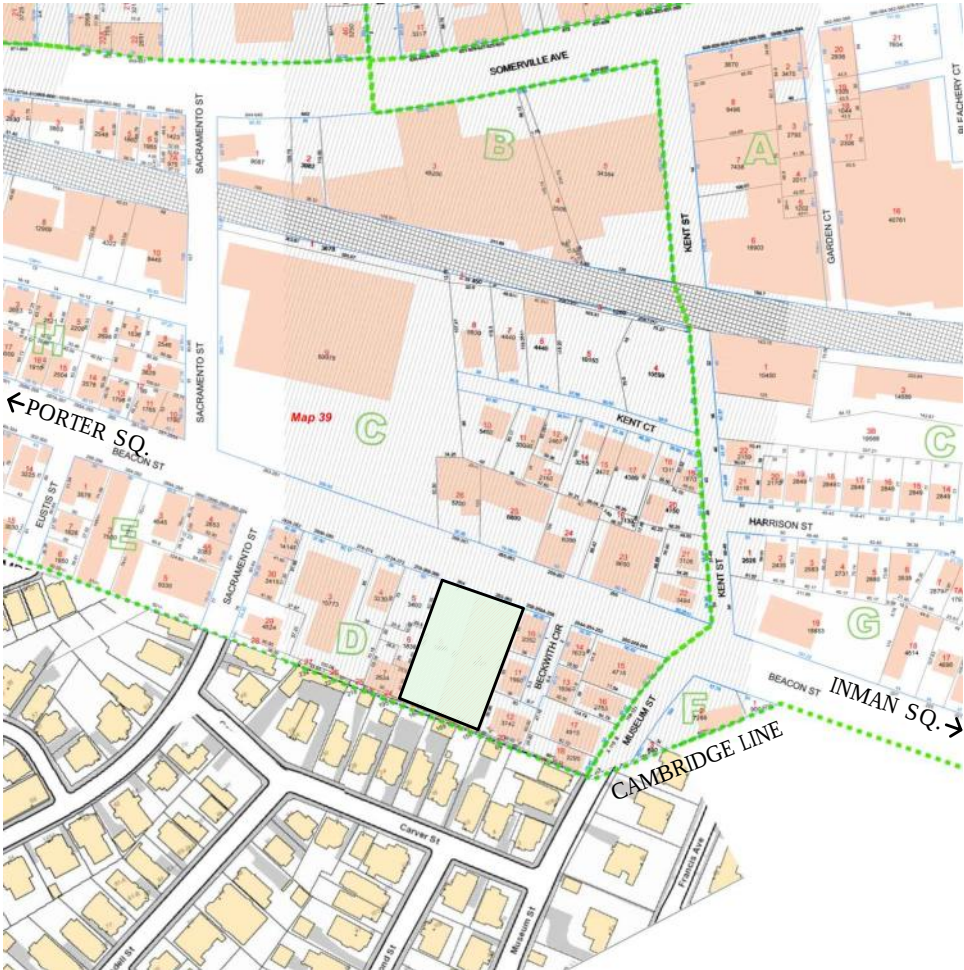


SPECIAL PERMIT APPLICATION

REDEVELOPMENT OF 260 BEACON STREET

260 BEACON STREET, SOMERVILLE, MA 02143



LOCUS PLAN

PREPARED BY:

ARCHITECT

PETER QUINN  
ARCHITECTS LLC

1904 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02140  
PH (617) 354 3989

SURVEYOR

DESIGN  
CONSULTANTS, INC.

120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
PH (617) 776-3350



COLOR ELEVATION - 260 BEACON ST.

| LIST OF DRAWINGS |                               | SP-PB<br>APPLIC.<br>5 JUN 2014 | REV 1 SP-PB<br>APPLIC.<br>15 AUG 2014 |
|------------------|-------------------------------|--------------------------------|---------------------------------------|
| GENERAL          |                               |                                |                                       |
| T1               | COVER SHEET                   | X                              | X                                     |
| S1               | EXISTING CONDITIONS PLOT PLAN | X                              | X                                     |
| Z1               | ZONING COMPLIANCE             | X                              | X                                     |
| Z2               | ZONING COMPLIANCE             | X                              | X                                     |
| Z3               | ZONING COMPLIANCE             | X                              | X                                     |

|               |                                  |   |   |
|---------------|----------------------------------|---|---|
| ARCHITECTURAL |                                  |   |   |
| A1.0          | COMBINED SITE PLAN & STREET ELEV | X | X |
| A1.01         | COLOR RENDERED ELEVATION         | X | X |
| A1.1          | PARKING FLOOR PLAN               | X | X |
| A1.2          | RETAIL/LOBBY FIRST FLOOR PLAN    | X | X |
| A1.3          | SECOND FLOOR PLAN                | X | X |
| A1.4          | THIRD FLOOR PLAN                 | X | X |
| A2.1          | NORTH & EAST ELEVATIONS          | X | X |
| A2.2          | SOUTH & WEST ELEVATIONS          | X | X |

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ARCHI  
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COMMUNITY DESIGN

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PH 617-354-3989

SEAL

CONSULTANT

PROJECT  
260  
BEACON ST  
260 BEACON ST  
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND  
DEVELOPMENT

98 WINCHESTER STREET  
MEDFORD, MA 02155

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

| REVISION | DATE |
|----------|------|
|----------|------|

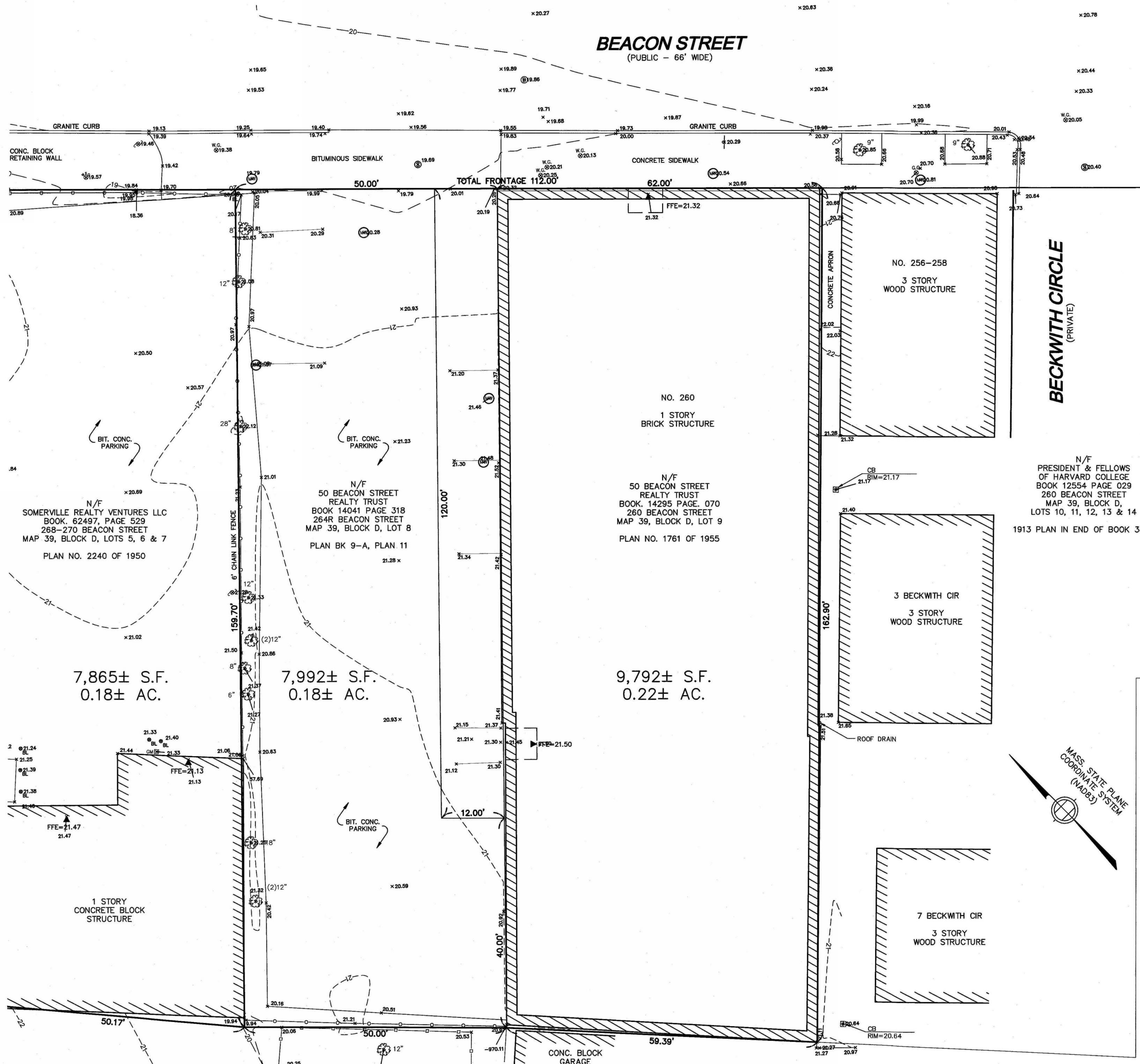
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| REV SP APPLIC | 15 AUG 2014 |
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| SP APPLIC | 5 JUN 2014 |
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|                 |                   |
|-----------------|-------------------|
| DRAWN BY<br>ACW | REVIEWED BY<br>PQ |
|-----------------|-------------------|

SHEET

T1



- LEGEND**
- HAND HOLE
  - UTILITY POLE
  - GUY POLE
  - HYDRANT
  - WATER SHUT OFF
  - WATER GATE
  - MONITORING WELL
  - CATCH BASIN (CB)
  - DRAIN MANHOLE (DMH)
  - SEWER MANHOLE (SMH)
  - ELECTRIC MANHOLE
  - UNKNOWN MANHOLE
  - TELEPHONE MANHOLE
  - PARKING COUNT
  - HANDICAPPED PARKING
  - GAS GATE
  - GAS METER
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - BOLLARD
  - FIRE ALARM BOX
  - SIGN
  - POST & RAIL FENCE
  - CHAIN LINK FENCE
  - SEWER LINE
  - GAS LINE
  - WATER LINE
  - TELEPHONE LINE
  - OVERHEAD WIRES
  - ELECTRIC LINE
  - DRAIN LINE
  - TERMINUS UNKNOWN
  - VERTICAL GRANITE CURB
  - FLUSH GRANITE CURB
  - SLOPED GRANITE CURB
  - VERTICAL CONCRETE CURB
  - BITUMINOUS BERM
  - CONCRETE BLOCK WALL
  - CONCRETE RETAINING WALL
  - CHAIN LINK FENCE
  - POST & RAIL FENCE
  - METAL GUARD RAIL
  - BITUMINOUS
  - CONCRETE
  - REINFORCED CONCRETE PIPE
  - CAST IRON PIPE
  - VITRIFIED CLAY PIPE
  - INVERT
  - WATER LEVEL
  - BOTTOM CENTER
  - NO PIPES VISIBLE
  - FINISHED FLOOR ELEVATION
  - SPOT GRADE

**NOTES**

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF SOMERVILLE BASE DATUM.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON FEBRUARY 3, 2014 BY DESIGN CONSULTANTS, INC.

P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE 4/10/14

**LOCUS TITLE INFORMATION**

**260 BEACON STREET**

OWNER: 50 BEACON STREET REALTY TRUST

DEED REFERENCES: BK. 14295 PG. 070 & BK. 14041 PG. 318

PLAN REFERENCE: BK. 8856 PG. 246 PLAN NO. 1761 OF 1955

ASSESSORS: PARCEL ID 39-D-8 & 39-D-9

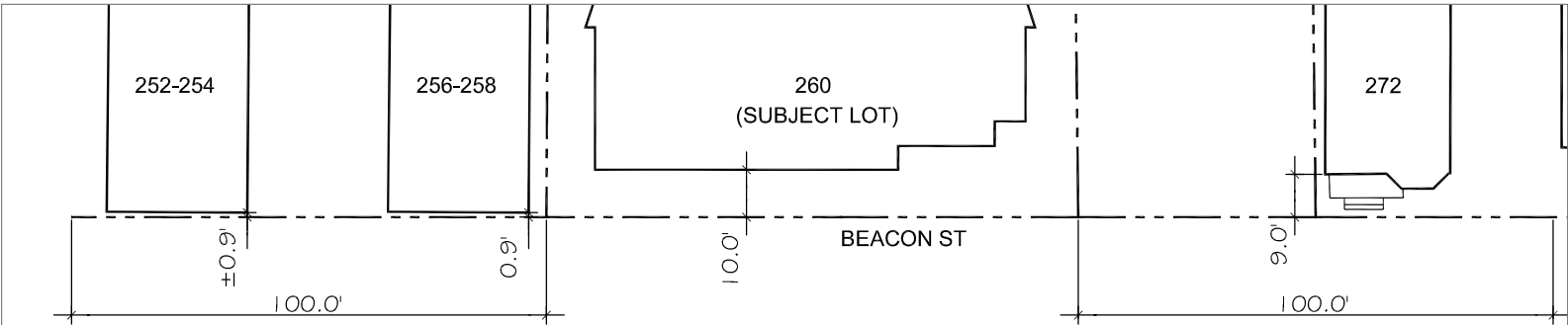
DIMENSIONAL TABLE - RES C ZONING DISTRICT, SPSR

| ITEM                                              | ALLOWED/<br>REQUIRED | EXISTING | PROPOSED         | COMPLIANCE      |
|---------------------------------------------------|----------------------|----------|------------------|-----------------|
| MIN LOT SIZE (SF)                                 | 7,500                | 17,784   | 17,784           | COMPLIES        |
| MIN LOT AREA / UNIT<br>WITH 10 UNITS OR MORE (SF) | 1,000                | N/A      | 1,046 (17 UNITS) | COMPLIES        |
| MAX GROUND COVERAGE (%)                           | 70                   | 55       | 65               | COMPLIES        |
| MIN LANDSCAPED AREA (% OF LOT)                    | 25                   | 0        | 26               | COMPLIES        |
| PERVIOUS AREA (% OF LOT)                          | 30                   | 0        | 35               | COMPLIES        |
| FLOOR AREA RATIO (FAR)                            | 2.0                  |          | 1.8              | COMPLIES        |
| NET FLOOR AREA (NSF)                              | 35,568               |          | 31,375           | COMPLIES        |
| MAX HEIGHT (FT/ STORIES)                          | 40 / 3               | ±12 / 1  | ±39.9 / 3        | COMPLIES        |
| MIN FRONT YARD (FT)                               | 10 PER § 8.6.5.A     | 0        | 10               | COMPLIES        |
| MIN SIDE YARD - LEFT (FT)                         | 10                   | 0        | 10               | COMPLIES        |
| MIN SIDE YARD - RIGHT (FT)                        | 10                   |          | 10               | COMPLIES        |
| MIN REAR YARD (FT)                                | 20                   | 0        | 20               | COMPLIES        |
| MIN FRONTAGE (FT)                                 | 50                   | 112      | 112              | COMPLIES        |
| MIN NO. OF PARKING SPACES                         | *30 RES +<br>7 COMM  |          | 24               | RELIEF REQUIRED |
| MIN NO. BIKE PARKING SPACES                       | 5                    | 0        | 29               | COMPLIES        |

\*NUMBER OF REQUIRED PARKING SPACE PER §9.5  
FOR (15) 1OR2-BR UNITS, (2) 3-BR UNITS, AND 3,145-SF OF GENERAL COMMERCIAL USE:  
MULTIFAM  
    (15) 1OR2-BR UNITS AT 1.5 PER UNIT = 15X1.5 = 22.5  
    (2) 3-BR UNITS AT 2 PER UNIT = 2X2 = 4  
    VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 3  
COMMERCIAL  
    OFFICE OTHER THAN MEDICAL AT 1 PER 500 ASSUMED FOR CALCULATION = 3,145/500 = 7

30 RES

7 COMM



PER §8.6.5.A - FRONT YARD MAY BE THE AVERAGE FRONT YARD OF NEIGHBORS 100' EACH  
SIDE OF SUBJECT LOT:  
(0.9' + 0.9' + 9.0') / 3 = 3.6' BUT MIN 10' IN ANY CASE.

⊗<sub>N</sub>

1

FRONT YARD CALCULATION

SCALE: 1"=40'-0"

PER §8.6.5.A

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PH 617-354-3989

SEAL



CONSULTANT

PROJECT

260  
BEACON ST  
260 BEACON ST  
SOMERVILLE, MA 02143

PREPARED FOR

HIGHLAND  
DEVELOPMENT

98 WINCHESTER STREET  
MEDFORD, MA 02155

DRAWING TITLE

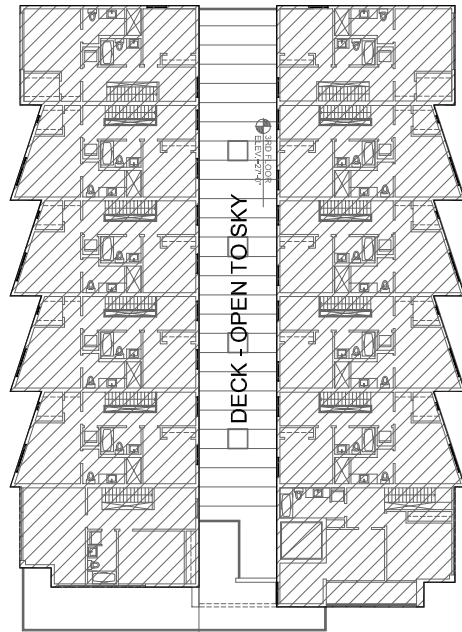
ZONING  
COMPLIANCE

SCALE AS NOTED

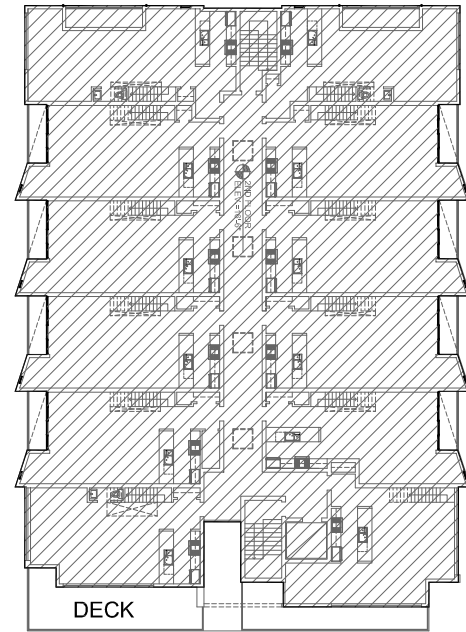
| REVISION       | DATE              |
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| REV SP APPLIC  | 15 AUG 2014       |
| SP APPLIC      | 5 JUN 2014        |
| DRAWN BY<br>MY | REVIEWED BY<br>PQ |

SHEET

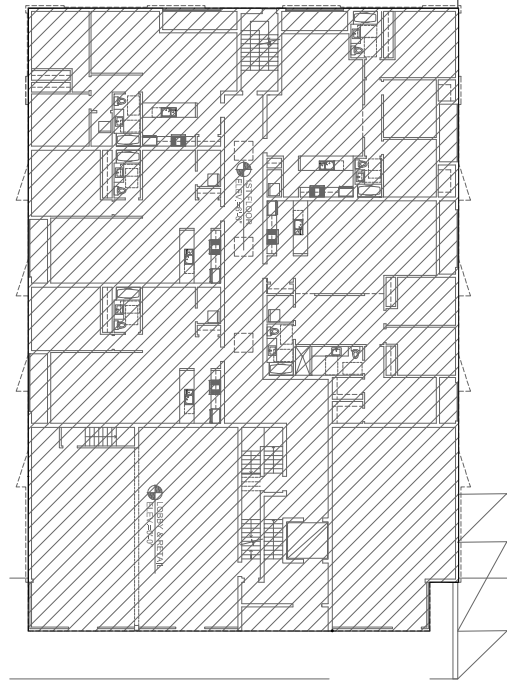
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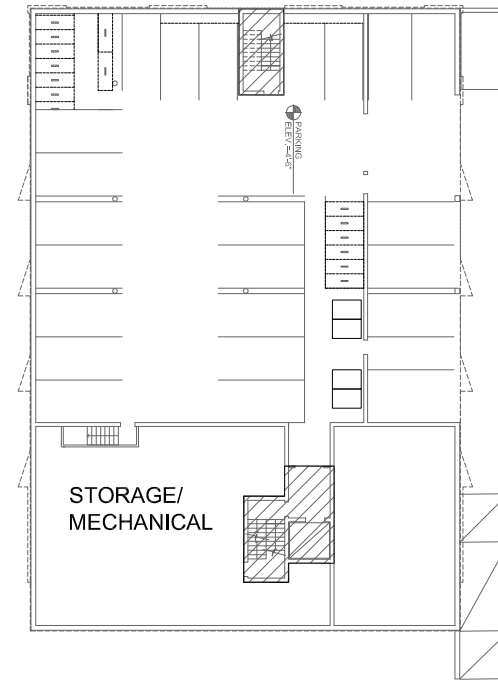
3RD FLOOR: 8,918-NSF



2ND FLOOR: 10,550-NSF



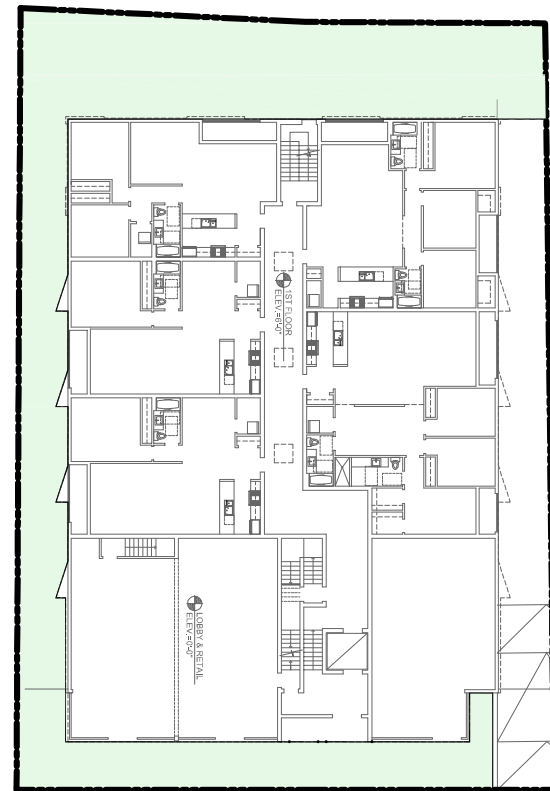
1ST FLOOR: 11,573-NSF



BASEMENT: 334-NSF

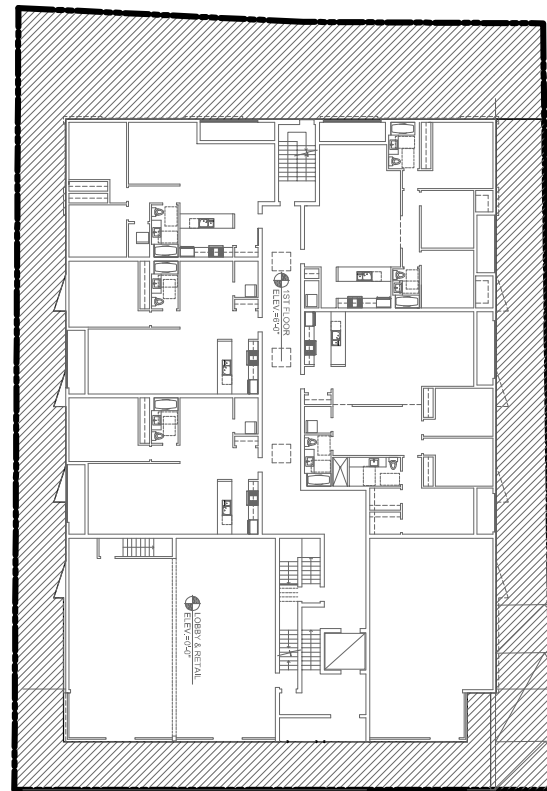
| FLOOR    | NSF        |
|----------|------------|
| 3RD FL   | 8,918      |
| 2ND FL   | 10,550     |
| 1ST FL   | 11,573     |
| BASEMENT | 334        |
| TOTAL    | 31,375-NSF |

# PROPOSED NSF CALC SCALE: 1"=40'-0"



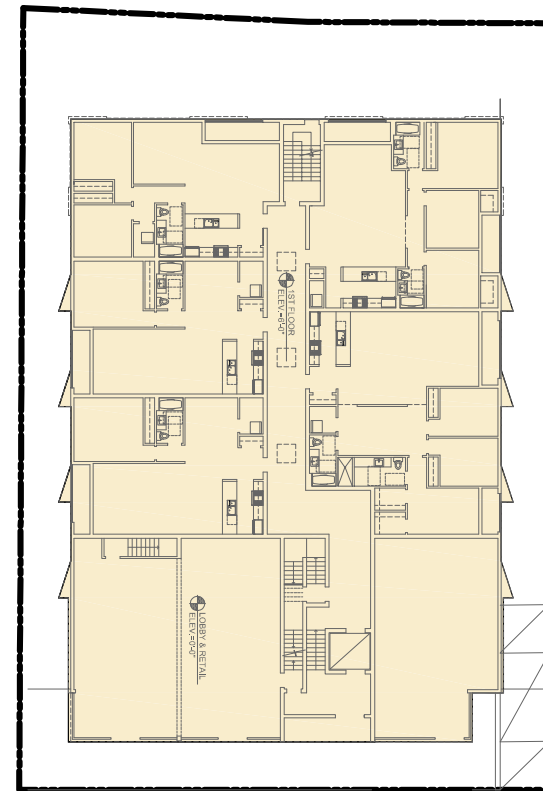
LANDSCAPED AREA 4,624 SF  
17,784 LOT SF = 26%

## LANDSCAPED AREA SCALE: 1"=40'-0"



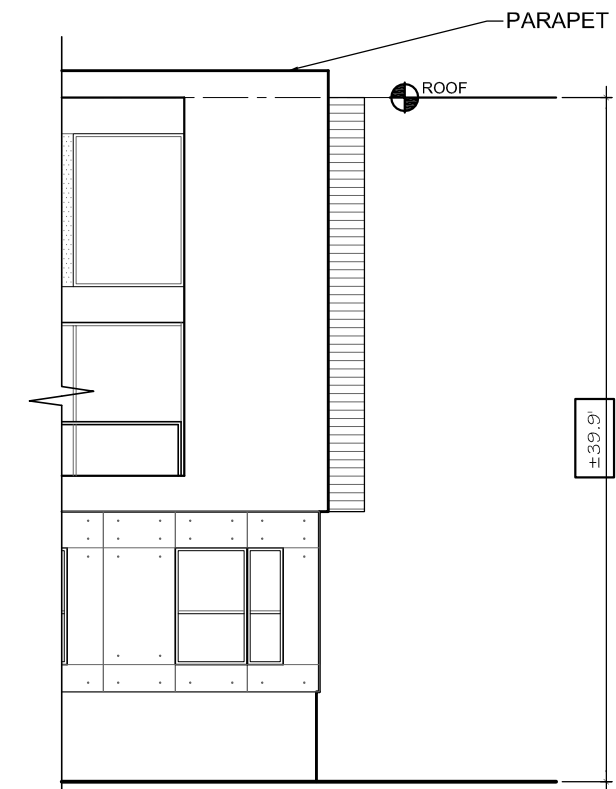
PERVIOUS AREA 6,158 SF  
17,784 LOT SF = 35%

## PERVIOUS AREA SCALE: 1"=40'-0"



LOT COVERAGE 11,675 SF  
17,784 LOT SF = 65%

## LOT COVERAGE SCALE: 1"=40'-0"

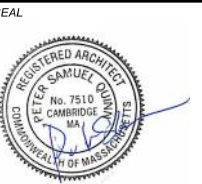


## BUILDING HEIGHT SCALE: 3/32"=1'-0"

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PH 617-354-3989



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PROJECT  
260  
BEACON ST  
260 BEACON ST  
SOMERVILLE, MA 02143

PREPARED FOR  
HIGHLAND DEVELOPMENT

98 WINCHESTER STREET  
MEDFORD, MA 02155

DRAWING TITLE  
ZONING COMPLIANCE

SCALE AS NOTED

| REVISION      | DATE           |
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|               |                |
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| REV SP APPLIC | 15 AUG 2014    |
| SP APPLIC     | 5 JUN 2014     |
| DRAWN BY MY   | REVIEWED BY PQ |

SHEET

Z3



SEAL



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BEACON ST  
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SOMERVILLE, MA 02143

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**HIGHLAND  
DEVELOPMENT**

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MEDFORD, MA 02155

DRAWING TITLE

PARKING  
FLOOR PLAN

SCALE AS NOTED

| REVISION        | DATE              |
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| REV SP APPLIC   | 15 AUG 2014       |
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SHEET

A1.0



260 BEACON STREET

266 BEACON STREET



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ARCHI  
TECTS**

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BEACON ST**  
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SOMERVILLE, MA 02143

PREPARED FOR  
**HIGHLAND  
DEVELOPMENT**  
98 WINCHESTER STREET  
MEDFORD, MA 02155

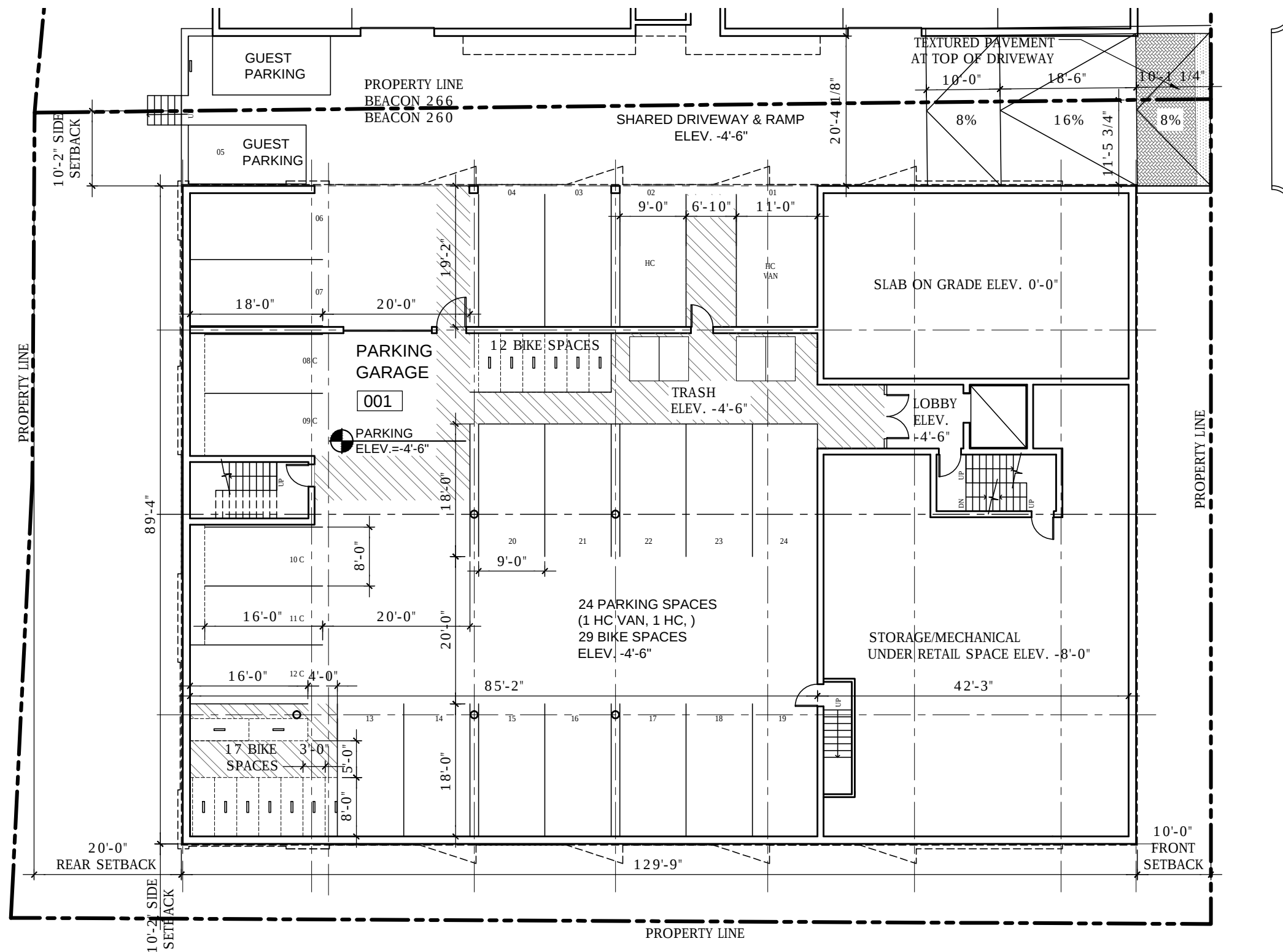
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**3D VIEWS**

SCALE AS NOTED

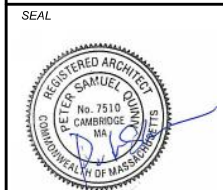
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| REV SP APPLIC   | 15 AUG 2014       |
| SP APPLIC       | 5 JUN 2014        |
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SHEET

**A1.01**



**1 PARKING FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



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**260 BEACON ST**  
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SOMERVILLE, MA 02143

PREPARED FOR  
**HIGHLAND DEVELOPMENT**

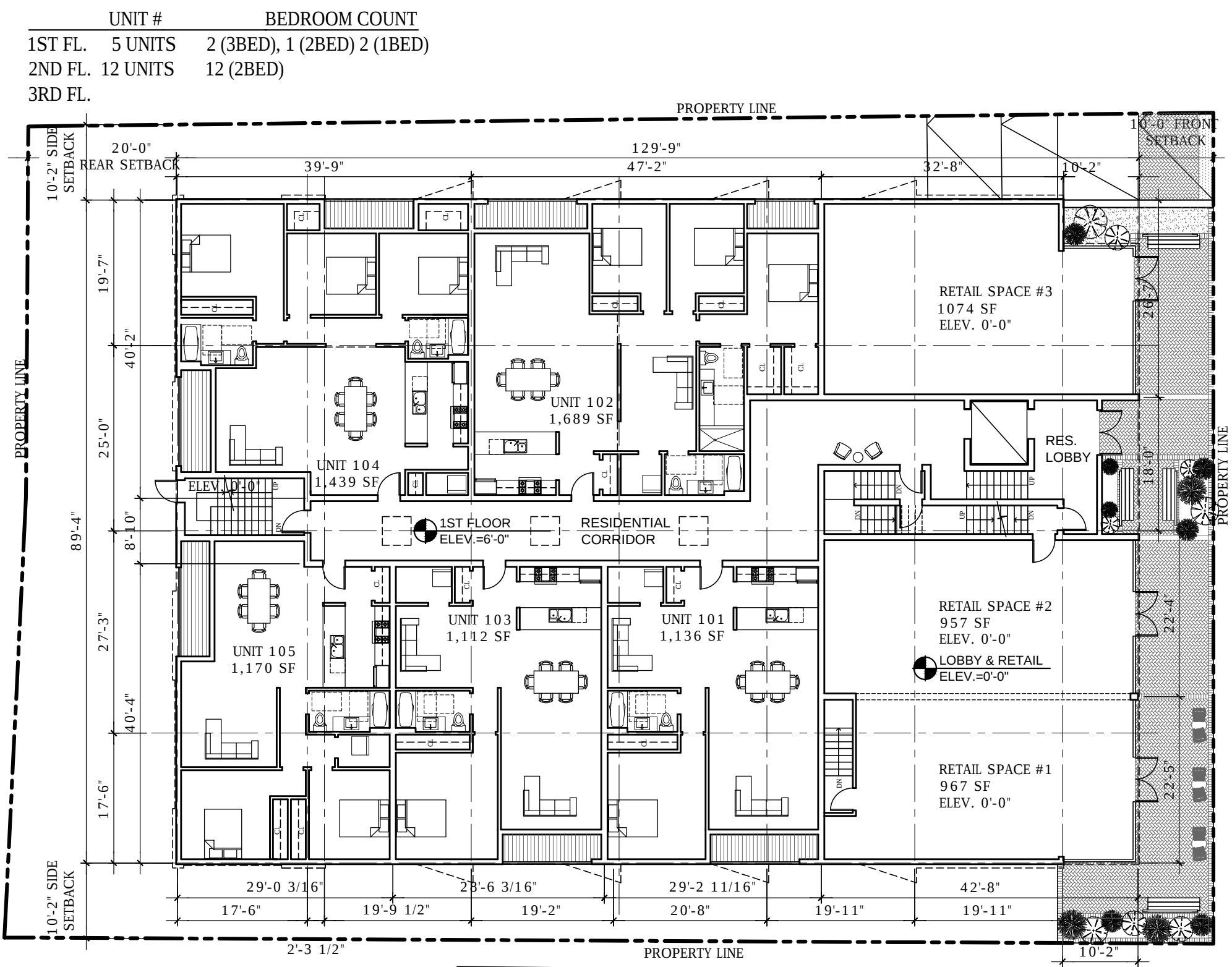
98 WINCHESTER STREET  
MEDFORD, MA 02155

DRAWING TITLE  
**PARKING FLOOR PLAN**

SCALE AS NOTED

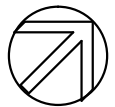
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1 RETAIL/LOBBY & FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



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DRAWING TITLE

RETAIL/LOBBY  
& FIRST  
FLOOR PLAN

SCALE AS NOTED

| REVISION        | DATE              |
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SEAL



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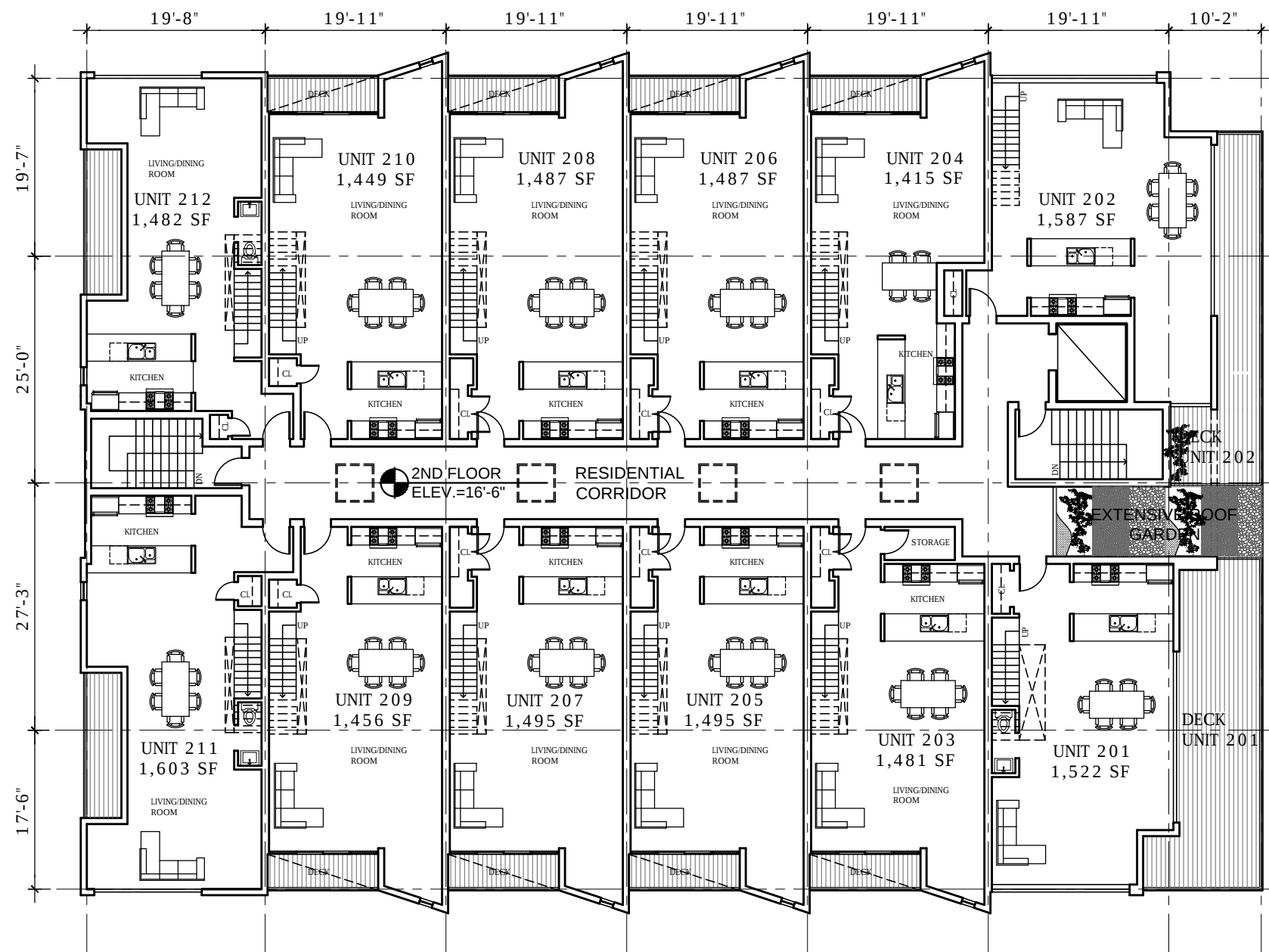
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SECOND  
FLOOR PLAN

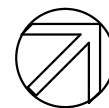
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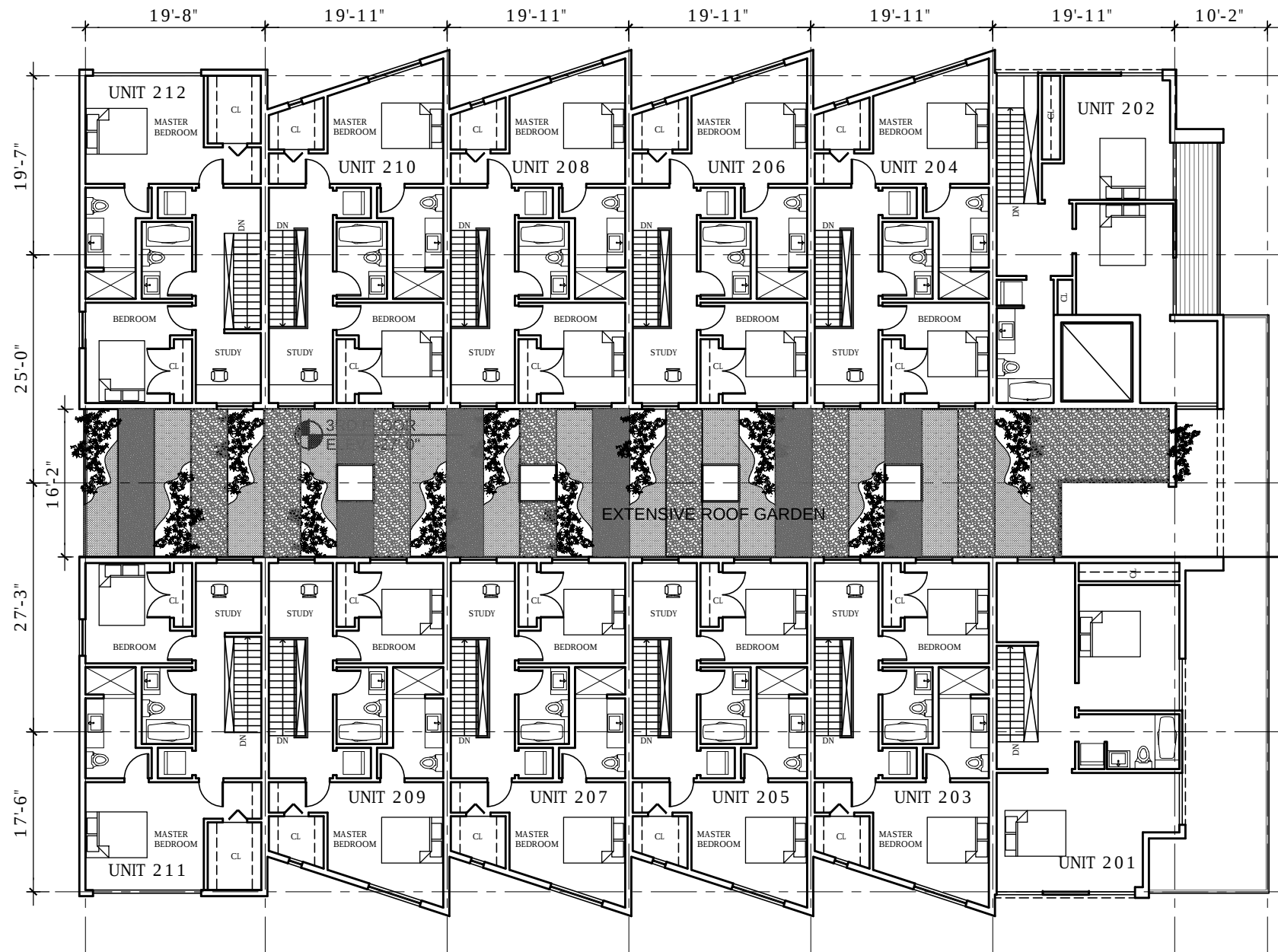
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| REV SP APPLIC   | 15 AUG 2014       |
| SP APPLIC       | 5 JUN 2014        |
| DRAWN BY<br>ACW | REVIEWED BY<br>PQ |
| SHEET           |                   |

A1.3



1 SECOND FLOOR PLAN  
SCALE: 1/16" = 1'-0"





**2 THIRD FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

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DEVELOPMENT**

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MEDFORD, MA 02155

DRAWING TITLE

**THIRD  
FLOOR PLAN**

SCALE AS NOTED

| REVISION        | DATE              |
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|                 |                   |
|                 |                   |
| REV SP APPLIC   | 15 AUG 2014       |
| SP APPLIC       | 5 JUN 2014        |
| DRAWN BY<br>ACW | REVIEWED BY<br>PQ |

SHEET

**A1.4**

SEAL



CONSULTANT

PROJECT  
**260  
BEACON ST**  
260 BEACON ST  
SOMERVILLE, MA 02143

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**HIGHLAND  
DEVELOPMENT**

98 WINCHESTER STREET  
MEDFORD, MA 02155

DRAWING TITLE

**NORTH &  
EAST  
ELEVATIONS**

SCALE AS NOTED

| REVISION | DATE |
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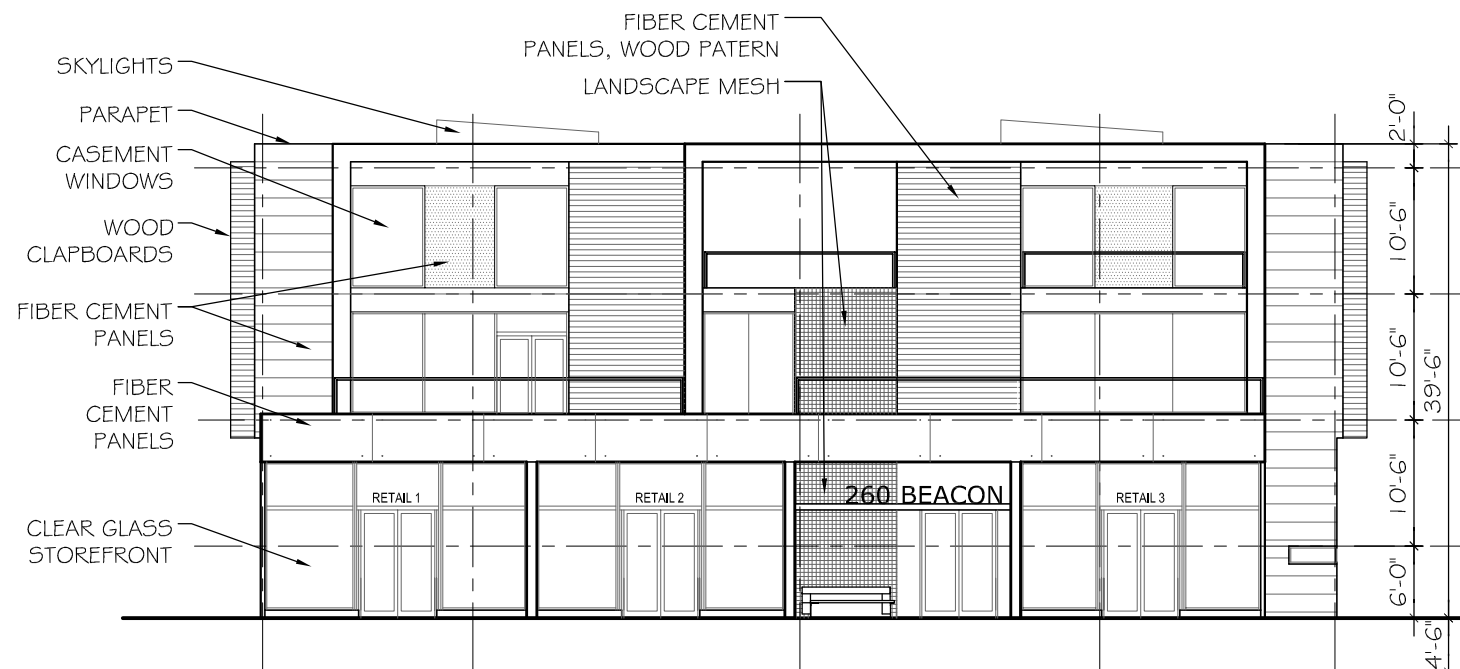
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| SP APPLIC | 5 JUN 2014 |
|-----------|------------|

|                 |                   |
|-----------------|-------------------|
| DRAWN BY<br>ACW | REVIEWED BY<br>PQ |
|-----------------|-------------------|

SHEET

**A2.1**

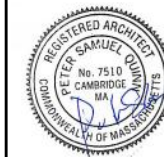


**1 NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/16" = 1'-0"

SEAL



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DEVELOPMENT**

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DRAWING TITLE

**SOUTH &  
WEST  
ELEVATIONS**

SCALE AS NOTED

| REVISION        | DATE              |
|-----------------|-------------------|
|                 |                   |
|                 |                   |
|                 |                   |
| REV SP APPLIC   | 15 AUG 2014       |
| SP APPLIC       | 5 JUN 2014        |
| DRAWN BY<br>ACW | REVIEWED BY<br>PQ |

SHEET

**A2.2**



**4 SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/16" = 1'-0"