

31 LEDGEBROOK AVE.
STOUGHTON, MASSACHUSETTS 02072
PHONE/FAX (781) 344-4550

(res. BL 44583)
Pg. 327

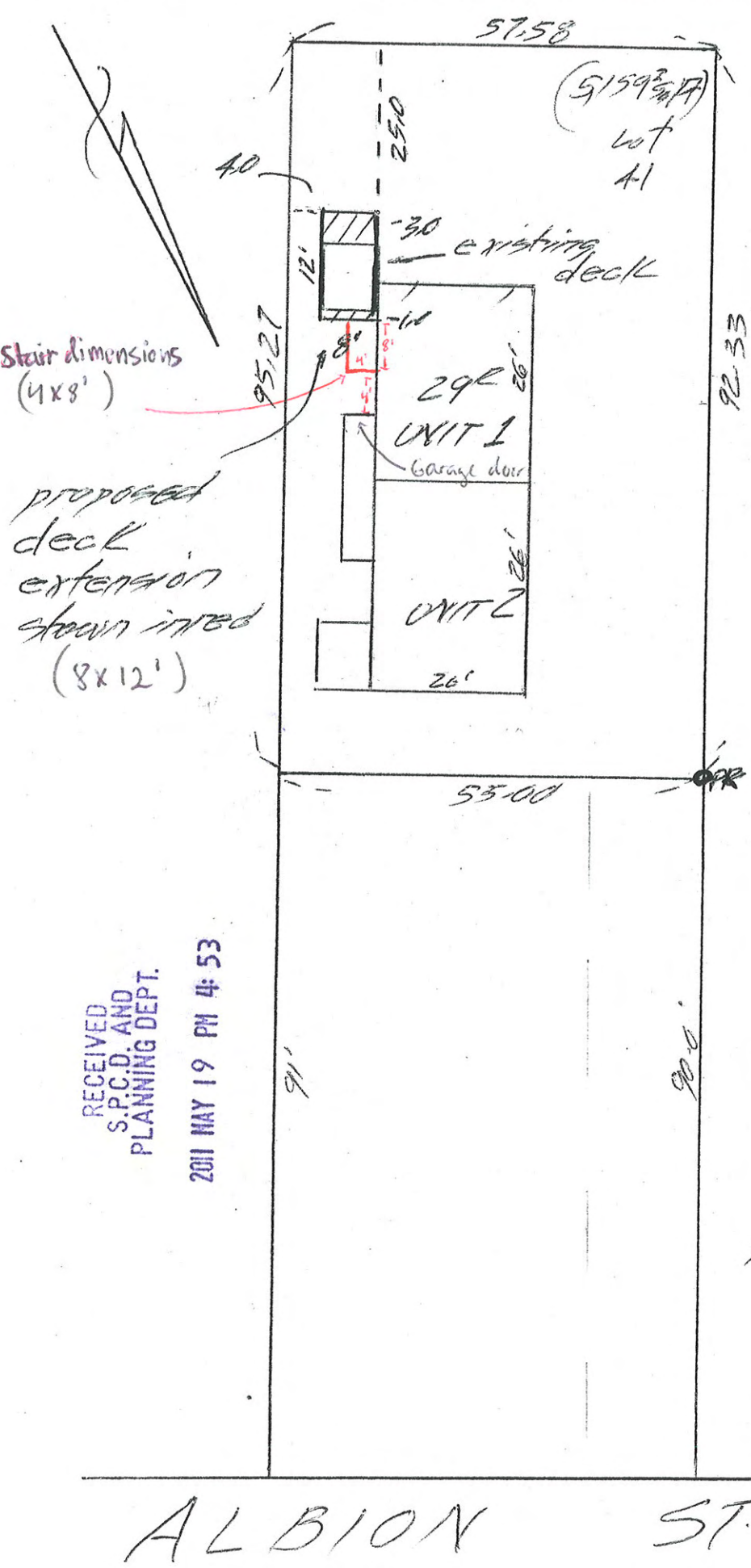
ADDITION PLAN

No. 29th ALBION ST.
SOMERVILLE,
MASS.

Scale: 1" = 20'
April 22, 2011

PLANS DENIED
J. L. L. 5/10/11
SIGNATURE DATE

This plan was drawn as
the result of a plan on the
ground survey



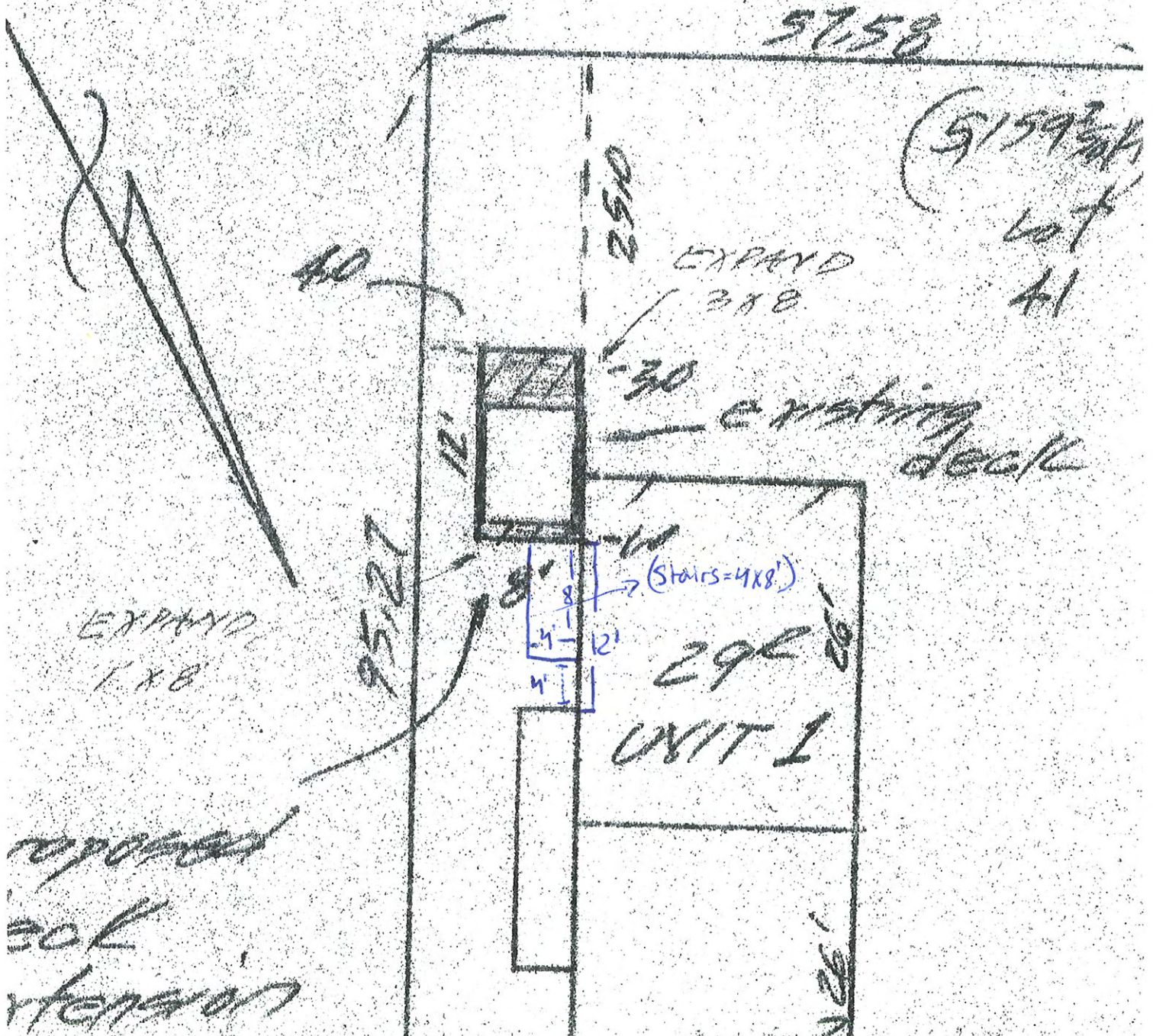
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ALBION ST.

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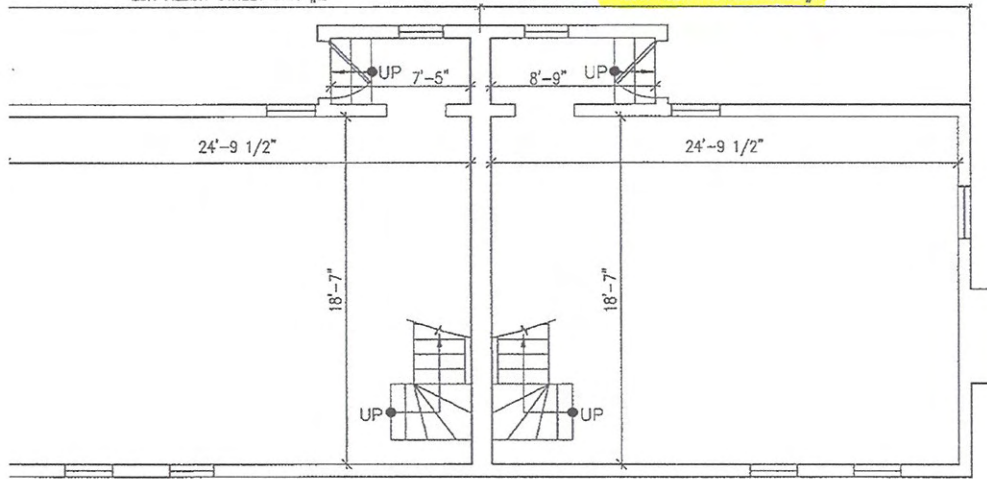
MICHAEL P. ANTONINO
REGISTERED LAND SURVEYOR



29 Rear Albion ST Somerville

29R ALBION STREET UNIT #2

29R ALBION STREET UNIT #1

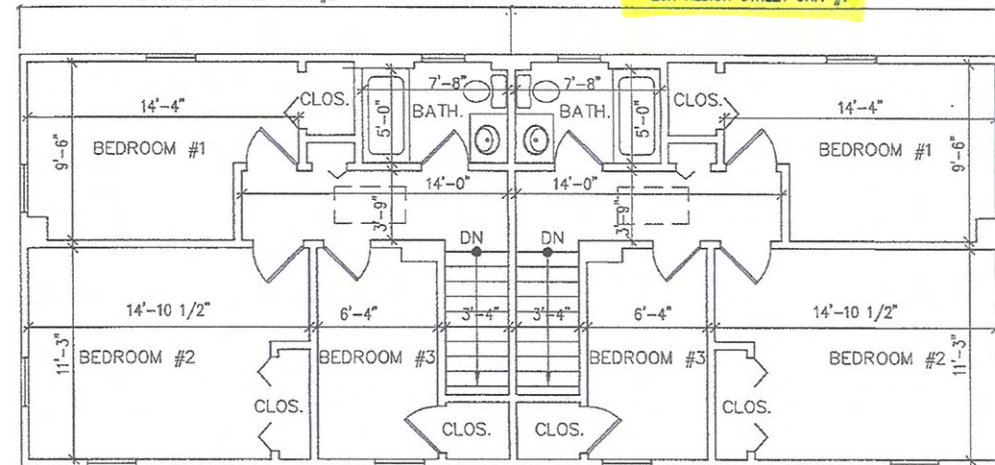


BASEMENT PLAN

UNIT 1: 505 SF
UNIT 2: 501 SF
TOTAL: 1,006 SF

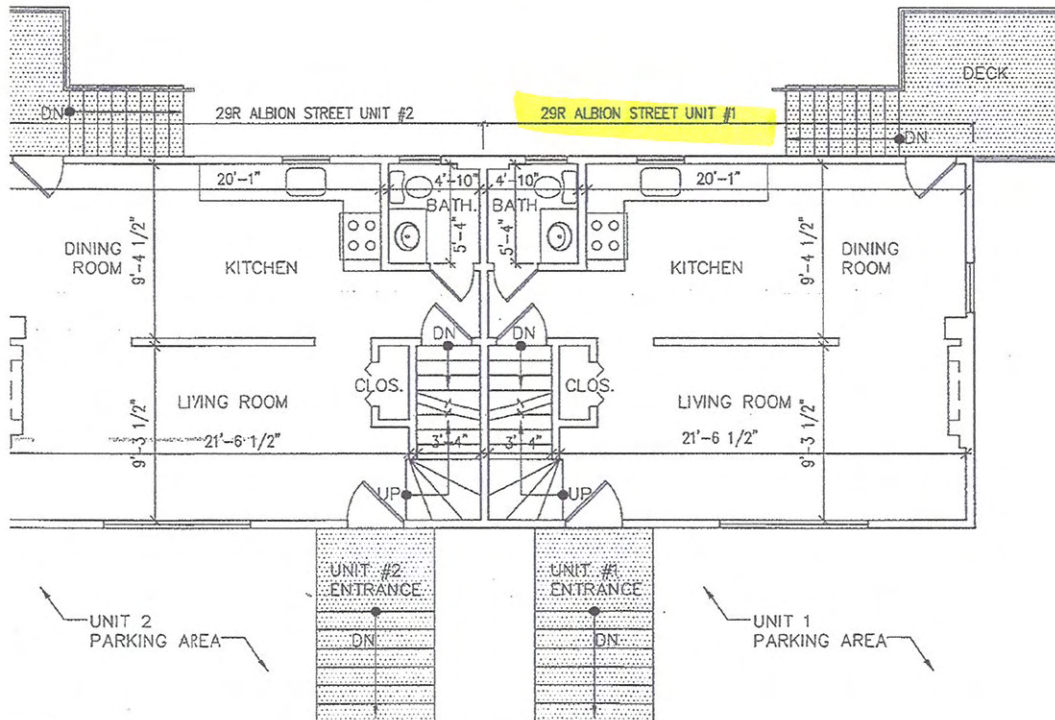
29R ALBION STREET UNIT #2

29R ALBION STREET UNIT #1



SECOND FLOOR PLAN

UNIT 1: 541 SF
UNIT 2: 541 SF
TOTAL: 1,082 SF



FIRST FLOOR PLAN

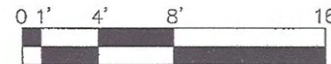
UNIT 1: 481 SF
UNIT 2: 481 SF
TOTAL: 962 SF

UNIT AREA:

UNIT 1: 1,527 SF
UNIT 2: 1,523 SF
UNIT 2: 3,050 SF

HATCH PATTERN LEGEND

COMMON AREA



I CERTIFY THAT THIS PLAN SHOWS THE EXISTING DESIGNATION OF THE PROPERTY AND UNIT 2.

I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN FULLY AND ACCURATELY REFLECTS THE LAYOUT, DIMENSIONS, LOCATIONS AND APPROXIMATE AREA OF THE UNITS SHOWN.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

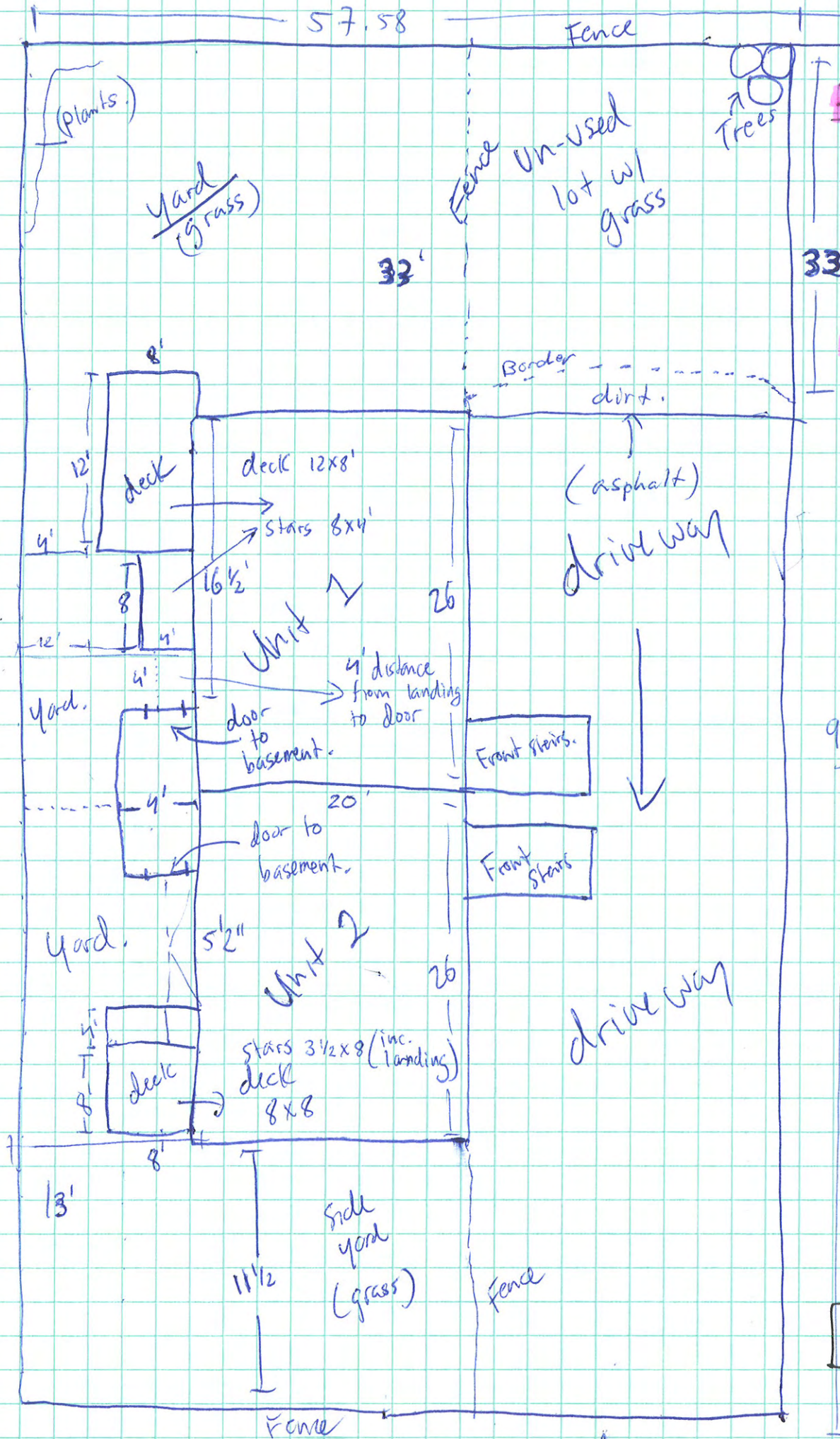
NOTE: THE AREA OF EACH UNIT IS COMPUTED EXCLUSIVE OF EXTERIOR WALLS AND COMMON AREAS, AND TO THE CENTERLINE OF DRIVEWAYS, WALLS, AND DIMENSIONED TO THE FACE OF MASONRY WALLS WHERE EXPOSED.

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Cambridge, Mass
Plan No. 145
Rec'd 2-02
at 5:14 am Doc
Rec'd, Bk
Attest

PLANS DENIED
5/9/11
SIGNATURE DATE





29 R Albion St.
Somerville

Total (57.58 x 92.33)
Square ft = 5316.36

Driveway = 1517.66
Unit 1 = 520
Unit 2 = 520
Unit 1 deck = 128
Unit 2 deck = 96
Back stairs = 76
(to basement)

Total = 2857.66
Total % = 54%

92.33'

Total non
landscape = 54%

Total
landscape = 46%

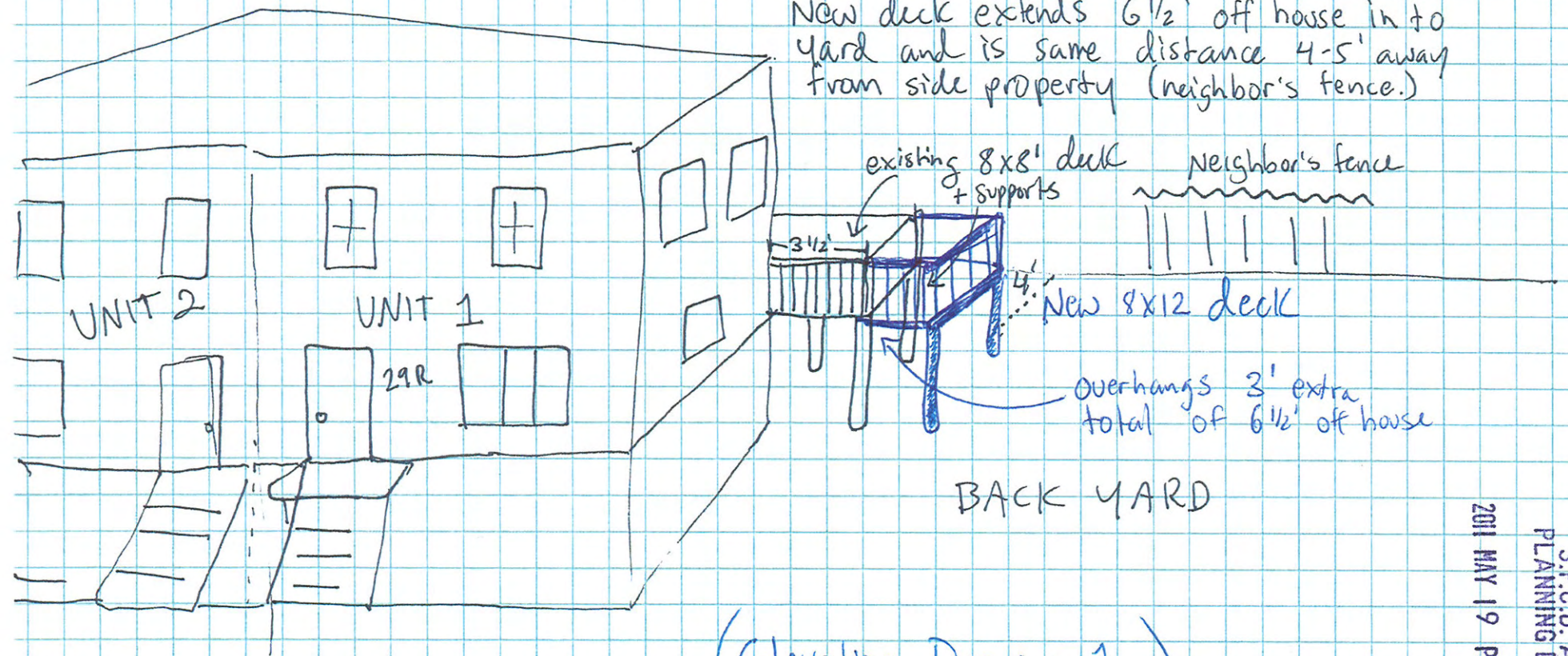
(This includes the
new sized deck)

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Site Plan

29 R Albion Street.

New deck extends $6\frac{1}{2}'$ off house into yard and is same distance 4-5' away from side property (neighbor's fence.)



BACK YARD

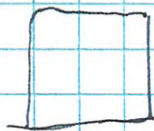
(Elevation Drawing 1)

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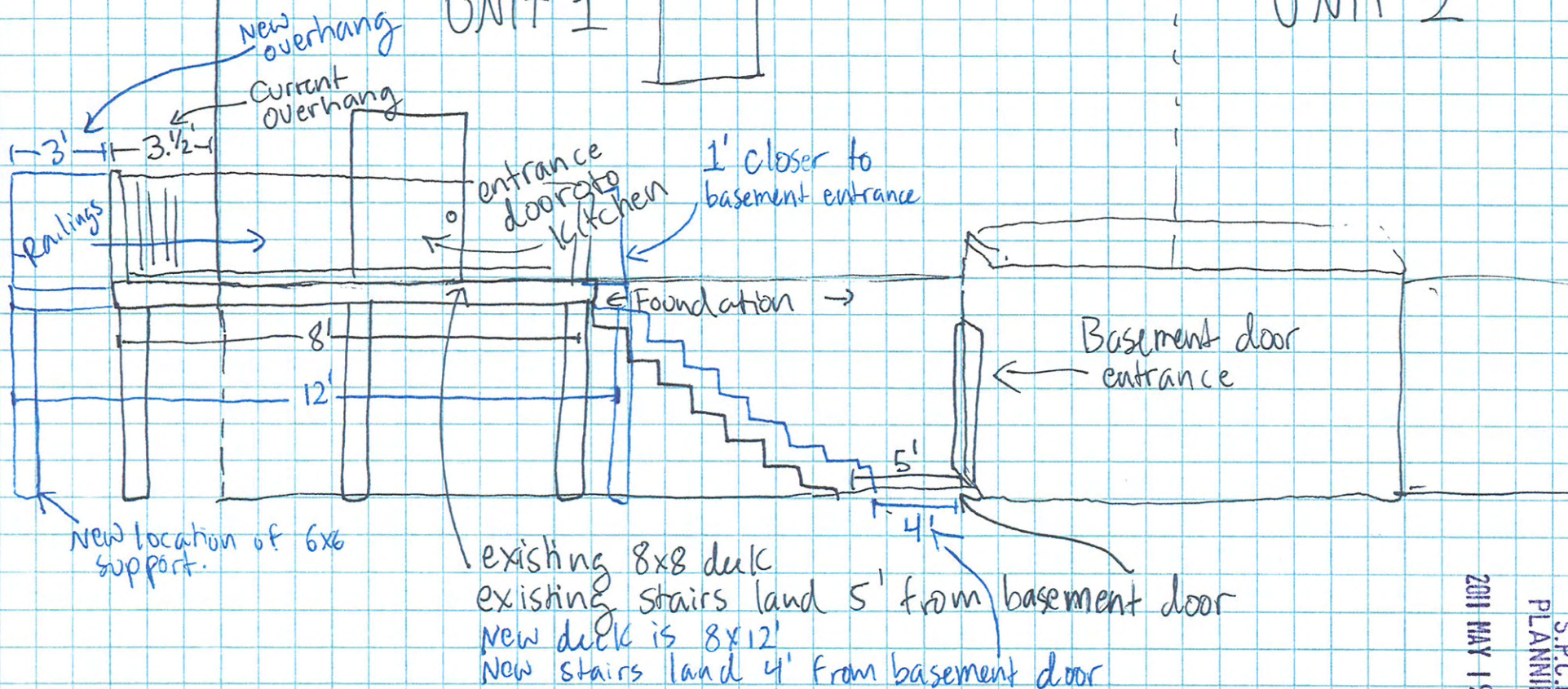
(Elevation Drawing 2)

29 R Albion

UNIT 1



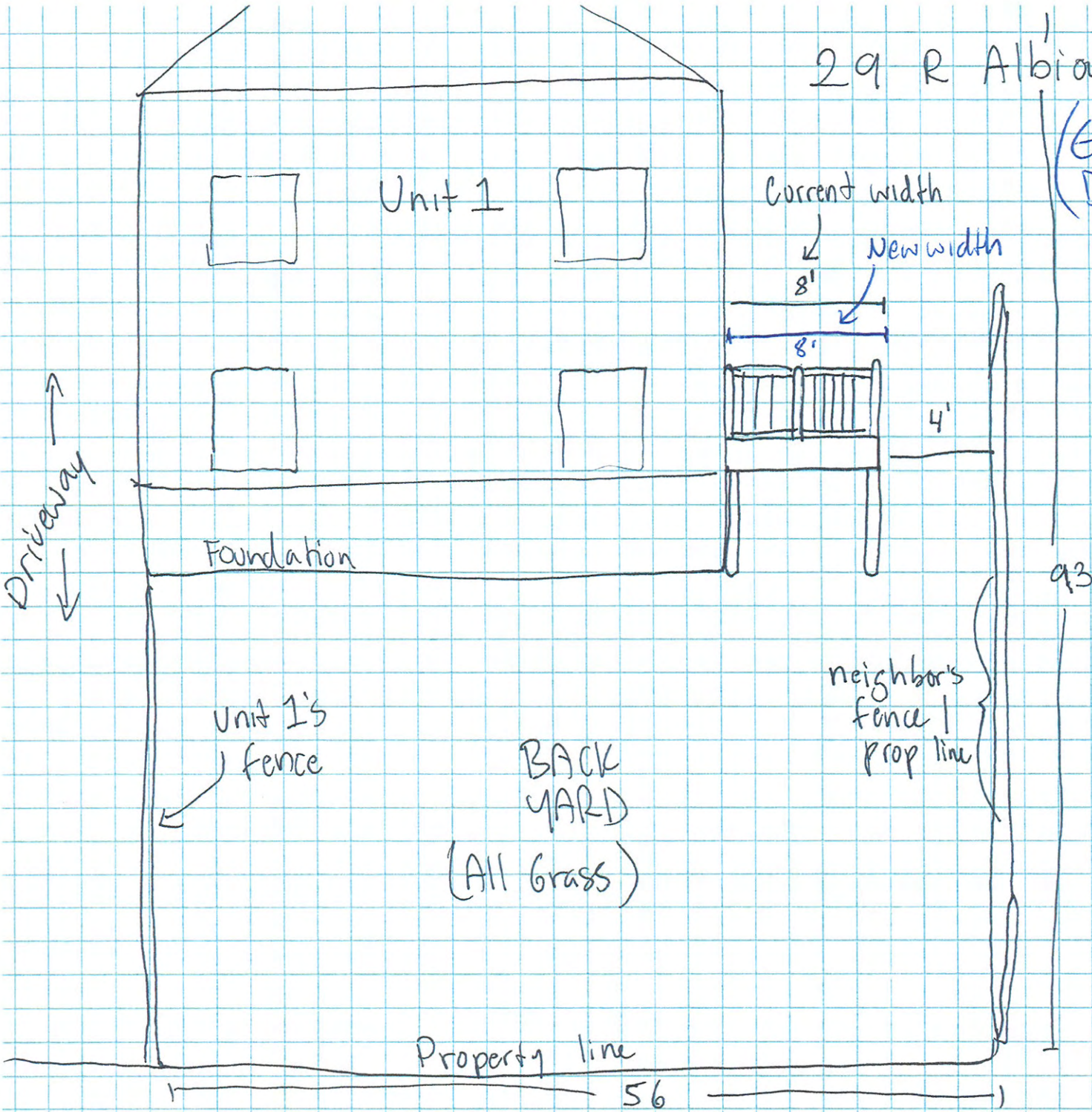
UNIT 2



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29 R Albion

(Elevation Drawings 3)



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Project: 29 Albion Street. Somerville

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4/25/2011

Project Description
by Contractor.

APR 19 PM 4:53

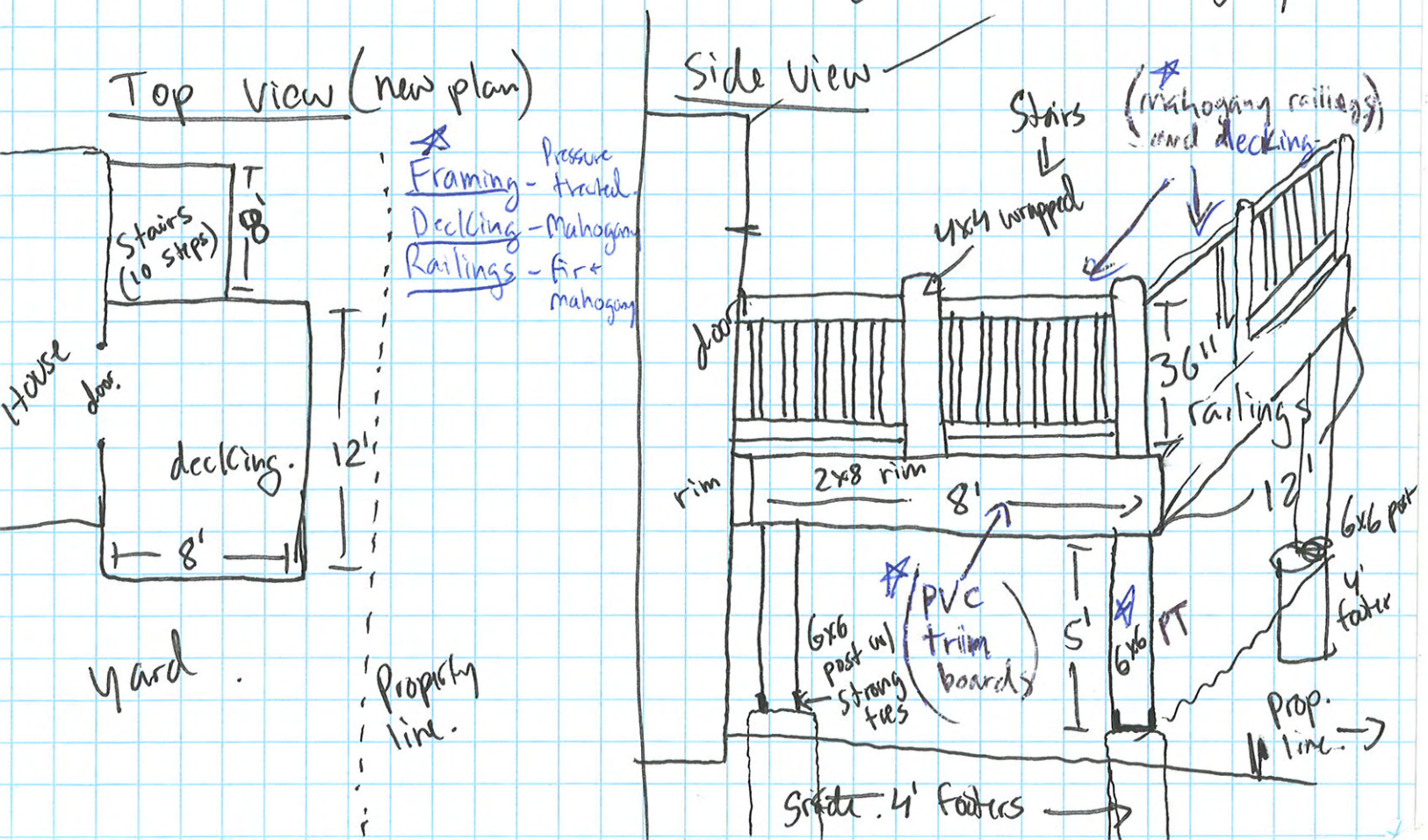
PLANS DENIED

SIGNATURE

DATE

Scope of Work: Contractor is going to remove existing 8x8' deck and stairs and replace it with a 8x12' deck and stairs. New layout is to meet Surveyor's plan done prior to the work.

Construction: Contractor will dig 3 new footers for porch and prepare cement pad (6" deep underneath up to landing). New footers will be 12" in diameter and 4' deep. New 6x6" PT (pressure treated) posts will come up from footers, supporting a 2x8" PT frame. New porch will be lag-bolted into the existing rim joist of the house. All framing will be PT, meet codes and have joist hangers (outer rims will be doubled). Decking will be 1x4 mahogany (treads included), raisers and trim will be 1x PVC (Koma or Azek) and railings will be mahogany + fir.



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Fresh Start Contracting
5/9/11

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Job Address: 29 R Albion Street. Somerville, MA

Below are pictures of the space being built on.



Back Yard View of Existing Porch: This will be pushed back 3' (shown by highlighted area)



Back Yard View: View from corner of back yard looking towards deck.

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Deck Stairs: Currently they land and there is a difference of 5' to the basement door. The proposed plan would move them just 1' forward making that distance 4' instead.