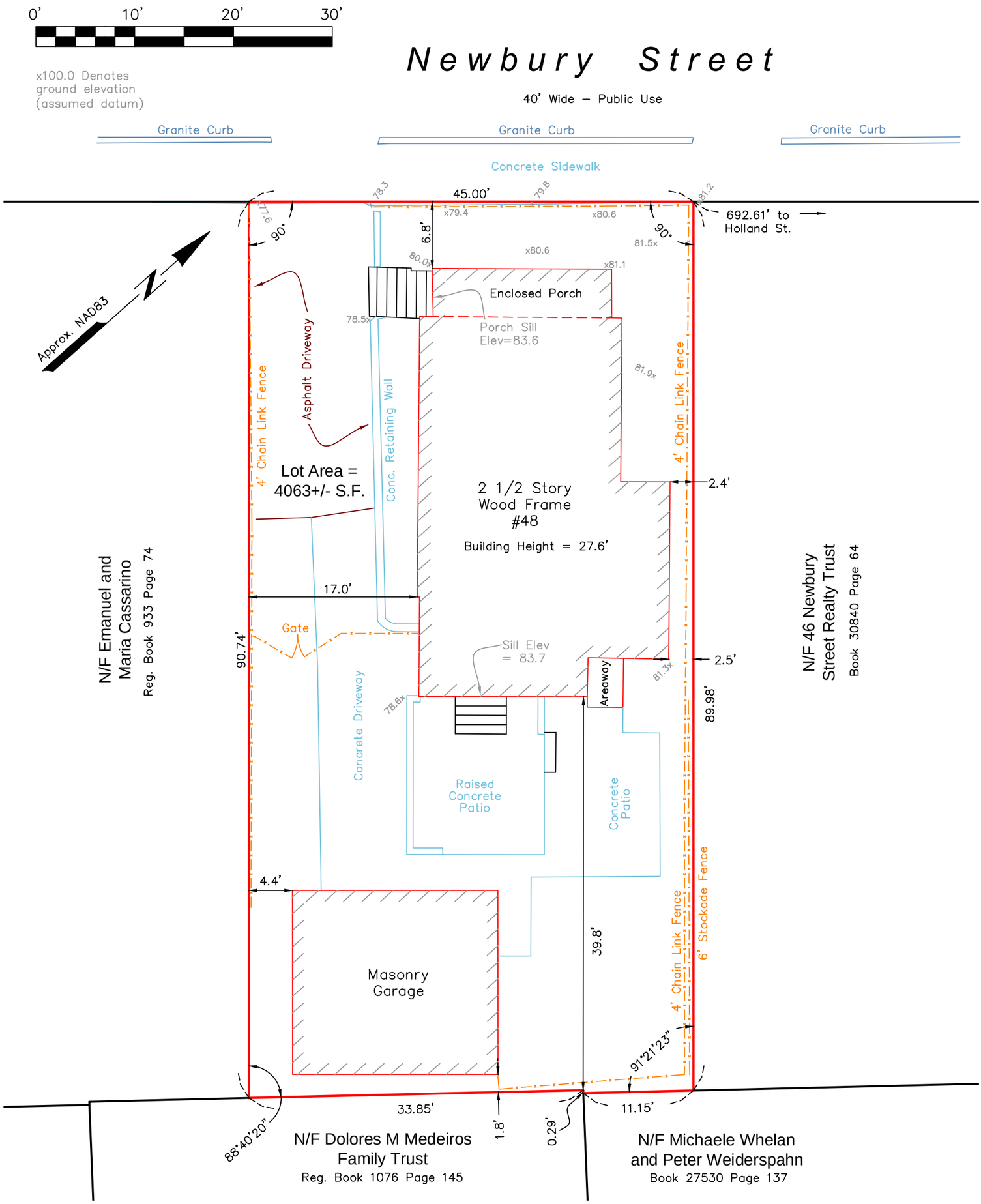


In my professional opinion, I certify to Grace Kessenich and the City of Somerville building inspector that as a result of a survey made on the ground to the normal standard of care of professional land surveyors practicing in Massachusetts, I find that the structures fall outside of the special flood hazard area as shown on the F.I.R.M. for Middlesex County, Massachusetts, Map #25017C0419E Dated: June 4, 2010 and that the location of the building is as shown hereon.

PROFESSIONAL LAND SURVEYOR

DATE: _____

Plot Plan of Land

in

Somerville, Massachusetts

Prepared For: Grace Kessenich

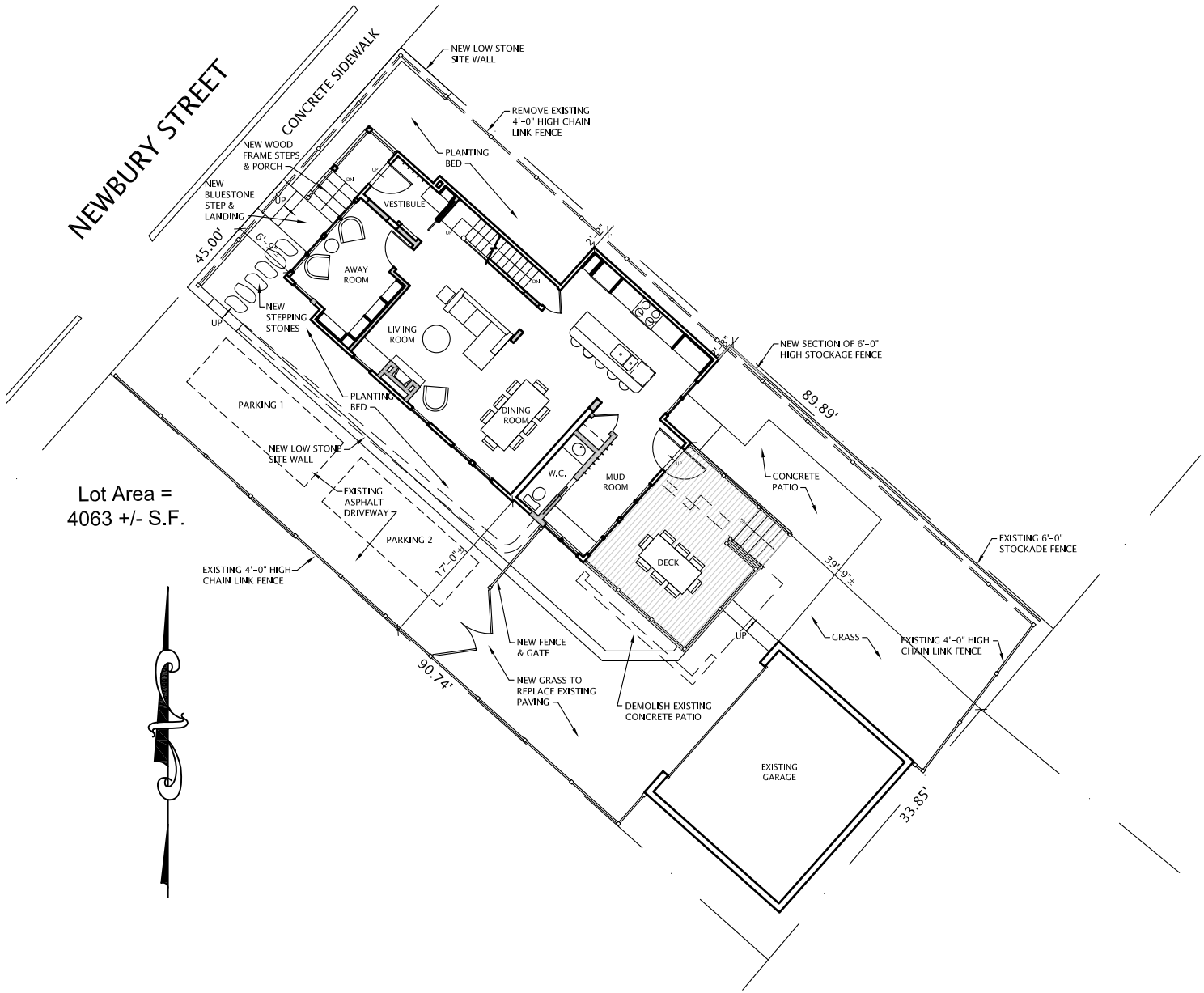
Scale: 1" = 20' *Date: June 22, 2011*

MALONEY GEOSPATIAL

10 Fenno Street
Cambridge, MA 02138

617–744–9002
maloneygeo.com

Deed recorded at Middlesex Registry of Deeds, book 1375 page 50
Land Court Plan 6716A, recorded in book 57 page 161
Assessors Map 13, Block A, Lot 70
Zoning District: 'RB' Residence B

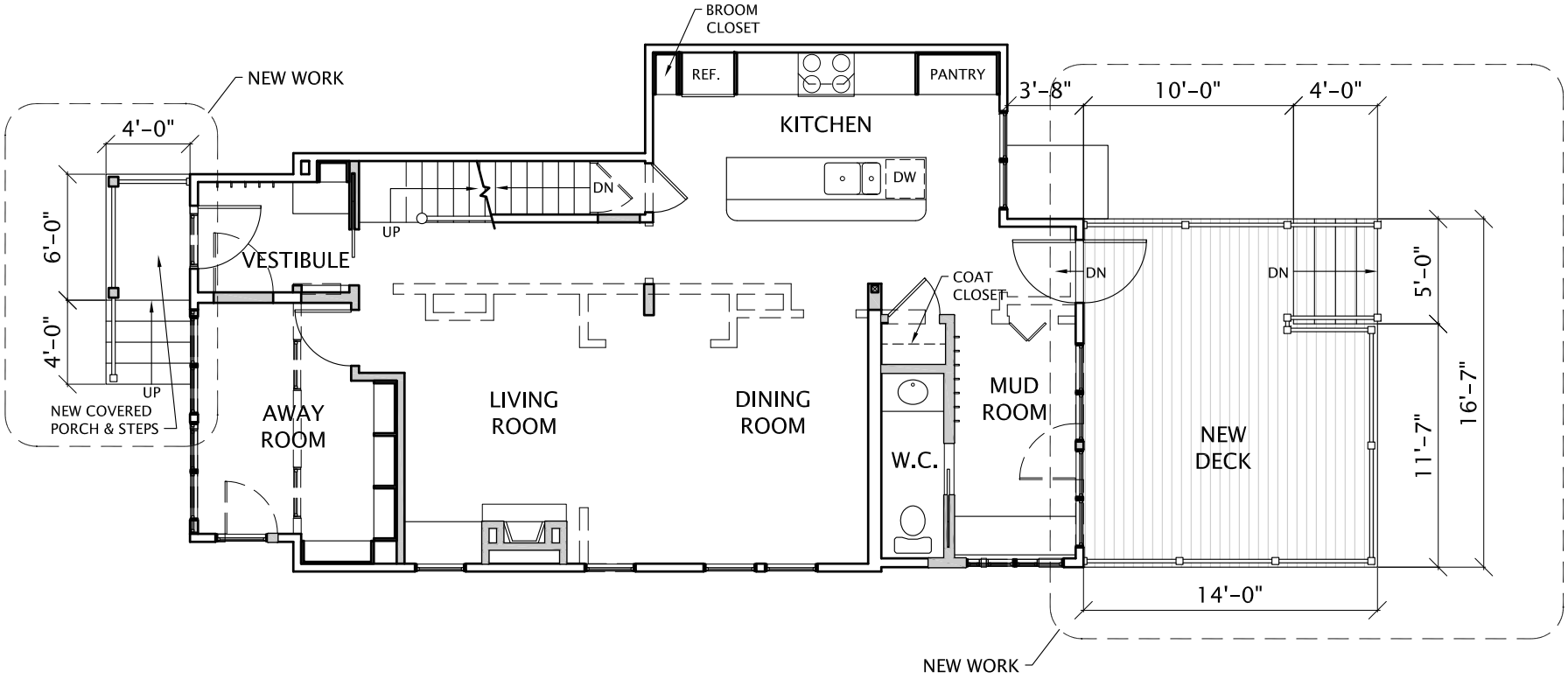


48 NEWBURY STREET, SOMERVILLE, MA

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

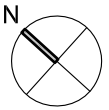
SITE PLAN 0

SCALE: 1/16" = 1'-0"



NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.



LEGEND

- EXISTING WALL
- NEW WALL
- DEMOLISHED WALL
- HIDDEN LINE

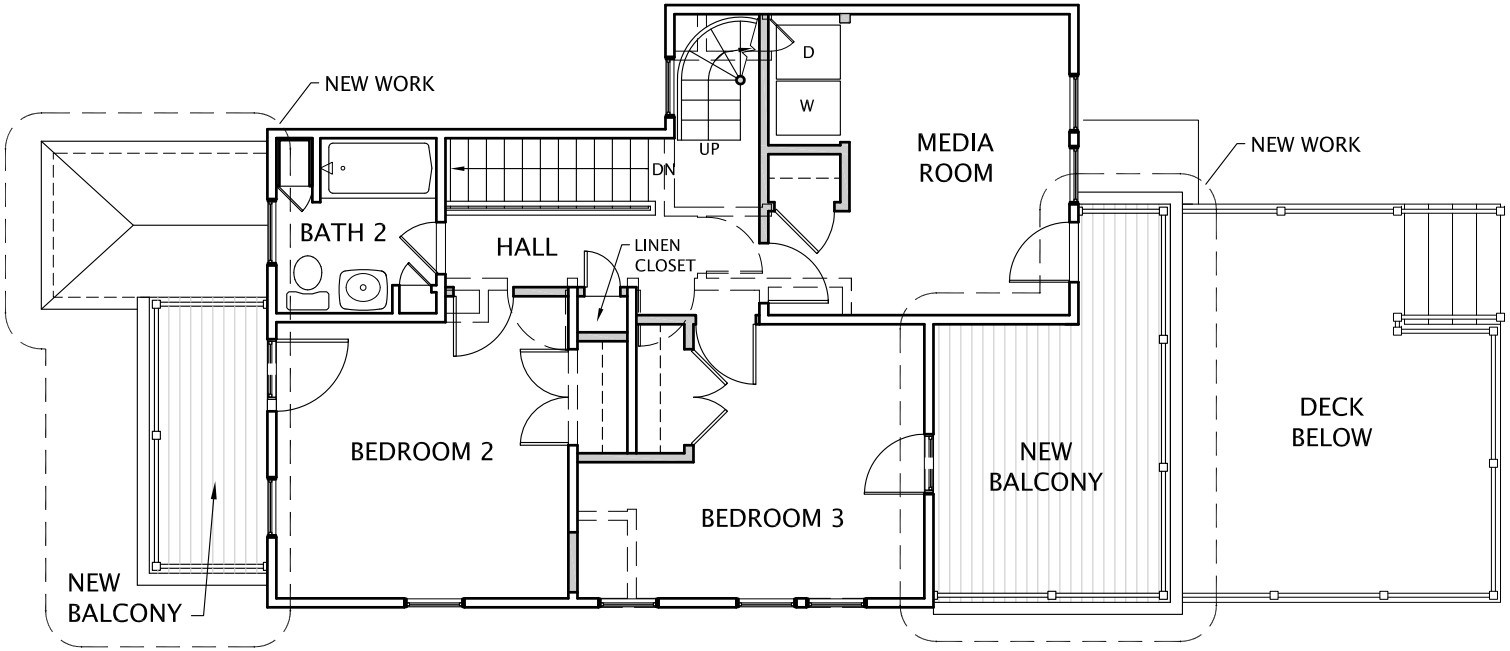
48 NEWBURY STREET, SOMERVILLE, MA

FIRST FLOOR PLAN

1

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

SCALE: ⅛" = 1'–0"



NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.

N

LEGEND

- EXISTING WALL
- NEW WALL
- DEMOLISHED WALL
- HIDDEN LINE

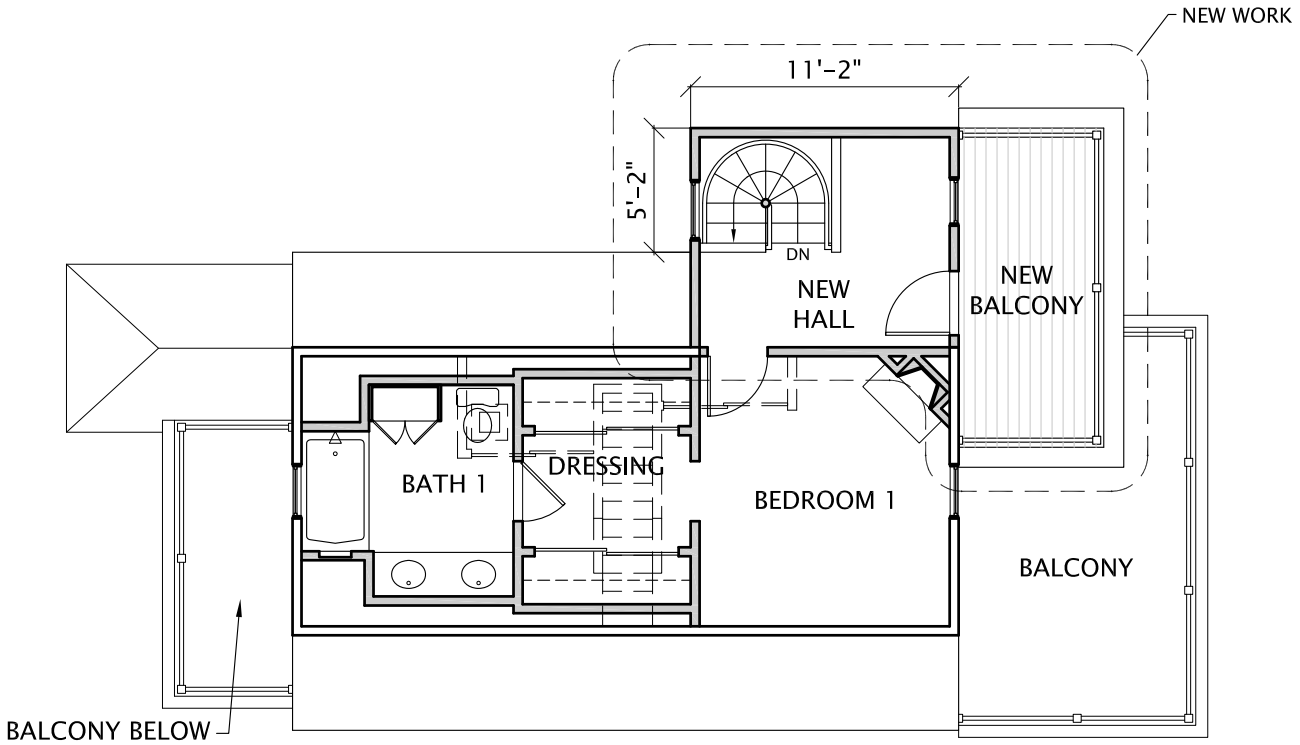
48 NEWBURY STREET, SOMERVILLE, MA

SECOND FLOOR PLAN

2

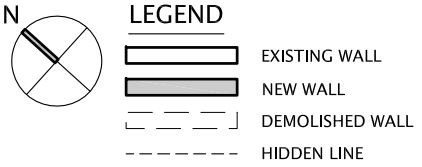
BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

SCALE: ⅛" = 1'–0"



NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.

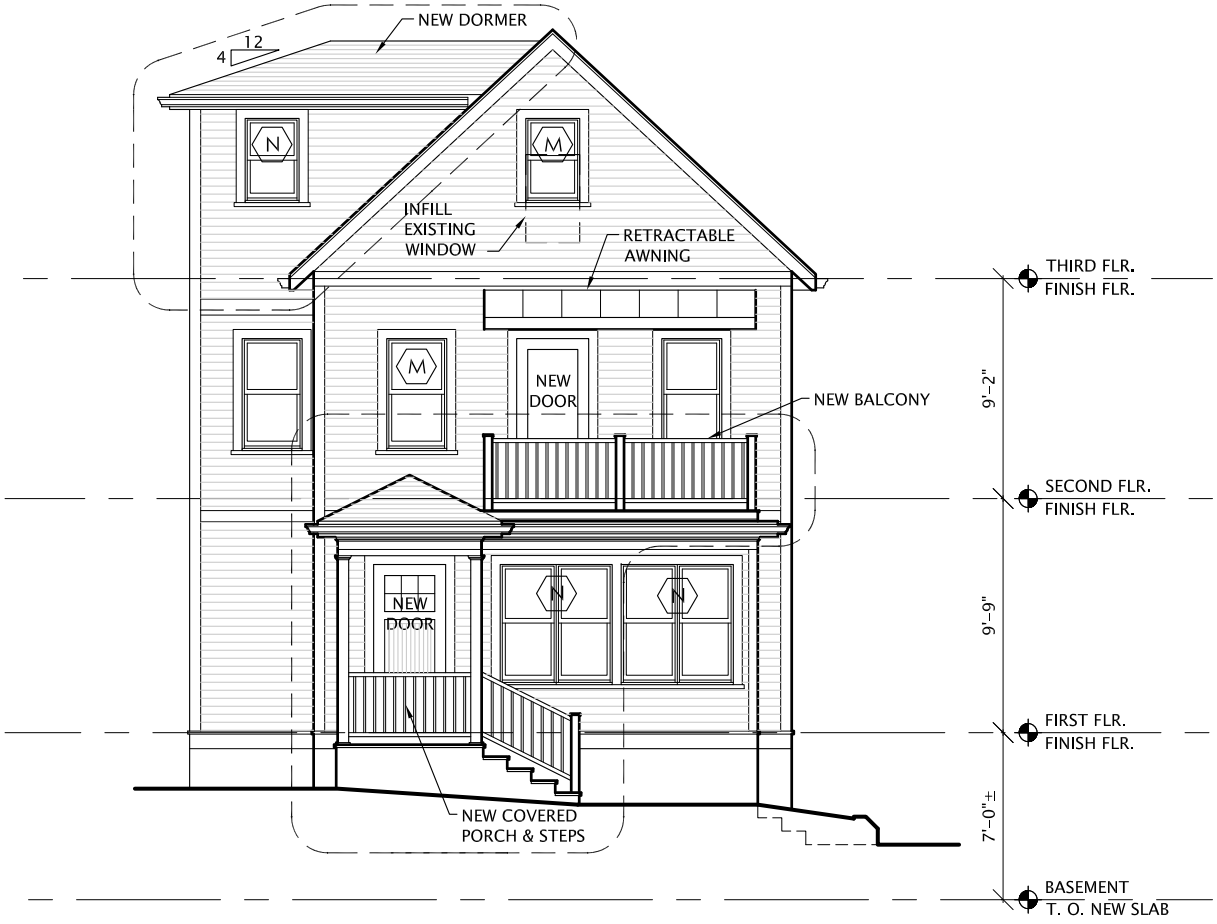


48 NEWBURY STREET, SOMERVILLE, MA

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

THIRD FLOOR PLAN

SCALE: ⅛" = 1'-0"



NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.

N NEW WINDOWS

M MODIFIED WINDOW OPENING

48 NEWBURY STREET, SOMERVILLE, MA

NORTHWEST ELEVATION

4

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

SCALE: ⅛" = 1'–0"

NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.

(N) NEW WINDOWS

(M) MODIFIED WINDOW OPENING

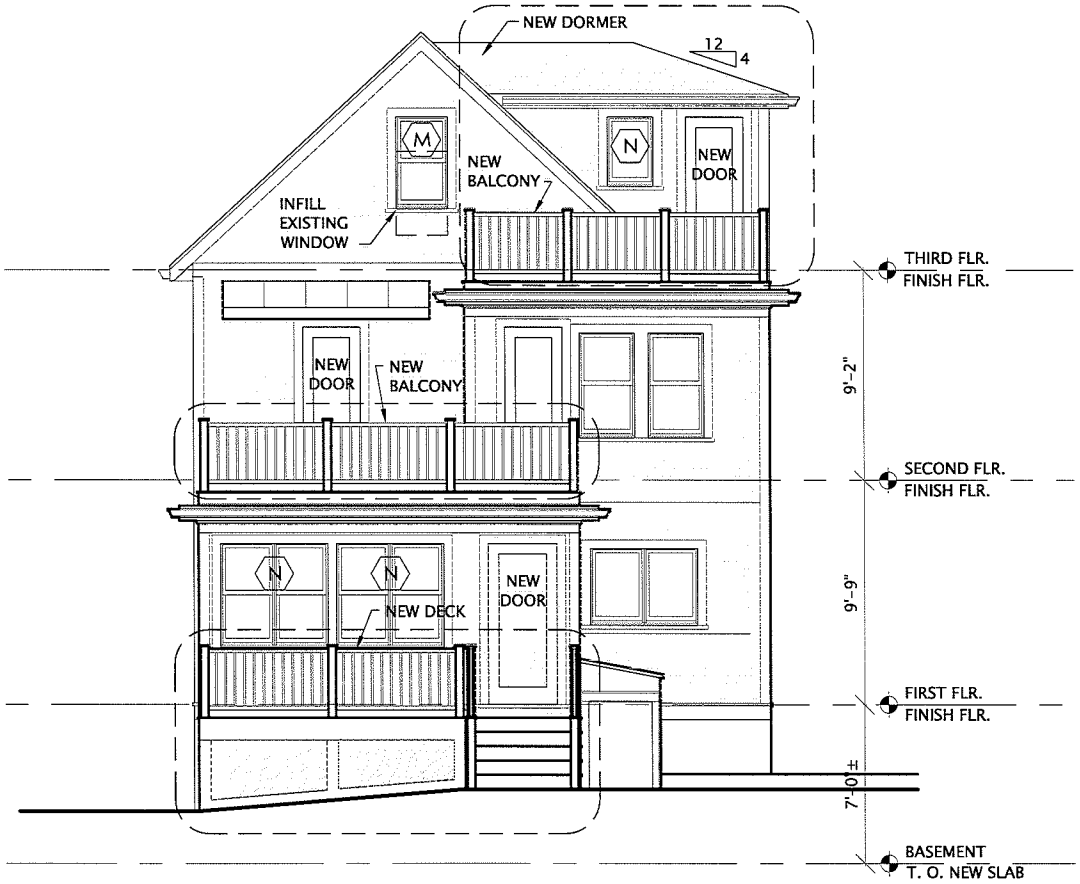
48 NEWBURY STREET, SOMERVILLE, MA

SOUTHWEST ELEVATION

5

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

SCALE: ⅛" = 1'-0"



NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.

(N) NEW WINDOWS

(M) MODIFIED WINDOW OPENING

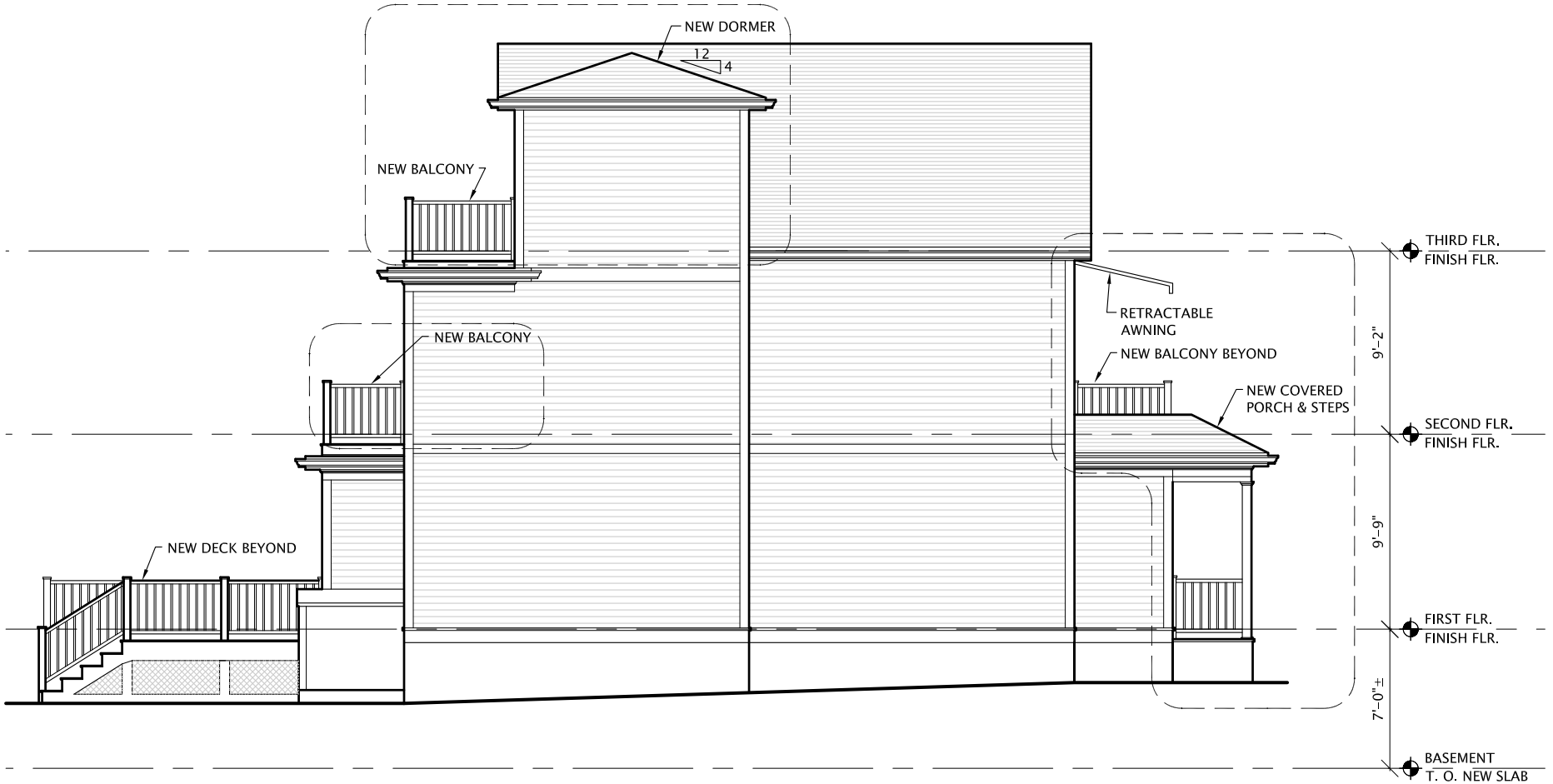
48 NEWBURY STREET, SOMERVILLE, MA

BOARD OF ZONING APPEALS APPLICATION – SEPTEMBER 1, 2011

SOUTHEAST ELEVATION

SCALE: ⅛" = 1'-0"

6



NOTE

4" OF INSULATION SHALL BE ADDED TO THE OUTSIDE FACE OF ALL EXTERIOR WALLS AND THE ROOF TO INCREASE THE ENERGY EFFICIENCY OF THE HOUSE.

(N) NEW WINDOWS

(M) MODIFIED WINDOW OPENING

48 NEWBURY STREET, SOMERVILLE, MA

NORTHEAST ELEVATION

7

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

SCALE: ⅛" = 1'–0"

PHASE 1:

1. DEEP ENERGY RETROFIT WITH 4 ADDITIONAL INCHES OF INSULATION ON THE WALLS AND ROOF TO REDUCE THE ENERGY USE OF THE HOME.
2. WELL SEALED HOME WITH HEAT RECOVERY VENTILATION
3. LIGHT COLORED SIDING (HARDIEPLANK).
4. NEW HIGH EFFICIENCY WINDOWS WITH AESTHETICS TO APPEAR TRADITIONAL.
5. NEW MECHANICAL SYSTEMS THAT CORRESPOND WITH THE NEW REDUCED HEATING AND COOLING REQUIREMENTS. MOST LIKELY FORCED AIR OVER HEATED WATER TUBES FOR A DELIVERY SYSTEM WITH A HEAT PUMP. WILL ADD AC TO ELIMINATE THRU-WINDOW UNITS.
6. DECKS/BALCONIES MADE FROM COMPOSITE MATERIALS.
7. USING EXISTING WOOD FLOORING (DEPENDING ON WHAT WE FIND UNDER THE KITCHEN LINOLEUM, WE MAY REFINISH THE FLOORS OR INSTALL SUSTAINABLE CORK FLOORING).
8. NEW WINDOWS PUT IN ON SOUTH SIDE OF HOUSE TO TAKE ADVANTAGE OF DAYLIGHTING.
9. REMOVING SOME HARDSCAPE, IMPROVING DRAINAGE.
10. PLAN TO USE PLANTS AND POTENTIALLY ESPALIER FRUIT TREES IN SIDE BEDS TO REDUCE COOLING NEEDS FROM SUMMER SUN AND TO FEED US.
11. CONTINUE TO USE PROGRAMMABLE THERMOSTATS
12. CONTINUE TO USE CFLS. INTERESTED IN LED LIGHTING AS IT BECOMES MORE PRACTICAL.
13. OUTDOOR LIGHTING TO FACE DOWN TO REDUCE LIGHT POLLUTION.
14. ORGANIC GARDENING TO CONTINUE
15. TIE RAIN BARREL(S) TO GUTTER SYSTEM
16. RECYCLING OF CONSTRUCTION MATERIAL WHERE POSSIBLE

NOT IN THIS PHASE 1, BUT PLANNED

1. REMOVING LEAD PAINT (RATHER THAN JUST ENCAPSULATING) AND DISPOSING PROPERLY.
2. EVENTUALLY, SOLAR THERMAL AND SOLAR VOLTAIC PANELS. HOT WATER HEATER WILL BE TIED INTO THE SOLAR THERMAL AT THIS POINT.
3. INSTALL DUAL FLUSH TOILETS
4. ALL NEW APPLIANCES ENERGY STAR, OR USE EXISTING APPLIANCES UNTIL END OF LIFE (ESPECIALLY THE ONES THAT ARE ALREADY ENERGY STAR)
5. REPAINTING AS NECESSARY WITH LOW VOC PAINTS

48 NEWBURY STREET, SOMERVILLE, MA

SITE IMAGES

BOARD OF ZONING APPEALS APPLICATION – AUGUST 19, 2011

NO SCALE