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PROJECT NAME

DOVER STREET RESIDENCES

PROJECT ADDRESS

88 DOVER STREET
SOMERVILLE MA

CLIENT

Sing Cheung

ARCHITECT

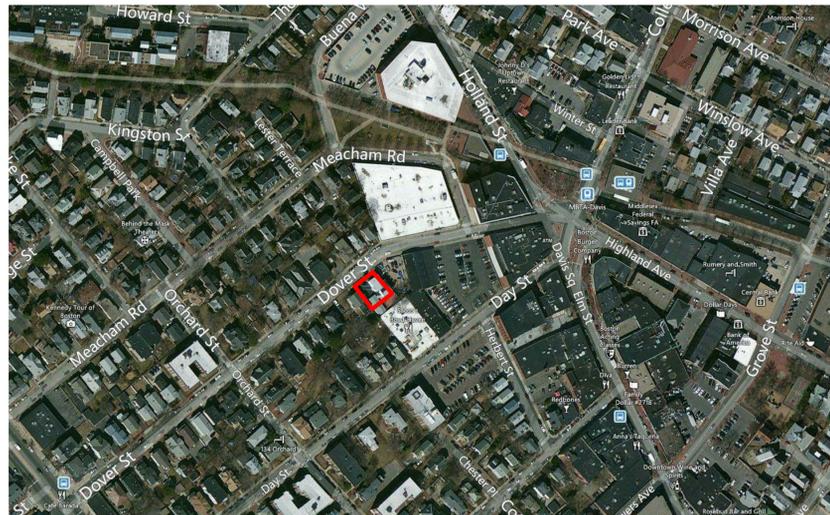
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

LOCUS MAP



PROPOSED DOVER STREET RESIDENCES

11-20-2015 SUBMISSION

CLIENT
Sing Cheung

ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

LANDSCAPE ARCHITECTS
Blair Hines Design Associates, LLC
318 Harvard Street suite 25
Brookline, MA 02446
T: 617-735-1180
F: 617-608-5025

CIVIL ENGINEER
Design Consultants, Inc

REGISTRATION



Project number	13007
Date	10-14-15
Drawn by	WC/CMH
Checked by	KDI
Scale	

REVISIONS

No.	Description	Date

Cover Sheet

A-000

DOVER STREET RESIDENCES



N/F
DAVIS SQUARE BOWLADROME, INC.
BK. 11790 PG. 554
45 DAY STREET

N/F
JOHN P. & DIANE G. O'KEEFE
BK. 57600 PG. 597
39 DAY STREET

N/F
DENNIS C. SERRANO
BK. 50157 PG. 372
94 DOVER STREET

N/F
CARMELLA KENNY
BK. 32394 PG. 185
82 DOVER STREET

RECORD
AREA=7,100± S.F.
#88
2 1/2 STORY WOOD
FRAME BUILDING

GARAGE

DOVER STREET
(PUBLIC - 40' WIDE)

LEGEND

- UTILITY POLE
- ⊕ WATER SHUT OFF
- ⊙ UNKNOWN MANHOLE
- ⊙ DRAIN MANHOLE (DMH)
- ⊙ SEWER MANHOLE (SMH)
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- ⊙ STUMP
- ⊙ SIGN
- WOOD FENCE
- CHAIN LINK FENCE
- INV.
- BIT.
- CONC.
- FFE
- + 22.67 SPOT GRADE

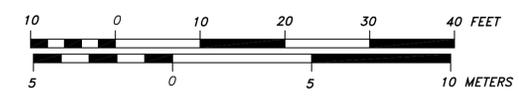
LOCUS TITLE INFORMATION

88 DOVER STREET
OWNER: MUI SIN CHOW
DEED REFERENCE: BK. 25904 PG. 229
PLAN REFERENCE: NO PLAN REFERENCE
ASSESSORS: PARCEL ID MAP 22, BLOCK B, LOT 18

NOTES

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.
ELEVATIONS DEPICTED HEREON ARE ON CITY OF SOMERVILLE BASE DATUM.
ABUTTERS INFORMATION WAS TAKEN FROM CITY OF SOMERVILLE ASSESSOR'S INFORMATION ON MAY 6, 2013.
THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN MAY 2 & MAY 8, 2013, BY DESIGN CONSULTANTS, INC.

P.L.S. _____
EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783
DATE _____



Design Consultants, Inc.
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

SCALE:			
HORIZ: 1" = 10'			
VERT: _____			
NO.	DATE	BY	REVISIONS

FIELD: LG
CALCS: AR
CHECKED: EJC
APPROVED: EJC

EXISTING CONDITIONS

88 DOVER STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS

SURVEYED FOR
SING CHEUNG

PROJECT NO. 2013-038
DATE: MAY 8, 2013
SHEET NO. 1 OF 1

REV	DESCRIPTION	DATE
2	TRAFFIC BEACON & LOOP	11/20/15
1	NEW BUILDING	10/14/15



STAMP:

SITE PLAN

SHEET NAME:

C-1

SHT NO:

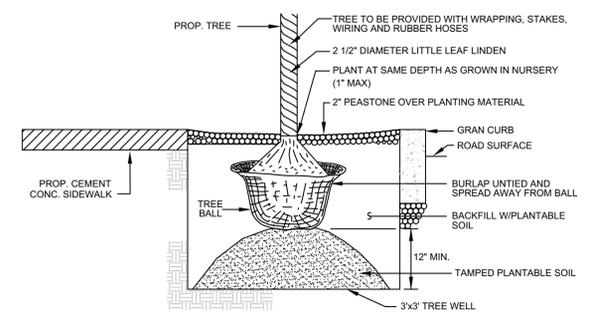
DR BY: CR

CHK BY: SBS

PROJ NO: 2013-038

DATE: MARCH 19, 2014

SCALE: 1"=10'



STREET TREE PLANTING

NOT TO SCALE

LEGEND

- PROPERTY LINE
- CLF — CHAIN LINK FENCE
- S — SANITARY SEWER
- D — DRAIN LINE
- W — WATER LINE
- E — ELECTRIC LINE
- G — GAS LINE
- T — TELEPHONE LINE
- F — FIRE ALARM
- OW — OVERHEAD WIRES
- SM — SANITARY SEWER MANHOLE
- EM — ELECTRIC MANHOLE
- FM — FIRE ALARM MANHOLE
- HH — HAND HOLE
- LP — LIGHT POLE
- FH — FIRE HYDRANT
- UP — UTILITY POLE
- WG — WATER GATE
- GG — GAS GATE
- TS — TRAFFIC SIGNAL POLE
- BL — BOLLARD
- DT — DECIDUOUS TREE
- x 75.59 — SPOT ELEVATION
- RD — PROPOSED ROOF DRAIN
- D — PROPOSED STORM DRAIN
- S — PROPOSED SEWER SERVICE
- 4"F — PROPOSED FIRE PROTECTION
- 4"W — PROPOSED WATER SERVICE
- E — PROPOSED ELECTRIC SERVICE
- G — PROPOSED GAS SERVICE
- -28- - PROPOSED CONTOUR
- x 28.10 — PROPOSED SPOT GRADE
- TC — PROPOSED TOP OF CURB
- BC — PROPOSED BOTTOM OF CURB

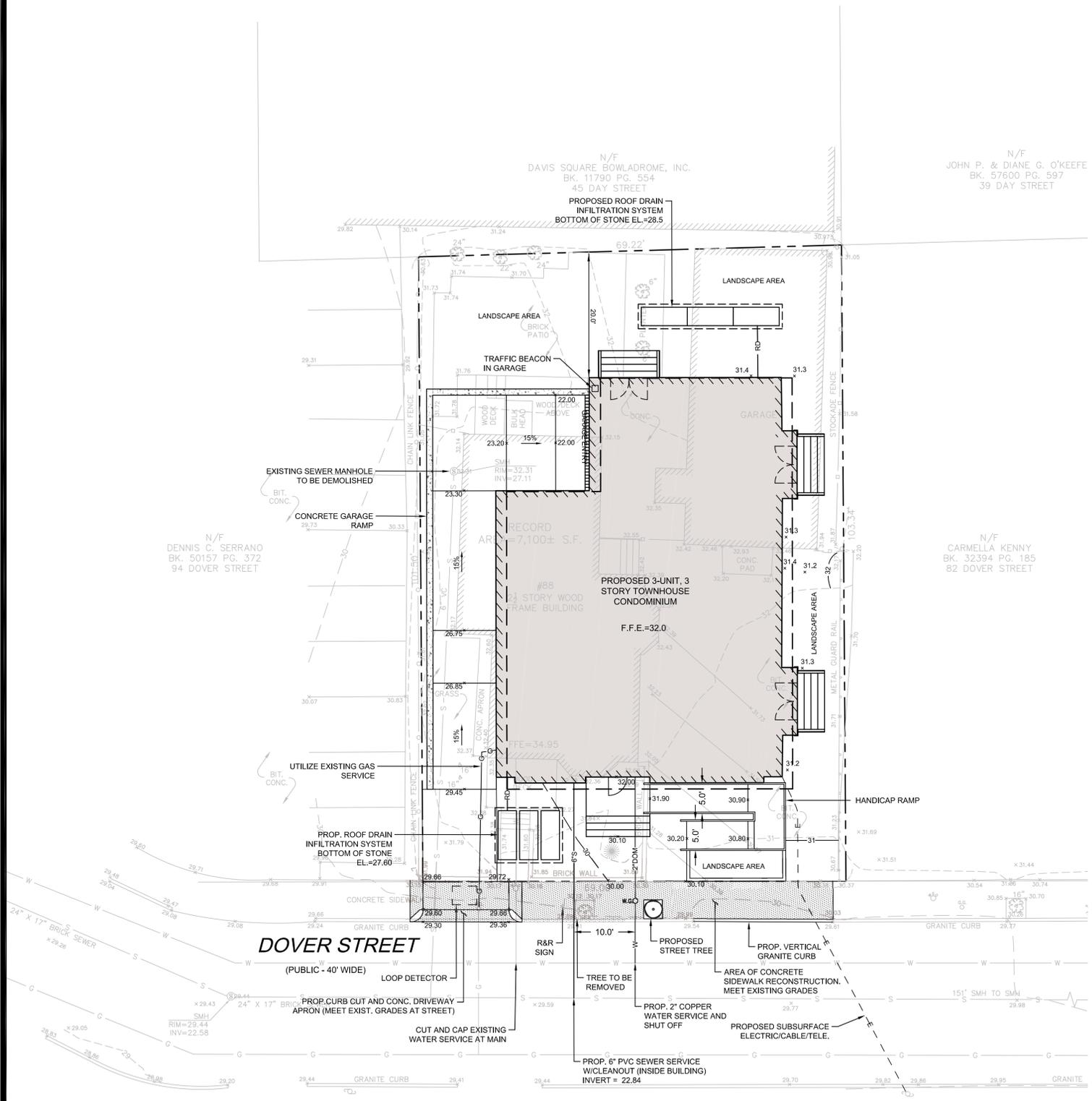
PLAN REFERENCE
 "EXISTING CONDITIONS PLAN" PREPARED BY DESIGN CONSULTANTS, INC., DATED MAY 8, 2013.

STANDARD SPECS:

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF SOMERVILLE, DEPARTMENT OF PUBLIC WORKS, THE AMERICAN'S WITH DISABILITIES ACT, ARCHITECTURAL ACCESS BOARD, AND ANY OTHER AGENCY WITH AUTHORITY IN THE AREA.

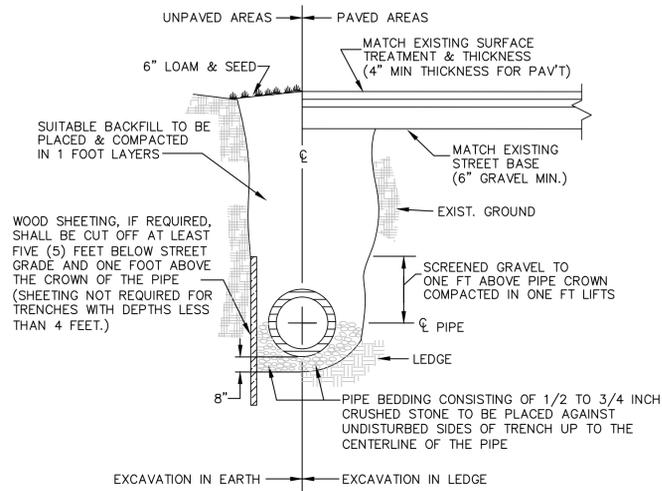
LOCUS TITLE INFORMATION

88 DOVER STREET
 OWNER: MUI SIN CHOW
 DEED REFERENCE: BK. 25904 PG. 229
 PLAN REFERENCE: NO PLAN REFERENCE
 ASSESSORS: PARCEL ID MAP 22, BLOCK B, LOT 21



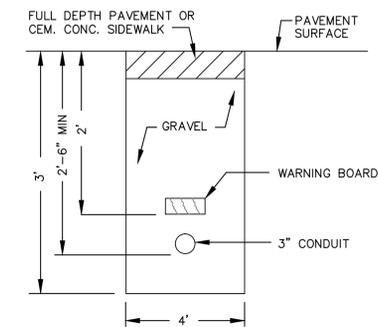
DOVER STREET
 (PUBLIC 40' WIDE)





TRENCH EXCAVATION

NOT TO SCALE

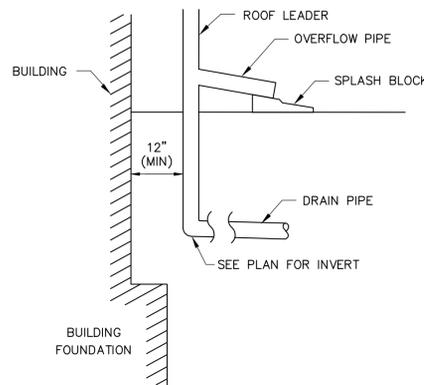


NOTE:

1. SEE ELECTRICAL DRAWINGS FOR FURTHER DETAIL

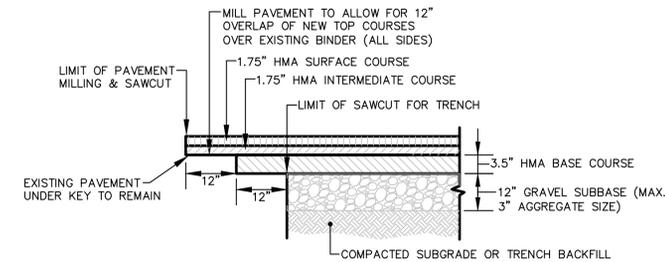
CONDUIT

NOT TO SCALE



DOWNSPOUT OVERFLOW

NOT TO SCALE



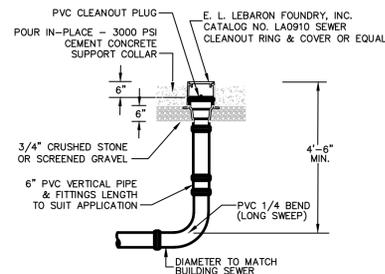
NOTES:

1. THE EXPOSED EDGES OF ALL LONGITUDINAL AND TRANSVERSE SAW CUT JOINTS SHALL BE TREATED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALANT MEETING MASSDOT SPECIFICATIONS.

2. FOR ROADS WITH AN EXISTING CEMENT CONCRETE BASE, A REINFORCED, HIGH EARLY STRENGTH AIR ENTRAINED, CLASS "F" CEMENT CONCRETE SLAB SHALL BE CAST IN PLACE TO MEET THE EXISTING PAVEMENT. SPECIFIC JOINT DETAILS WITH THE EXISTING PAVEMENT SHALL BE APPROVED DEPENDENT ON THE EXISTING SITE CONDITIONS.

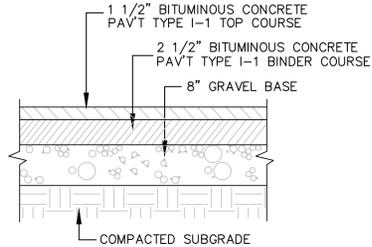
ROADWAY PATCH DETAIL

NOT TO SCALE



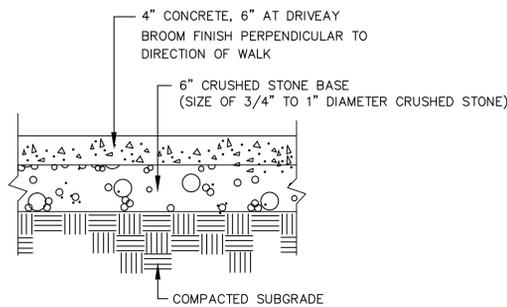
SEWER CLEANOUT

NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE



NOTES:

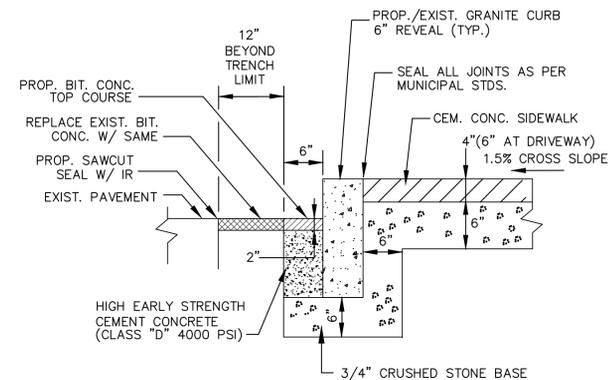
1. PROVIDE 1/2" CONSTRUCTION CONTROL JOINT WITH PREFORMED EXPANSION MATERIAL EVERY 10'-0" O.C. MAX.

2. PROVIDE A TOOLED DUMMY JOINT 1/4" W x 1/2" D AS NEEDED TO PROVIDE SYMMETRY.

3. CONCRETE TO BE 4,000 PSI STRENGTH.

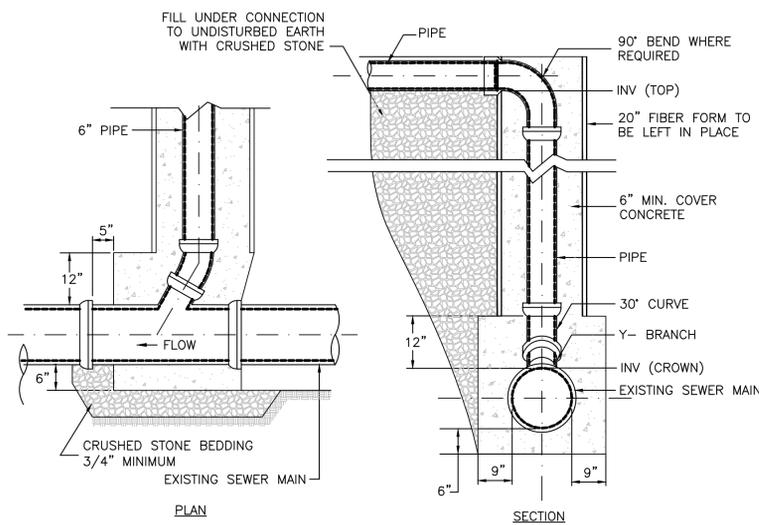
CEMENT CONCRETE SIDEWALK

NOT TO SCALE



GRANITE CURB IN EXISTING ROAD PAVEMENT W/ NEW SIDEWALK

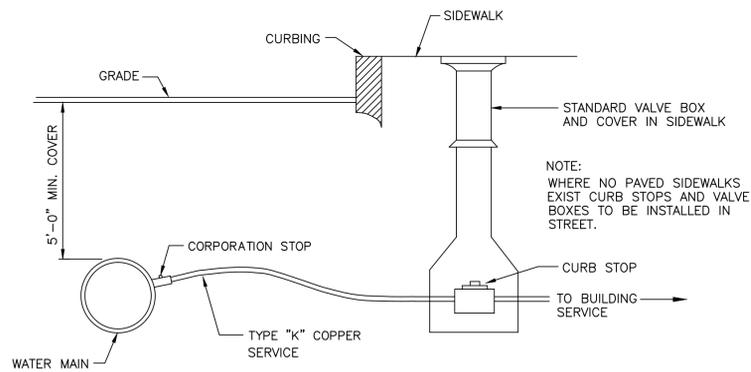
NOT TO SCALE



1. SEE SHEET 1 FOR SERVICE CONNECTION SIZES

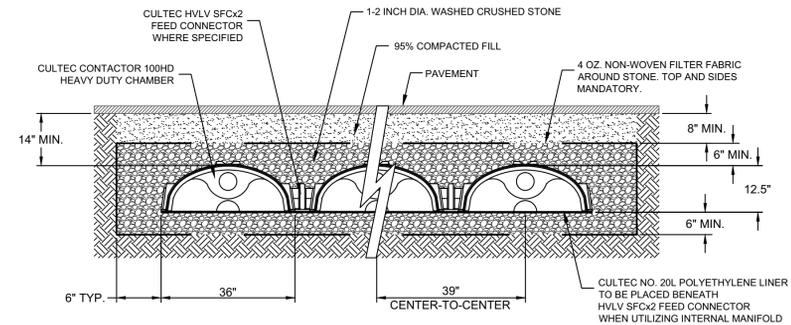
SEWER/STORMWATER SERVICE CHIMNEY CONNECTION

NOT TO SCALE



COPPER SERVICE CONNECTION

NOT TO SCALE



GENERAL NOTES

BOTTOM OF STORM TO BE PLACED 2-FT ABOVE LEVEL OF SEASONAL HIGH GROUNDWATER. CONTACTOR 100HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 3.84 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 12.0' (3.66m) THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS

WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS ALL CONTACTOR 100HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL CONTACTOR 100 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

TYPICAL INFILTRATION/DETENTION SYSTEM

NOT TO SCALE

NORTH

Design Consultants, Inc.
CIVIL ENGINEERS and LAND SURVEYORS
123 Middleway Avenue, Suite 20
Somerville, MA 02145
617-776-3350p 617-776-7710f

ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143

PROJECT TEAM

8 CURTIS STREET
SOMERVILLE, MA 02145

PROJECT INFO

REV DESCRIPTION DATE



STAMP:

DETAILS

SHEET NAME:

C-2

SHT NO:

DR BY: CR

CHK BY: SBS

PROJ NO: 2013-146

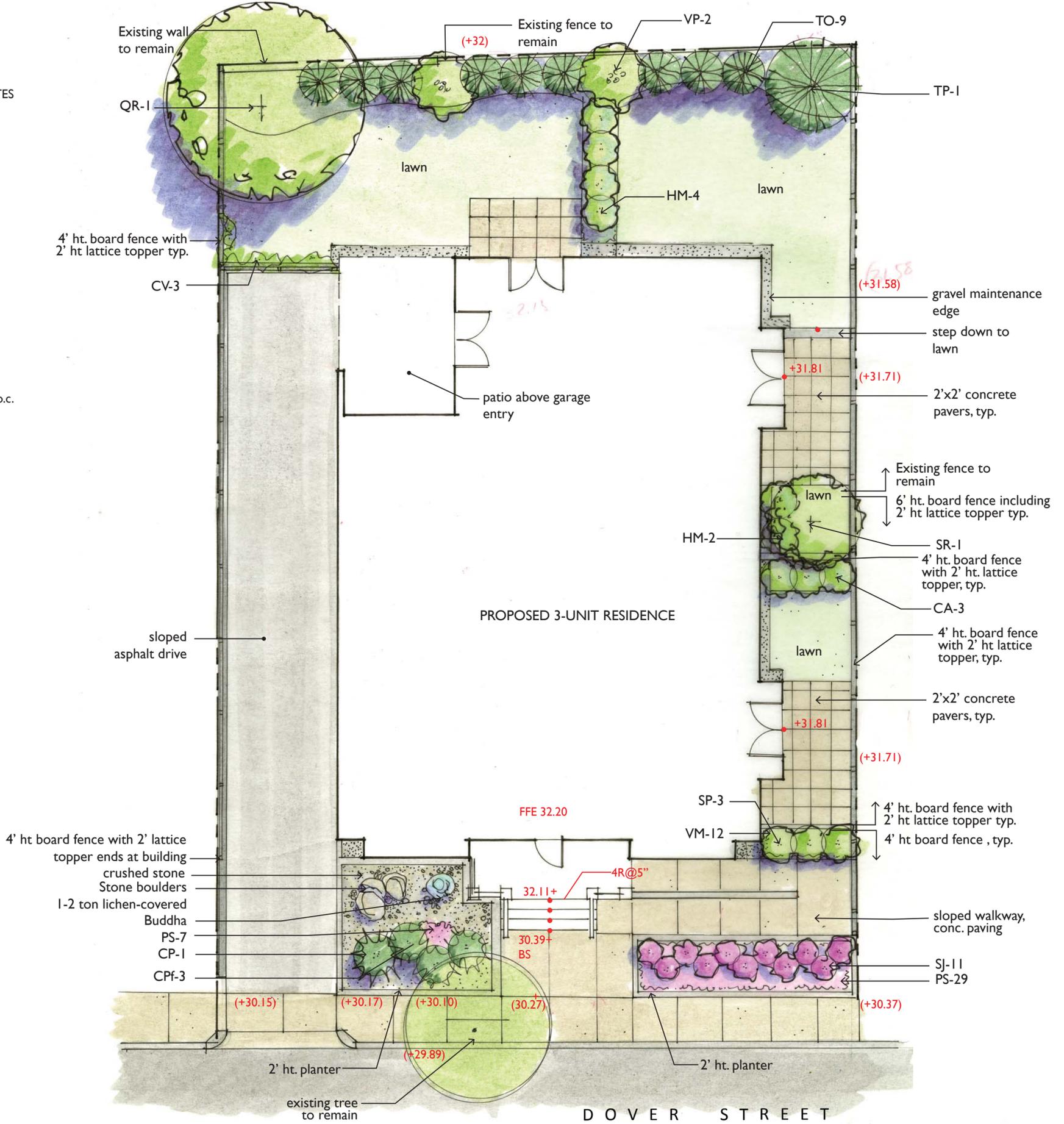
DATE: MARCH 18, 2014

SCALE: N.T.S.

PLANT LIST					
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
QR	1	Quercus rubra	Red Oak	3-3.5" cal.	B&B
SR	1	Syringa reticulata 'Ivory Silk'	Tree Lilac	2.5"-3" cal	B&B
TO	9	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5-6' ht.	B&B
TP	1	Thuja plicata 'Green Giant'	Green Giant Western Red Cedar	7-8' ht.	B&B
SHRUBS/VINES					
CA	3	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	3' ht.	
CP	1	Chamaecyparis pisifera	Green Threadleaf Cypress	4-5' ht.	B&B
CPf	3	Chamaecyparis pisifera 'Filifera Mops'	Mops Threadleaf Cypress	24" ht.	
CV	3	Clematis virginiana	Virgin's Bower Vine	3 gal. pot	
HM	6	Hydrangea macrophylla	Mophead Hydrangea	30" ht.	
SJ	11	Spiraea japonica 'Little Princess'	Pink Dwarf Spiraea	2 gal.	
SP	3	Syringa patula 'Miss Kim'	Miss Kim Lilac	36-48" ht.	
VP	2	Viburnum plicatum tomentosum	Doublefile Vib.	48" ht.	
PERENNIALS/GRASSES					
PS	36	Phlox subulata 'Emerald Cushion Pink'	Mountain Pink Creeping phlox	1 gal	
VM	12	Vinca minor	Vinca	1 gal	18" o.c.

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.





Granite paver



Permeable paver - 8" Square



Horizontal board fence



Equisetum



Hakonechloa



Miniature Fountain Grass



'Karl Foerster' feather reed grass



Red Yucca



River Rock & crushed stone



Steel edge



Japanese painted fern



Coral Bells



Weeping Alaskan Cedar



Ginkgo

PROJECT NAME

DOVER STREET RESIDENCES

PROJECT ADDRESS

88 DOVER STREET
SOMERVILLE MA

CLIENT

Sing Cheung

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13007
Date 10-14-15
Drawn by WC/CMH
Checked by KDI
Scale As indicated

REVISIONS

No.	Description	Date

SITE PLAN

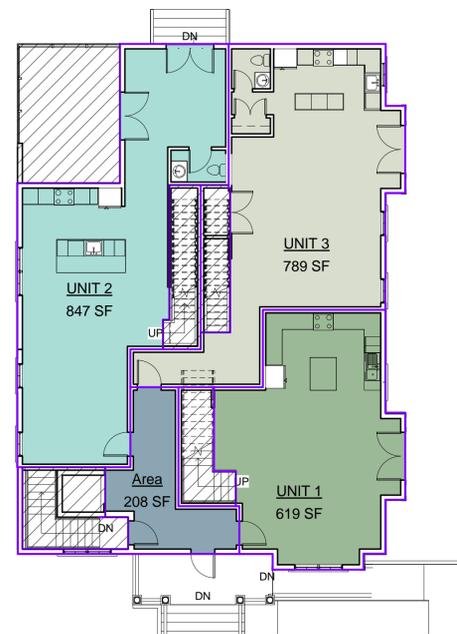
A-010

DOVER STREET RESIDENCES

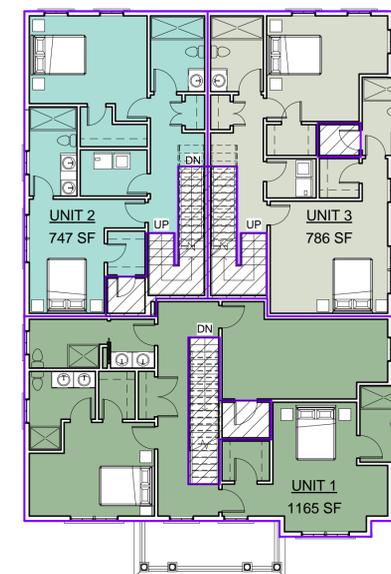
ZONING DIMENSIONAL TABLE

ZONE	REQUIRED RB ZONE	EXISTING	PROPOSED	COMPLIANCE
USE	2/3 FAMILY	2 FAMILY	3 FAMILY	COMPLIES
MIN. LOT SIZE	7,500 SF	7,100 SF	7,075 SF	SP REQUIRED
MIN LOT PER DWELLING	1500 SF/DU	2,445 SF	2,366 SF/DU	COMPLIES
MAX GROUND COVERAGE	50%	1,348 SF (19%)	3,068 SF (43%)	COMPLIES
LANDSCAPE AREA	25%	1,177 SF (16%)	2,457 SF (35%)	COMPLIES
FLOOR AREA RATIO	1.0	.68	.99	COMPLIES
MAX BUILDING HEIGHT	40'-0" / 3ST	32'-0"	36'-3" / 3ST	COMPLIES
MIN YARD FRONT	15'-0"	17'-0"	15'-0"	COMPLIES
SIDE	10'-0"	5'-7" (L) 30'-3" (R)	10'-0" (L) 10'-0" (R)	
REAR	20'-0"	30'-0"	21'-0"	
MIN FRONTAGE	50'-0"	69'-0"	69'-0"	COMPLIES
PERVIOUS AREA	35%	1,177 SF (16%)	2,457 SF (35%)	COMPLIES
PARKING REQUIREMENTS	2 PER / DU	UNKNOW	6	COMPLIES
BICYCLE PARKING	1 PER / DU	UNKNOW	3 - WALL RACKS	COMPLIES

AREAS NOT INCLUDED IN F.A.R. CALCULATIONS



3 FIRST FLOOR LEVEL
3/32" = 1'-0"

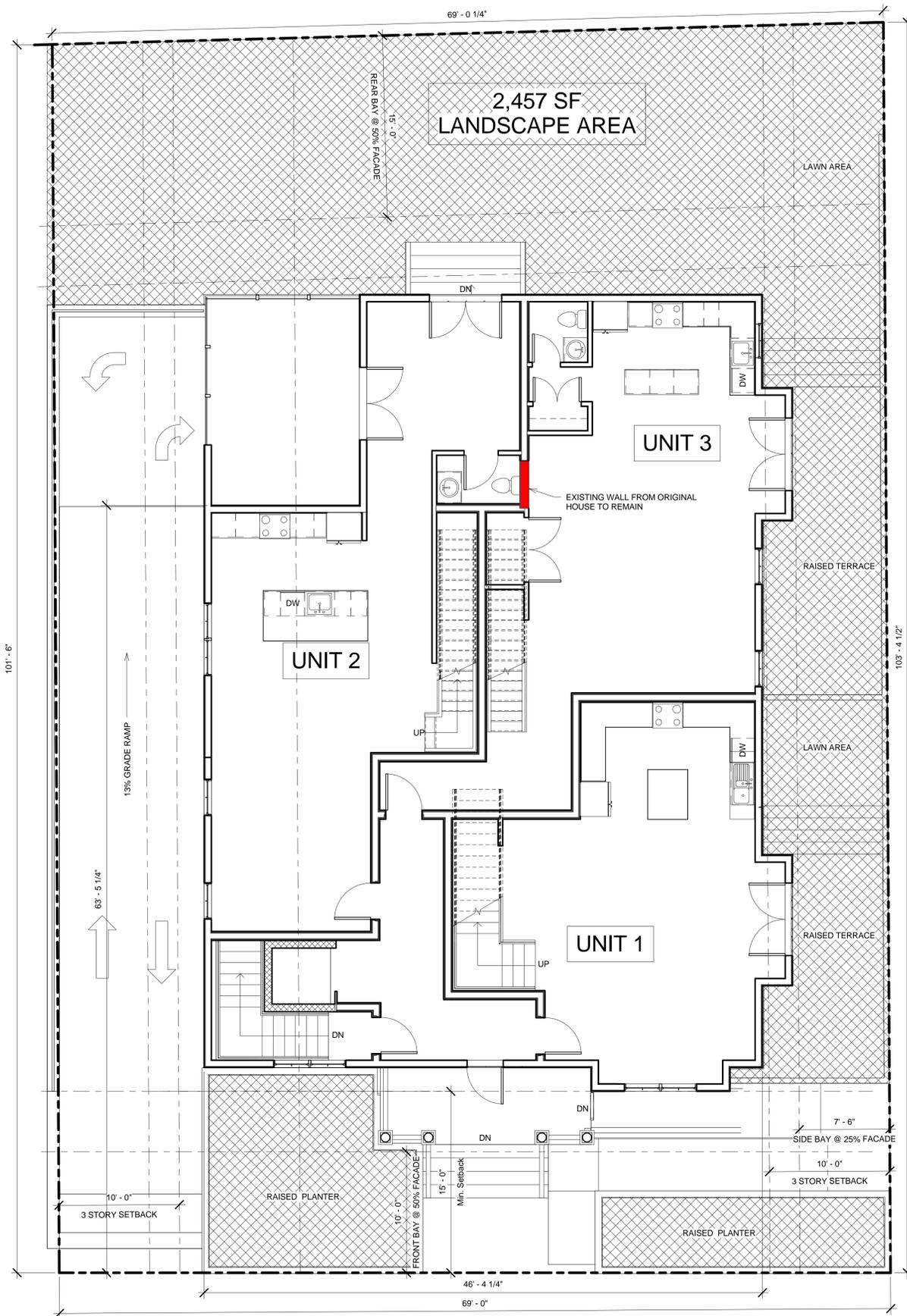


4 SECOND FLOOR LEVEL
3/32" = 1'-0"

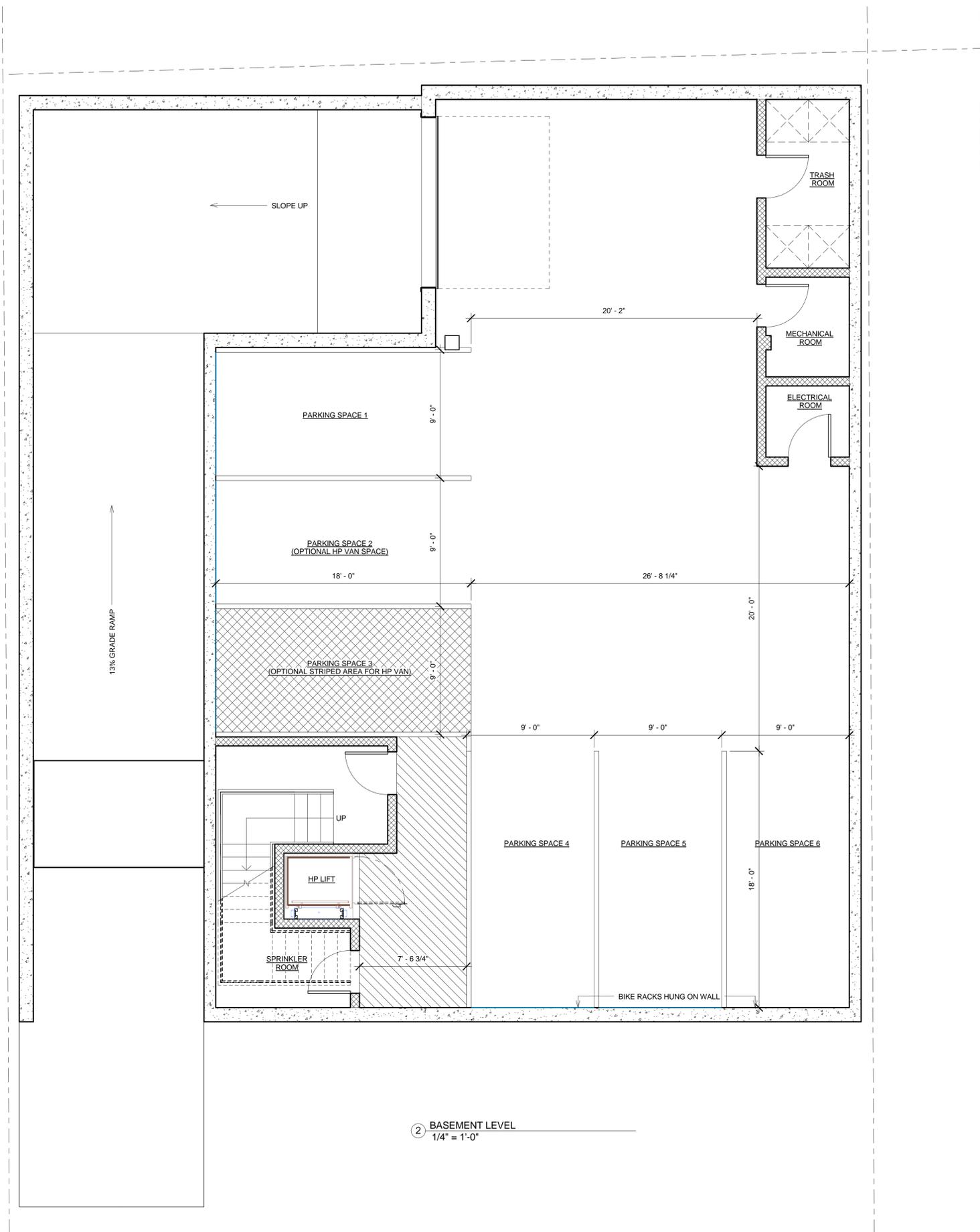


2 THIRD FLOOR
3/32" = 1'-0"

Area Schedule FAR		
wt	Level	Area
Area	FIRST FLOOR LEVEL	208 SF
		208 SF
UNIT 1	FIRST FLOOR LEVEL	619 SF
UNIT 1	SECOND FLOOR LEVEL	1165 SF
UNIT 1	THIRD FLOOR	808 SF
		2592 SF
UNIT 2	FIRST FLOOR LEVEL	847 SF
UNIT 2	SECOND FLOOR LEVEL	747 SF
UNIT 2	THIRD FLOOR	553 SF
		2147 SF
UNIT 3	FIRST FLOOR LEVEL	789 SF
UNIT 3	SECOND FLOOR LEVEL	786 SF
UNIT 3	THIRD FLOOR	553 SF
		2128 SF
Grand total:	10	7075 SF



1 SITE PLAN
3/16" = 1'-0"



② BASEMENT LEVEL
1/4" = 1'-0"

DOVER STREET

PROJECT NAME

**DOVER STREET
RESIDENCES**

PROJECT ADDRESS
88 DOVER STREET
SOMERVILLE MA

CLIENT
Sing Cheung

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13007
Date 10-14-15
Drawn by WC
Checked by KDI
Scale 1/4" = 1'-0"

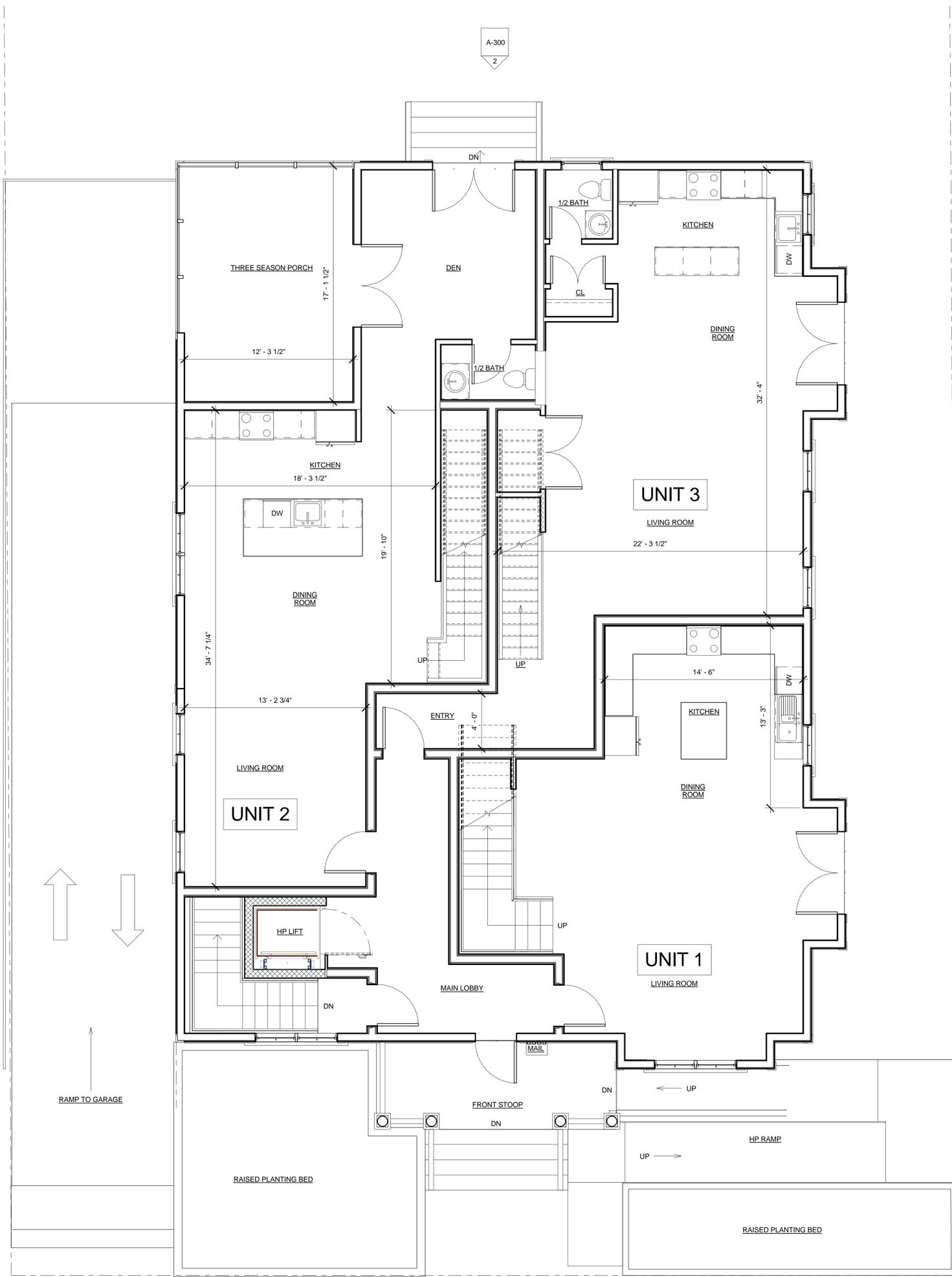
REVISIONS

No.	Description	Date

BASEMENT PLAN

A-100

DOVER STREET RESIDENCES



PROJECT NAME
DOVER STREET RESIDENCES

PROJECT ADDRESS
 88 DOVER STREET
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CONSULTANTS:



Project number 13007
 Date 10-14-15
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 Checked by KDI
 Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

FIRST FLOOR PLAN

A-101

DOVER STREET RESIDENCES

① FIRST FLOOR LEVEL
 1/4" = 1'-0"

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Project number 13007
Date 10-14-15
Drawn by WC/CMH
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Scale 1/4" = 1'-0"

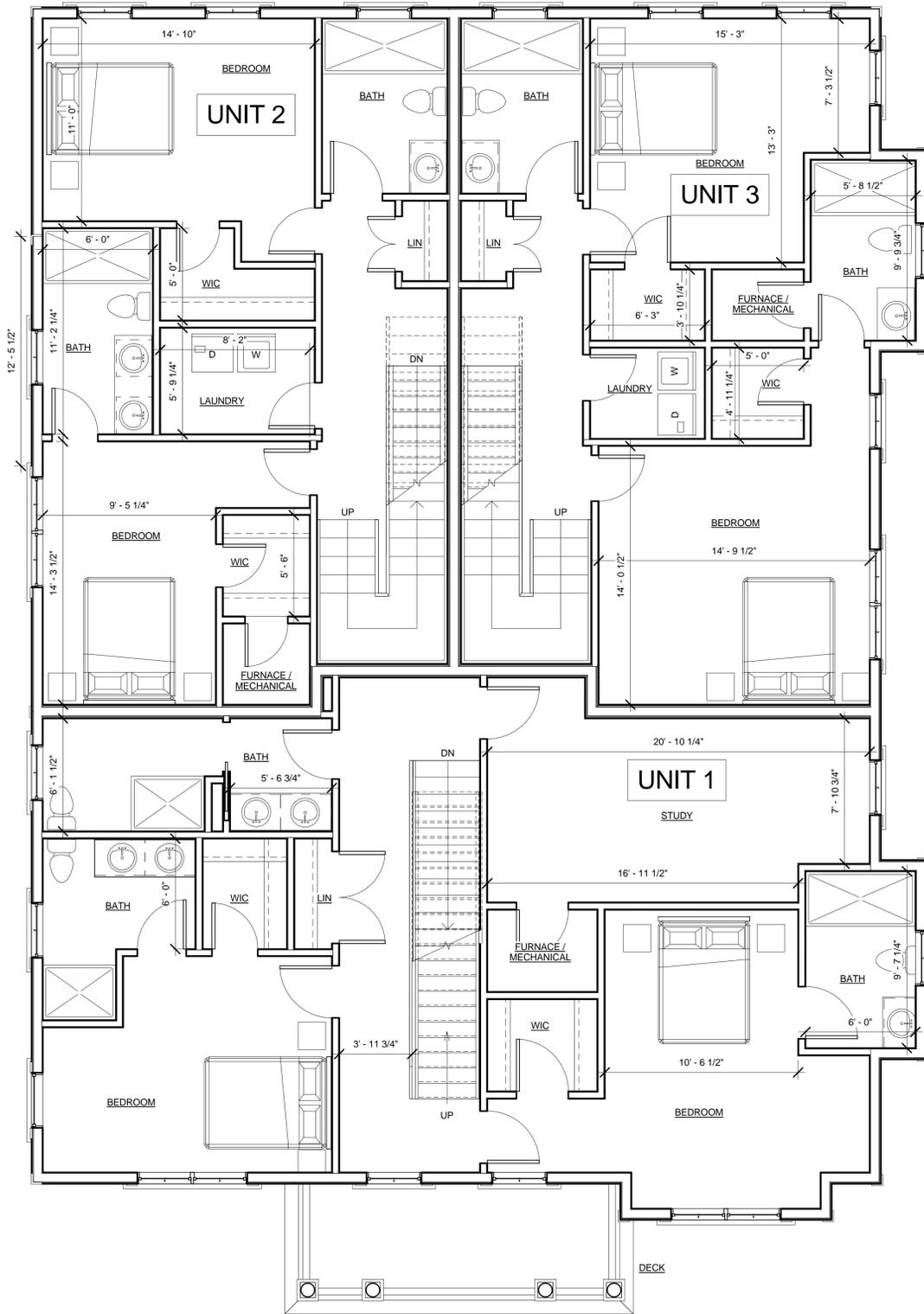
REVISIONS

No.	Description	Date

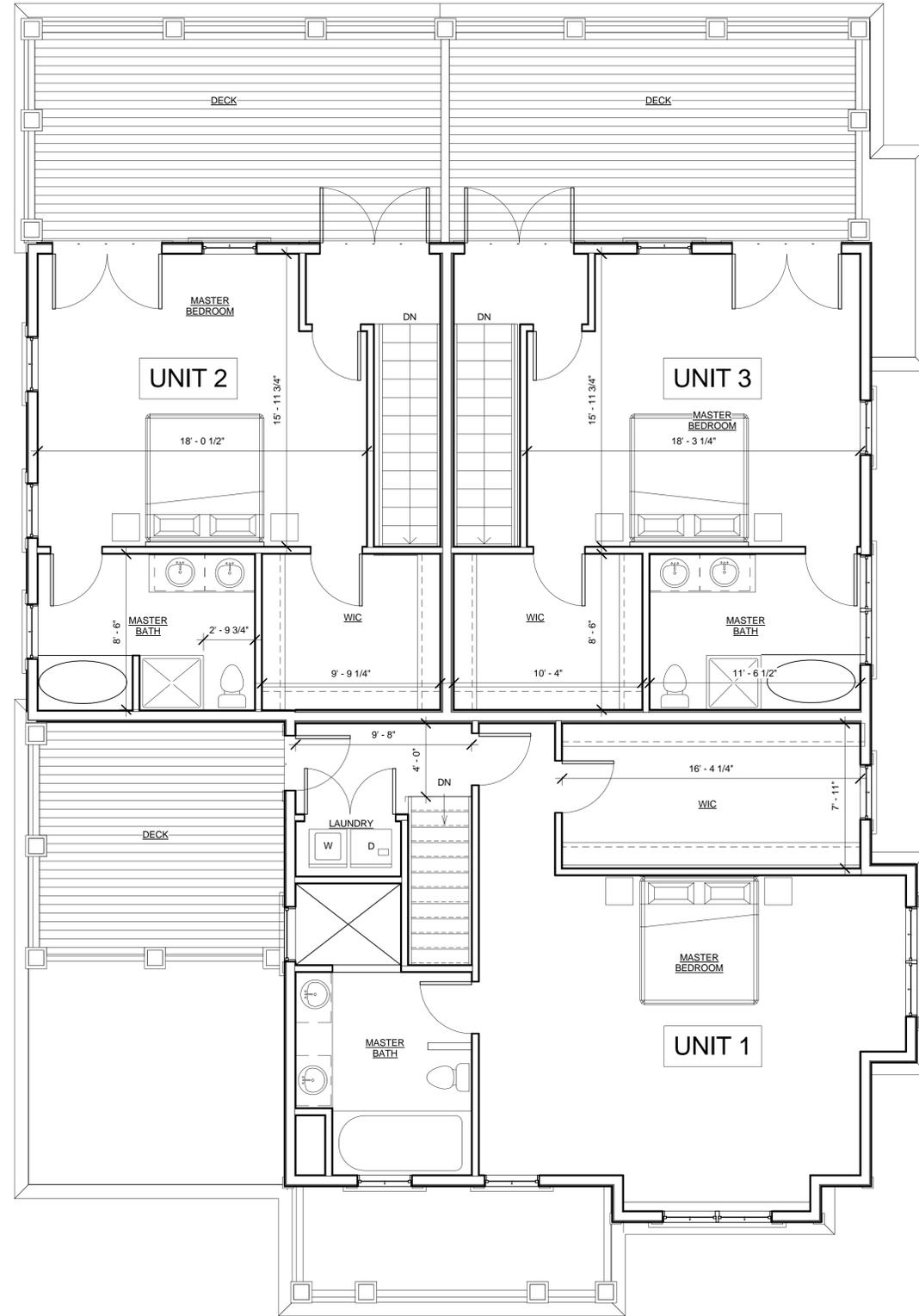
SECOND & THIRD LEVELS

A-102

DOVER STREET RESIDENCES



① SECOND FLOOR LEVEL
1/4" = 1'-0"



② THIRD FLOOR
1/4" = 1'-0"

PROJECT NAME

DOVER STREET RESIDENCES

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17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



① Right Side Elevation
3/16" = 1'-0"



② Rear Elevation
3/16" = 1'-0"



3/16" = 1'-0"



③ Front Elevation
3/16" = 1'-0"

PVC CORNICE & TRIM BOARDS

CERTAINEED CLAPBOARDS

RECLAIMED WOOD BRACKETS FROM FORMER HOUSE

REGISTRATION



Project number 13007
Date 10-14-15
Drawn by WC/CMH
Checked by KDI
Scale 3/16" = 1'-0"

REVISIONS

No.	Description	Date

EXTERIOR ELEVATIONS

A-300

DOVER STREET RESIDENCES



① Copy of (3D)



③ 3D View 4



② Copy (2) of (3D)



④ Copy (4) of (3D)



⑤ 3D View 3

PROJECT NAME

**DOVER STREET
RESIDENCES**

PROJECT ADDRESS

88 DOVER STREET
SOMERVILLE MA

CLIENT

Sing Cheung

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13007
Date 10-14-15
Drawn by MT
Checked by KDI
Scale

REVISIONS

No.	Description	Date

PERSPECTIVES

A-301

DOVER STREET RESIDENCES



EXISTING

PROPOSED

PROJECT NAME

DOVER STREET RESIDENCES

PROJECT ADDRESS
88 DOVER STREET
SOMERVILLE MA

CLIENT

Sing Cheung

ARCHITECT
KHALSA DESIGN INC.



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CONSULTANTS:

REGISTRATION



Project number 13007
Date 10-14-15
Drawn by CMH
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Scale

REVISIONS

No.	Description	Date

Renderings

A-303

DOVER STREET RESIDENCES