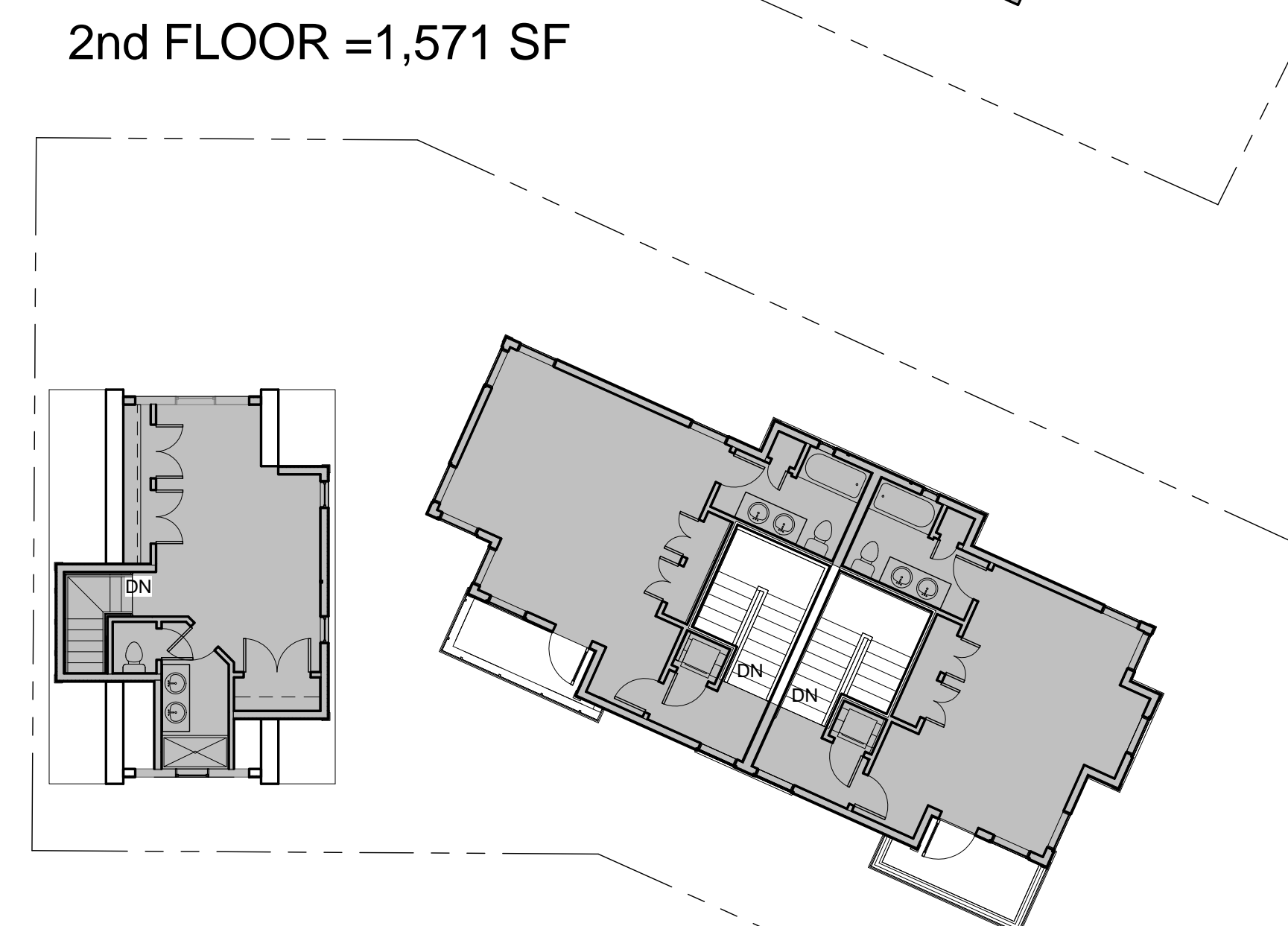
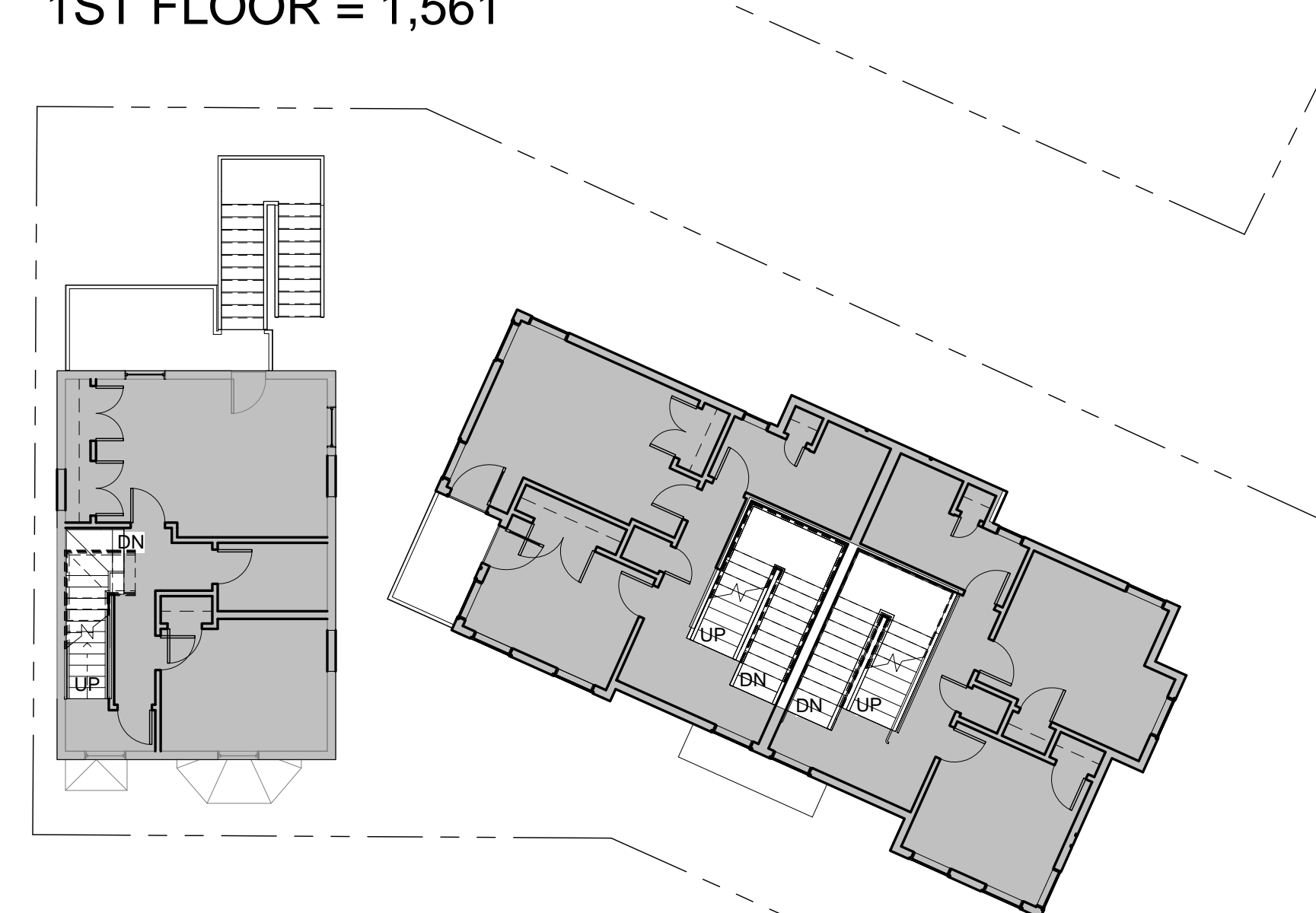
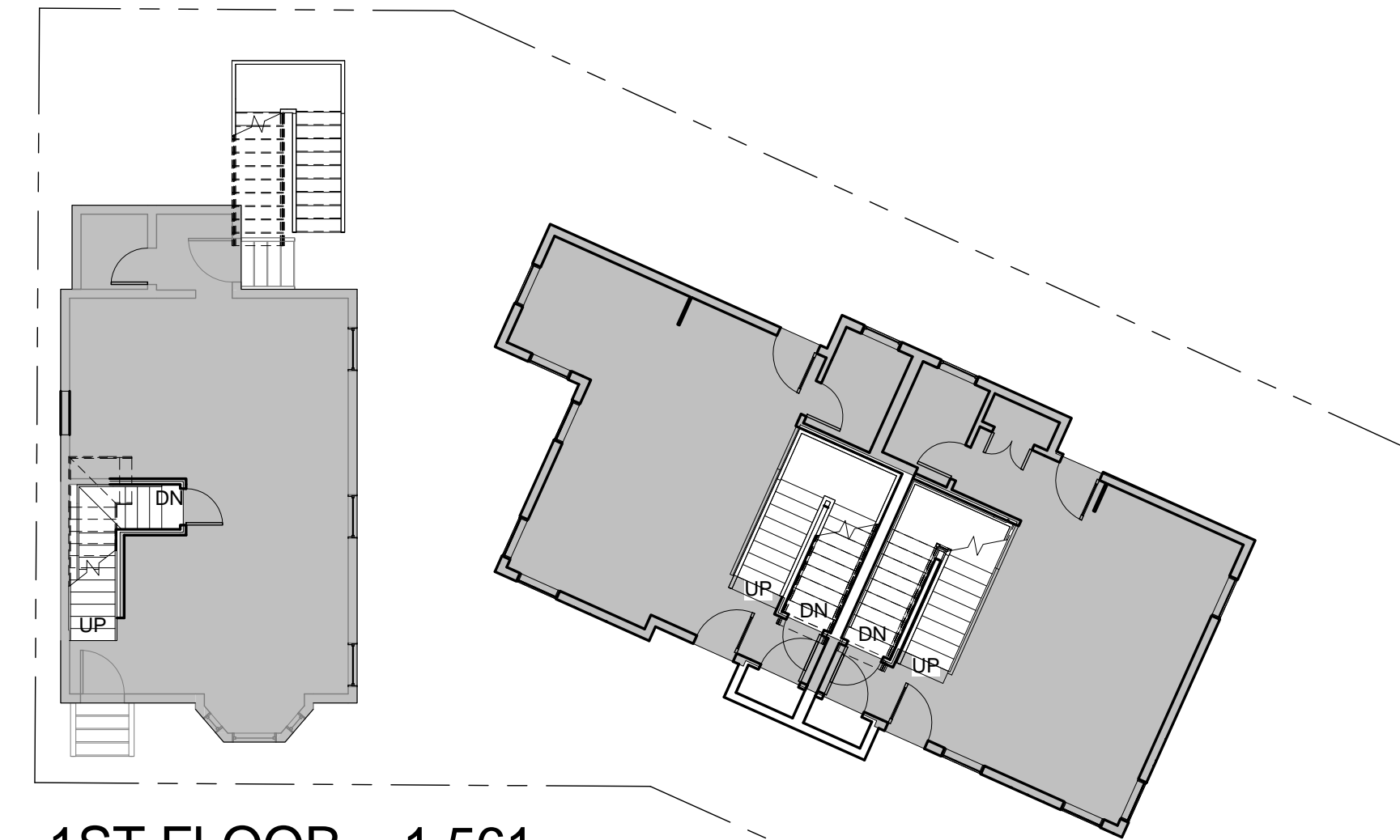
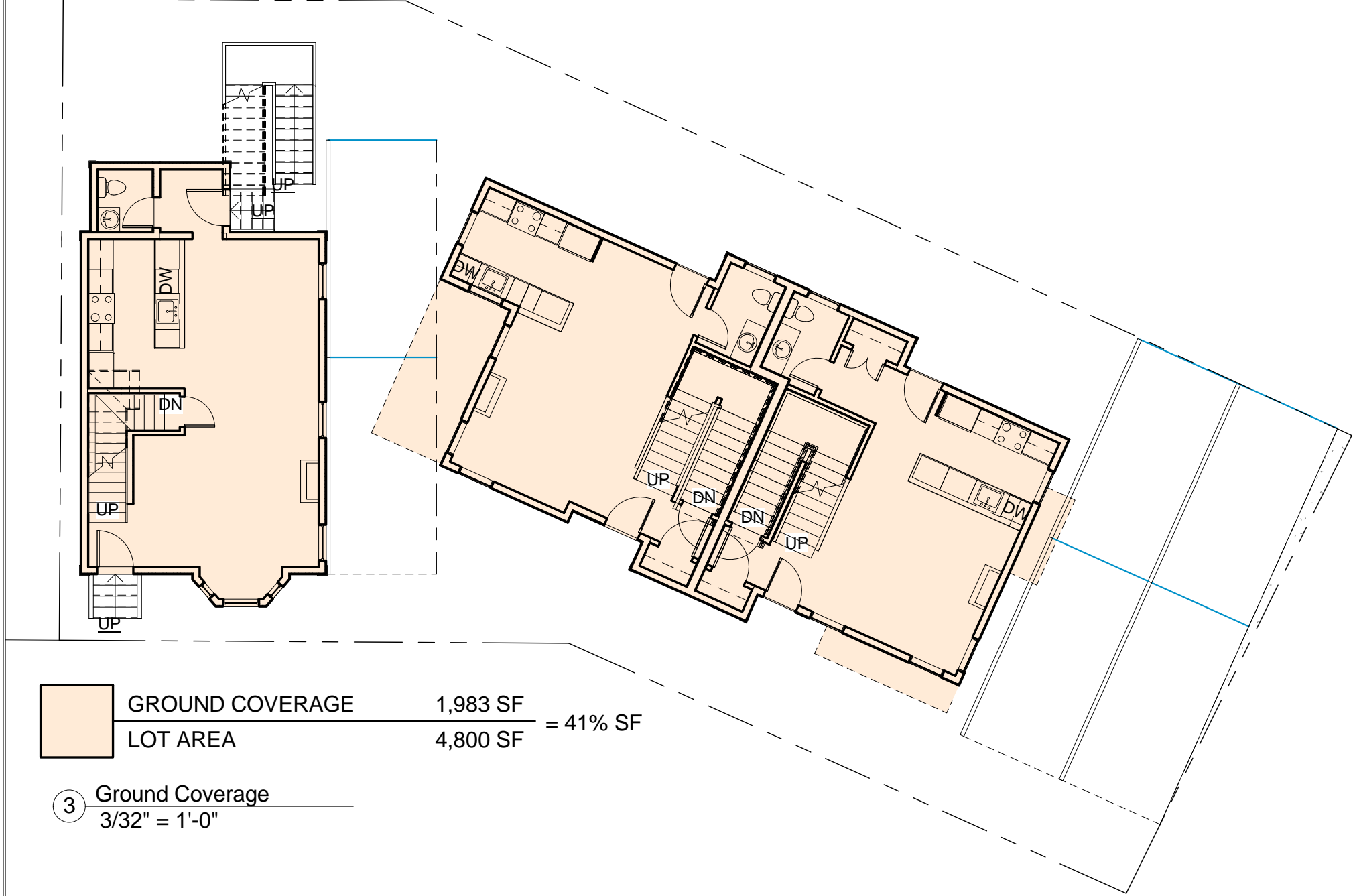
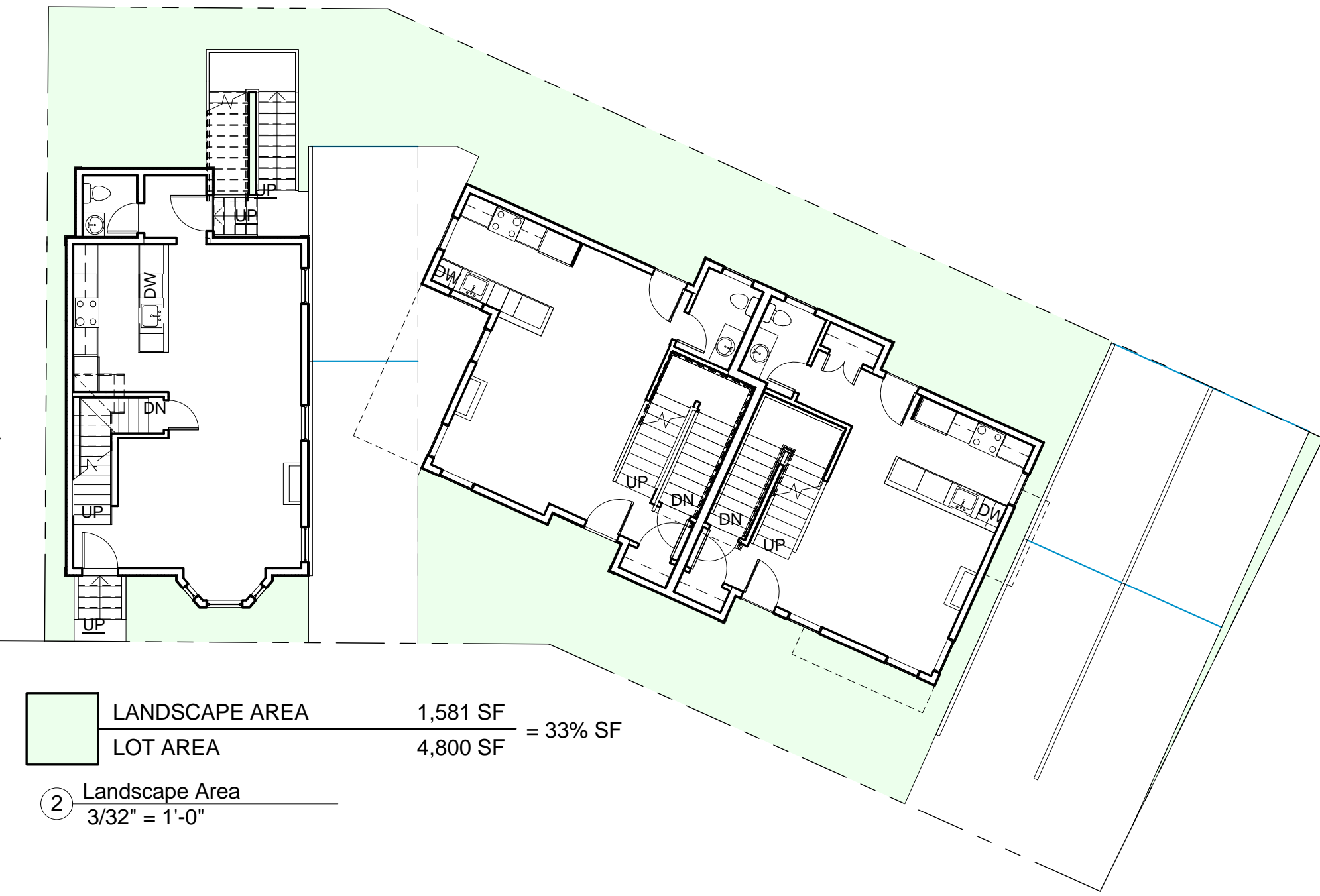
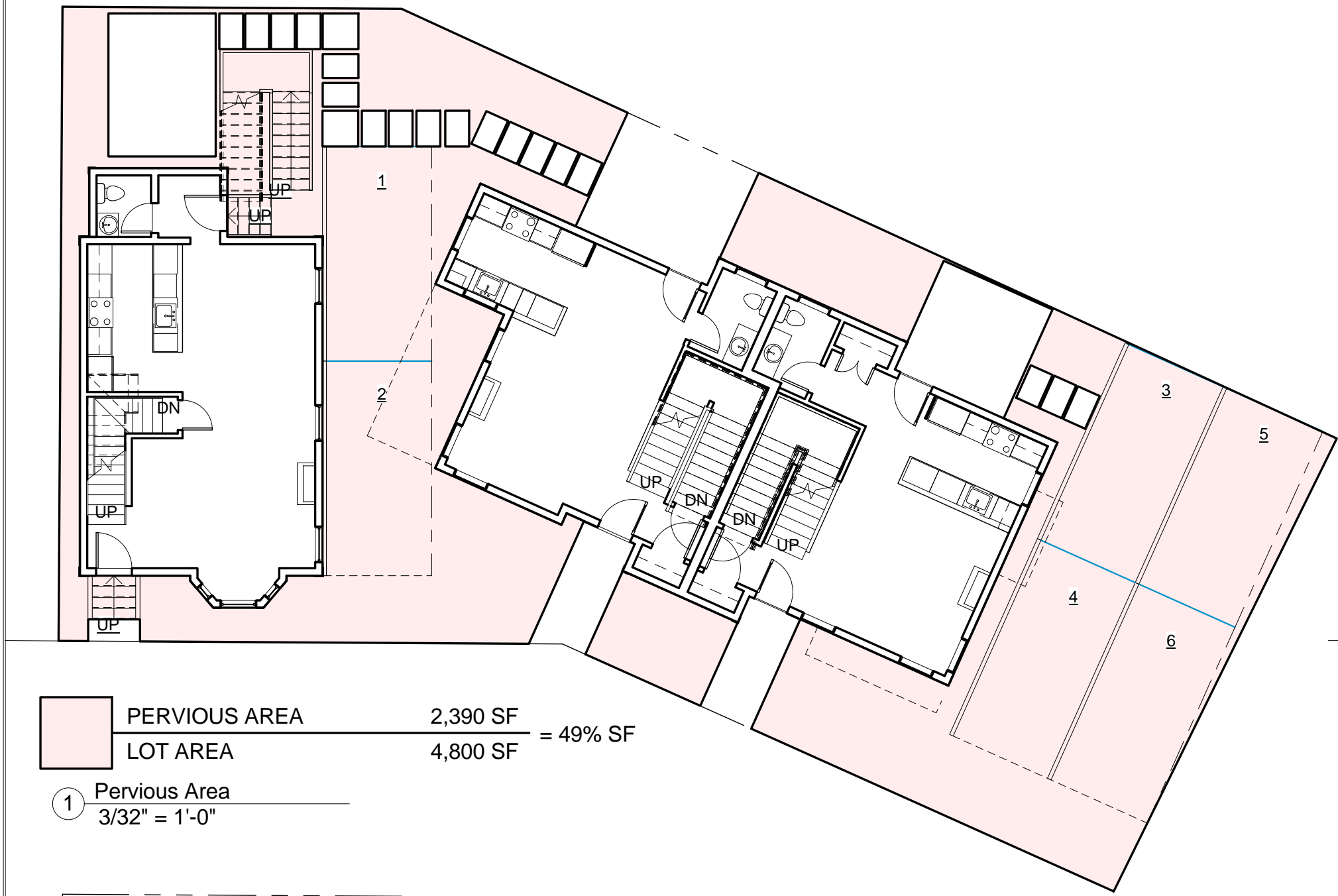
REVISIONS

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

Architectural Site
Plan

A-010

12 Beacon Place



PROPOSED BLDG GROSS FLOOR AREA	
3RD FLOOR	1,384 SF
2ND FLOOR	1,571 SF
1ST FLOOR	1,384 SF
BASEMENT	0 SF
TOTAL	4,339 SF

PROJECT NAME
12 Beacon Place

PROJECT ADDRESS
12 Beacon Place,
Somerville, MA

CLIENT
Anthony Fava & Ryan Hunt

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number 15070
Date 02-09-2016
Drawn by CMH
Checked by KDI
Scale As indicated

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

Zoning

A-011

12 Beacon Place



LOOKING DOWN BEACON PLACE



EMPTY LOT AT 12 BEACON PLACE



EXISTING CONDITION OF 12 BEACON PLACE



LOOKING BACK AT 12 BEACON PLACE

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

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Somerville, MA

CLIENT

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Hunt

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CONSULTANTS:

REGISTRATION



Project number 15070
Date 02-09-2016
Drawn by Author
Checked by Checker
Scale

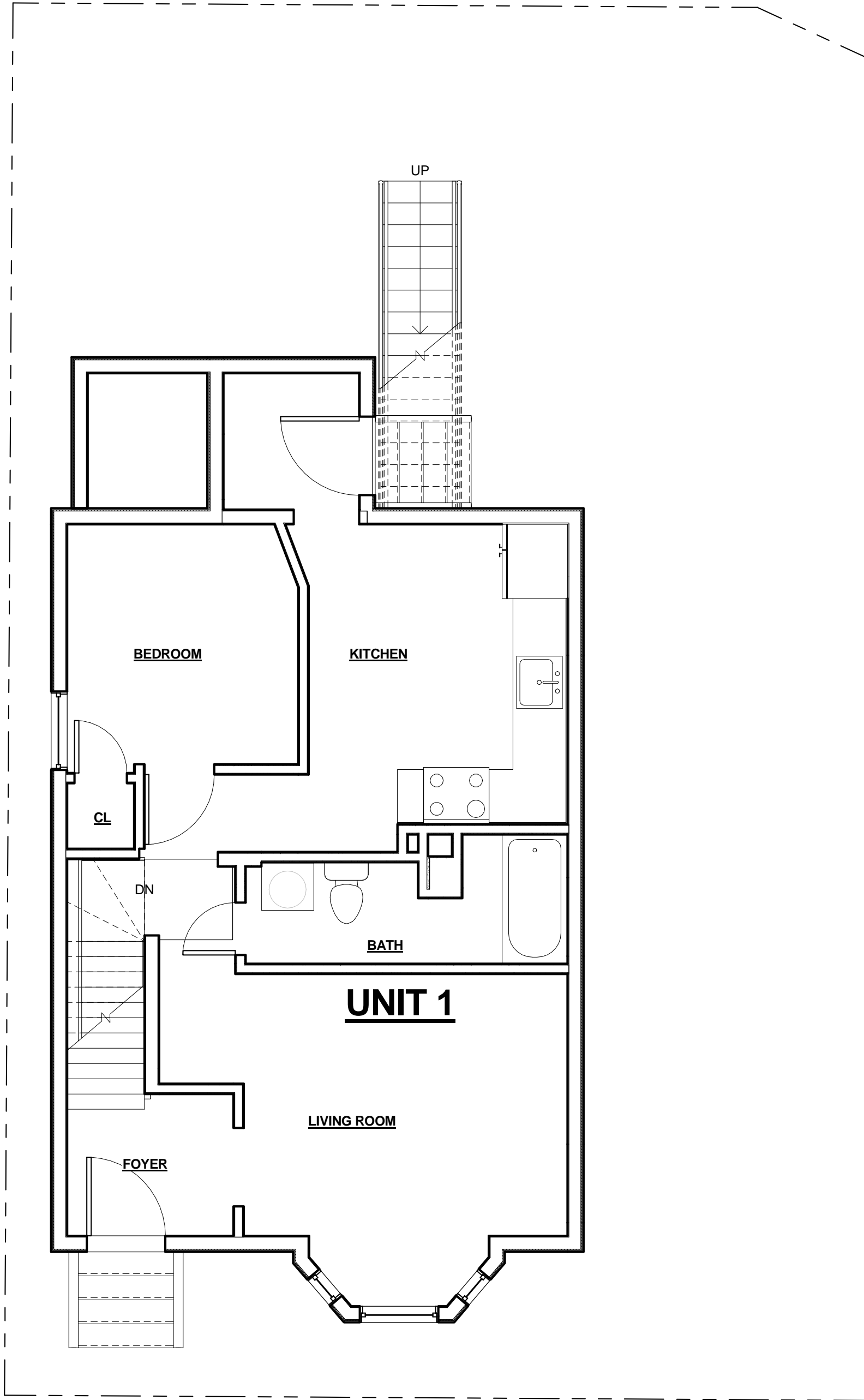
REVISIONS

No.	Description	Date

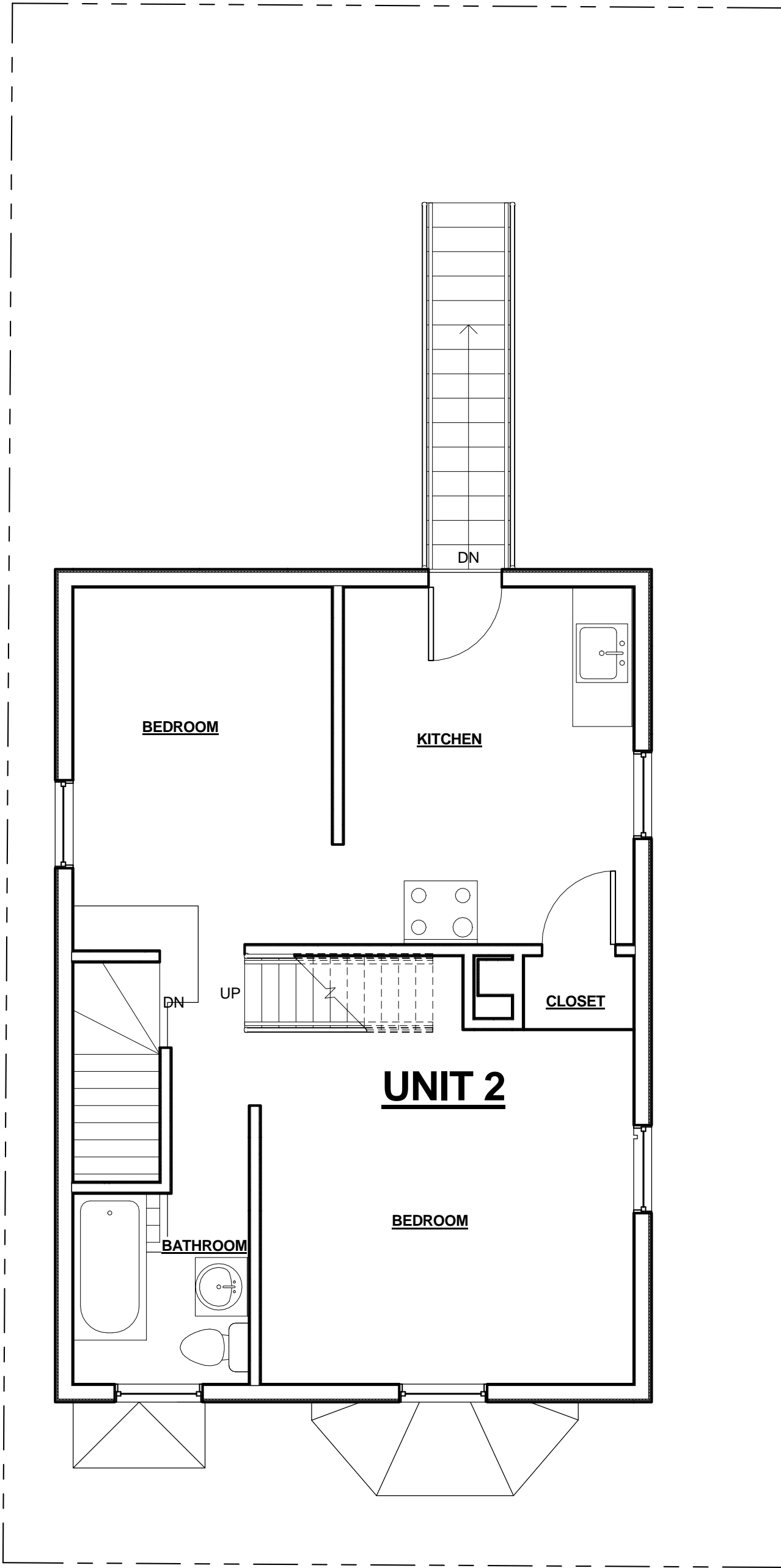
Neighborhood
Photographs

AV-1

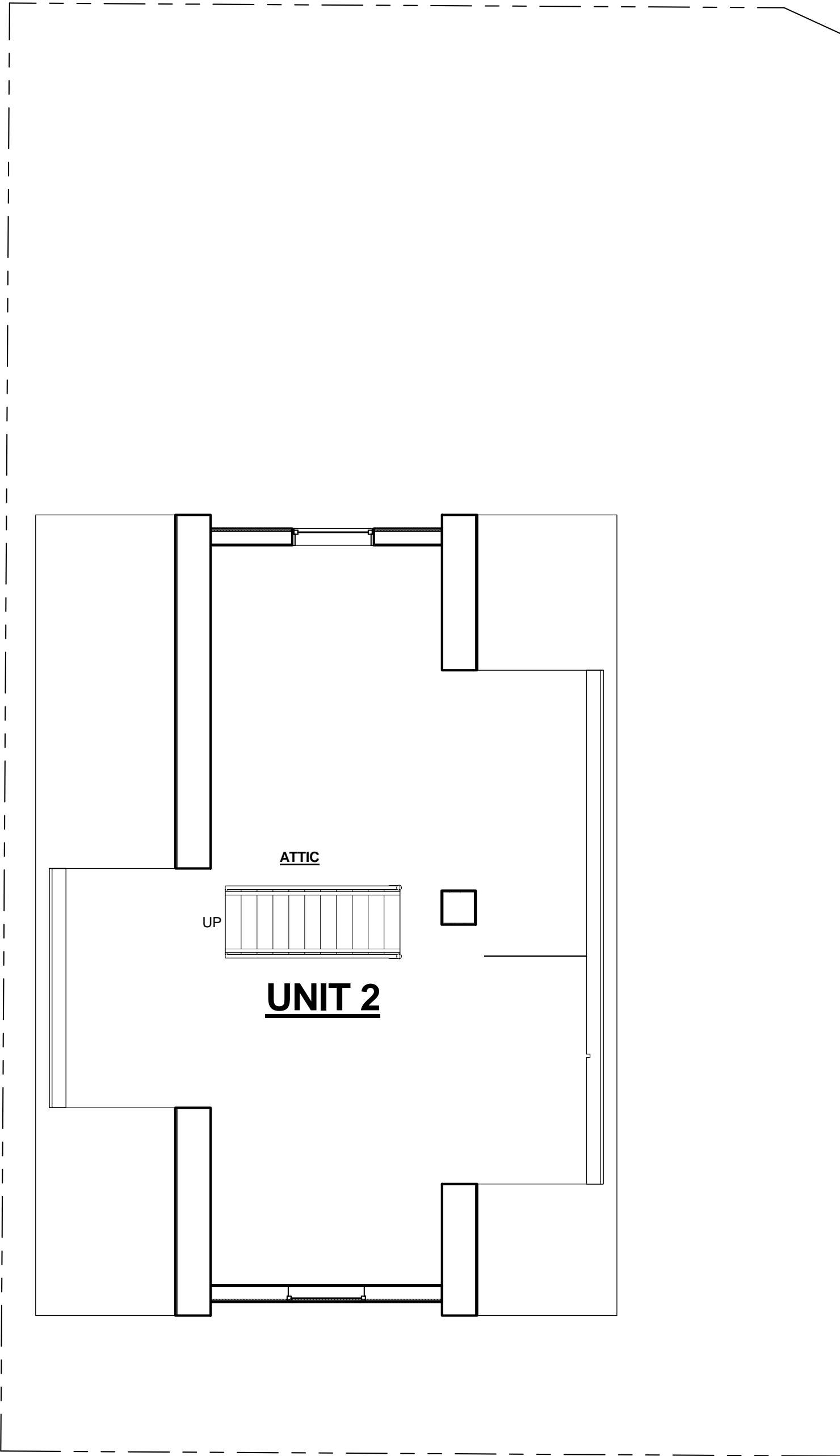
12 Beacon Place



① Existing First Floor Level
1/4" = 1'-0"



② Existing Second Floor Level
1/4" = 1'-0"



③ Existing Third Floor Level
1/4" = 1'-0"

PROJECT NAME

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CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
Drawn by	CMH
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Scale	1/4" = 1'-0"

REVISIONS

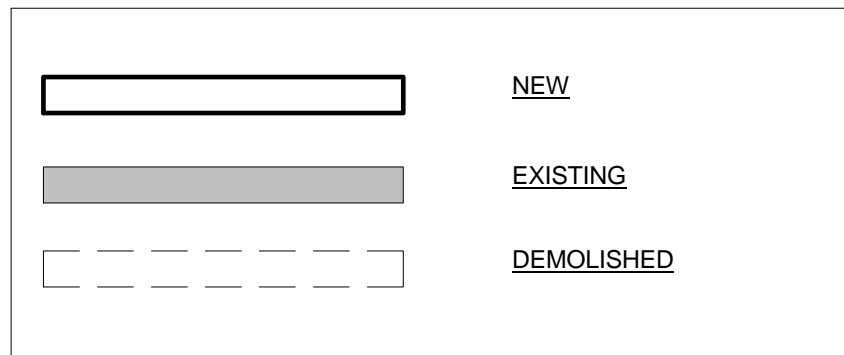
No.	Description	Date

Existing Plans

Ex-100

12 Beacon Place

WALL LEGEND



Area Schedule (Gross Building)		
Name	Level	Area
UNIT 1	First Floor Level	573 SF
UNIT 1	Second Floor Level	486 SF
UNIT 1	Third Floor Level	313 SF
UNIT 2	First Floor Level	527 SF
UNIT 2	Second Floor Level	518 SF
UNIT 2	Third Floor Level	490 SF
UNIT 3	First Floor Level	425 SF
UNIT 3	Second Floor Level	470 SF
UNIT 3	Third Floor Level	431 SF
		4233 SF

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

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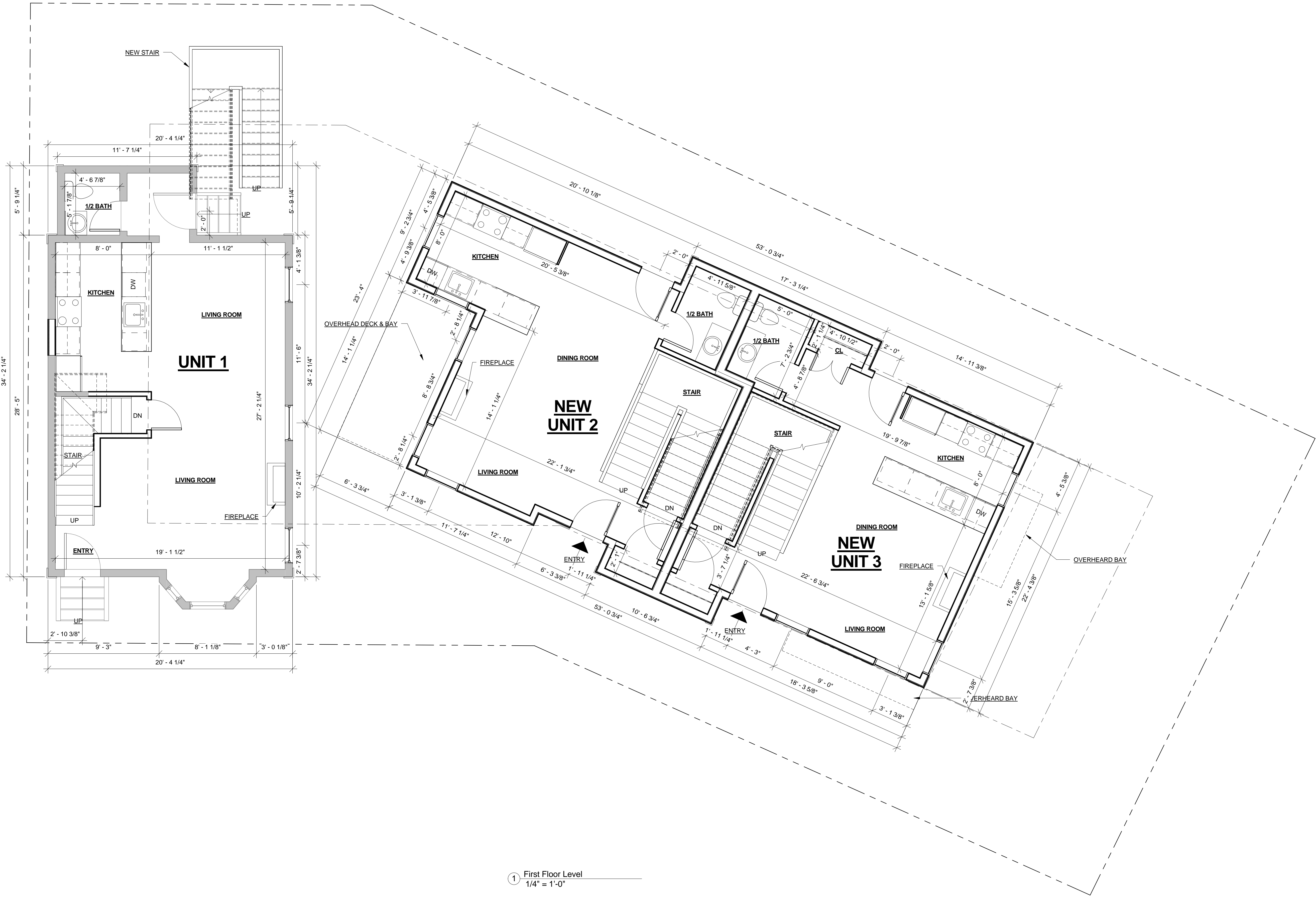
REVISIONS

No.	Description	Date

1st Floor Plan

A-100

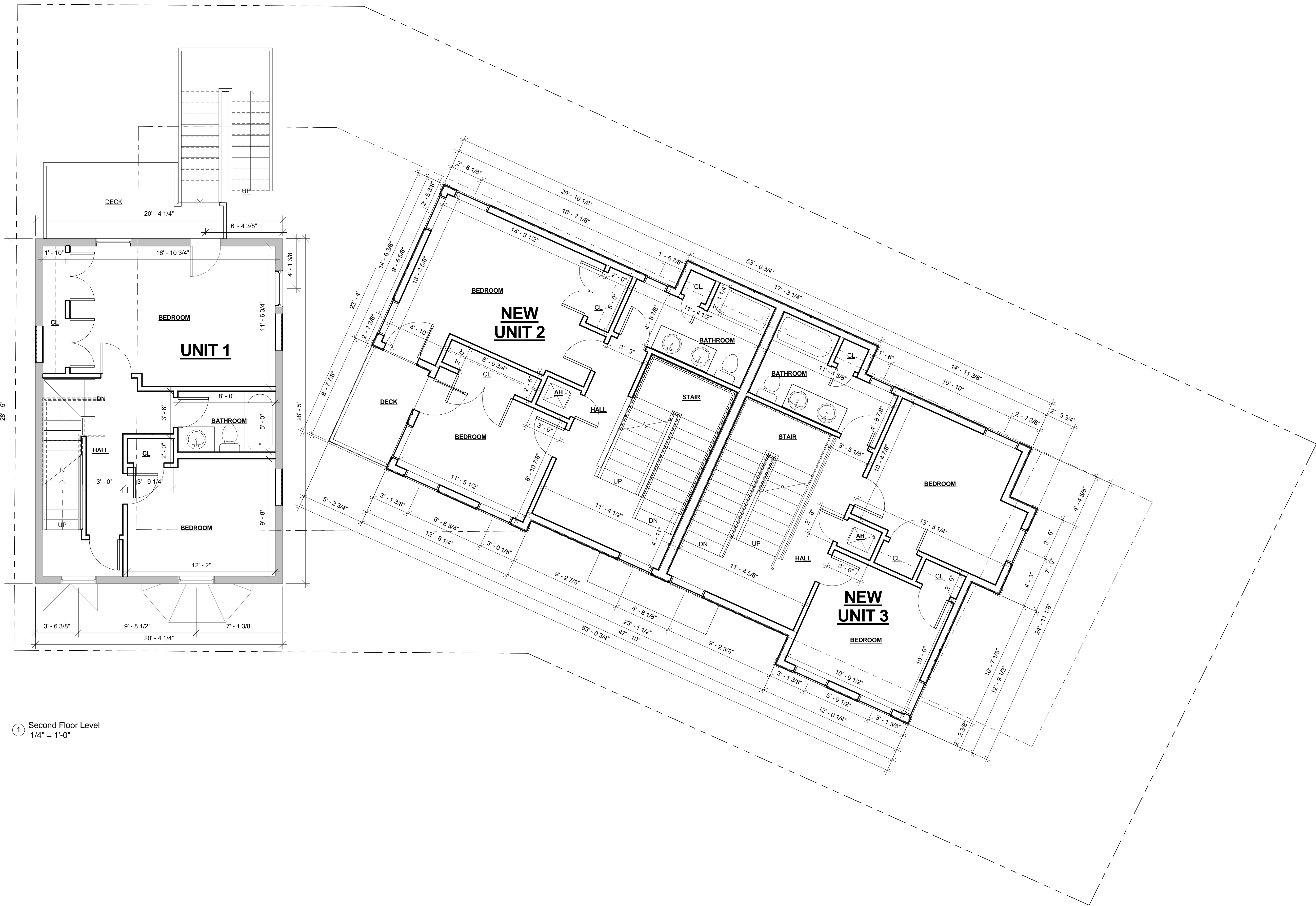
12 Beacon Place



1 First Floor Level
1/4" = 1'-0"

WALL LEGEND

<div></div>	NEW
<div></div>	EXISTING
<div></div>	DEMOLISHED



Area Schedule (Gross Building)		
Name	Level	Area
UNIT 1	First Floor Level	573 SF
UNIT 1	Second Floor Level	486 SF
UNIT 1	Third Floor Level	313 SF
UNIT 2	First Floor Level	527 SF
UNIT 2	Second Floor Level	518 SF
UNIT 2	Third Floor Level	490 SF
UNIT 3	First Floor Level	425 SF
UNIT 3	Second Floor Level	470 SF
UNIT 3	Third Floor Level	431 SF
		4233 SF

PROJECT NAME

12 Beacon Place

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CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
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Checked by	KDI
Scale	As indicated

REVISIONS

No.	Description	Date

2nd Floor Plan

A-101

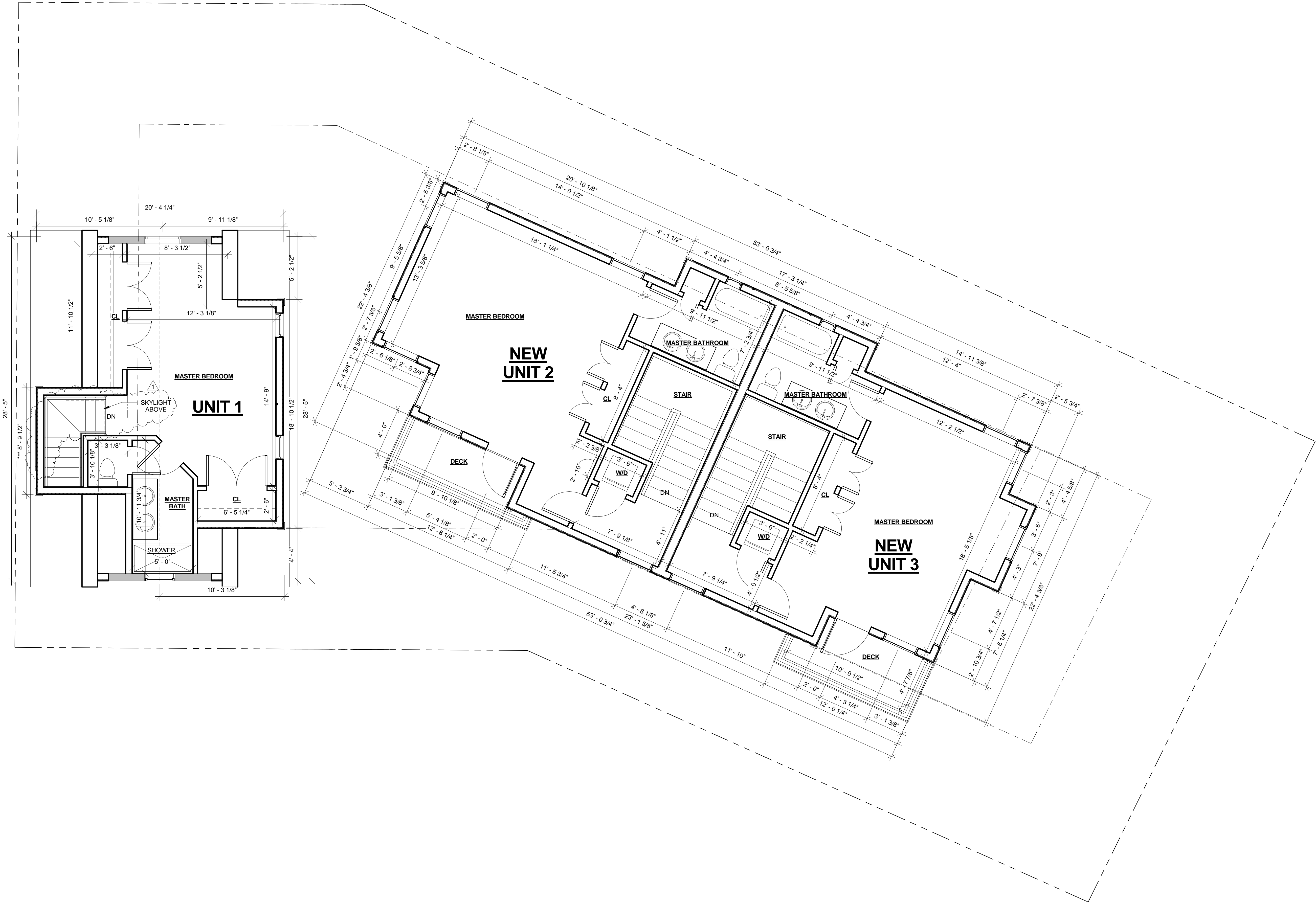
12 Beacon Place

WALL LEGEND

NEW

EXISTING

DEMOLISHED



1 Third Floor Level
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
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CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
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Checked by	KDI
Scale	As indicated

REVISIONS

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

3rd Floor Plan

A-103

12 Beacon Place

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

CLIENT

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Hunt

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CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

Roof Plan

A-104

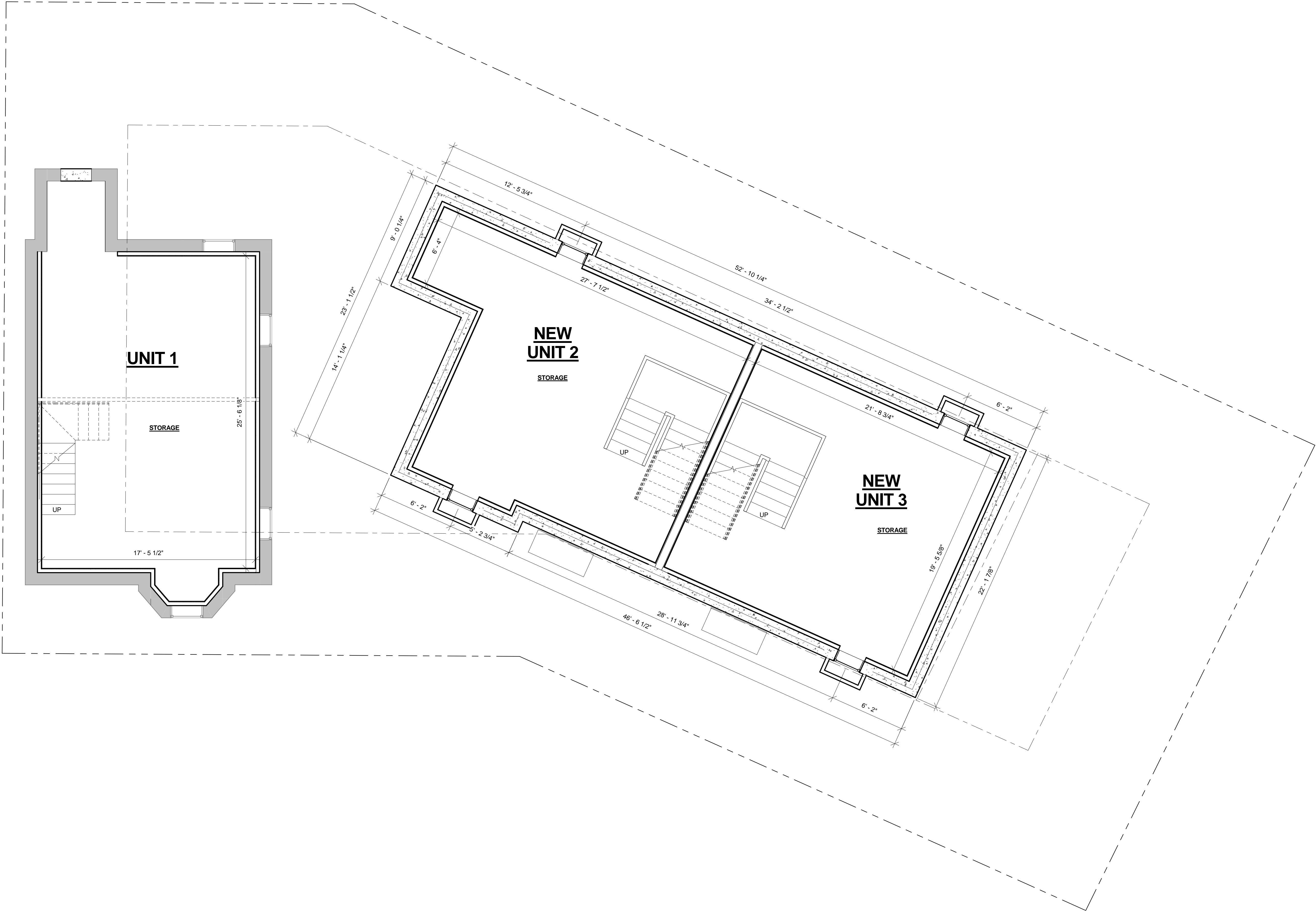
12 Beacon Place

\\ITKG-Server\\Data\\1515070_12 Beacon Place\\15070_12 Beacon Place_2015-11-4 Current.dwg

2/12/2016 2:30:42 PM

WALL LEGEND

<div></div>	NEW
<div></div>	EXISTING
<div></div>	DEMOLISHED



1 Basement Plan
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

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CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
Drawn by	CMH
Checked by	JSK
Scale	As indicated

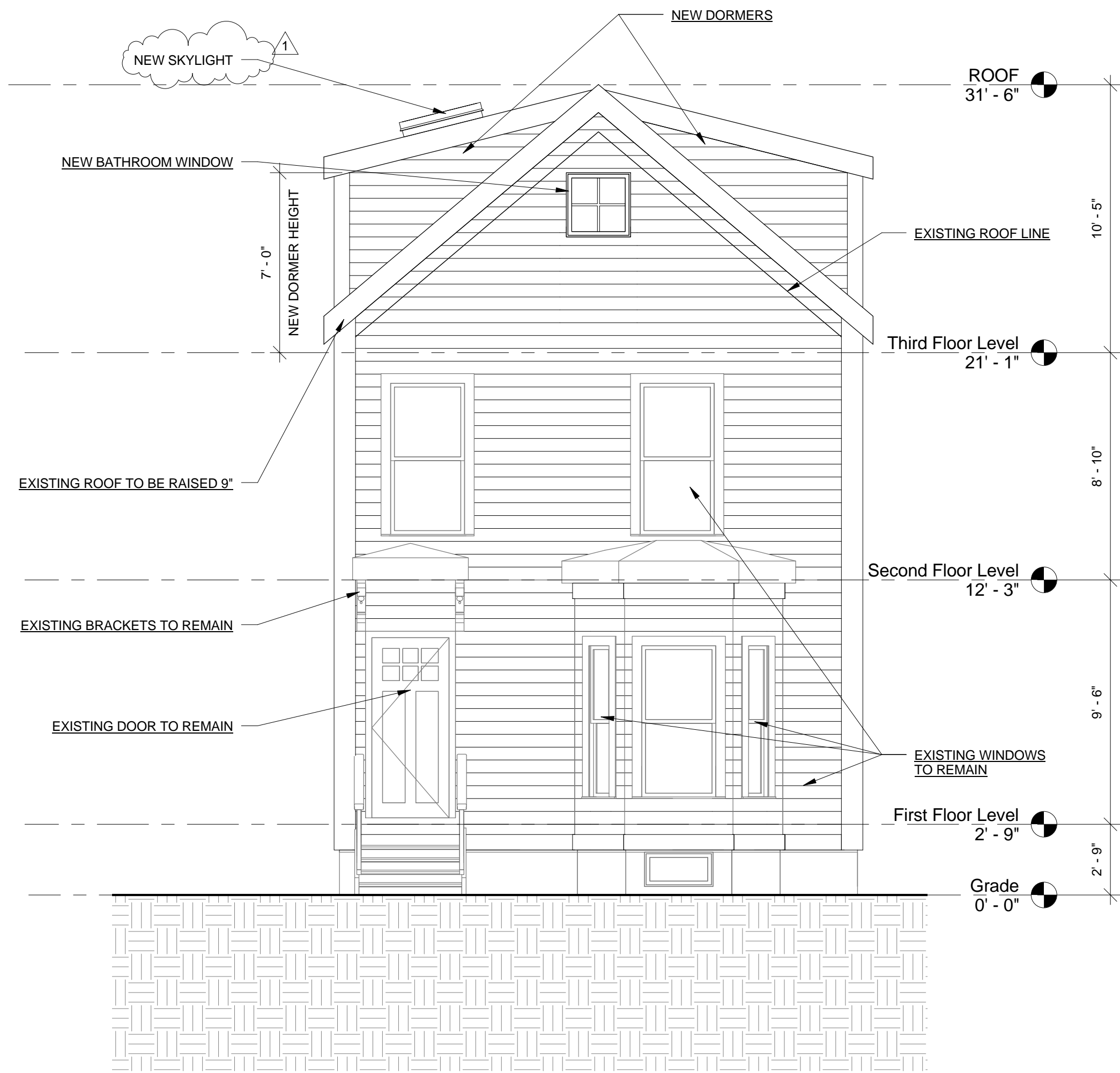
REVISIONS

No.	Description	Date

Basement Plan

A-119

12 Beacon Place



① Front Elevation
1/4" = 1'-0"



② East Elevation
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

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CONSULTANTS:

REGISTRATION



Project number 15070
Date 02-09-2016
Drawn by TMC/ CMH
Checked by JSK
Scale 1/4" = 1'-0"

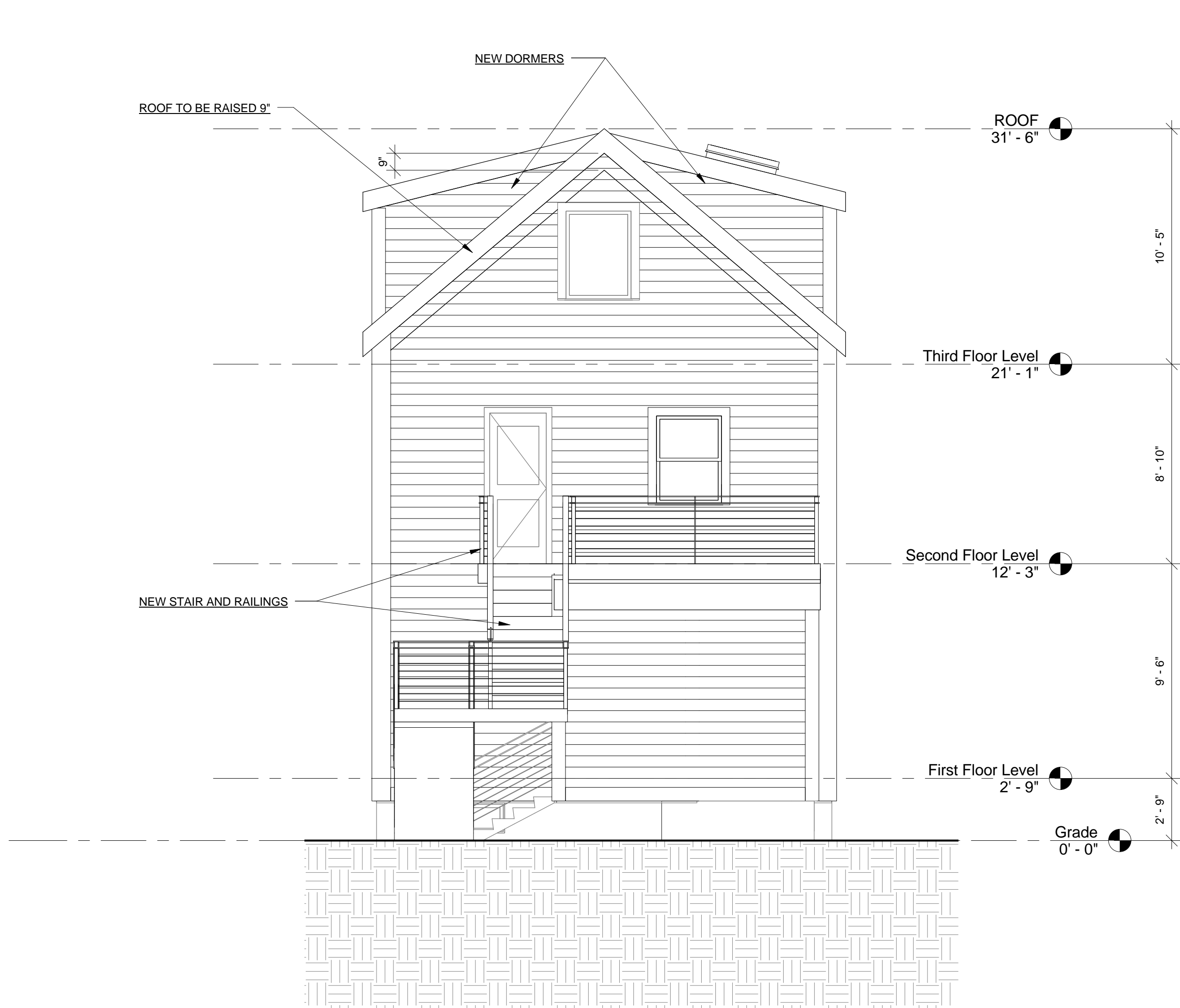
REVISIONS

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

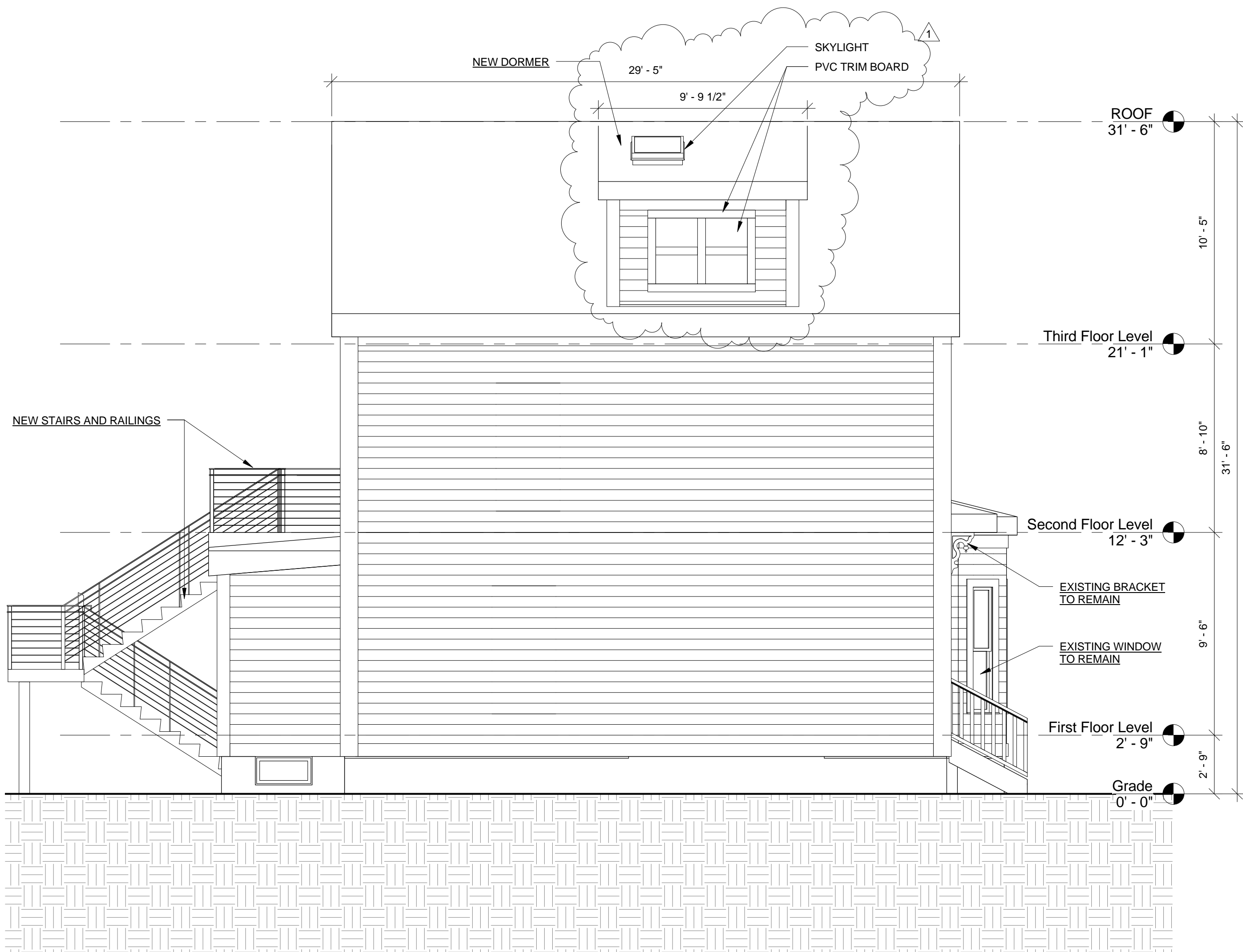
North & West
Exterior Elevations

A-300

12 Beacon Place



① Rear Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

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CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
Drawn by	TMC/CMH
Checked by	KDI
Scale	1/4" = 1'-0"

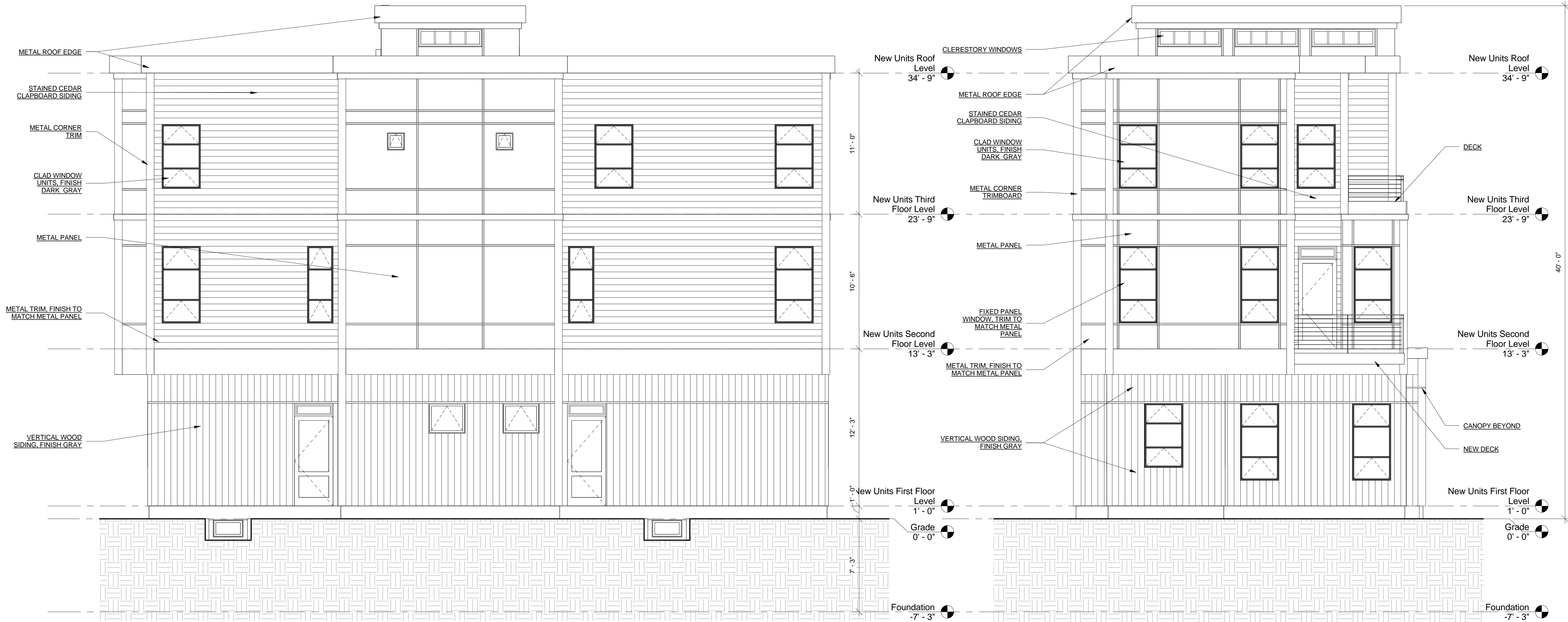
REVISIONS

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

South & East
Exterior Elevations

A-301

12 Beacon Place



① New Units North Elevation
1/4" = 1'-0"

② New Units West Elevation
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

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CONSULTANTS:

REGISTRATION



Project number 15070
Date 02-09-2016
Drawn by CMH
Checked by JSK
Scale 1/4" = 1'-0"

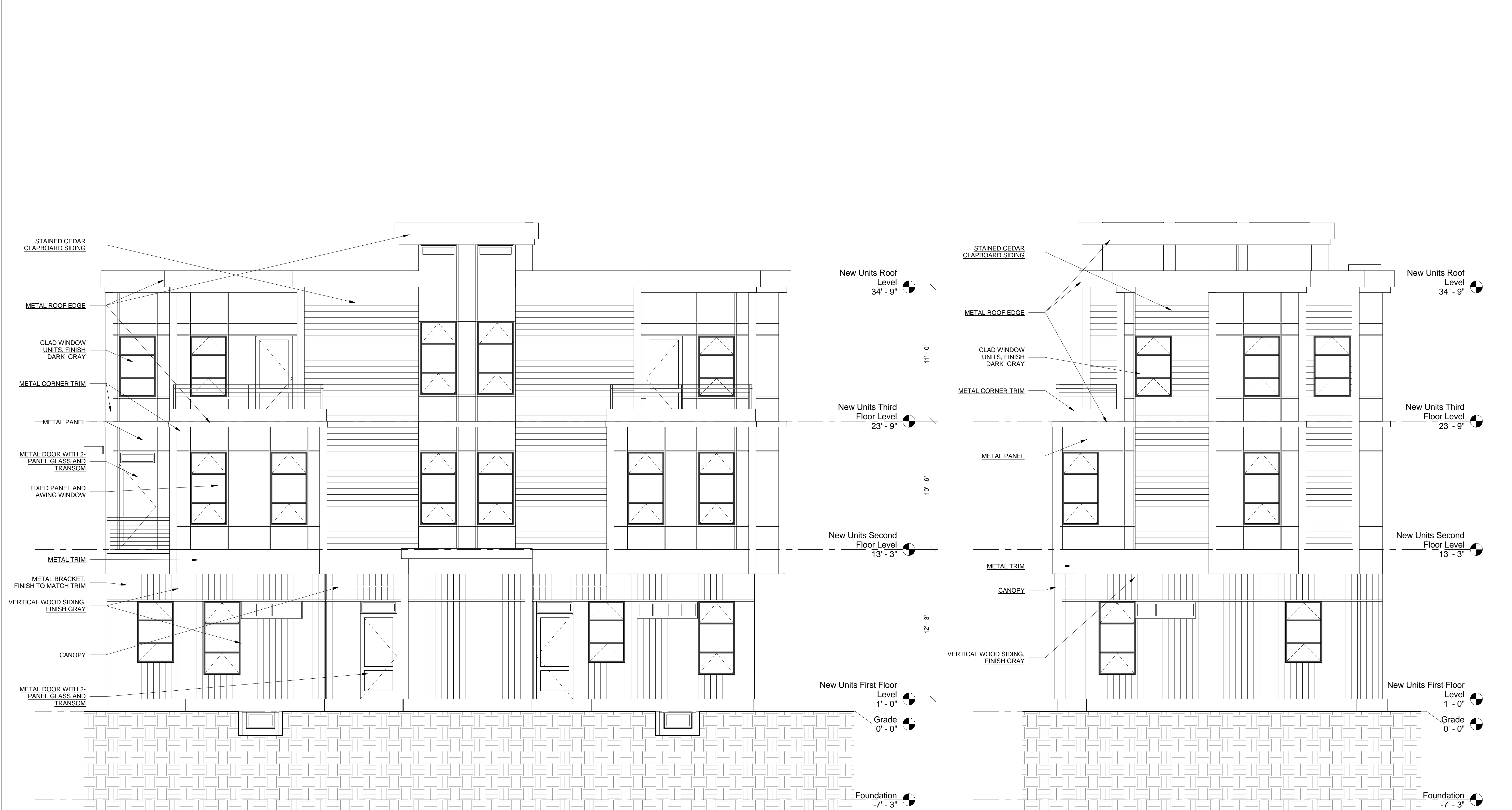
REVISIONS

No.	Description	Date

New Units North &
West Elevations

A-302

12 Beacon Place



① New Units South Elevation
1/4" = 1'-0"

② New Units East Elevation
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

CLIENT

**Anthony Fava & Ryan
Hunt**

ARCHITECT
KHALSA DESIGN INC.



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CONSULTANTS:

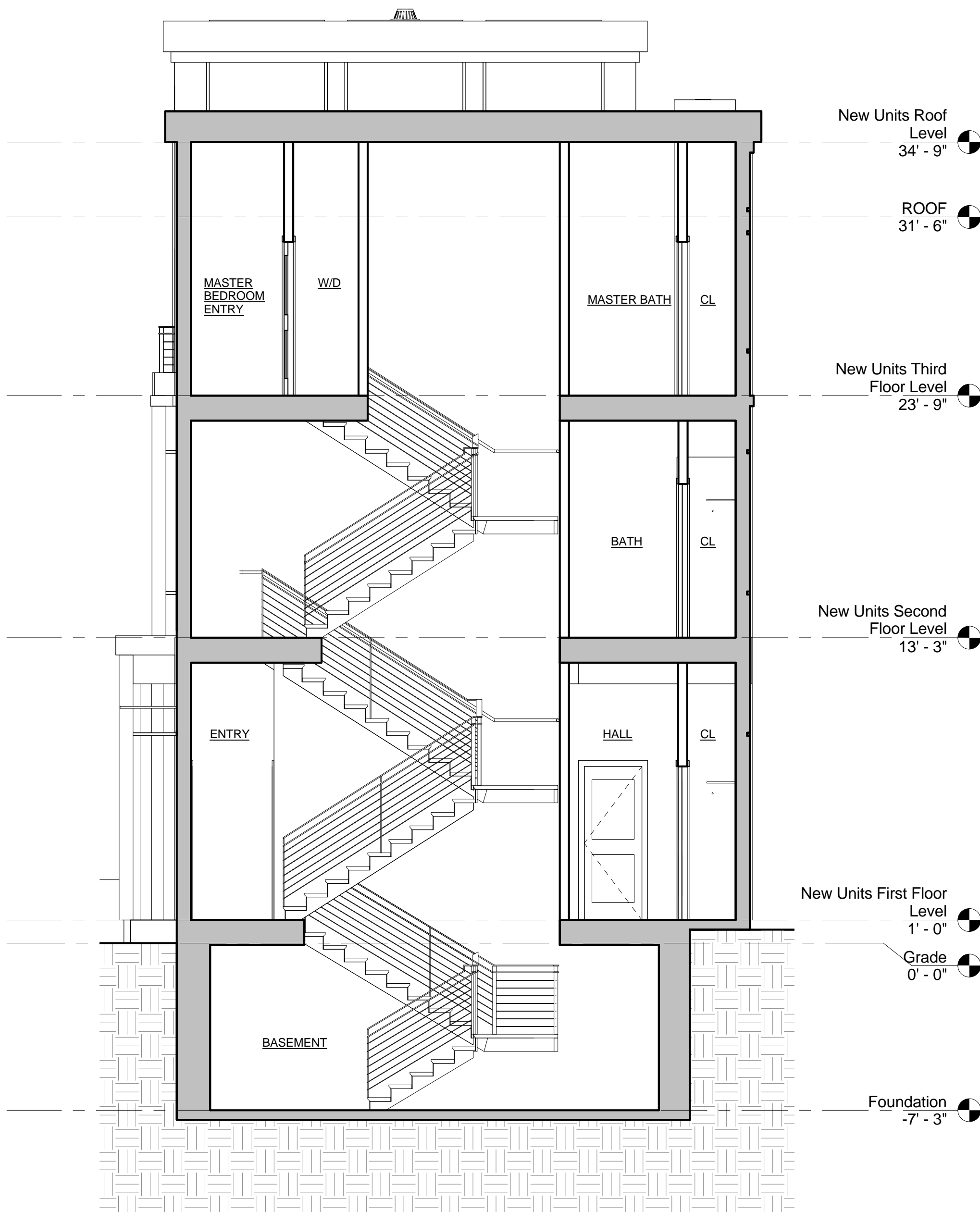


Project number	15070
Date	02-09-2016
Drawn by	CMH
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

New Units South &
East Elevations

A-303
12 Beacon Place



① New Building Section
1/4" = 1'-0"

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

CLIENT

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Hunt

ARCHITECT

KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	15070
Date	02-09-2016
Drawn by	CMH
Checked by	KDI
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

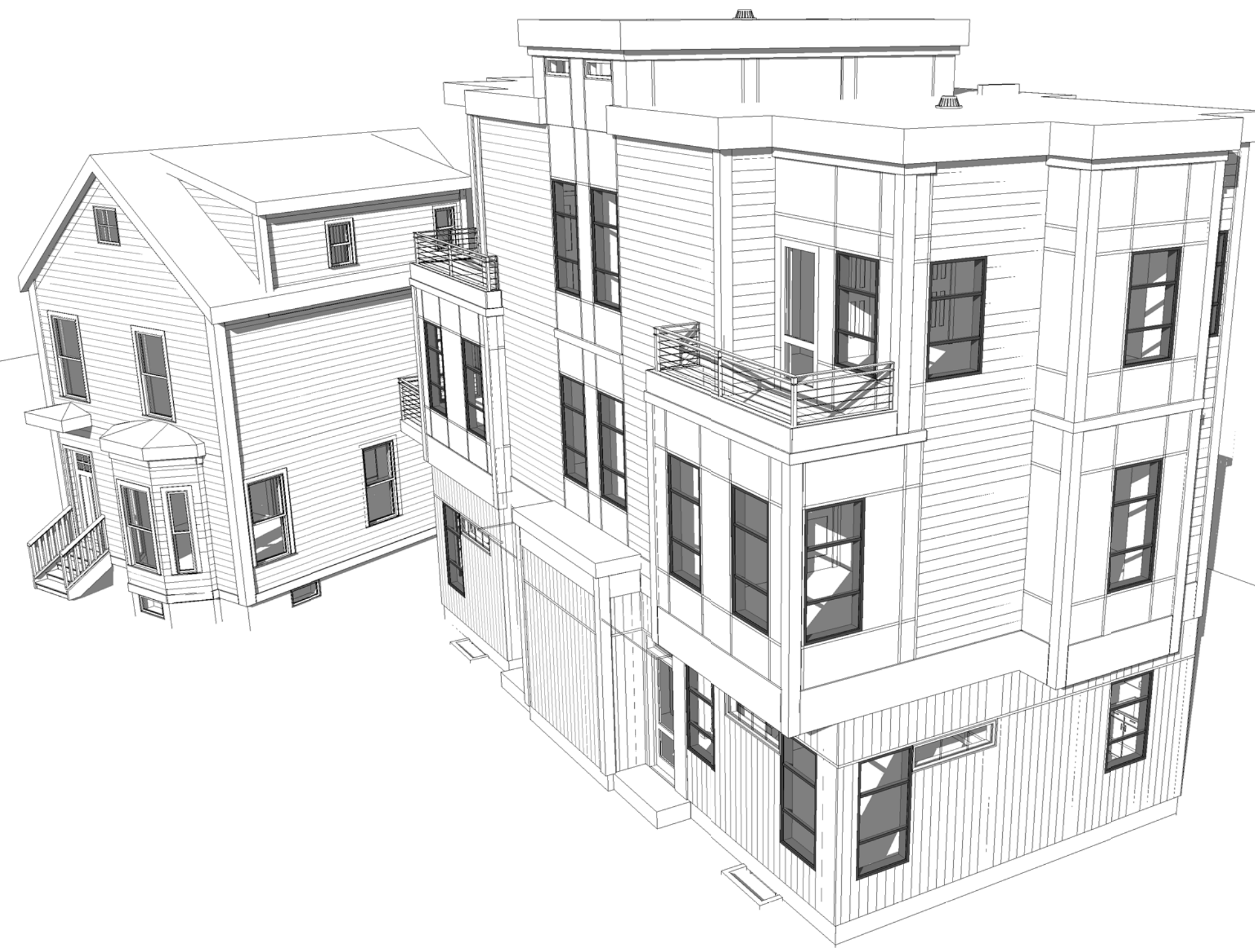
Building Section

A-400

12 Beacon Place



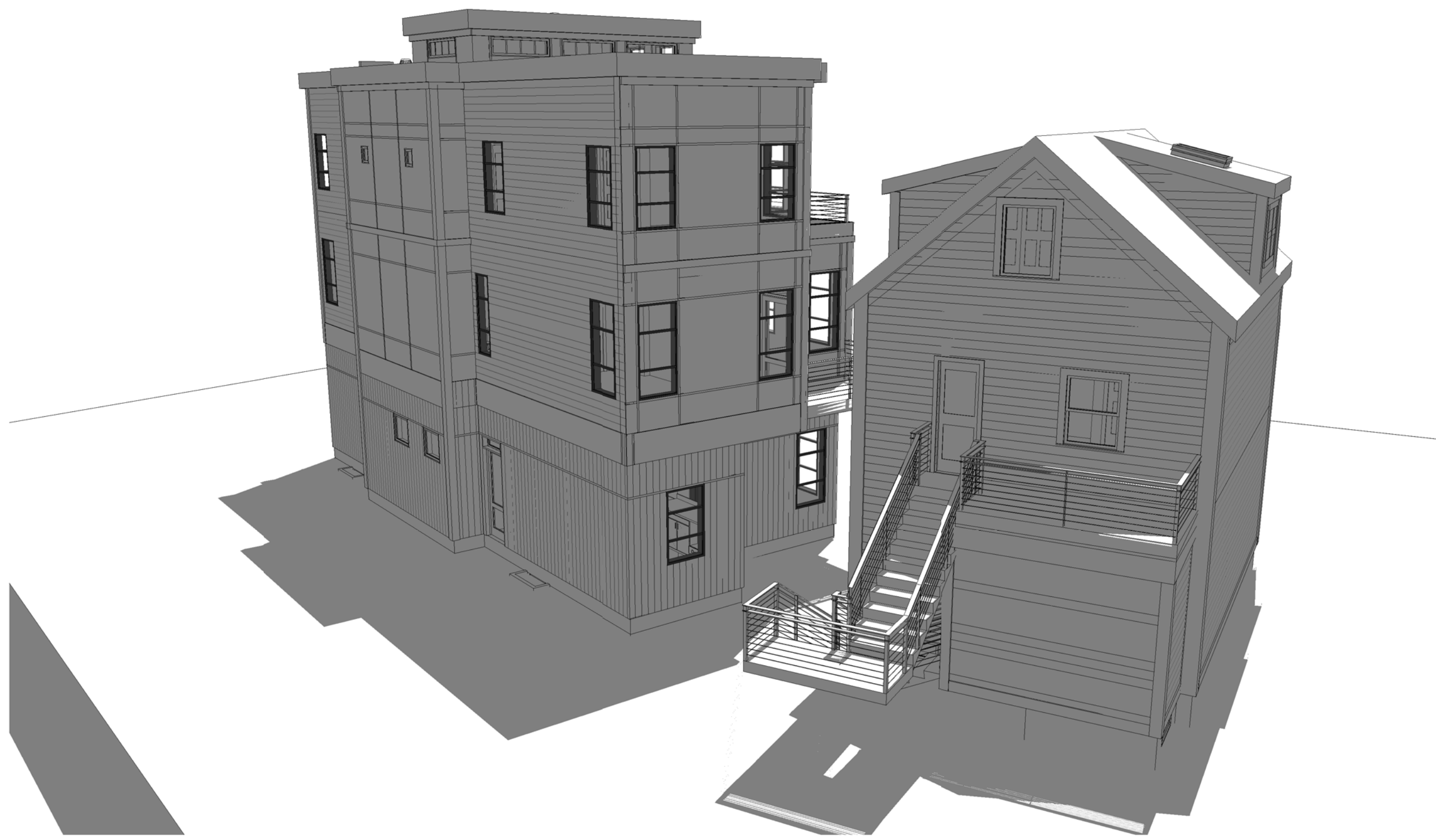
2 3D View 1



3 3D View 3



1 3D View 2



4 3D View 4

1
DORMER WINDOW DELETED

PROJECT NAME

12 Beacon Place

PROJECT ADDRESS

12 Beacon Place,
Somerville, MA

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CONSULTANTS:

REGISTRATION



Project number 15070
Date 02-09-2016
Drawn by CMH
Checked by KDI
Scale

REVISIONS

No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

Perspectives

AV-2

12 Beacon Place



BEACON PLACE FROM BEACON STREET

DORMER WINDOW DELETED

PROJECT NAME

12 Beacon Place

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12 Beacon Place,
Somerville, MA

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Date	02-09-2016
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Scale	

REVISIONS		
No.	Description	Date
1	Add Skylight, Delete Win.	02-12-2016

Rendering

AV-3

12 Beacon Place