

118 BROADWAY & 8 GLEN ST  
SOMERVILLE, MA

Special Permit Set

November 16, 2016

NEW CONSTRUCTION OF MIXED USE  
COMMERCIAL & RESIDENTIAL

CURTIS DIBENEDETTO AND  
ASSOCIATES, INC  
23 SHORE RD.  
WINCHESTER, MA 01980  
www.cdaarchitects.net

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DRAWINGS LIST

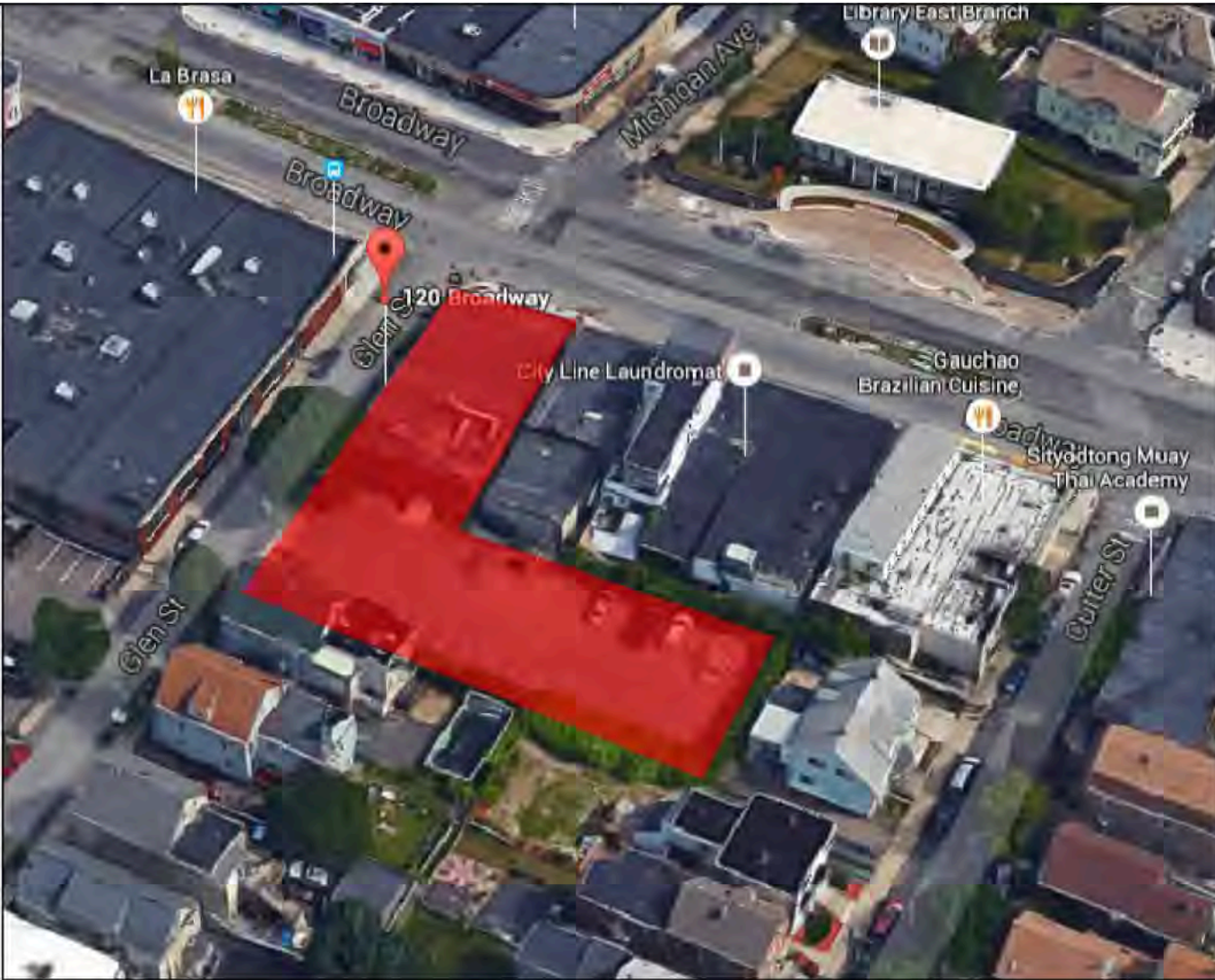
T1 TITLE SHEET

CIVIL

- C-1 COVER SHEET
- C-2 EXISTING CONDITION PLAN
- C-3 DEMOLITION & EROSION CONTROL PLAN
- C-4 CONSTRUCTION / LAYOUT PLAN
- C-5 GRADING & DRAINAGE
- C-6 UTILITY PLAN
- C-7 LIGHTING PLAN
- C-8 LANDSCAPE PLAN
- C-9 EROSION CONTROL PLAN
- C-10 DETAIL SHEET

ARCHITECTURAL

- A-1.1 PROPOSED ARCHITECTURAL BASEMENT  
& FIRST LEVEL PARKING PLAN
- A-1.2 PROPOSED ARCHITECTURAL SECOND &  
THIRD FLOOR PLAN
- A-1.3 PROPOSED ARCHITECTURAL FORTH  
FLOOR PLAN
- A-1.4 PROPOSED ARCHITECTURAL TYPICAL  
ENLARGED PLANS
- A-2.0 PROPOSED ARCHITECTURAL ELEVATION
- A-2.1 PROPOSED ARCHITECTURAL ELEVATION
- A-2.0 PROPOSED ELEVATION COLOR RENDERING
- A-2.1 PROPOSED ELEVATION COLOR RENDERING
- PROPOSED SITE ELEVATION COLOR RENDERING



LOCUS MAP



ZONING EVALUATION FOR 118 BROADWAY AND 8 GLEN ST SOMERVILLE, MA Zoning District: CCD-55			ALLOWED			PROPOSED	USE: MIXED MULTIFAMILY/ COMMERCIAL
MULTIPLE DWELLING		REQUIRED		TOTAL ALLOWED			TOTAL PROPOSED
A)	MINIMUM LOT SIZE (S.F.)	NA		14,356 S.F. (EXISTING)			14,356 S.F. (EXISTING)
B)	MIN. LOT AREA PER DWELLING UNIT						
	1-9 UNITS (S.F.)	600 S.F. PER UNIT					
	10 OR MORE UNITS (S.F.)	600 S.F. PER UNIT					
	INCLUSIONARY HOUSING	20% INCLUSIONARY HOUSING		(14,356 SF / 495 SF = 29)	29 UNITS		24 UNITS
	INCLUSIONARY HOUSING	REDUCTION IN LOT AREA P/ UNIT 17.5% = 495 S.F.					
C)	MAXIMUM GROUND COVERAGE (%)	80%		80% = 11,485.2 S.F.			8,951 S.F. = 63%
D)	LANDSCAPED AREA, MIN.% OF LOT	10%		10% = 1,435.6 S.F.			2,584 S.F. = 18%
E)	FLOOR AREA RATIO (F.A.R.)	3		FAR OF 3 = 43,068 S.F.			30,188 S.F. = 2.1 F.A.R.
F)	MAXIMUM HEIGHT						
	STORIES/	N/A		5 STORIES			4 STORIES
	FEET	55 FEET		55 FEET			43 FT
G)	MINIMUM FRONT YARD	N/A		0 FEET			1.0 FT
H)	MINIMUM SIDE YARD	N/A (NOTE #22)		0 FEET & 20 FEET @ RB DISTRICT			1.0 FT & 20 FT @ RB DISTRICT
I)	MINIMUM REAR YARD	N/A (NOTE #22)		0 FEET & 20 FEET @ RB DISTRICT			20 FEET @ RB DISTRICT
J)	MINIMUM FRONTAGE (FT)	30 FEET		44.85 FEET +/-			44.85 FEET +/-
K)	PERVIOUS AREA, MINIMUM % OF LOT	0		0			2,881 S.F.
	PARKING REQUIRED	SMALL RETAIL & SERVICE = 1 PER 1,500 N.S.F. RESIDENTIAL = 1 PER DWELLING UNIT		REQUIRED: 2 PARKING STALLS REQUIRED: 24 PARKING STALLS	TOTAL REQUIRED PARKING STALLS: 26		PROVIDED: 20 PARKING STALLS

Note #22 Transition requirements apply for parcels abutting a residential district (RA, RB or RC) pursuant to Section 6.1.22.G (Transition to Abutting Residential Districts).

Section 6.1.22.G Transition to Abutting Residential District. The minimum side or rear yard setback of a property abutting or spanning a residential district line (RA, RB, RC) shall be 20 feet from the district line with outermost 10 feet of the setback to consist exclusively of vegetative landscaping. The building shall have a 15 foot Upper Level Setback at a Tapering Height of 35 feet from the property line(s) abutting the residential district. The building shall be designed so that its massing is concentrated along the commercial corridor and away from properties in residential zoning districts to the extent possible.

ZONING ORDINANCES CITY OF SOMERVILLE MA  
ARTICLE 2  
2.2.93. Lot Line, Front. The property line dividing a lot from a street right-of-way. In the case of a corner lot the owner shall have the option of choosing which of the two (2) corner lot lines is to be considered the front lot line.



PLAN INDEX	
SHEET DESIGNATION	DRAWING
COVER SHEET	C-1
EXISTING CONDITION PLAN	C-2
DEMOLITION & EROSION CONTROL PLAN	C-3
CONSTRUCTION / LAYOUT PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
LIGHTING PLAN	C-7
LANDSCAPE PLAN	C-8
EROSION CONTROL PLAN	C-9
DETAIL SHEET	C-10

ZONING TABLE		
NOTE: ZONING AS DETERMINED BY CURTIS DIBENEDETTO & ASSOCIATES, INC. SEE ARCHITECTURAL SET FOR ADDITIONAL ZONING CALCULATIONS.		
ZONE: CCD55		
	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	11,844 S.F.(1)	14,356 S.F.
MINIMUM LOT FRONTAGE	30 ft.	44.85 FT. BROADWAY
MINIMUM FRONT SETBACK	N/A	1.0 FT.
MINIMUM SIDE SETBACK	N/A (2)	1.0 FT.
MINIMUM REAR SETBACK	N/A (2)	20ft. @ RB DISTRICT
MAXIMUM GROUND COVERAGE (%)	80%	63%
MAXIMUM BUILDING HEIGHT STORIES	5	4
MAXIMUM BUILDING HEIGHT FEET	55 FT.	43 FT.
LOT AREA PER DWELLING UNIT	495 S.F.(1)	495 S.F.
GROSS FLOOR AREA	-	28,555 S.F.
LANDSCAPED AREA	10%	20%
PROPOSED PERVIOUS AREA	-	11,313 S.F.
EXISTING IMPERVIOUS AREA	-	14,080 S.F.
NET FLOOR AREA		30,188 S.F.
FLOOR AREA RATIO (FAR)	3	2.1

(1) SEE TABLE 13.3.4.B: UNIT BONUS (SEE BELOW)  
(2) SEE ARCHITECTURAL PLAN SET, COVER SHEET ZONING EVALUATION NOTE #22.

TABLE 13.3.4.B: UNIT BONUSES	
SHEET DESIGNATION	DRAWING
TOTAL NUMBER OF UNITS PERMITTED BY THE LOT AREA PER DWELLING UNIT AS ESTABLISHED ELSEWHERE IN THE SZO	REDUCTION IN LOT AREA PER DWELLING UNIT %
UP TO 17 UNITS	NO BONUS
18 OR MORE UNITS	17.5%
LOT REDUCTION OF 17.5%: 14,356 S.F. - (14,356 x 17.5) = 11,844 S.F. MIN. REQUIRED EXISTING LOT AREA = 14,356 S.F. (PROVIDED) > 11,844 S.F. (REQUIRED)	
EXISTING BUILDING	
AREA OF BUILDING	9,405 S.F.
NUMBER OF STORIES	4
PRINCIPAL USE	FOOD SERVICE
SETBACK FROM PROPERTY LINES	FRONT = 0.0' SIDE = 0.0' REAR = 0.0'
FINISHED FLOOR ELEVATIONS	105.35 105.18 (ASSUMED BENCH)

- PROJECT NOTES:
- EXISTING TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC CONDUCTED IN 2016.
  - THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC, FROM VARIOUS PLANS ON FILE WITH THE CITY OF SOMERVILLE AND OTHER PLANS OF RECORD. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE.
  - ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
  - IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
  - CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811) FOR NEW TICKET, TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
  - THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 24B CMR 10.00: UNIFORM STATE PLUMBING CODE.
  - THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
  - PROP. DRAIN PIPES TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
  - THE APPLICANT SHALL COORDINATE WITH THE SOMERVILLE WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
  - VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED IS SITE WORK.
  - THE FOUNDATION PERIMETER DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).
  - ELEVATIONS ARE ON AN ASSUMED DATUM

PARKING CALCULATIONS		
SECTION 9.17 PARKING SPACE & LOADING REQUIREMENTS IN CCD		
CATEGORY	REQUIRED SPACES	PROVIDED SPACES
RESIDENTIAL	1 PER UNIT 1 x 24 UNITS = 24	20 SEE ORDINANCE 2016-06 2.g.
	SMALL RETAIL AND SERVICE 1 PER 1500 N.S.F 3,000/1,500 = 2	-
TOTAL	26	20 (1 VAN )
LOADING	RESIDENTIAL: N/A RETAIL: 0-5,000 s.f. = 0 0	1
	RESIDENTIAL 0.5 / UNIT = 12 RETAIL 1/6,000 n.f.s. = 0.5 REQUIRED = 13	13 (4 UPPER 9 IN LOWER LEVEL)
BICYCLING		

PARKING DIMENSIONS & REQUIREMENTS DETERMINED BY CURTIS DIBENEDETTO & ASSOCIATES, INC.

PROPOSED BUILDING 118 BROADWAY	
USE	
COMMERCIAL	2 UNITS AT 1,500 S.F. TOTAL AREA = 3,000 S.F.
RESIDENTIAL	10 - 1 BEDROOM UNITS 6 - 1 BEDROOM UNITS 8 - 2 BEDROOM UNITS 24 UNITS TOTAL AREA =
BUILDING	TOTAL AREA = 30,188 S.F.

SEE ARCHITECTURAL PLANS BY CURTIS DIBENEDETTO & ASSOCIATES, INC. FOR UNIT INFORMATION

OWNERS:  
GOODFOOD RESTAURANT GROUP LLC  
& SPRING HILL REAL-ESTATE LLC  
6 AZALEA ROAD  
WINCHESTER, MA 01890

LOCUS:  
118 BROADWAY  
8 GLEN STREET

ASSESSORS  
118 BROADWAY:  
ASSESSORS MAP 91 BLOCK A LOT 1  
  
8 GLEN STREET:  
ASSESSORS MAP 91 BLOCK A LOT 47

PLAN REFERENCE:  
PLAN NUMBER 362 of 1980  
PLAN NUMBER 694 of 1958

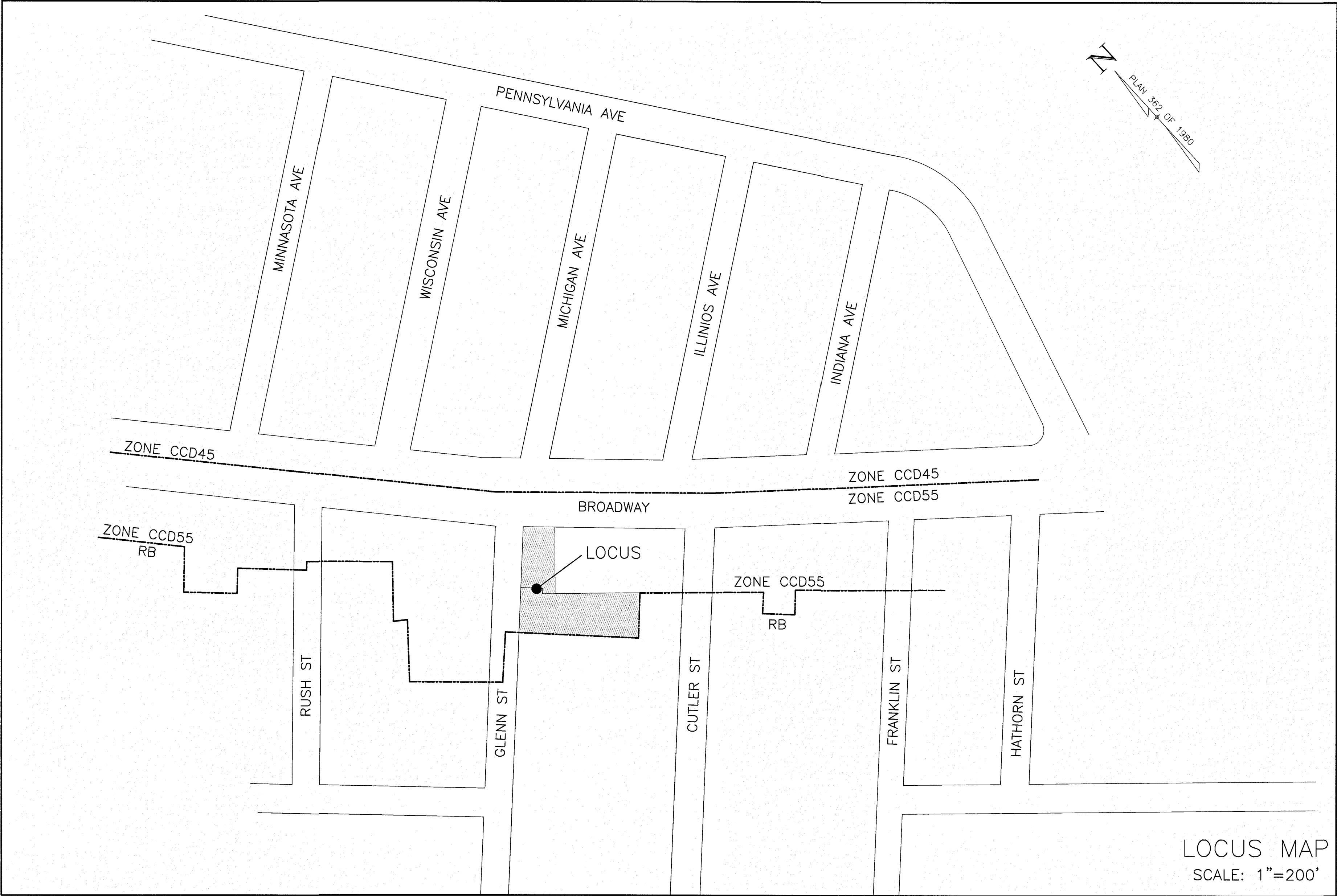
APPLICANT:  
MICHAEL BANDAR  
27 FRANCESCA AVE.  
SOMERVILLE, MA

ENGINEER:  
WILLIAMS & SPARAGES  
189 N MAIN STREET  
MIDDLETON, MA 01949

ARCHITECT:  
CURTIS DIBENEDETTO  
& ASSOCIATES, INC.  
23 SHORE ROAD  
WINCHESTER, MA 01890

CITY OF SOMERVILLE

# 118 BROADWAY NEW CONSTRUCTION OF MIXED USE COMMERCIAL & RESIDENTIAL 118 BROADWAY & 8 GLEN STREET SOMERVILLE, MA



LOCUS MAP  
SCALE: 1"=200'

## COVER SHEET #118 BROADWAY, SOMERVILLE, MA

DRAWING: C-1

SHEET 1 OF 10

0' 100' 200' 400'  
SCALE: 1"=200'

NOVEMBER 1, 2016

NO.	DATE	REVISED UTILITY WORK
4		
3		
2		
1	12/13/2016	

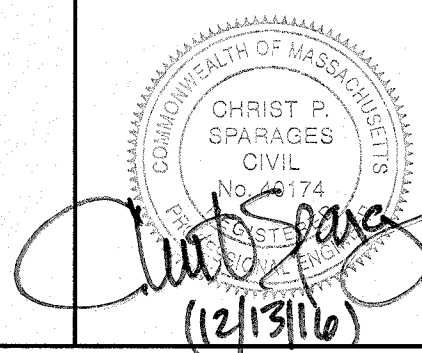
Owner:  
Goodfood Restaurant Group LLC  
& Spring Hill Real-Estate LLC  
6 Azalea Road  
Winchester, MA 01890

Applicant:  
Michael Bandar  
27 Francesca Avenue  
Somerville, MA 02144

Designed By: CPS  
Drawn By: JST  
Reviewed By: CPS  
Project Manager: CPS  
Job File Number: SOME-0021  
Drawing File Folder: SOME-0021  
Drawing Issued for Review Only  
☐ Drawing Issued for Permit  
☒ Drawing Issued for Construction

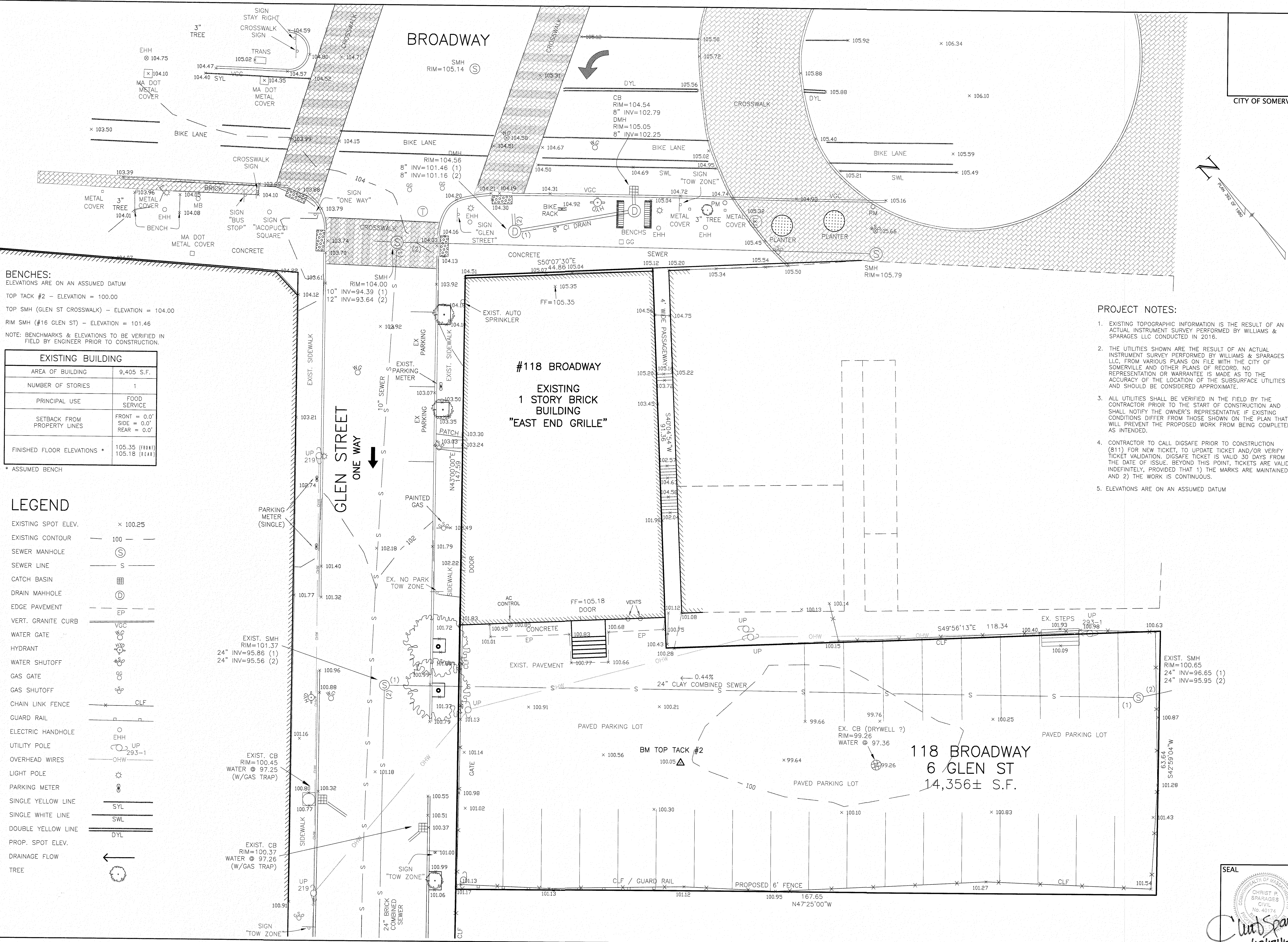
**WILLIAMS & SPARAGES**  
ENGINEERS, PLANNERS, ARCHITECTS  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WSENGINEERS.COM

SEAL





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**BENCHES:**  
ELEVATIONS ARE ON AN ASSUMED DATUM  
TOP TACK #2 - ELEVATION = 100.00  
TOP SMH (GLEN ST CROSSWALK) - ELEVATION = 104.00  
RIM SMH (#16 GLEN ST) - ELEVATION = 101.46  
NOTE: BENCHMARKS & ELEVATIONS TO BE VERIFIED IN FIELD BY ENGINEER PRIOR TO CONSTRUCTION.

EXISTING BUILDING	
AREA OF BUILDING	9,405 S.F.
NUMBER OF STORIES	1
PRINCIPAL USE	FOOD SERVICE
SETBACK FROM PROPERTY LINES	FRONT = 0.0' SIDE = 0.0' REAR = 0.0'
FINISHED FLOOR ELEVATIONS *	105.35 (FRONT) 105.18 (REAR)

\* ASSUMED BENCH

LEGEND	
EXISTING SPOT ELEV.	x 100.25
EXISTING CONTOUR	100
SEWER MANHOLE	⊙
SEWER LINE	— S —
CATCH BASIN	⊕
DRAIN MANHOLE	⊙
EDGE PAVEMENT	— EP —
VERT. GRANITE CURB	— VGC —
WATER GATE	⊕
HYDRANT	⊕
WATER SHUTOFF	⊕
GAS GATE	⊕
GAS SHUTOFF	⊕
CHAIN LINK FENCE	— CLF —
GUARD RAIL	— GR —
ELECTRIC HANDHOLE	⊕
UTILITY POLE	⊕
OVERHEAD WIRES	— OHW —
LIGHT POLE	⊕
PARKING METER	⊕
SINGLE YELLOW LINE	— SYL —
SINGLE WHITE LINE	— SWL —
DOUBLE YELLOW LINE	— DYL —
PROP. SPOT ELEV.	x
DRAINAGE FLOW	→
TREE	⊕

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& Spring Hill Real-Estate LLC  
6 Azalea Road  
Winchester, MA 01890

APPLICANT:  
Michael Bandar  
27 Francesca Avenue  
Somerville, MA 02144

DESIGNED BY: CPS  
DRAWN BY: JST  
REVIEWED BY: CPS  
PROJECT MANAGER: CPS

JOB FILE NUMBER: SOME-0021  
DRAWING FILE FOLDER: SOME-0021

☐ Drawing Issued for Review Only  
☒ Drawing Issued for Permit  
☐ Drawing Issued for Construction

WILLIAMS & SPARGES  
ENGINEERS, PLANNERS, SURVEYORS  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 559-8200  
FAX: (978) 559-8200  
WEENGINEERS.COM

SEAL  
CHRIST P. SPARGES  
CIVIL  
No. 40174  
EXPIRATION DATE 12/31/2021

EXISTING CONDITIONS PLAN  
#118 BROADWAY, SOMERVILLE, MA

DRAWING: C-2  
SHEET 2 OF 10  
NOVEMBER 1, 2016

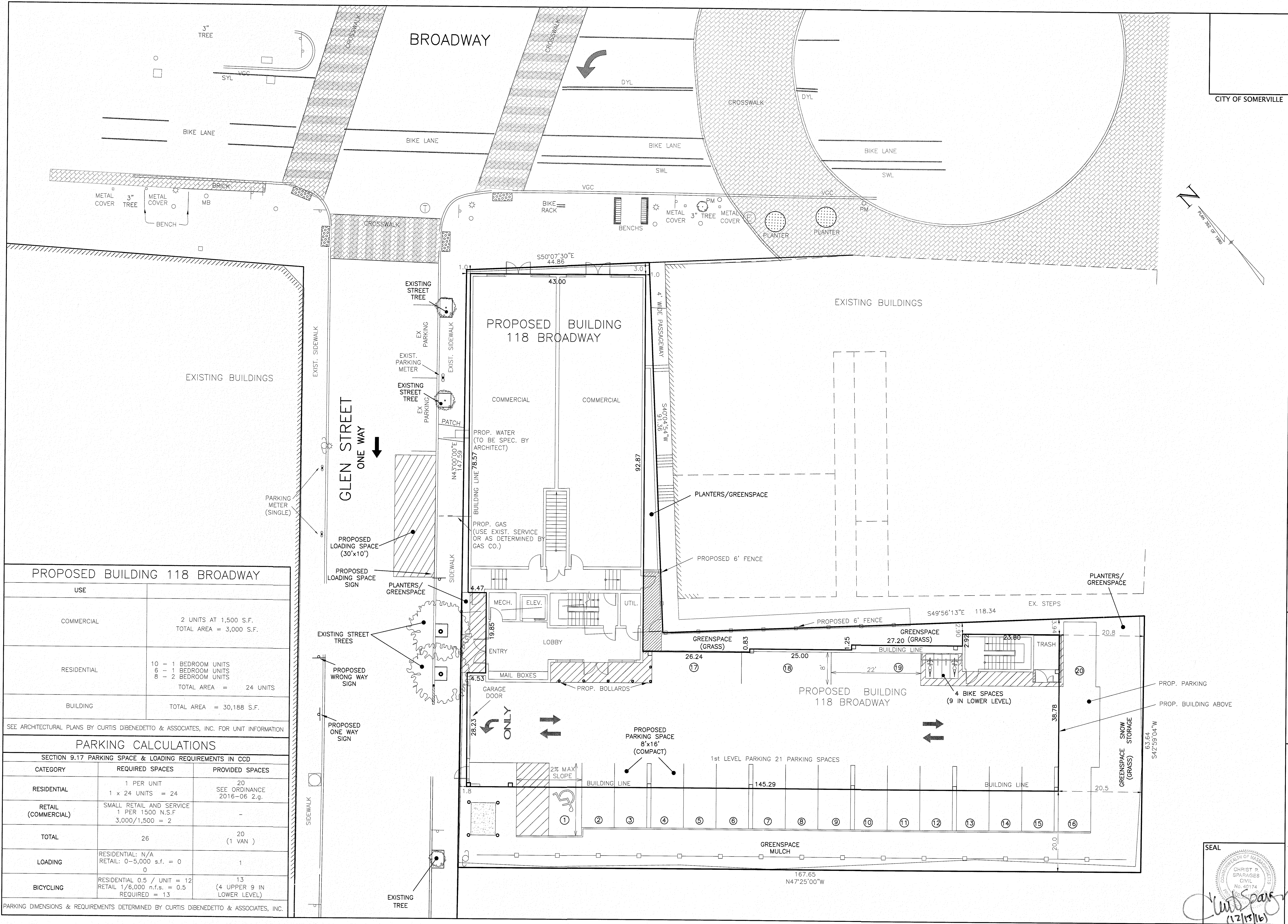
Christ Sparg  
(12/13/16)





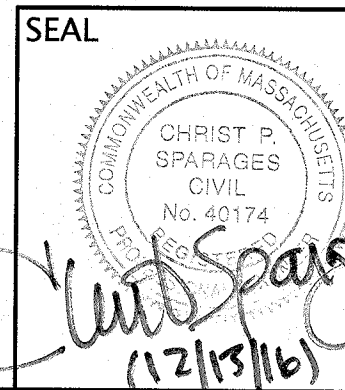


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PROPOSED BUILDING 118 BROADWAY		
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SEAL



CONSTRUCTION / LAYOUT PLAN  
#118 BROADWAY, SOMERVILLE, MA

NOVEMBER 1, 2016

NO.

1

2

3

4

REVISED UTILITY WORK

12/13/2016

DATE

NOVEMBER 1, 2016

DRAWING: C-4

SHEET 4 OF 10

Owner:  
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Winchester, MA 01890

Applicant:  
Michael Bandar  
27 Francesca Avenue  
Somerville, MA 02144

Designed By: CPS  
Drawn By: JST  
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Project Manager: CPS

Job File Number: SOME-0021

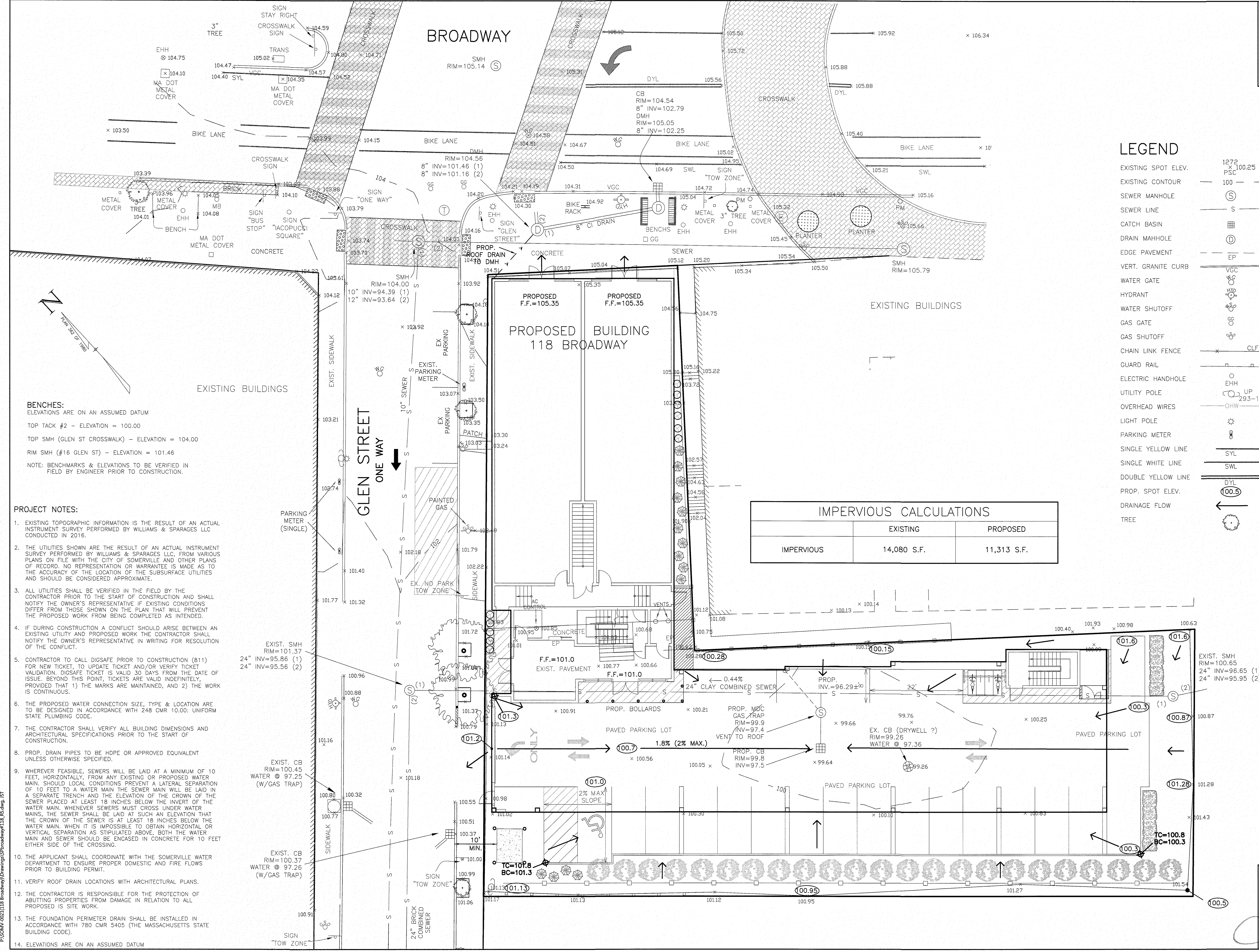
Drawing File Folder: SOME-0021

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WILLIAMS & SPARAGES  
ENGINEERS / PLANNERS / SURVEYORS  
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PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WSENGINEERS.COM



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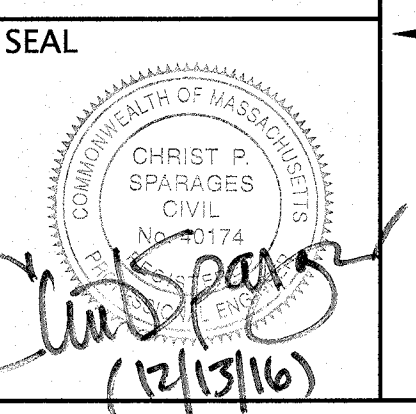
**BENCHES:**  
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TOP TACK #2 - ELEVATION = 100.00  
TOP SMH (GLEN ST CROSSWALK) - ELEVATION = 104.00  
RIM SMH (#16 GLEN ST) - ELEVATION = 101.46  
NOTE: BENCHMARKS & ELEVATIONS TO BE VERIFIED IN FIELD BY ENGINEER PRIOR TO CONSTRUCTION.

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  - CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811) FOR NEW TICKET, TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
  - THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
  - THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
  - PROP. DRAIN PIPES TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
  - WHEREVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
  - THE APPLICANT SHALL COORDINATE WITH THE SOMERVILLE WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
  - VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJUTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED IS SITE WORK.
  - THE FOUNDATION PERIMETER DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).
  - ELEVATIONS ARE ON AN ASSUMED DATUM

IMPERVIOUS CALCULATIONS		
	EXISTING	PROPOSED
IMPERVIOUS	14,080 S.F.	11,313 S.F.

**LEGEND**

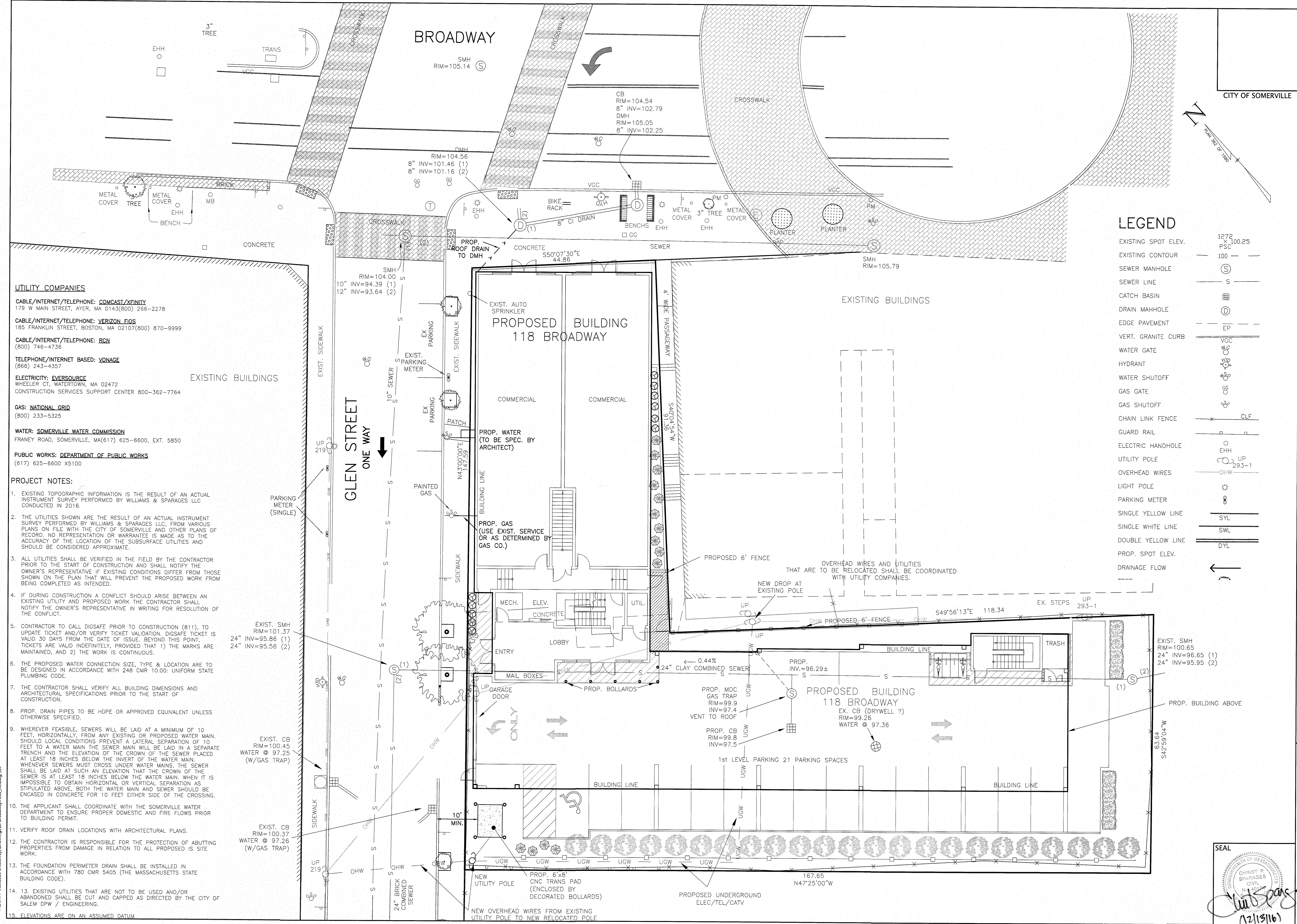
EXISTING SPOT ELEV.	1272 PSC 100.25
EXISTING CONTOUR	100
SEWER MANHOLE	S
SEWER LINE	S
CATCH BASIN	CB
DRAIN MAHOLE	DMH
EDGE PAVEMENT	EP
VERT. GRANITE CURB	VGC
WATER GATE	WG
HYDRANT	H
WATER SHUTOFF	WS
GAS GATE	GG
GAS SHUTOFF	GS
CHAIN LINK FENCE	CLF
GUARD RAIL	GR
ELECTRIC HANDHOLE	EH
UTILITY POLE	UP 293-1
OVERHEAD WIRES	OW
LIGHT POLE	LP
PARKING METER	PM
SINGLE YELLOW LINE	SYL
SINGLE WHITE LINE	SWL
DOUBLE YELLOW LINE	DYL
PROP. SPOT ELEV.	100.5
DRAINAGE FLOW	→
TREE	T



<b>GRADING &amp; DRAINAGE PLAN</b> <b>#118 BROADWAY, SOMERVILLE, MA</b>		<b>DRAWING: C-5</b>	
Owner: Goodfood Restaurant Group LLC & Spring Hill Real-Estate LLC 6 Azalea Road Winchester, MA 01890		Applicant: Michael Bandar 27 Francesca Avenue Somerville, MA 02144	
Designed By: CPS Drawn By: JST Reviewed By: CPS Project Manager: CPS		Job File Number: SOME-0021 Drawing File Folder: SOME-0021	
Drawing Issued for Review Only Drawing Issued for Permit Drawing Issued for Construction		WILLIAMS & SPARAGES ENGINEERS, PLANNERS & SURVEYORS 189 NORTH MAIN STREET MIDDLETON, MA 01949 PHONE: (978) 539-8088 FAX: (978) 539-8200 WSENGINEERS.COM	
NOVEMBER 1, 2016		SHEET 5 OF 10	



P:\SOMW-0021\118 Broadway\Drawings\SProadway#118\_15.dwg\_JST



**UTILITY COMPANIES**

**CABLE/INTERNET/TELEPHONE:** COMCAST/XFINITY  
179 W MAIN STREET, AYER, MA 0143(800) 266-2278

**CABLE/INTERNET/TELEPHONE:** VERIZON FIOS  
185 FRANKLIN STREET, BOSTON, MA 02107(800) 870-9999

**CABLE/INTERNET/TELEPHONE:** RCN  
(800) 746-4736

**TELEPHONE/INTERNET BASED:** VONAGE  
(866) 243-4357

**ELECTRICITY:** EVERSOURCE  
WHEELER CT, WATERTOWN, MA 02472  
CONSTRUCTION SERVICES SUPPORT CENTER 800-362-7764

**GAS:** NATIONAL GRID  
(800) 233-5325

**WATER:** SOMERVILLE WATER COMMISSION  
FRANEY ROAD, SOMERVILLE, MA(617) 625-6600, EXT. 5850

**PUBLIC WORKS:** DEPARTMENT OF PUBLIC WORKS  
(617) 625-6600 X5100

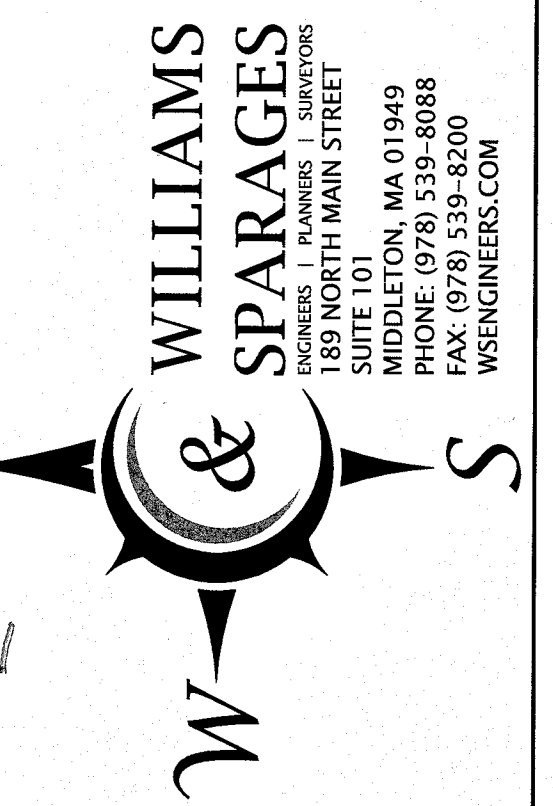
- PROJECT NOTES:**
- EXISTING TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES LLC CONDUCTED IN 2016.
  - THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES LLC, FROM VARIOUS PLANS ON FILE WITH THE CITY OF SOMERVILLE AND OTHER PLANS OF RECORD. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE.
  - ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
  - IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
  - CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
  - THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
  - THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
  - PROP. DRAIN PIPES TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
  - WHEREVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
  - THE APPLICANT SHALL COORDINATE WITH THE SOMERVILLE WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
  - VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJUTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED SITE WORK.
  - THE FOUNDATION PERIMETER DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).
  - EXISTING UTILITIES THAT ARE NOT TO BE USED AND/OR ABANDONED SHALL BE CUT AND CAPPED AS DIRECTED BY THE CITY OF SALEM DPW / ENGINEERING.
  - ELEVATIONS ARE ON AN ASSUMED DATUM

## LEGEND

EXISTING SPOT ELEV.	1272 PSC
EXISTING CONTOUR	100
SEWER MANHOLE	S
SEWER LINE	S
CATCH BASIN	CB
DRAIN MAHOLE	D
EDGE PAVEMENT	EP
VERT. GRANITE CURB	VGC
WATER GATE	WG
HYDRANT	H
WATER SHUTOFF	WS
GAS GATE	GG
GAS SHUTOFF	GS
CHAIN LINK FENCE	CLF
GUARD RAIL	GR
ELECTRIC HANDHOLE	EHH
UTILITY POLE	UP
OVERHEAD WIRES	OHW
LIGHT POLE	LP
PARKING METER	PM
SINGLE YELLOW LINE	SYL
SINGLE WHITE LINE	SWL
DOUBLE YELLOW LINE	DYL
PROP. SPOT ELEV.	SP
DRAINAGE FLOW	DF

SEAL

CHRIST P. SPARGES  
CIVIL ENGINEER  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WSENGINEERS.COM



**Owner:**  
Goodfood Restaurant Group LLC  
& Spring Hill Real-Estate LLC  
6 Azalea Road  
Winchester, MA 01890

**Applicant:**  
Michael Bandar  
27 Francisca Avenue  
Somerville, MA 02144

**Designed By:** CPS  
**Drawn By:** JST  
**Reviewed By:** CPS  
**Project Manager:** CPS

**Job File Number:** SOME-0021

**Drawing File Folder:** SOME-0021

☐ Drawing Issued for Review Only  
☒ Drawing Issued for Permit  
☐ Drawing Issued for Construction

## UTILITY PLAN #118 BROADWAY, SOMERVILLE, MA

DRAWING: C-6



SHEET 6 OF 10

NOVEMBER 1, 2016

DATE



P:\SOMV-002\118 Broadway\Drawings\SProadway118\_05.dwg JST

LUMINAIRE SCHEDULE					
SYMBOL	LABEL	QUANTITY	HUBBELL OUTDOOR LIGHTING	DESCRIPTION	LAMP TYPE
	A	6	EXAMPLE LIGHT LNC2 SERIES (EXACT FINISH,ELECTRICAL,PEDESTAL & POLE TO BE SPECIFIED BY OTHERS)	DESIGNED FOR PERIMETER ILLUMINATION FOR SAFETY, SECURITY AND IDENTITY. THIS COMPACT FIXTURE HAS NO UPLIGHT AND IS NEIGHBOR FRIENDLY WITH TYPICAL MOUNTING HEIGHTS UP TO 15FT	TO BE DETERMINED BY OTHERS
	B	3	VAPORTITE VBGG/VWGG INCANDESCENT	WALL MOUNTED OR BOX/PENDENT, CORRIDOR, TUNNEL, SERVICE AREA, STAIRWELL, OR RETRO-ACCENT	TO BE DETERMINED BY OTHERS

NOTE:

LIGHTING SHOWN IS FOR SUGGESTED PURPOSES ONLY. EXACT LIGHTING TO BE DETERMINED AT A LATER TIME AND SHALL CONFORM TO SOMERVILLE ZONING ORDINANCE.

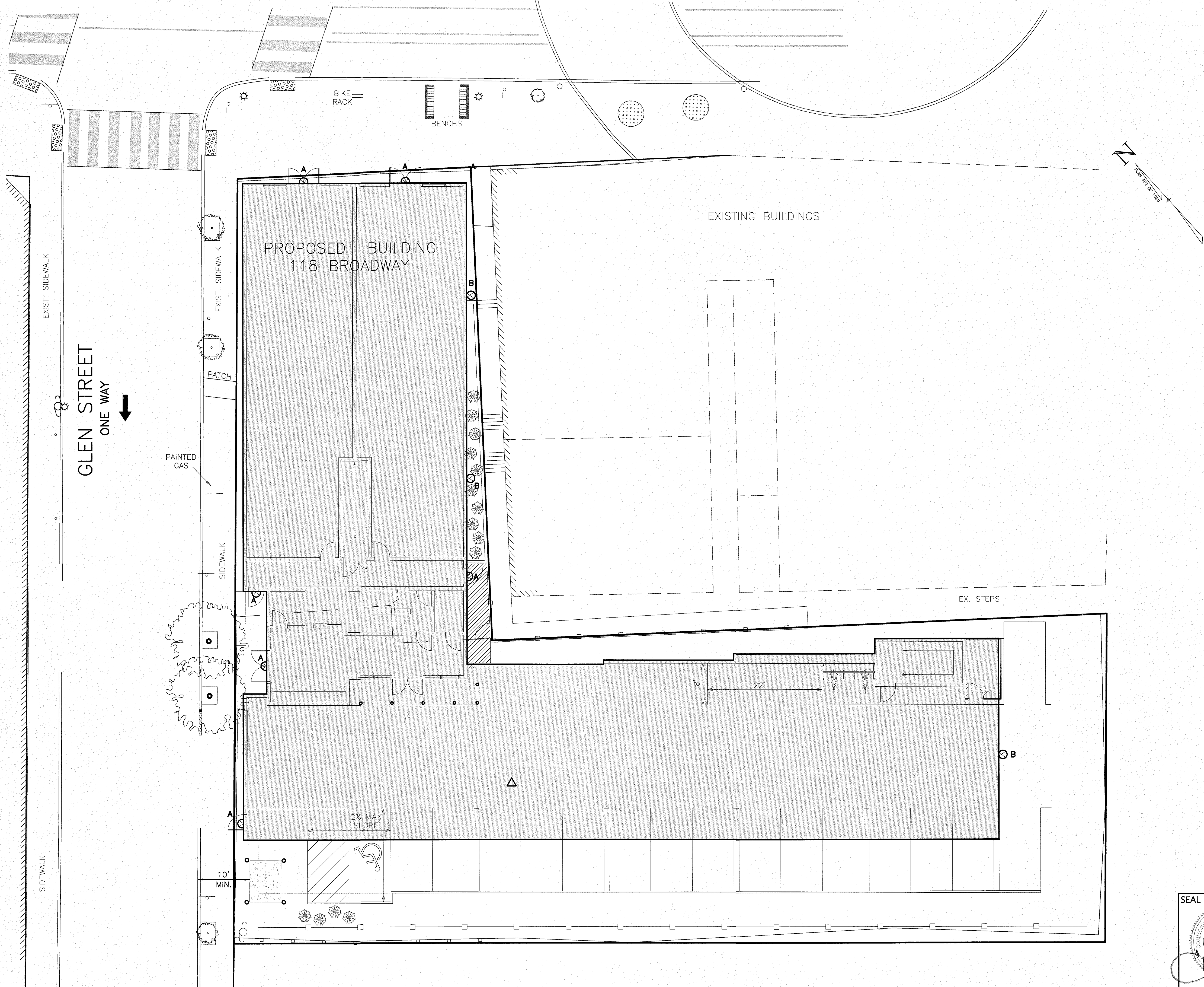
SECTION 9.9. - LIGHTING REQUIREMENTS

(§ 9.9.C AMENDED BY ORDINANCE 1991-10 ON AUGUST 22, 1991.)

LIGHTING OF PARKING AREAS. ALL ARTIFICIAL LIGHTING USED TO SPECIFICALLY ILLUMINATE ANY PARKING SPACE, LOADING BAY, MANEUVERING SPACE OR DRIVEWAY SHALL BE SO ARRANGED THAT ALL DIRECT RAYS FROM SUCH LIGHTING FALL ENTIRELY WITHIN THE PARKING OR LOADING AREA AND SHALL BE SHIELDED SO AS NOT TO SHINE UPON ABUTTING PROPERTIES OR STREETS. THE LEVEL OF ILLUMINATION OF LIGHTING FOR PARKING AND LOADING AREAS SHALL BE LOW SO AS TO REDUCE THE FLOW OF AMBIENT LIGHTING PERCEPTIBLE AT NEARBY PROPERTIES OR STREETS, UNLESS ABUTTING NEIGHBORS REQUEST OTHERWISE.

NOTES:

1. SECURITY LIGHTING TO BE DETERMINED.
2. ILLUMINANCE VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
3. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.



CITY OF SOMERVILLE

LIGHTING PLAN  
#118 BROADWAY, SOMERVILLE, MA

DRAWING: C-7

SHEET 7 OF 10

0' 5' 10' 20'  
SCALE: 1"=10'

OCTOBER 14, 2016

NO.	DATE
4	
3	
2	
1	12/13/2016
	REVISED UTILITY WORK

Owner:  
Goodfood Restaurant Group LLC  
& Spring Hill Real-Estate LLC  
6 Azalea Road  
Winchester, MA 01890

Applicant:  
Michael Bander  
27 Francesca Avenue  
Somerville, MA 02144

Designed By: CPS  
Drawn By: JST  
Reviewed By: CPS  
Project Manager: CPS  
Job File Number: SOME-0021  
Drawing File Folder: SOME-0021  
Drawing Issued for Review Only  
☒ Drawing Issued for Permit  
☐ Drawing Issued for Construction

**WILLIAMS & SPARAGES**  
ENGINEERS, PLANNERS & ARCHITECTS  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE (978) 599-8088  
FAX (978) 557-8200  
WSENGINEERS.COM

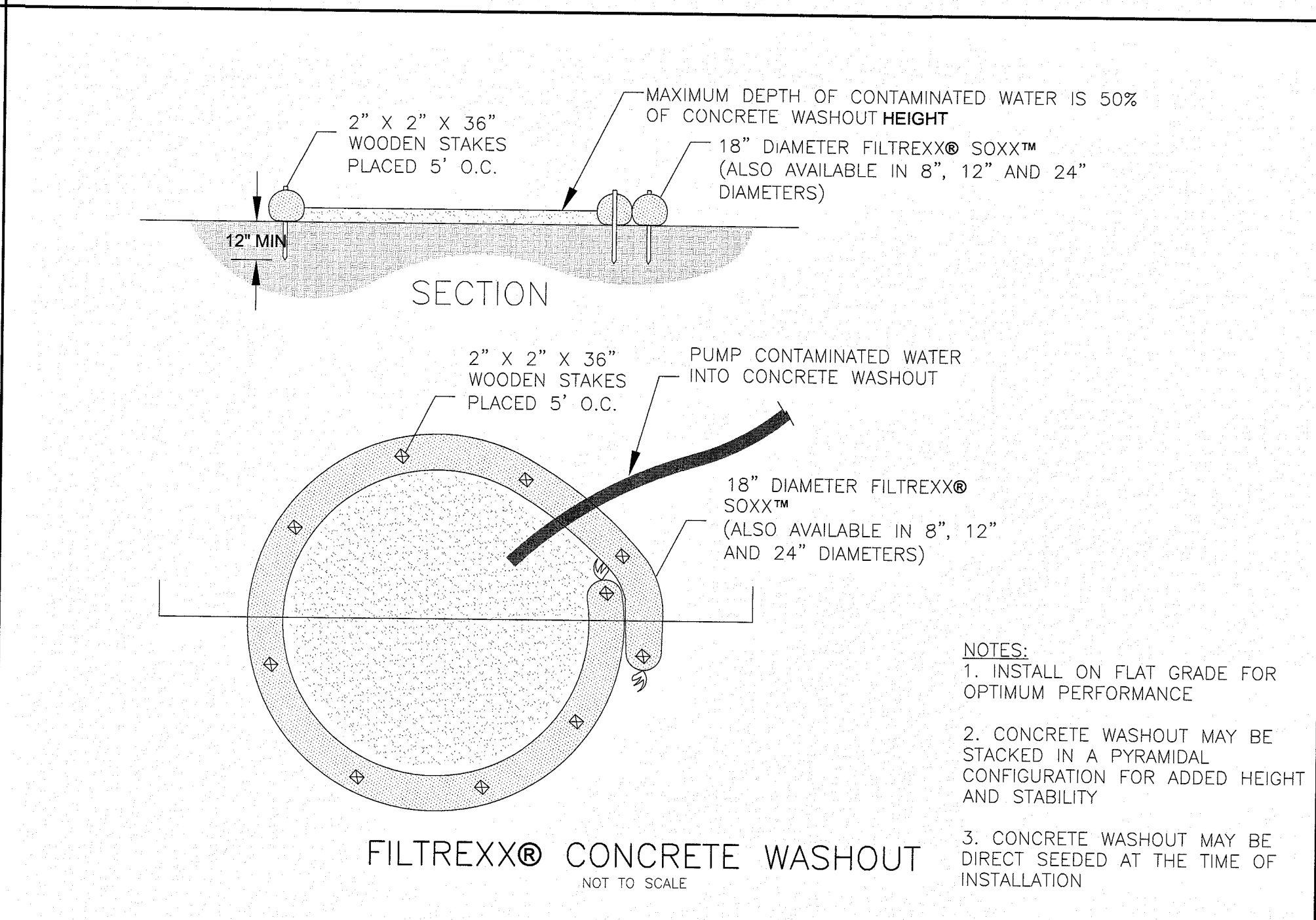
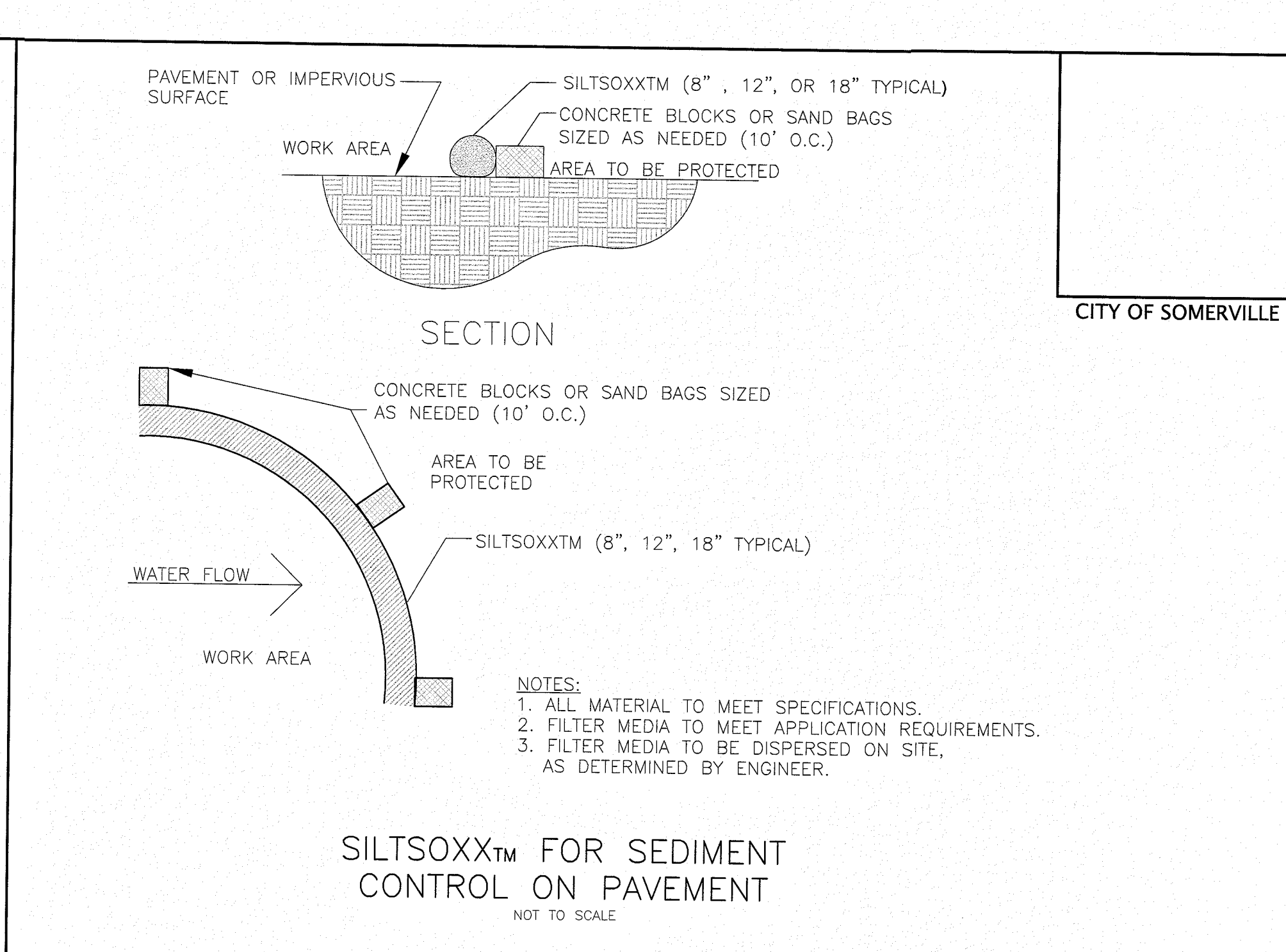
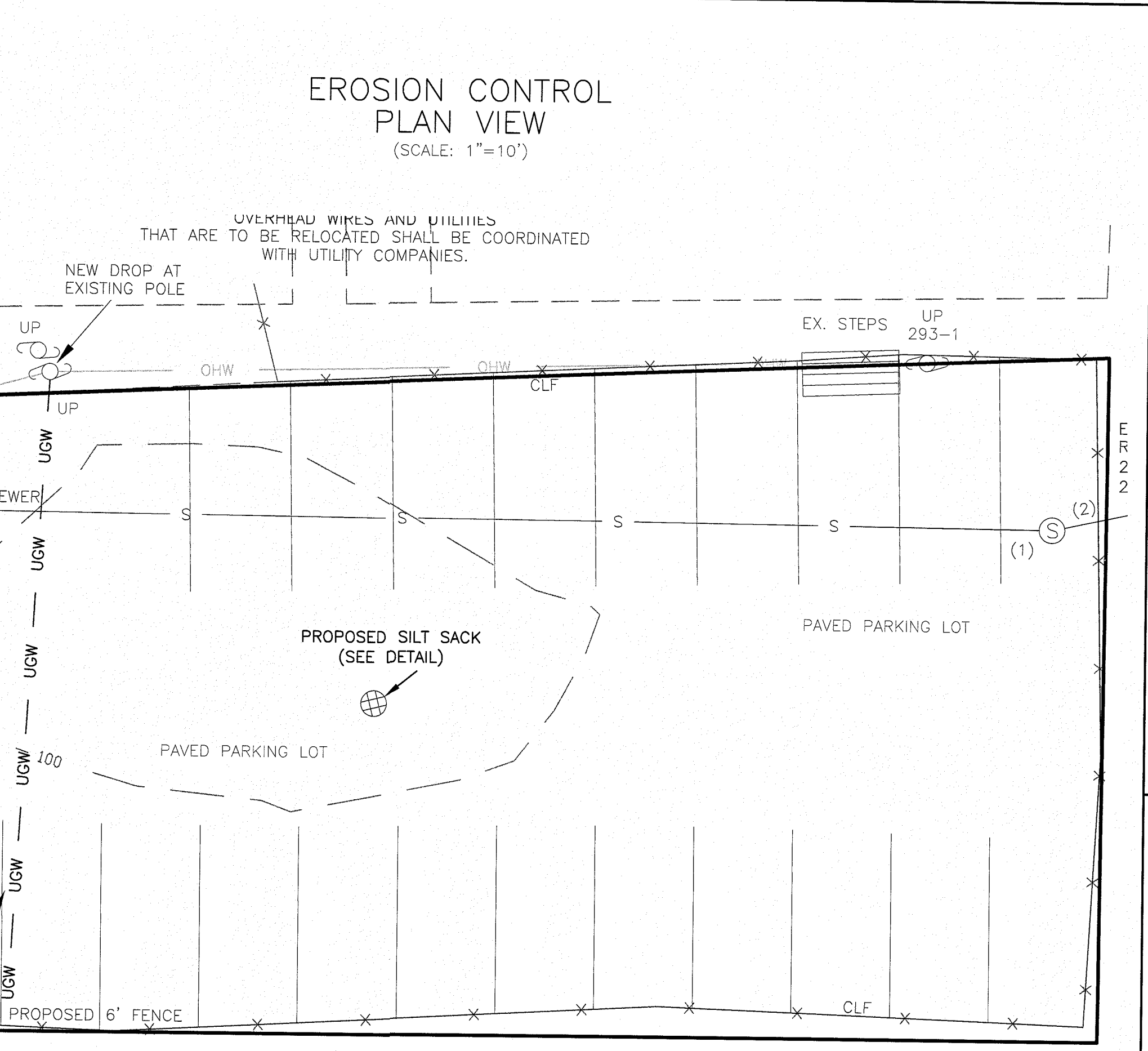
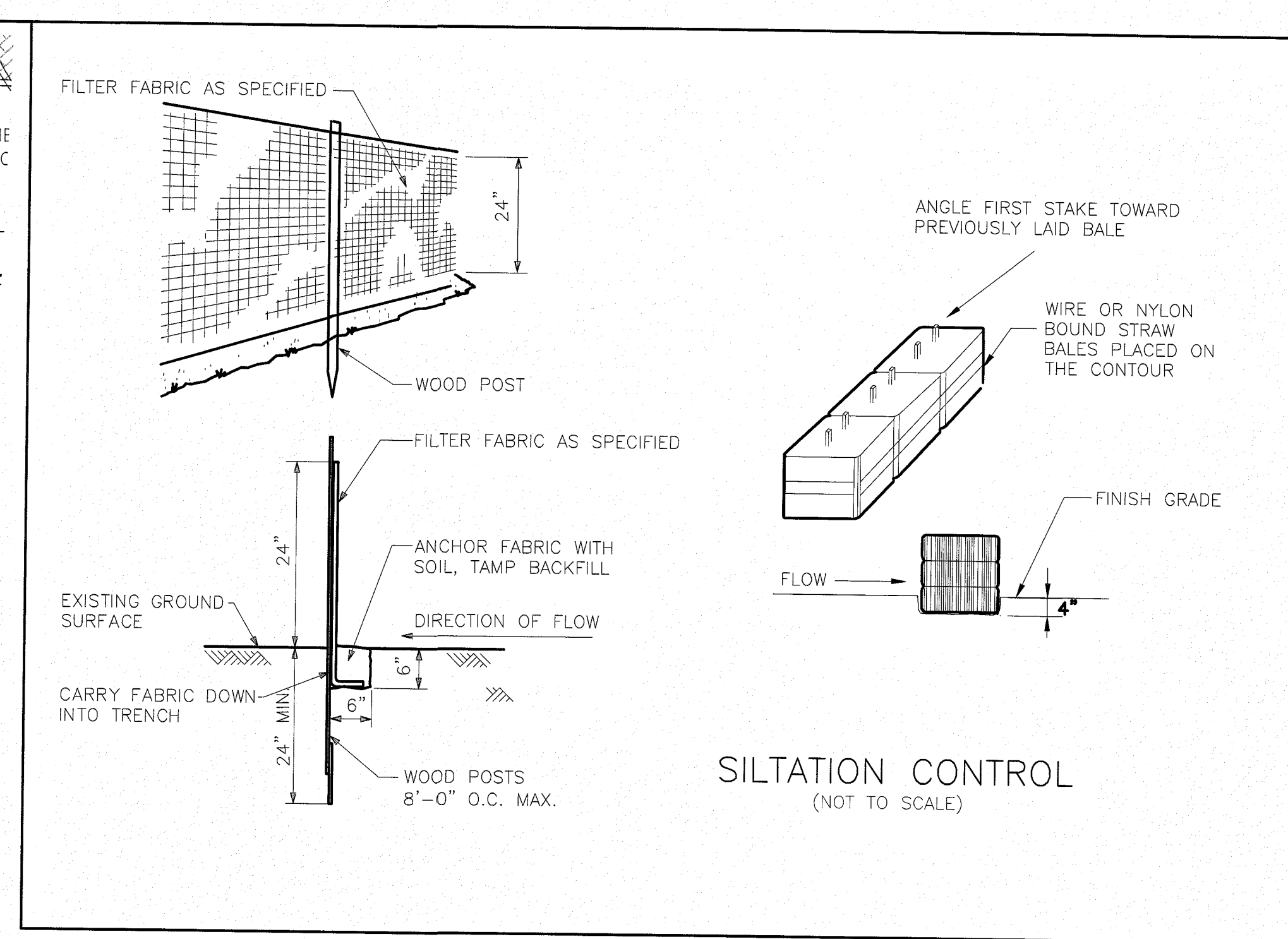
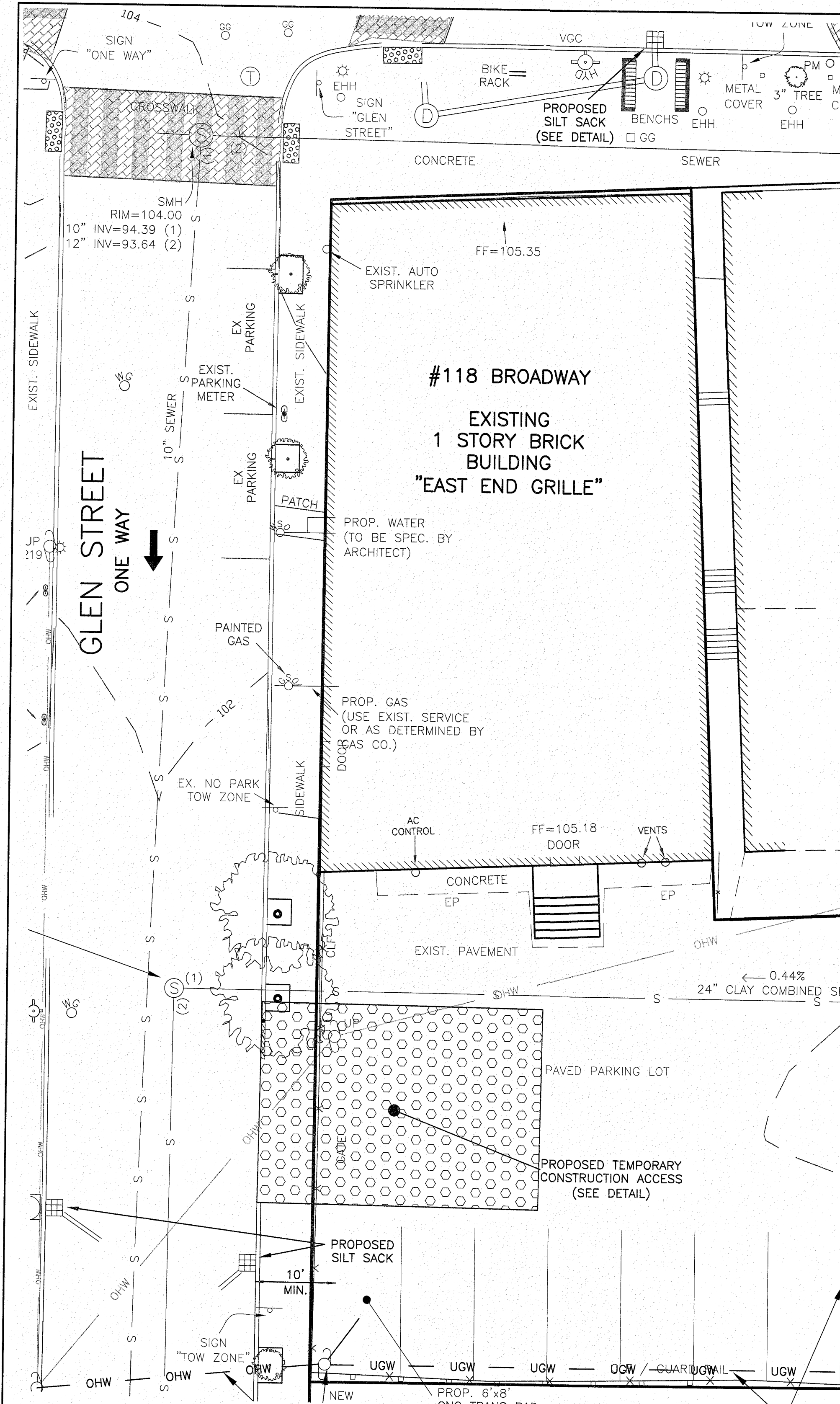
SEAL

CHRIST P. SPARAGES  
CIVIL  
No. 4574  
(12/13/16)

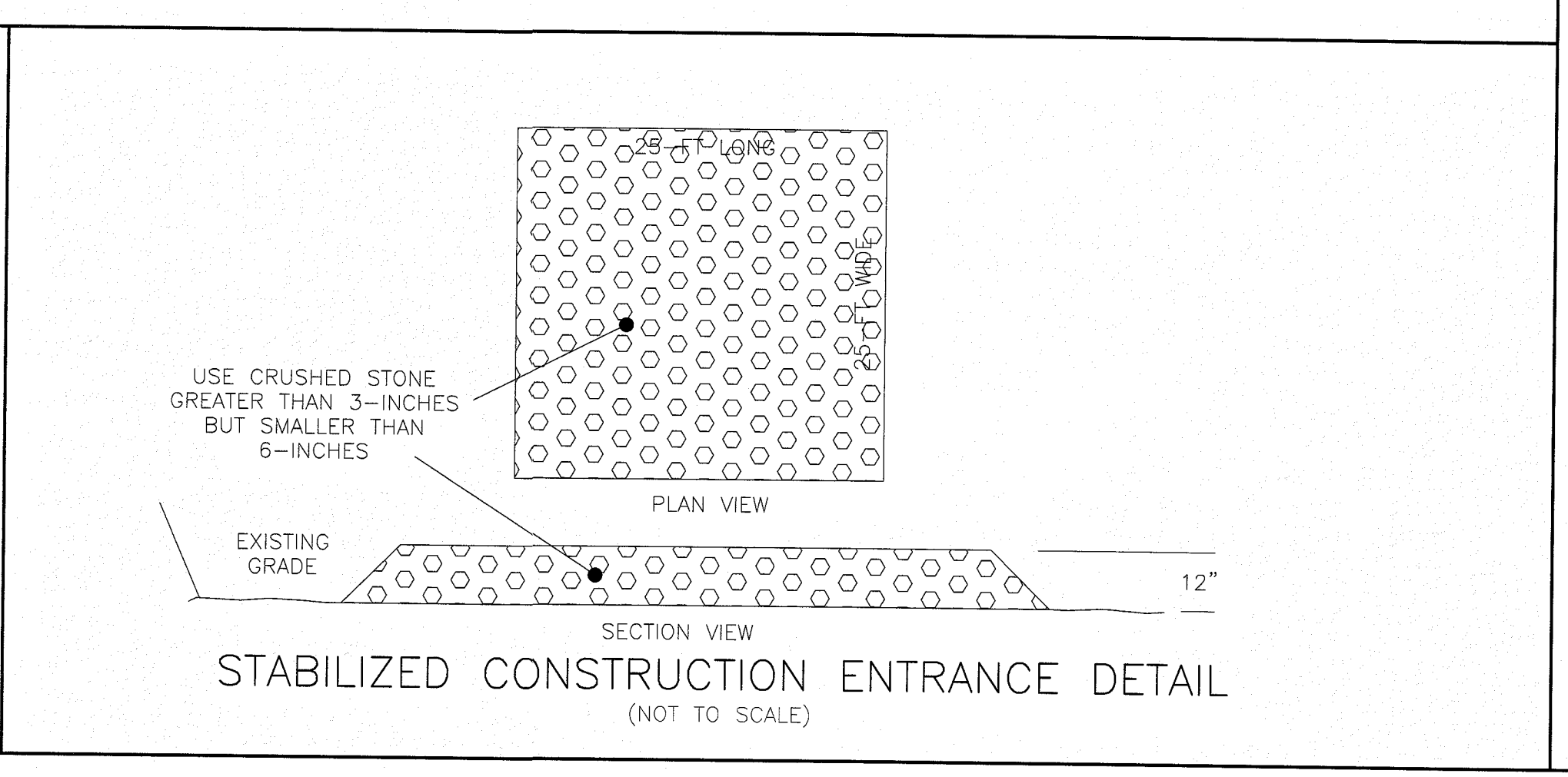
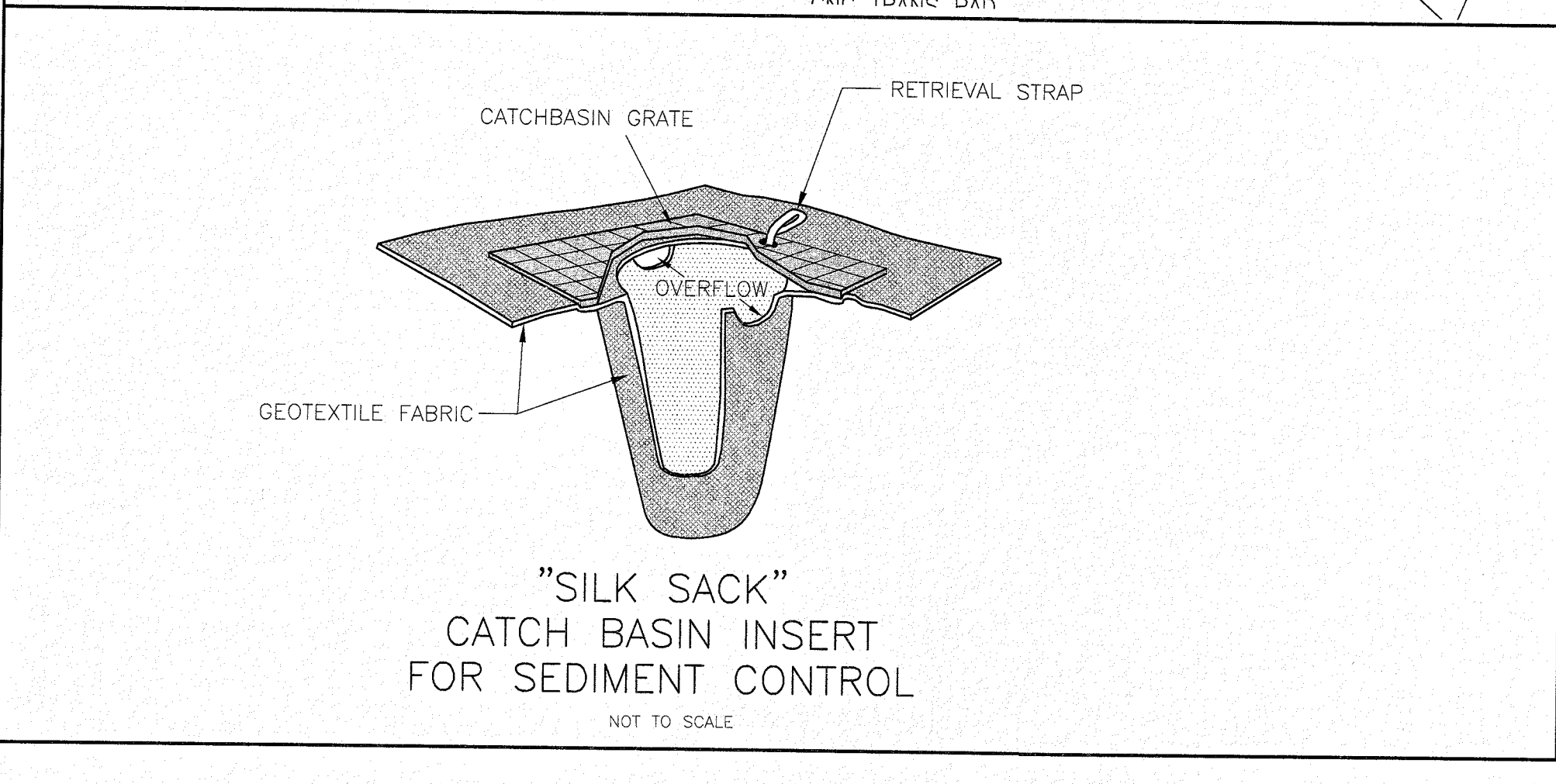








- EROSION CONTROL NOTES**
1. ALL EROSION MITIGATION MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.
  2. STRAW WATTLES SHALL BE INSTALLED AT THE LIMIT OF PROPOSED GRADING IN ACCORDANCE WITH THESE PLANS AND WILL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. AN ADDITIONAL SUPPLY OF STRAW WATTLES SHALL BE ON SITE TO REPLACE AND REPAIR IF NECESSARY. PRIOR TO THE COMMENCEMENT OF WORK, THE SEDIMENT TRAPS AND STRAW WATTLES SHALL BE INSTALLED AND INSPECTED BY THE ENGINEER. THE CONTRACTOR SHALL VERIFY THAT ALL EROSION CONTROL AND STABILIZATION MEASURES ARE STILL IN PLACE AND INTACT. ANY BREAKS IN STRAW WATTLES AND SEDIMENT TRAPS WILL BE CORRECTED IMMEDIATELY.
  3. ALL STOCKPILING OF MATERIALS OR ANY OTHER EXPOSED MATERIALS, OPEN TO THE ELEMENTS, SHALL BE STABILIZED WITHIN TWO DAYS.
  4. AT THE COMPLETION OF THE PROJECT ALL DISTURBED AREAS ARE TO BE PERMANENTLY LOAMED AND SEEDED OR PERMANENTLY STABILIZED WITH OTHER SUITABLE GROUND COVER APPROVED BY THE ENGINEER.
  5. DUST CONTROL: THE UNDISTURBED PERIMETER OF VEGETATION/TREES AROUND THE SITE WILL LIMIT THE TRANSPORTATION OF DUST. IF DUST IS GENERATED DURING CONSTRUCTION ACTIVITIES THEN THE USE OF WATER TRUCKS OR WATER SPRINKLING WILL BE IMPLEMENTED.
  6. DEBRIS AND LITTER REMOVAL: ALL DEBRIS AND LITTER SHALL BE REMOVED WHEN NECESSARY.
  7. PLACE SEDIMENT TRAPS AT ALL EXISTING CATCH BASINS ON GLEN STREET AND BROADWAY IN THE VICINITY OF THE PROPOSED SITE WORK DURING CONSTRUCTION.
  8. THE SURFACE OF ALL DISTURBED AREAS SHALL BE STABILIZED DURING AND AFTER CONSTRUCTION. TEMPORARY MEASURES SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION AND SILTATION. TEMPORARY EROSION CONTROL MEASURES SHALL CONFIRM WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES URBAN AND SUBURBAN AREAS" DATED MARCH 1997 AND SHALL BE APPROVED BY THE ENGINEER. ALL DISTURBED SLOPES WILL BE STABILIZED WITH A PERMANENT VEGETATIVE COVER. ALL 3:1 AND STEEPER SLOPES SHALL BE STABILIZED WITH EROSION CONTROL NETTING. SOME OR ALL OF THE FOLLOWING MEASURES WILL BE UTILIZED ON THIS PROJECT.
    - A. TEMPORARY SEEDING
    - B. TEMPORARY MULCHING (STRAW)
    - C. PERMANENT SEEDING
    - D. PLACEMENT OF SOD
    - E. HYDROSEEDING
    - F. PLACEMENT OF HAY (WINTER MONTHS)
    - G. PLACEMENT OF JUTE NETTING



EROSION CONTROL PLAN  
#118 BROADWAY, SOMERVILLE, MA

SCALE: AS SHOWN

NOVEMBER 1, 2016

DATE

DRAWING: C-9

SHEET 9 OF 10

Owner:  
Goodfood Restaurant Group LLC  
& Spring Hill Real-Estate LLC  
6 Azalea Road  
Winchester, MA 01890

Applicant:  
Michael Bander  
27 Francesca Avenue  
Somerville, MA 02144

Designed By: CPS  
Drawn By: JST  
Reviewed By: CPS  
Project Manager: CPS

Job File Number: SOME-0021

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WILLIAMS & SPARAGES

ENGINEERS, PLANNERS, SURVEYORS

SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WEENGINEERS.COM

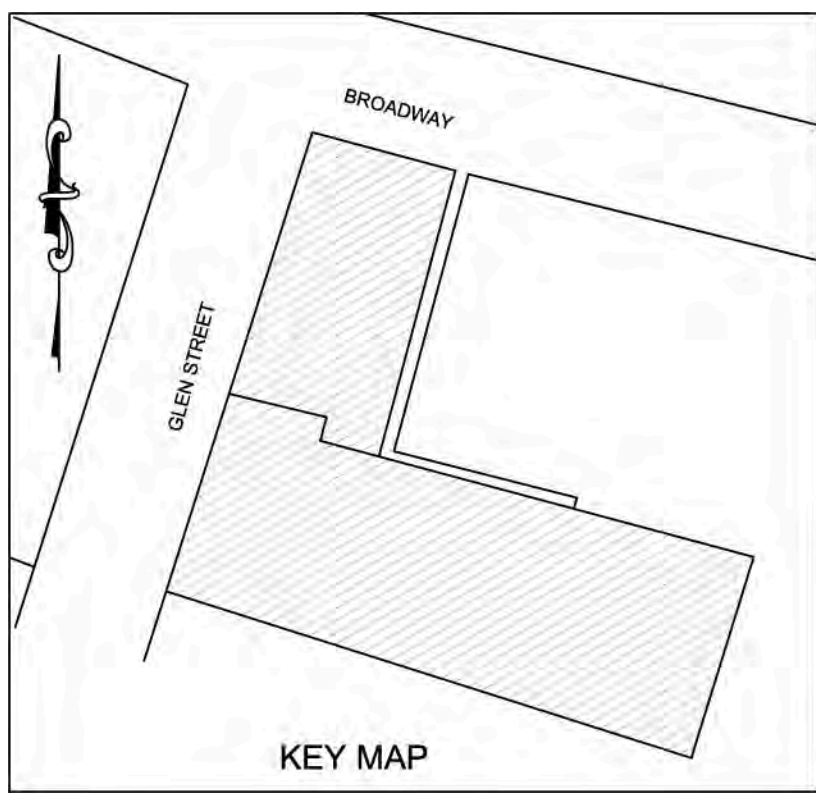
SEAL

CHRIST P. SPARAGES  
CIVIL  
NOV 13 2016  
(12/13/16)

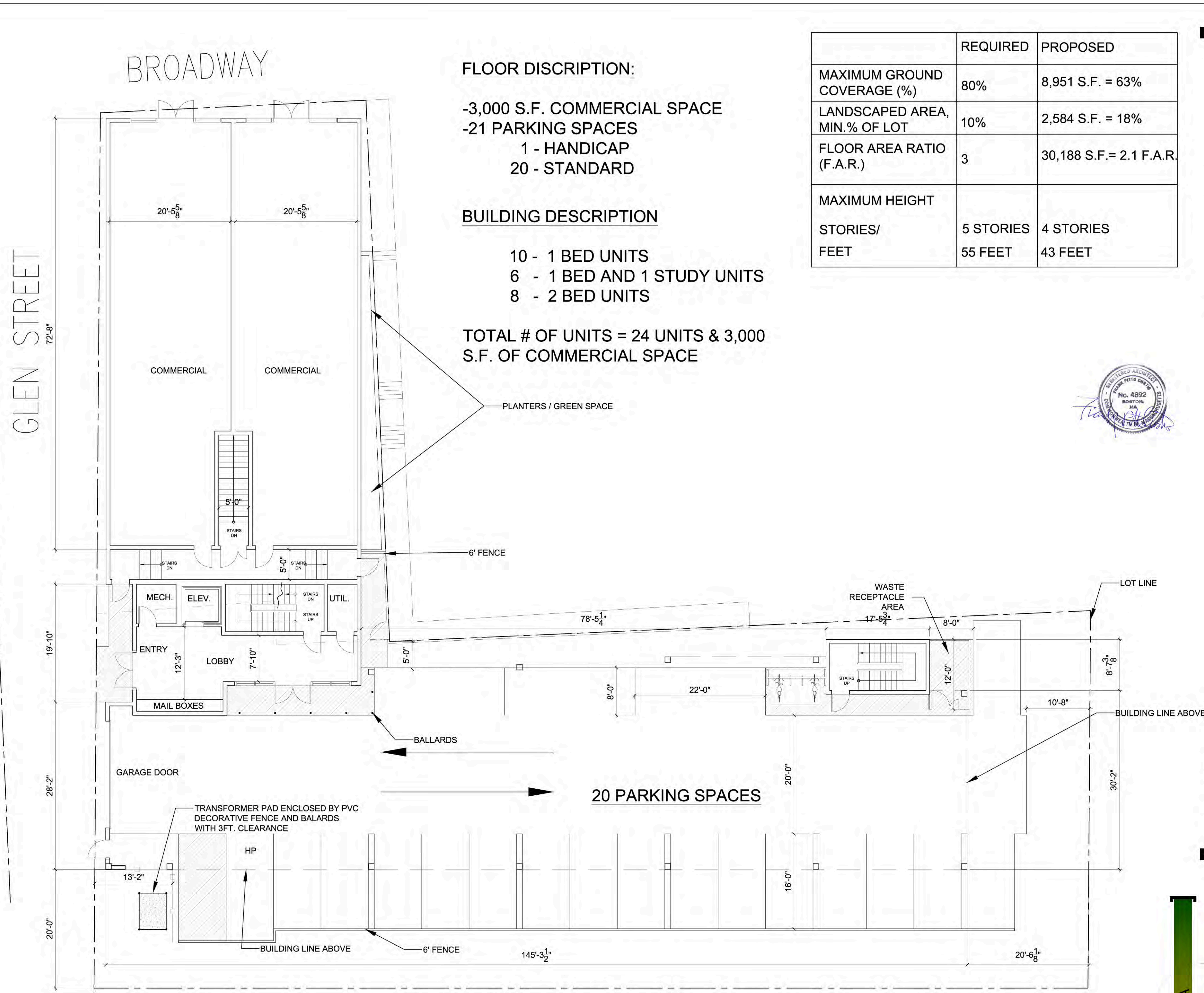








1 PROPOSED BASEMENT LEVEL FLOOR PLAN  
1/8" = 1'-0"



2 PROPOSED 1ST LEVEL PARKING FLOOR PLAN  
1/8" = 1'-0"

**FLOOR DISCRIPTION:**

-3,000 S.F. COMMERCIAL SPACE  
-21 PARKING SPACES  
1 - HANDICAP  
20 - STANDARD

**BUILDING DESCRIPTION**

10 - 1 BED UNITS  
6 - 1 BED AND 1 STUDY UNITS  
8 - 2 BED UNITS

**TOTAL # OF UNITS = 24 UNITS & 3,000 S.F. OF COMMERCIAL SPACE**

	REQUIRED	PROPOSED
MAXIMUM GROUND COVERAGE (%)	80%	8,951 S.F. = 63%
LANDSCAPED AREA, MIN.% OF LOT	10%	2,584 S.F. = 18%
FLOOR AREA RATIO (F.A.R.)	3	30,188 S.F.= 2.1 F.A.R.
MAXIMUM HEIGHT		
STORIES/ FEET	5 STORIES 55 FEET	4 STORIES 43 FEET



**A-1.1 PROPOSED ARCHITECTURAL BASEMENT & 1ST LEVEL PARKING**

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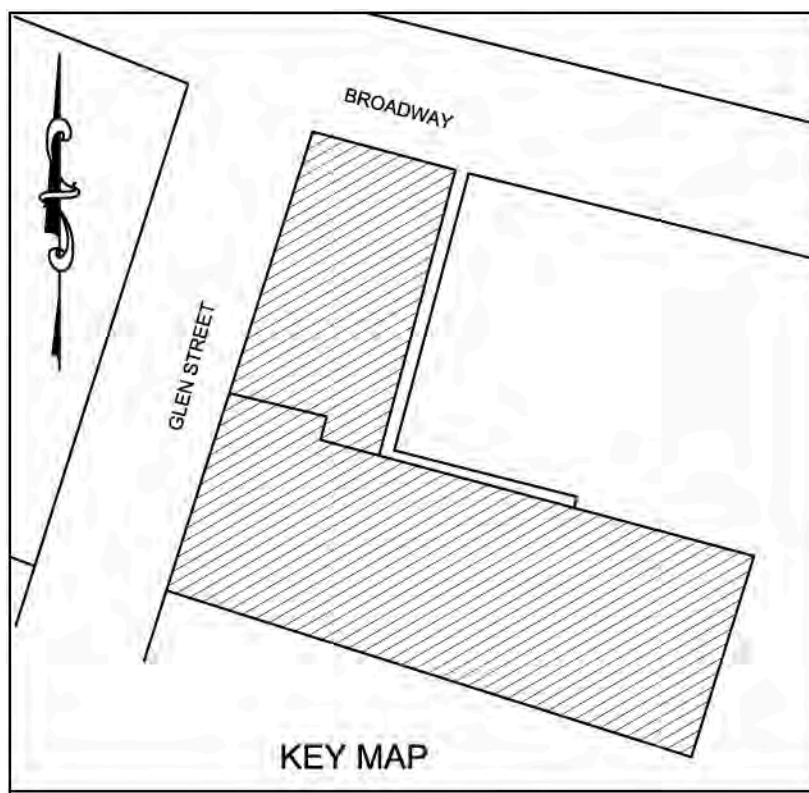


CURTIS DIBENEDETTO AND ASSOCIATES, INC.

SCALE: AS NOTED  
JOB NO: SE0216.012

118 BROADWAY & 8 GLEN STREET





#### FLOOR DISCRIPTION:

2ND FL.-8 UNITS 8,713 S.F.

- 3 - 1 BED UNITS
- 2 - 1 BED AND 1 STUDY UNITS
- 3 - 2 BED UNITS

3RD FL.-8 UNITS 8,713 S.F.

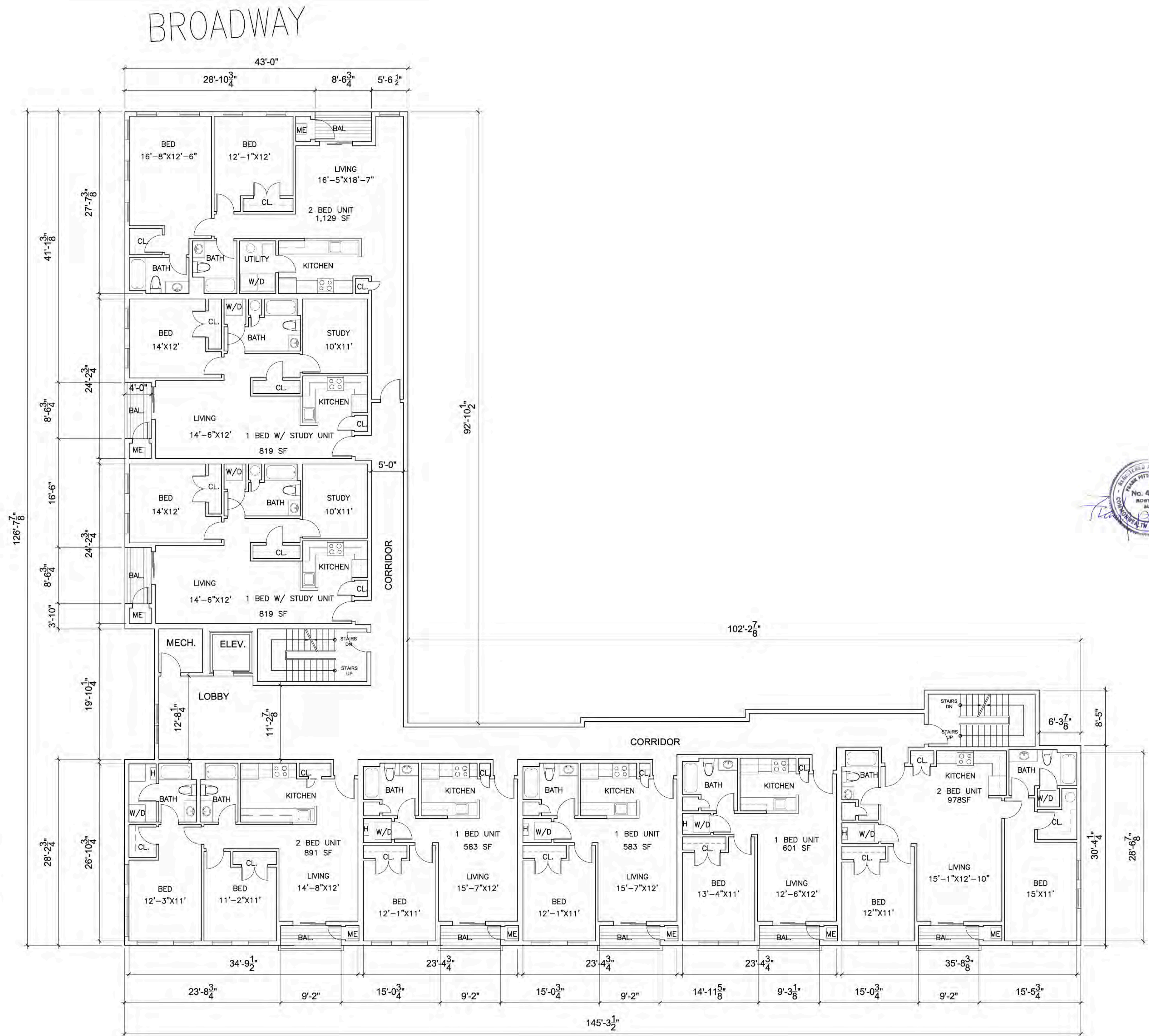
- 3 - 1 BED UNITS
- 2 - 1 BED AND 1 STUDY UNITS
- 3 - 2 BED UNITS

#### BUILDING DESCRIPTION

- 10 - 1 BED UNITS
- 6 - 1 BED AND 1 STUDY UNITS
- 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000 S.F. OF COMMERCIAL SPACE

GLEN STREET



1 PROPOSED 2ND&3RD FLOOR PLAN  
1/8" = 1'-0"

A-1.2

PROPOSED ARCHITECTURAL 2ND&3RD FLOOR PLAN

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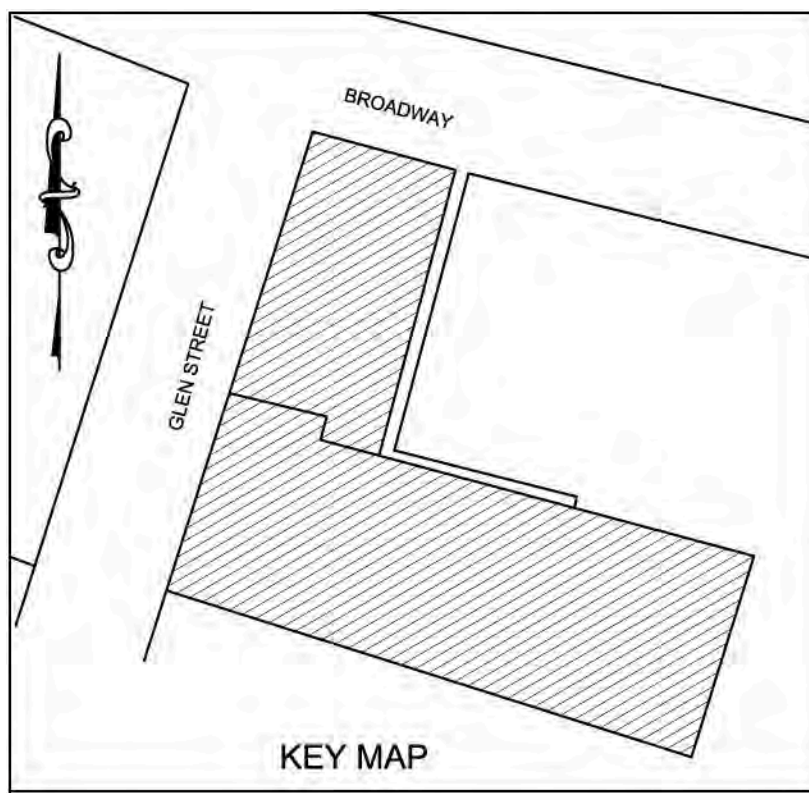
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JOB NO: SE0216.012



CURTIS DIBENEDETTO AND ASSOCIATES, INC.

118 BROADWAY & 8 GLEN STREET





#### FLOOR DISCRIPTION:

-8 UNITS 8,162 S.F.

4 - 1 BED UNITS

2 - 1 BED AND 1 STUDY UNITS

2 - 2 BED UNITS

#### BUILDING DESCRIPTION

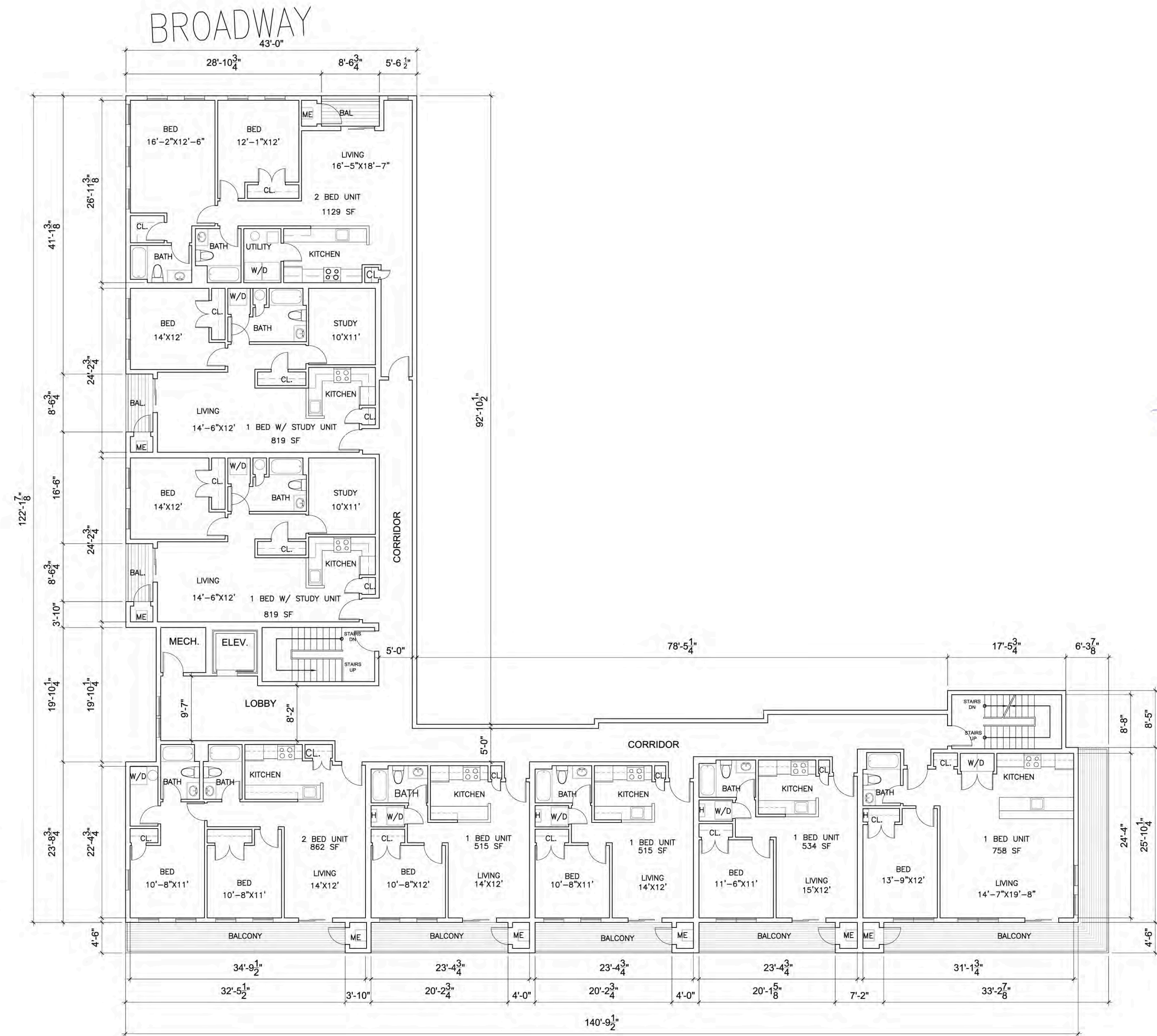
10 - 1 BED UNITS

6 - 1 BED AND 1 STUDY UNITS

8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000  
S.F. OF COMMERCIAL SPACE

GLEN STREET



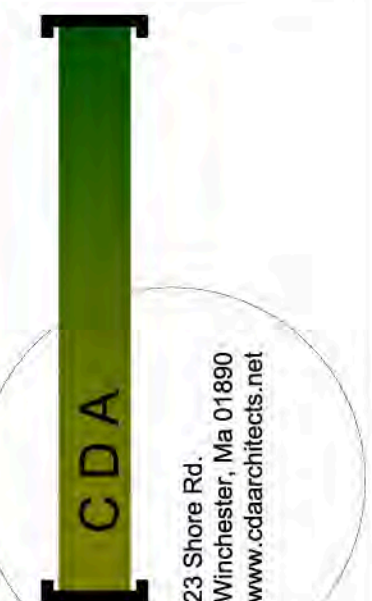
1 PROPOSED 4TH FLOOR PLAN  
1/8" = 1'-0"

A-1.3

PROPOSED ARCHITECTURAL 4TH FLOOR PLAN

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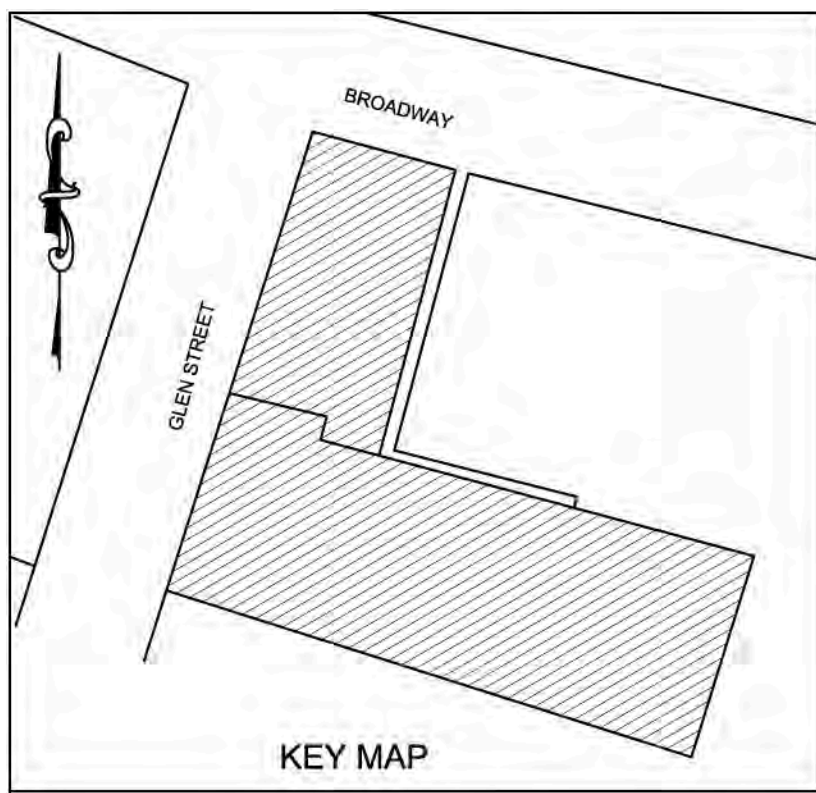
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CURTIS DIBENEDITTO  
AND ASSOCIATES, INC.

118 BROADWAY & 8 GLEN STREET

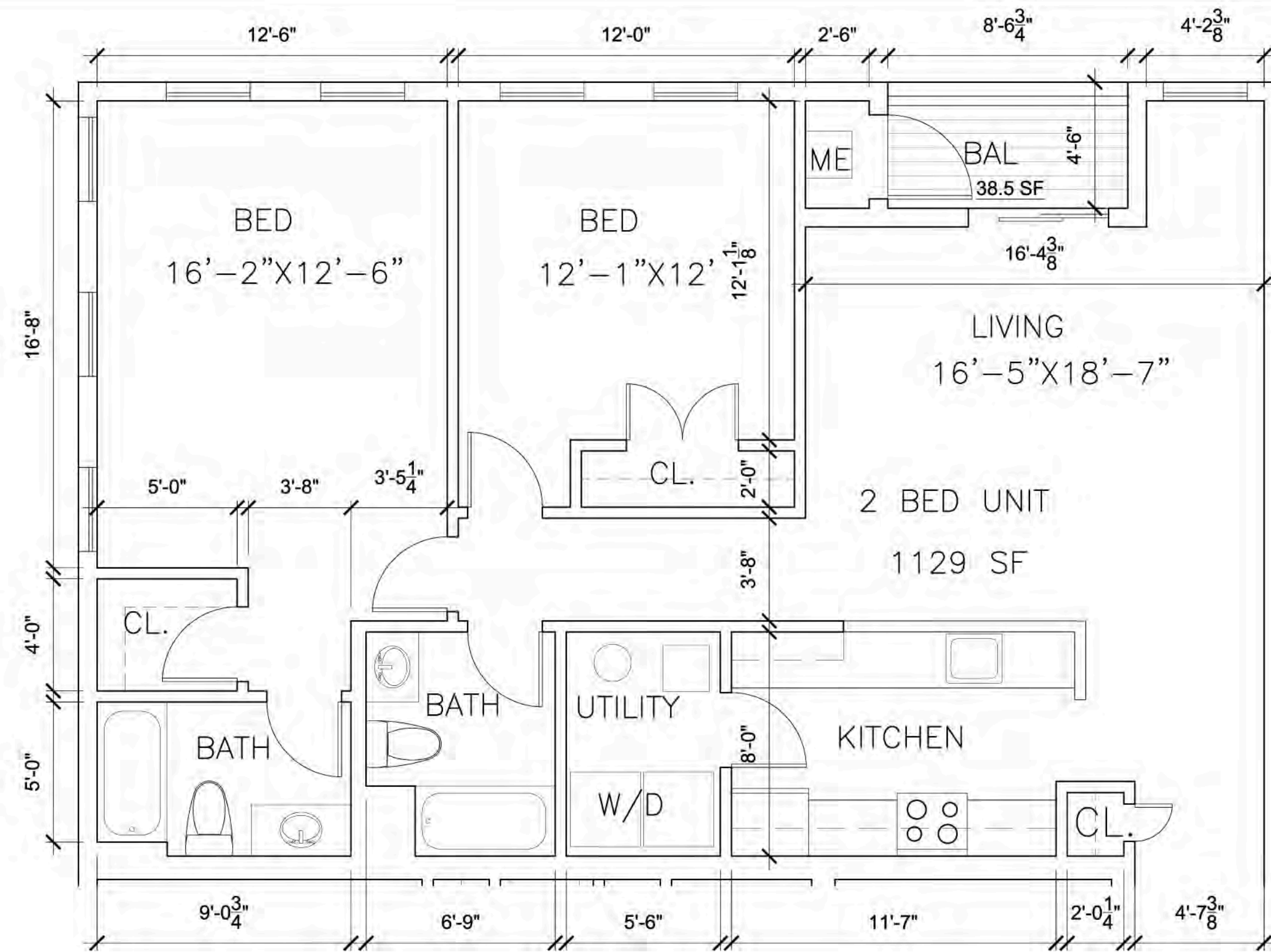




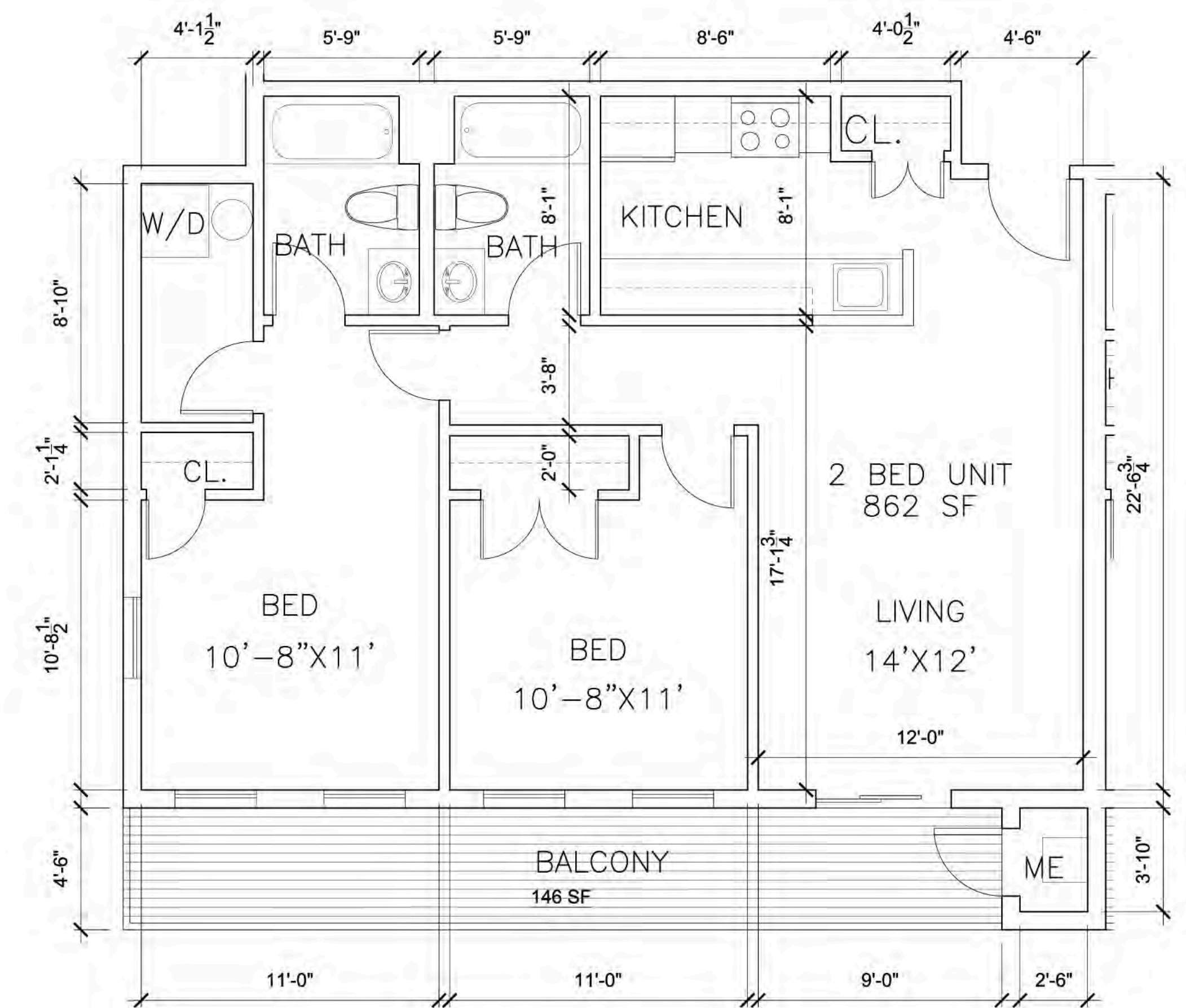
## UNIT COUNT

- 10 - 1 BED UNITS
- 6 - 1 BED AND 1 STUDY UNITS
- 8 - 2 BED UNITS

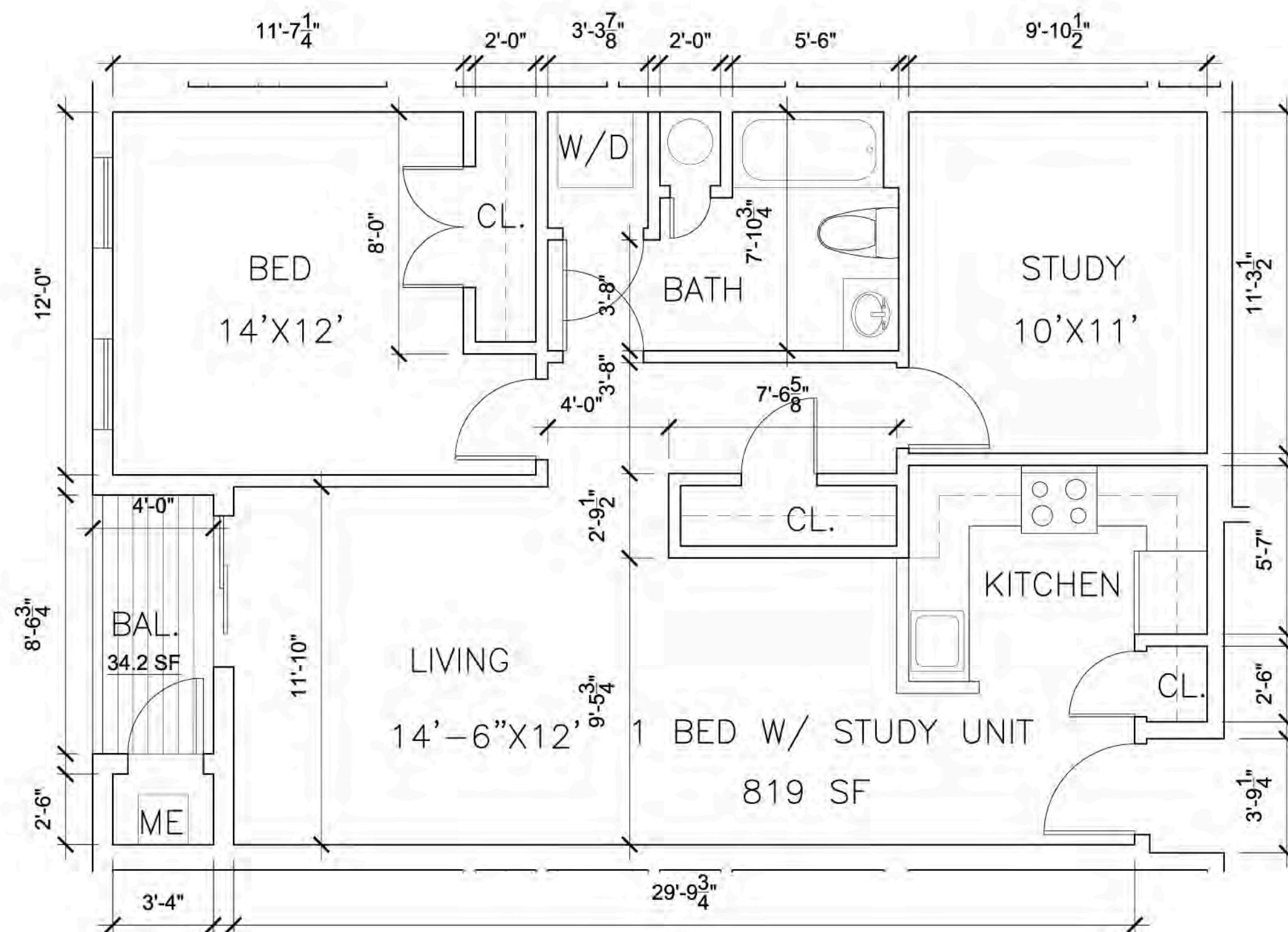
TOTAL # OF UNITS = 24 UNITS & 3,000 S.F. OF COMMERCIAL SPACE



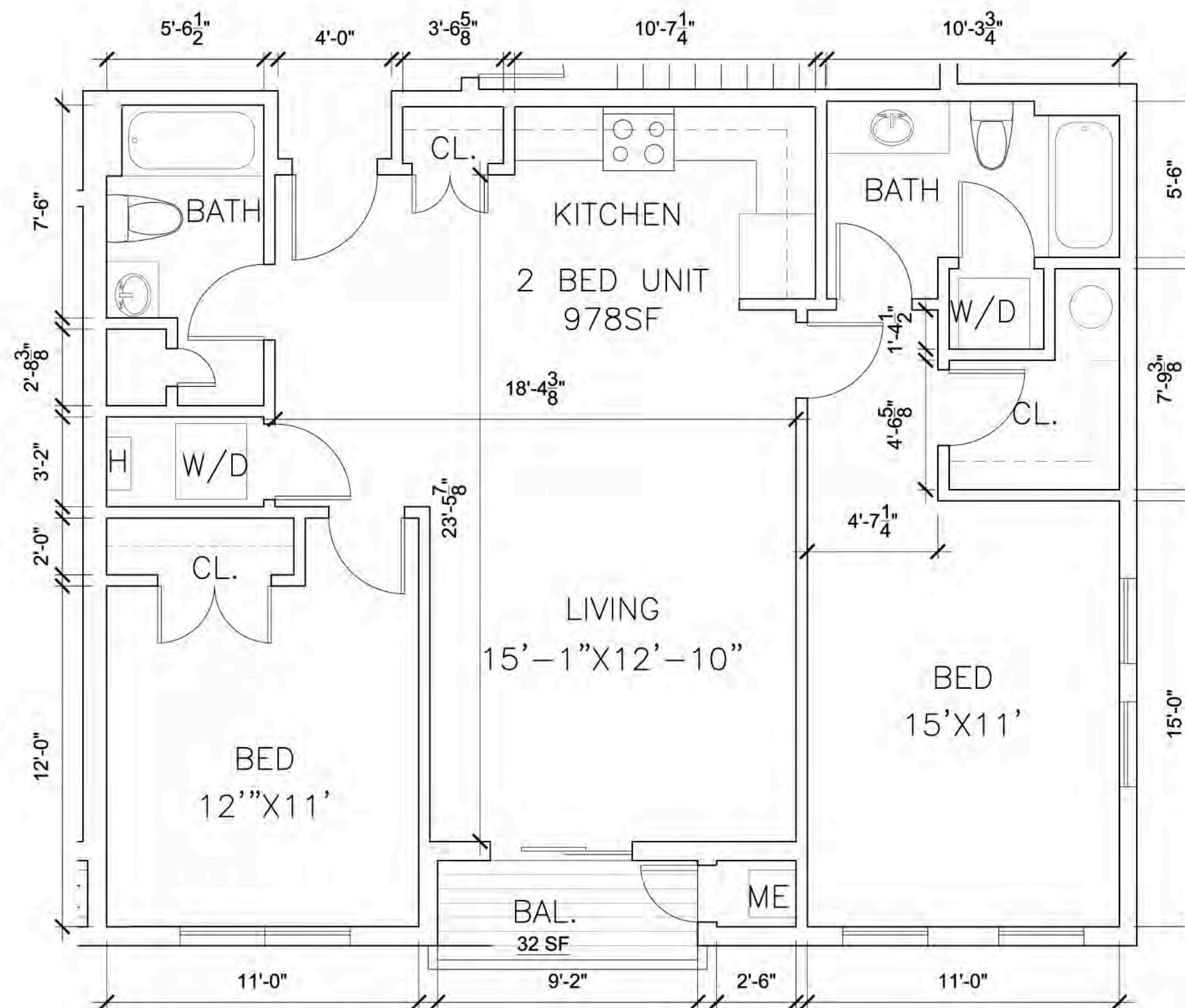
1 PROPOSED TWO BED LAYOUT (TYP.)  
1/4" = 1'-0"



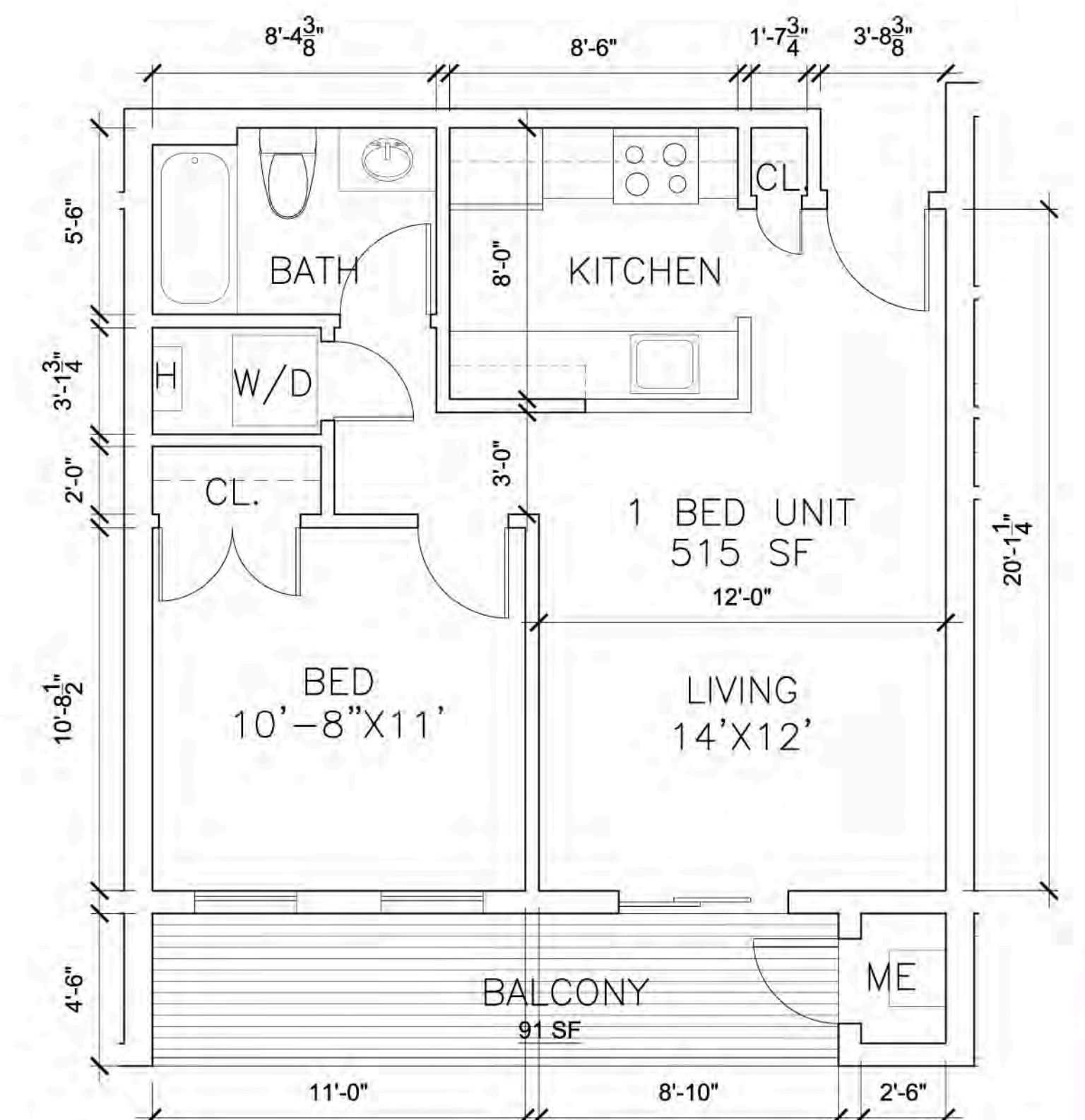
2 PROPOSED TWO BEDROOM LAYOUT ON 4TH FLOOR (TYP.)  
1/8" = 1'-0"



3 PROPOSED ONE BED LAYOUT W/ STUDY (TYP.)  
1/4" = 1'-0"



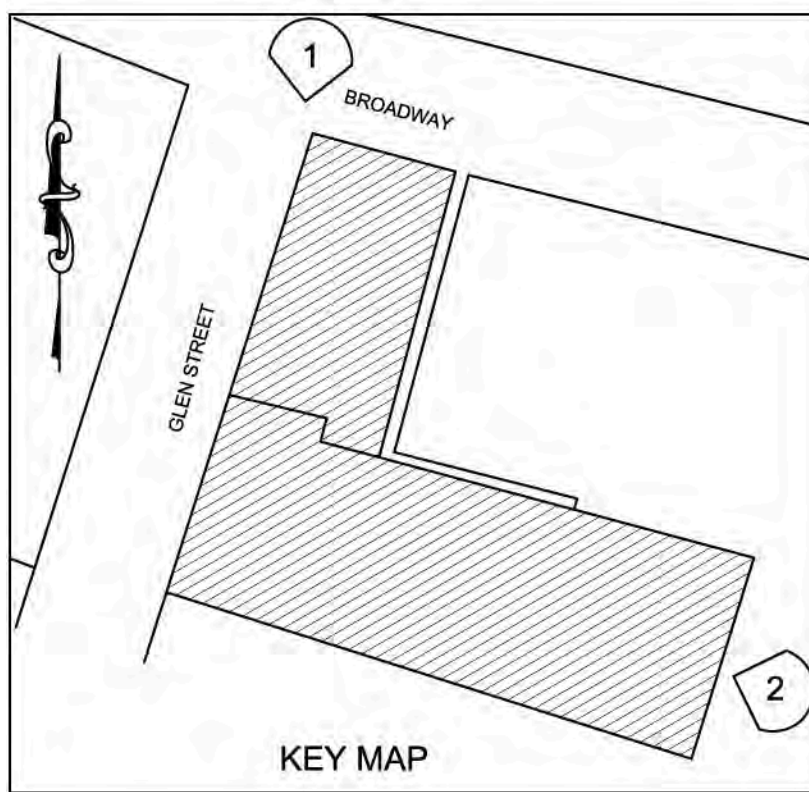
4 PROPOSED TWO BED SECOND/THIRD FLOOR (TYP.)  
1/4" = 1'-0"



5 PROPOSED ONE BEDROOM LAYOUT ON 4TH FLOOR (TYP.)  
1/4" = 1'-0"





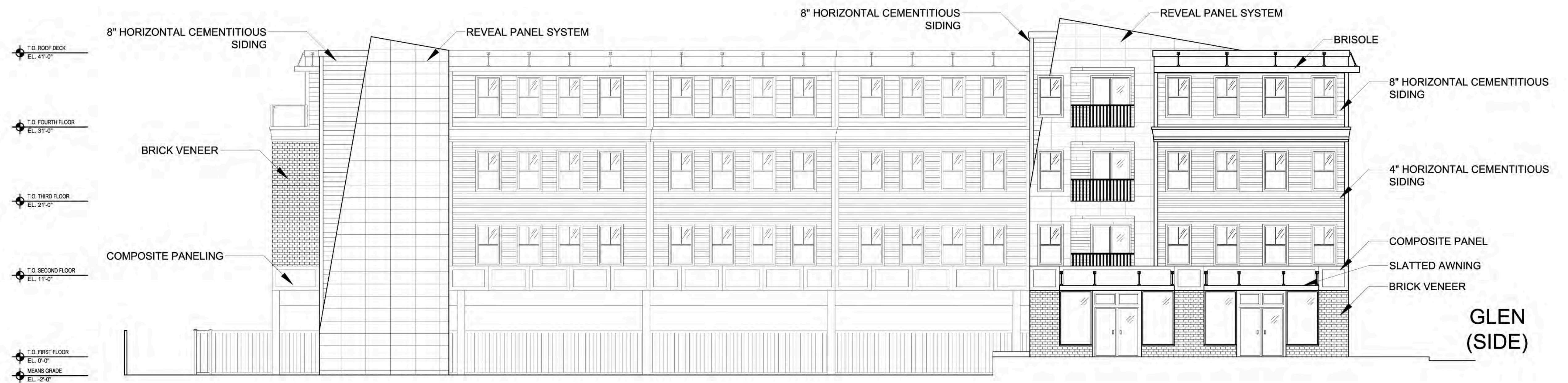


## BUILDING DESCRIPTION

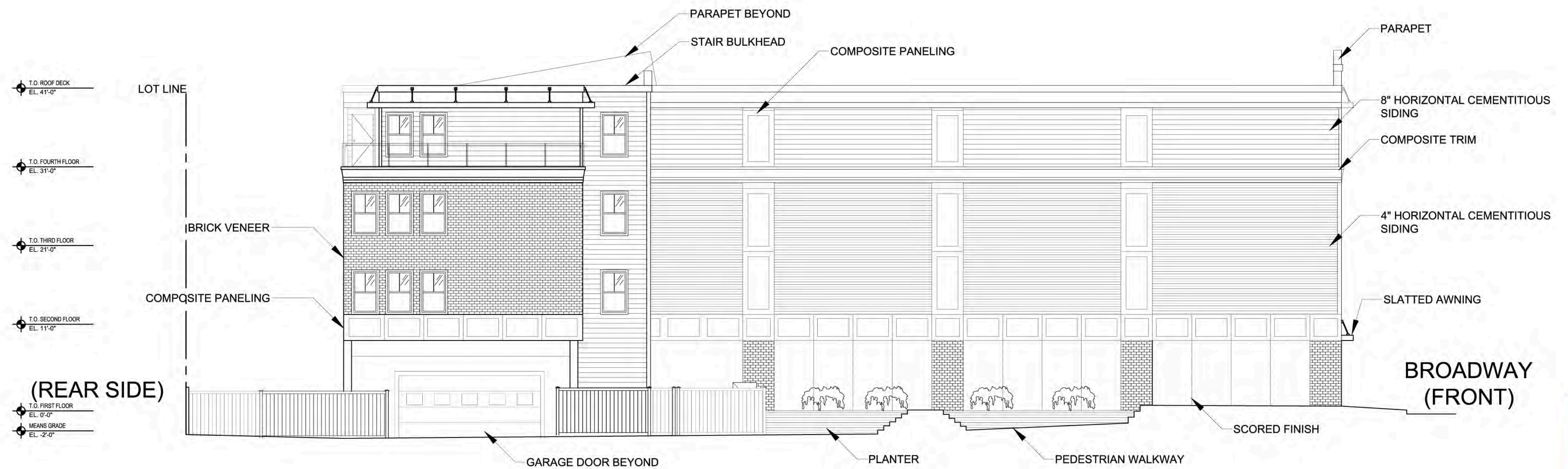
10 - 1 BED UNITS  
6 - 1 BED UNITS W/ STUDY  
8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000  
S.F. OF COMMERCIAL SPACE

GROSS S.F. = 30,188 S.F.

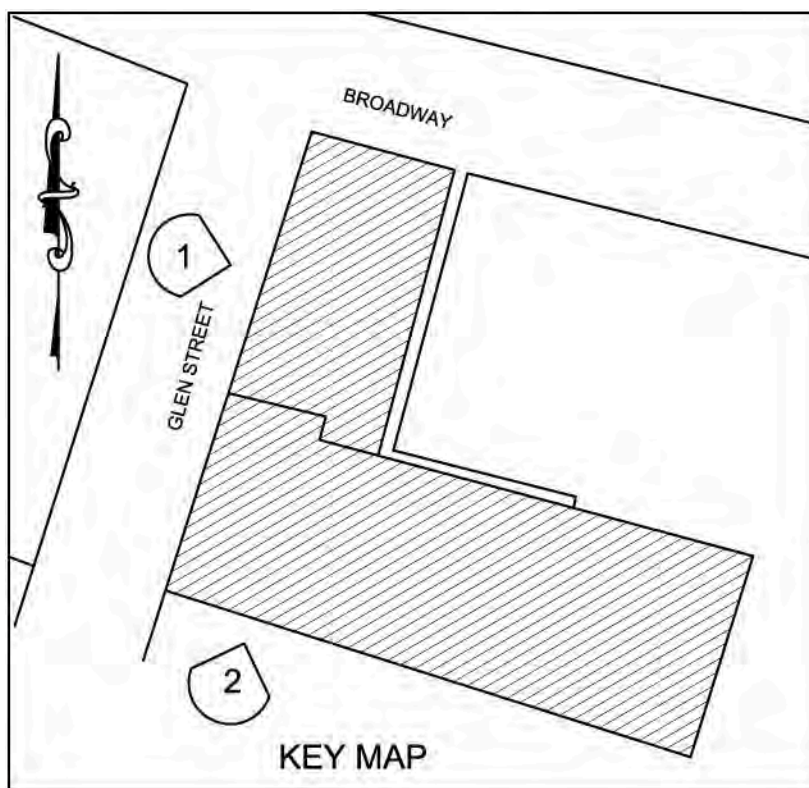


1 **BROADWAY STREET ELEVATION (NORTH)**  
1/8" = 1'-0"



2 **SIDE ELEVATION (EAST)**  
1/8" = 1'-0"



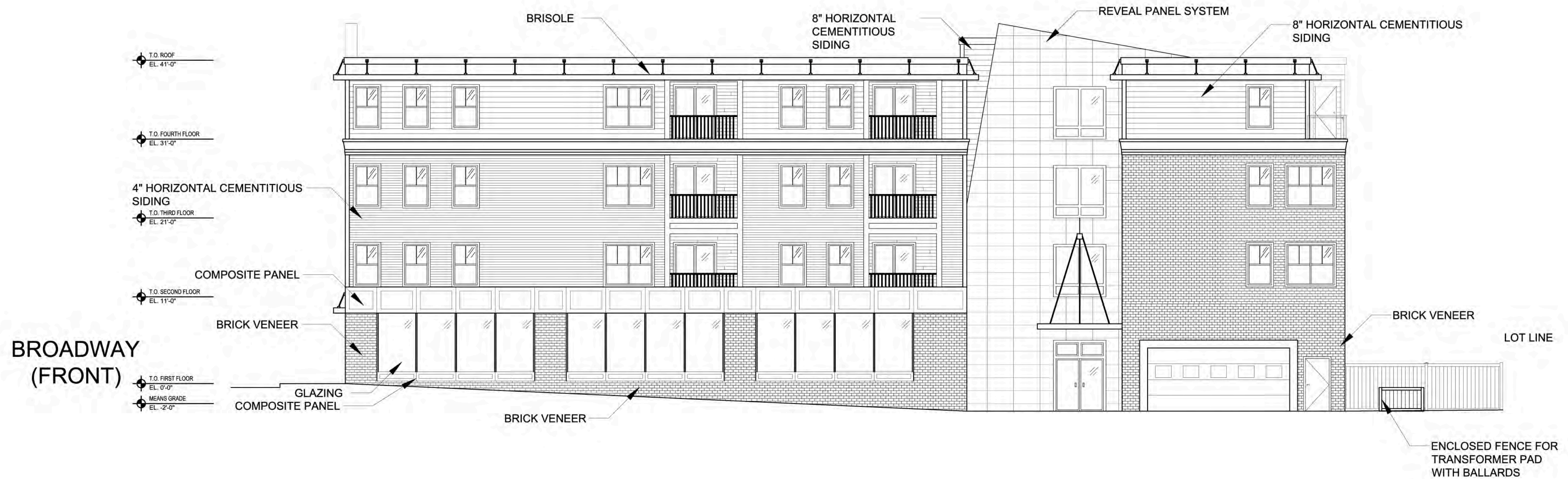


## BUILDING DESCRIPTION

10 - 1 BED UNITS  
6 - 1 BED UNITS W/ STUDY  
8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000  
S.F. OF COMMERCIAL SPACE

GROSS S.F. = 30,188 S.F.



1 GLEN STREET ELEVATION (WEST)  
1/8" = 1'-0"



*Frank Pitts Curtis*



2 REAR ELEVATION (SOUTH)  
1/8" = 1'-0"