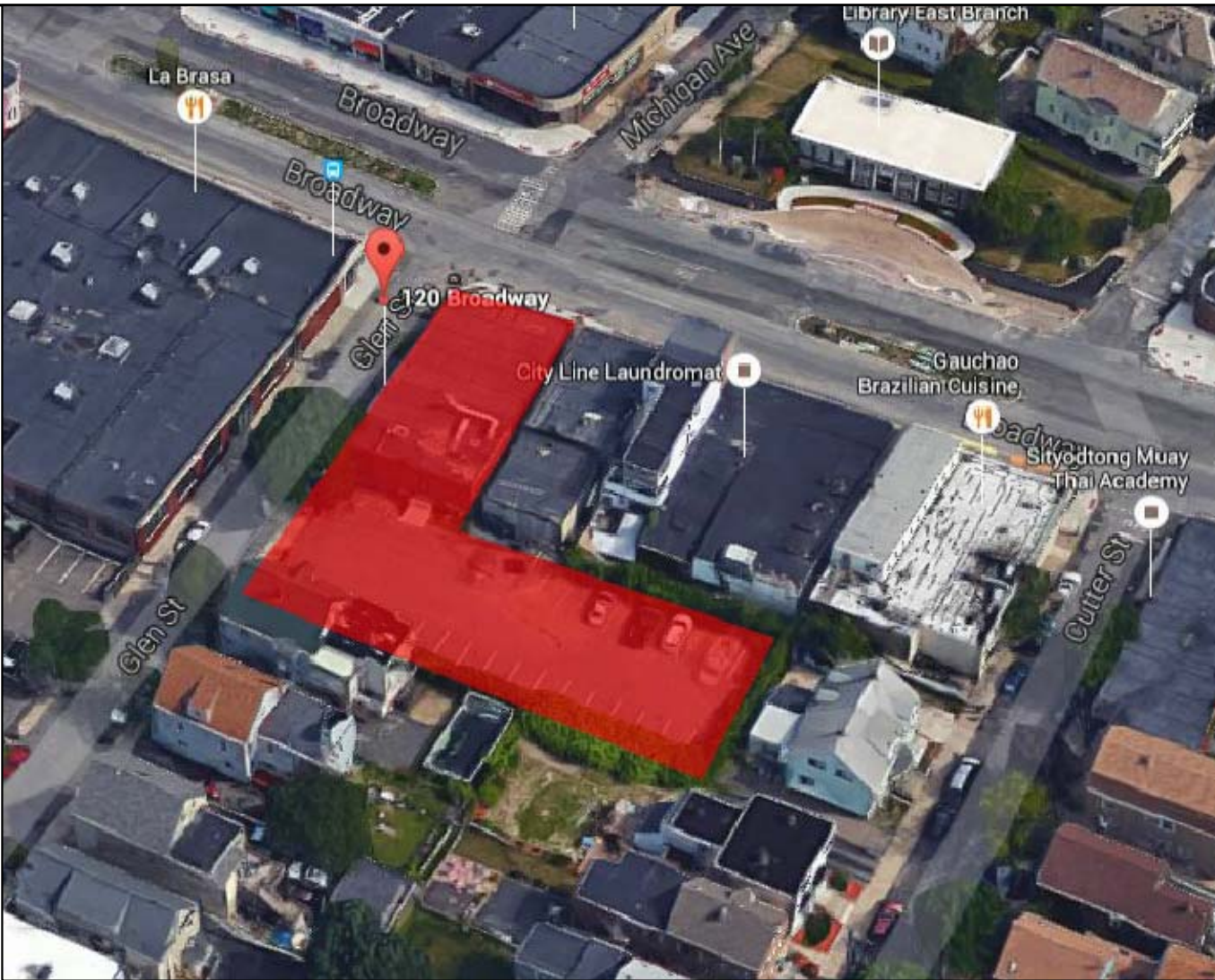


PROJECT:
CLIENT REVIEW
FOR
118 BROADWAY & 8 GLEN ST
SOMERVILLE, MA

PROGRESS SET

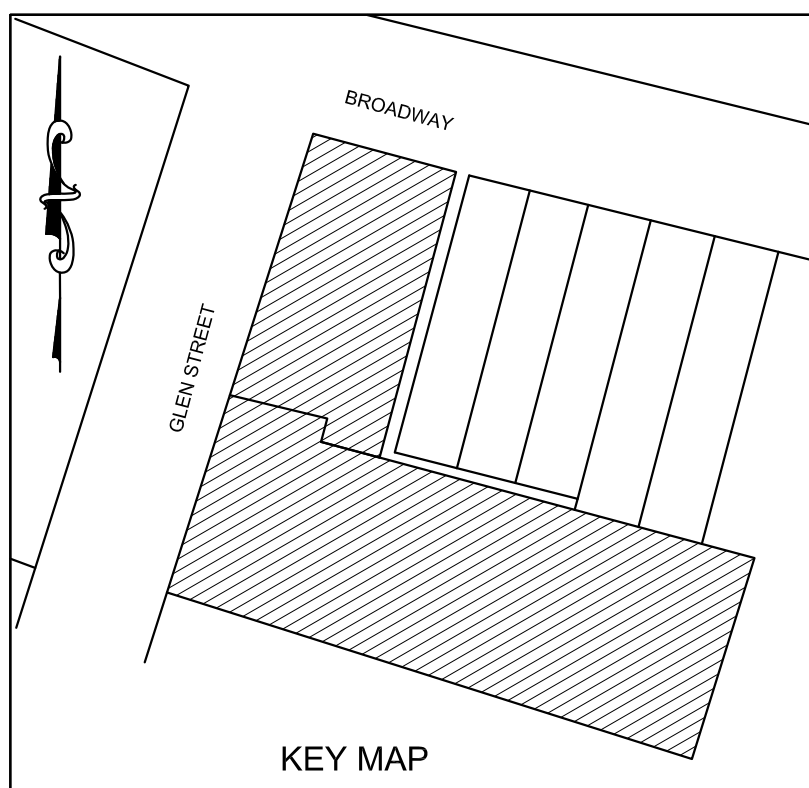
JULY 28, 2016

NEW CONSTRUCTION OF MIXED USE
COMMERCIAL & RESIDENTIAL



CURTIS DIBENEDETTO AND
ASSOCIATES, INC
23 SHORE RD.
WINCHESTER, MA 01980
www.cdaarchitects.net

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The Architectural Works Copyright Protection Act



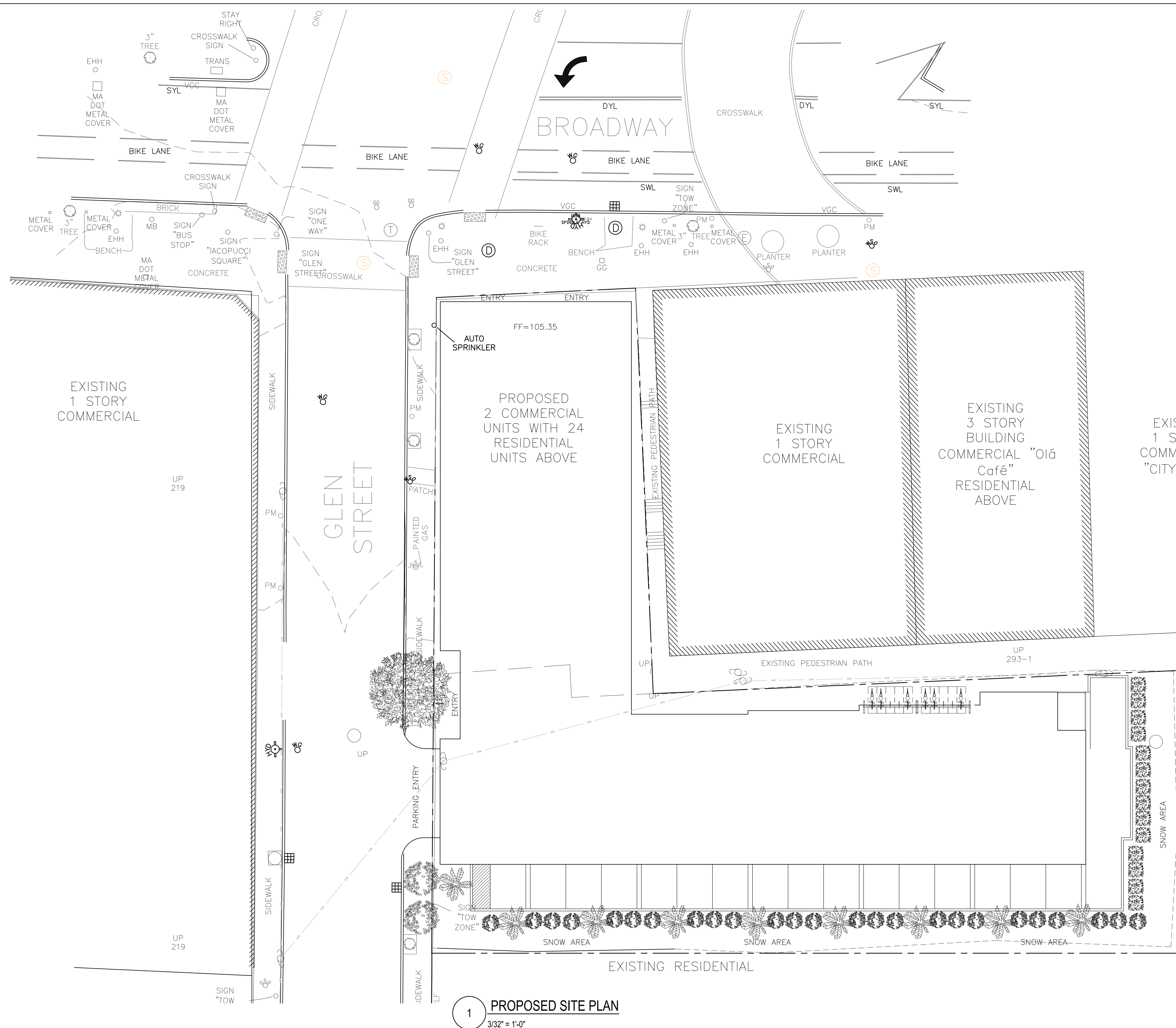
FLOOR DISCRIPTION:

-3,000 S.F. COMMERCIAL SPACE
 -21 PARKING SPACES
 1 - HANDICAP
 20 - STANDARD

BUILDING DESCRIPTION

16 - 1 BED UNITS
 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000
 S.F. OF COMMERCIAL SPACE



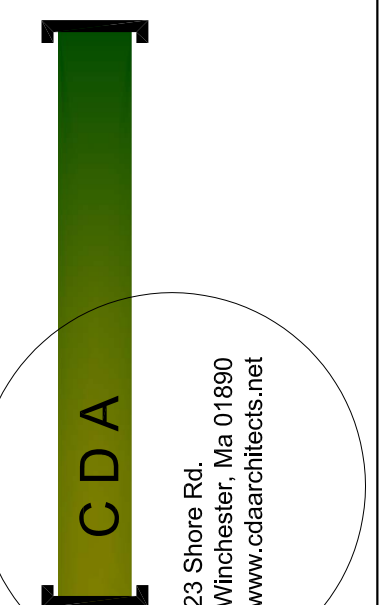
1 PROPOSED SITE PLAN
 3/32" = 1'-0"

A-0.1

PROPOSED ARCHITECTURAL SITE PLAN

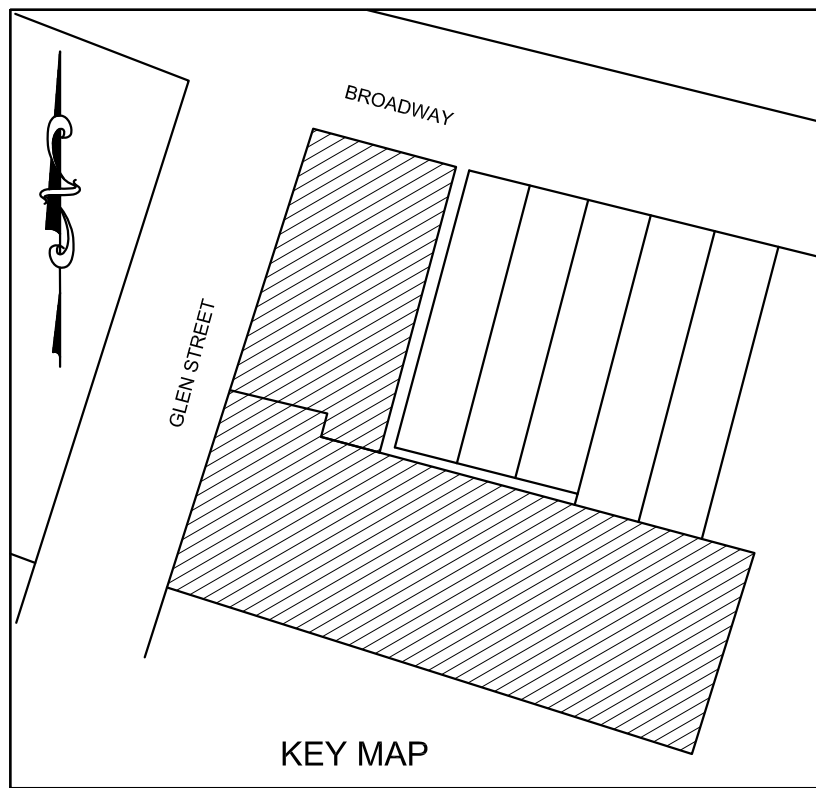
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SCALE: AS NOTED
 JOB NO: SE0216.012



CURTIS DIBENEDETTO
 AND ASSOCIATES, INC.

118 BROADWAY & 8 GLEN STREET



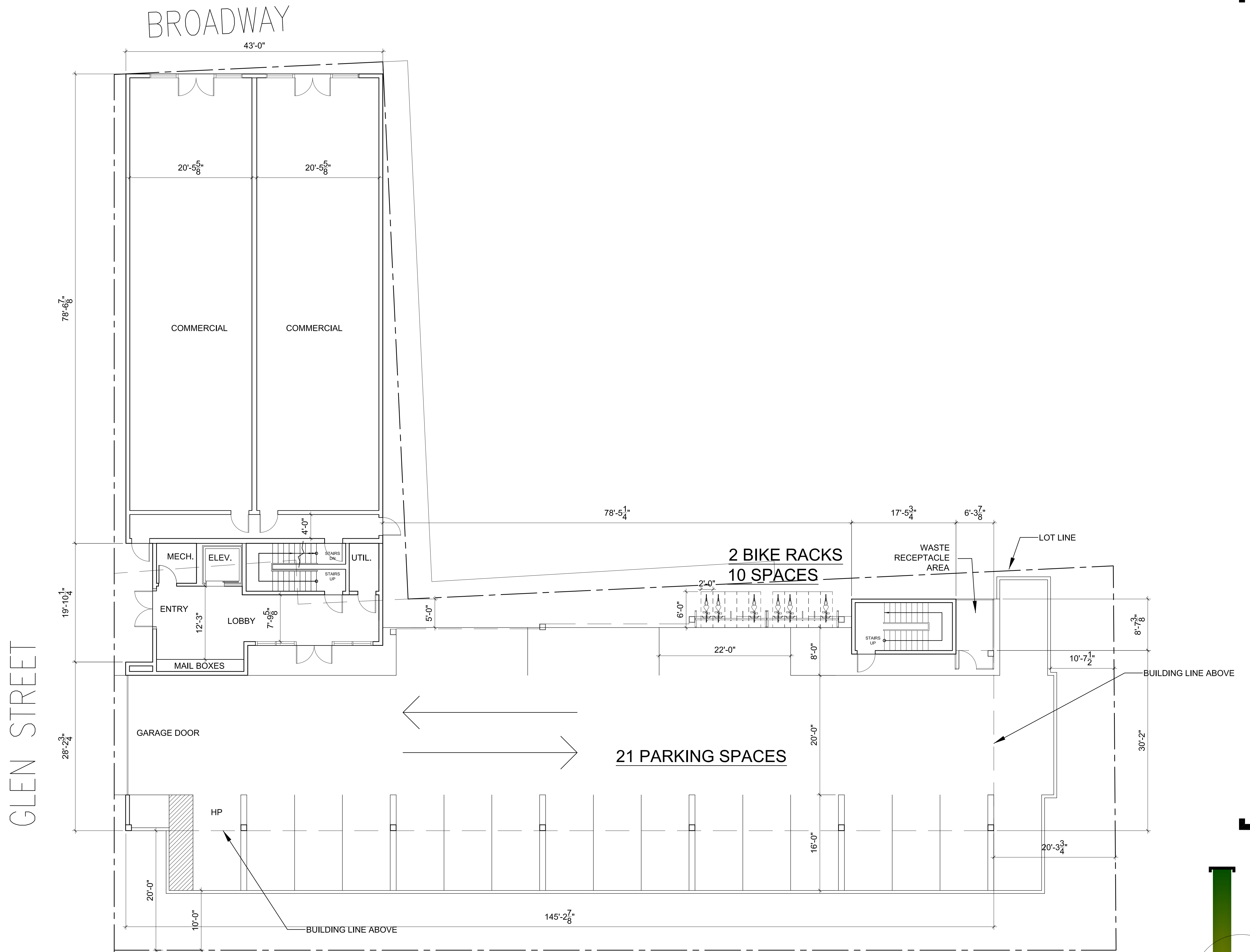
FLOOR DISCRIPTION:

- 3,000 S.F. COMMERCIAL SPACE
- 21 PARKING SPACES
 - 1 - HANDICAP
 - 20 - STANDARD

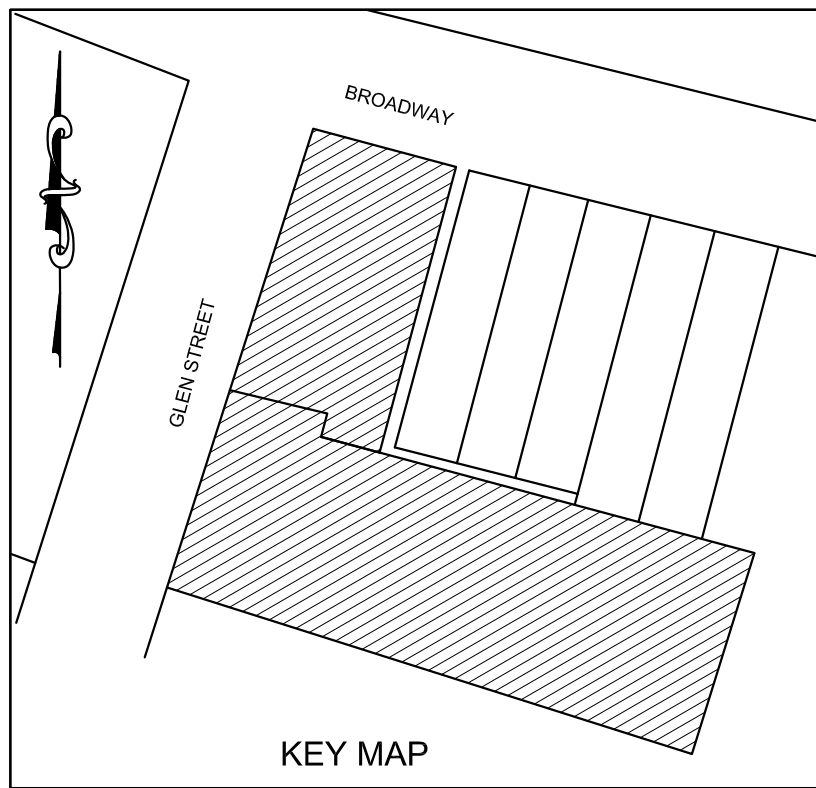
BUILDING DESCRIPTION

- 16 - 1 BED UNITS
- 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000 S.F. OF COMMERCIAL SPACE



1 PROPOSED 1ST LEVEL PARKING FLOOR PLAN
1/8" = 1'-0"



FLOOR DISCRIPTION:

2ND FL.-8 UNITS 8,713 S.F.
5 - 1 BED UNITS
3 - 2 BED UNITS

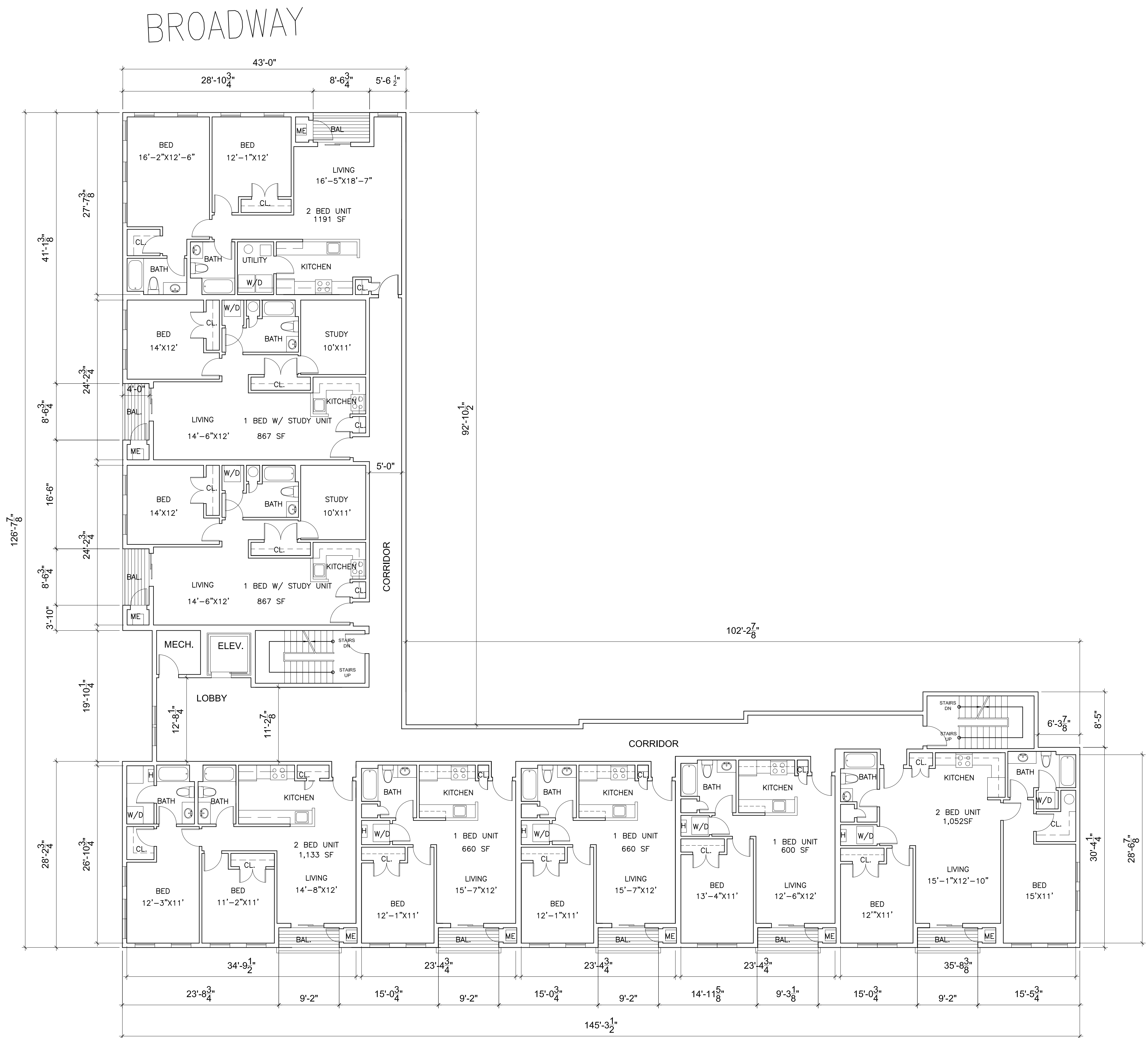
3RD FL.-8 UNITS 8,713 S.F.
5 - 1 BED UNITS
3 - 2 BED UNITS

BUILDING DESCRIPTION

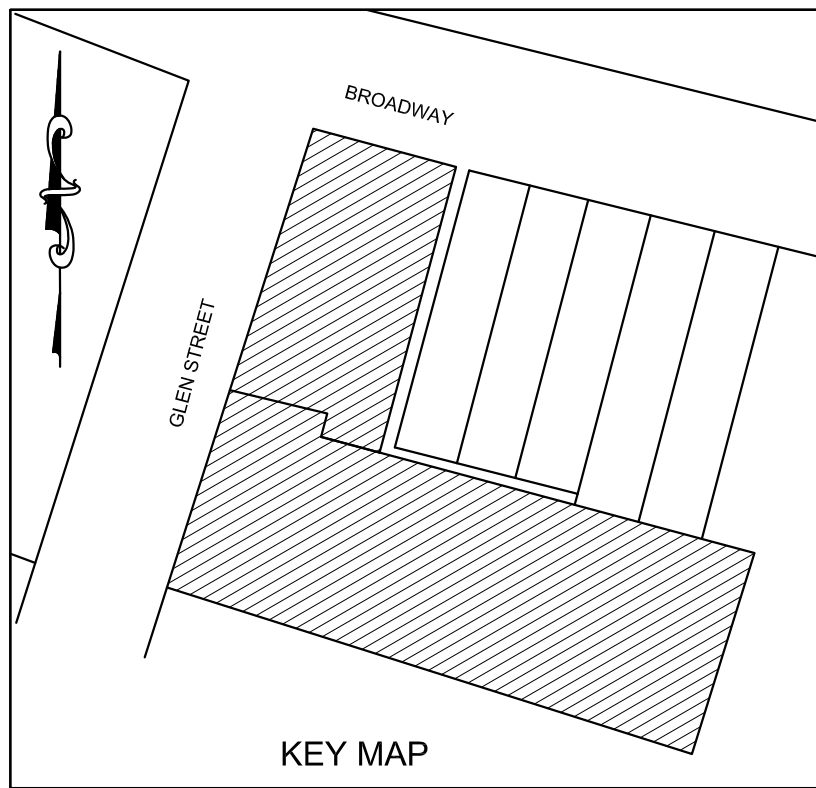
16 - 1 BED UNITS
8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000
S.F. OF COMMERCIAL SPACE

GLEN STREET



1 PROPOSED 2ND&3RD FLOOR PLAN
1/8" = 1'-0"



FLOOR DISCRIPTION:

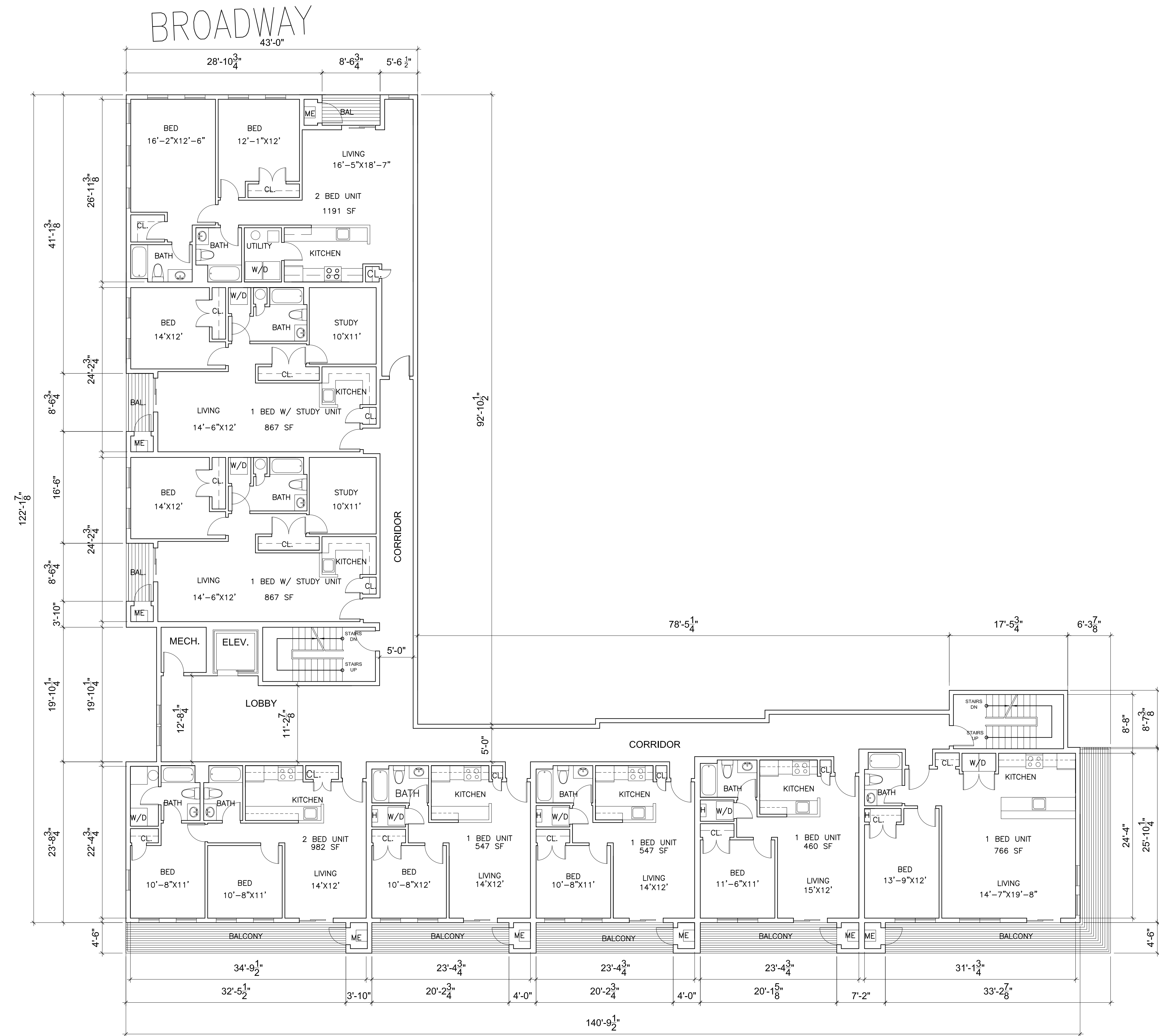
-8 UNITS 8,162 S.F.
6 - 1 BED UNITS
2 - 2 BED UNITS

BUILDING DESCRIPTION

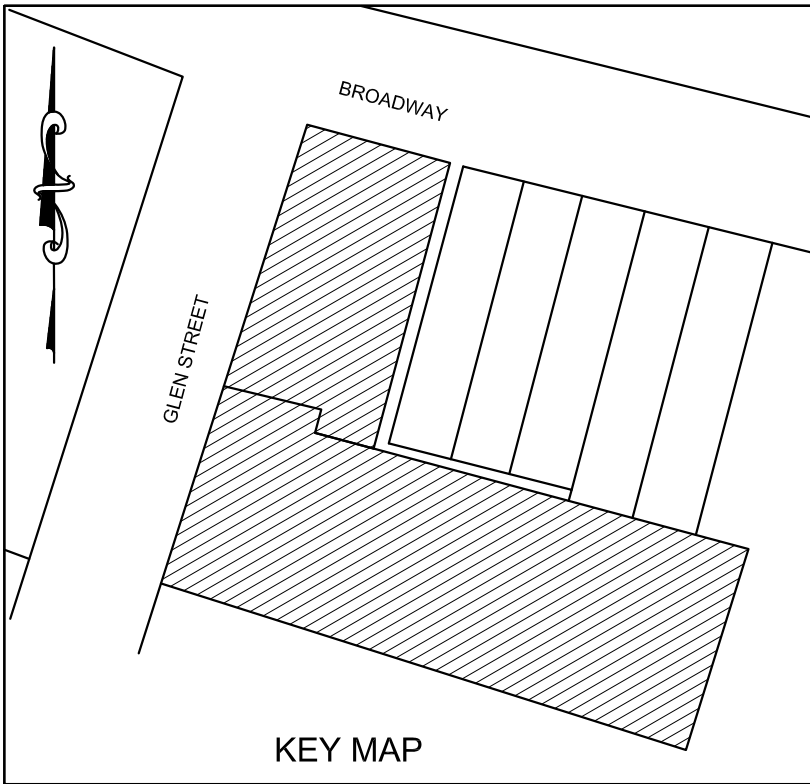
16 - 1 BED UNITS
8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000
S.F. OF COMMERCIAL SPACE

GLEN STREET



1 PROPOSED 4TH FLOOR PLAN
1/8" = 1'-0"



BUILDING DESCRIPTION

- 3 - STUDIOS
- 13 - 1 BED UNITS
- 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000
S.F. OF COMMERCIAL SPACE

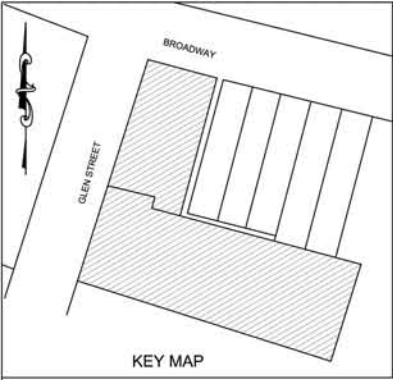
GROSS S.F. = 30,188 S.F.



1 **BROADWAY STREET ELEVATION (NORTH)**
1/8" = 1'-0"



2 **SIDE ELEVATION (EAST)**
1/8" = 1'-0"



BUILDING DESCRIPTION

- 3 - STUDIOS
- 13 - 1 BED UNITS
- 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000 S.F. OF COMMERCIAL SPACE

GROSS S.F. = 30,188 S.F.

- T.O. ROOF
EL. 41'-0"
- T.O. FOURTH FLOOR
EL. 31'-0"
- T.O. THIRD FLOOR
EL. 21'-0"
- T.O. SECOND FLOOR
EL. 11'-0"
- T.O. FIRST FLOOR
EL. 0'-0"

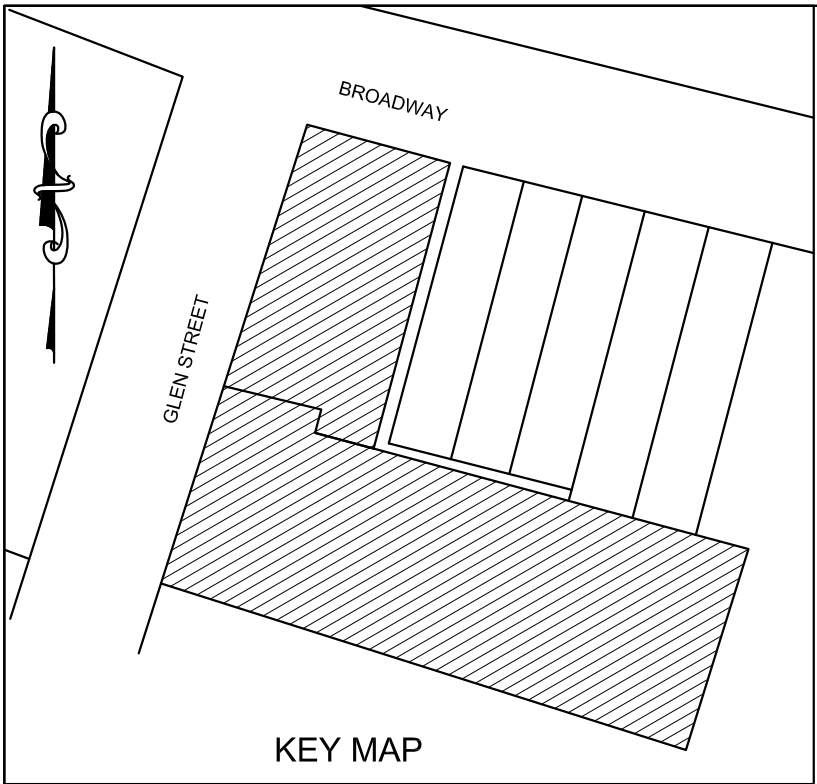


1 BROADWAY STREET ELEVATION (NORTH)
1/8" = 1'-0"

- T.O. ROOF
EL. 41'-0"
- T.O. FOURTH FLOOR
EL. 31'-0"
- T.O. THIRD FLOOR
EL. 21'-0"
- T.O. SECOND FLOOR
EL. 11'-0"
- T.O. FIRST FLOOR
EL. 0'-0"



2 SIDE ELEVATION (EAST)
1/8" = 1'-0"



BUILDING DESCRIPTION

- 3 - STUDIOS
- 13 - 1 BED UNITS
- 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000
S.F. OF COMMERCIAL SPACE

GROSS S.F. = 30,188 S.F.

**BROADWAY
(FRONT)**

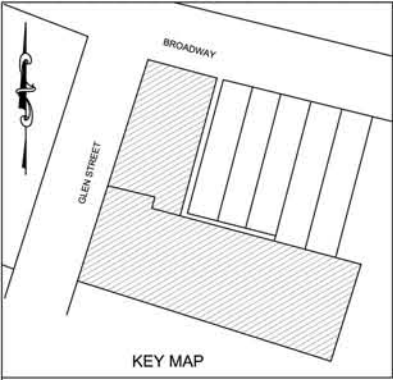


1 **GLEN STREET ELEVATION (WEST)**
1/8" = 1'-0"

**GLEN ST
(SIDE)**



2 **REAR ELEVATION (SOUTH)**
1/8" = 1'-0"



BUILDING DESCRIPTION

- 3 - STUDIOS
- 13 - 1 BED UNITS
- 8 - 2 BED UNITS

TOTAL # OF UNITS = 24 UNITS & 3,000 S.F. OF COMMERCIAL SPACE

GROSS S.F. = 30,188 S.F.

**BROADWAY
(FRONT)**



1 **GLEN STREET ELEVATION (WEST)**
1/8" = 1'-0"



**GLEN ST
(SIDE)**



2 **REAR ELEVATION (SOUTH)**
1/8" = 1'-0"

