



PROJECT:

Renovation of 149 Broadway, Somerville, MA To Be the New Home of College Avenue Methodist Church

Owner:

College Avenue United Methodist Church

Rev. Justin Hildebrandt
1 Powder House Terrace
Somerville, MA 02144
617-776-4172

STRUCTURAL ENGINEERS:

Roome & Guarracino
48 Grove Street
Somerville, MA 02144
Tel: 617/ 628-1700

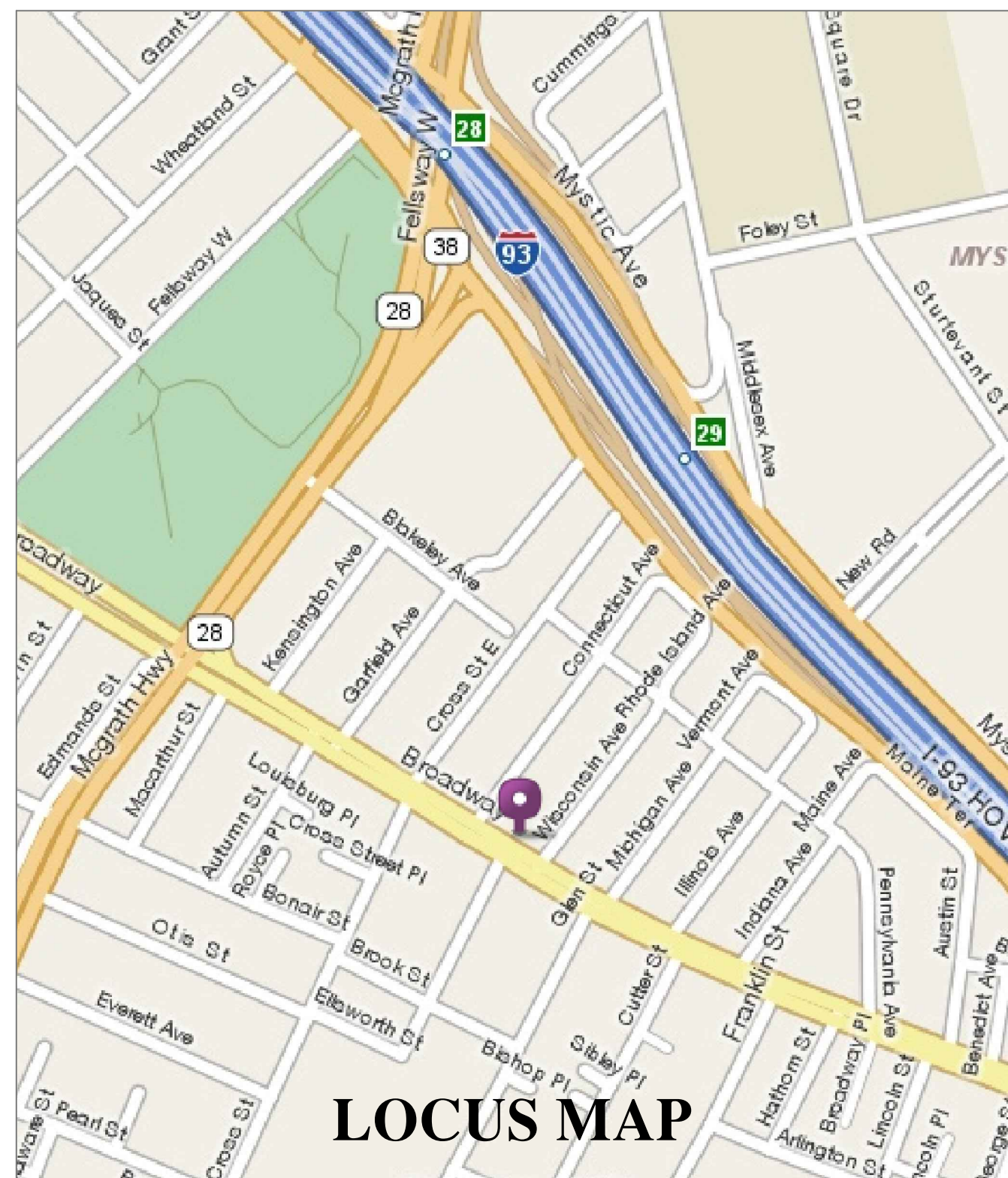
MEP ENGINEERS:

McRitchie Engineering
197 Quincy Avenue
Braintree, MA 02184
Tel: 781/ 848-4464

ARCHITECT:

Boston Bay Architects, Inc.

214 Lincoln Street, Unit 305
Boston, MA 02134
Tel: 617/782-0266 Fax: 617/782-0277



March 5, 2011

T-1

Boston Bay Architects, Inc.

Architecture
Planning
Interiors
Construction-
Management

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Unit 305
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Tel.: 617.782.0255
Fax: 617.782.0277

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www.bostonbayarchitects.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

SCHEMATIC DESIGN

CLIENT:

COLLEGE AVENUE
UNITED METHODIST CHURCH
ONE POWDERHOUSE TERRACE
SOMERVILLE, MA 02144

PROJECT:

RENOVATION OF
149 BROADWAY STREET FOR
COLLEGE AVENUE UNITED
METHODIST CHURCH

DRAWING TITLE:

EXISTING CONDITION &
DEMOLITION BASEMENT
FLOOR PLAN.

DRAWN BY: B.P.

CHECKED BY: E.P.

SCALE:

DATE: 03-05-12

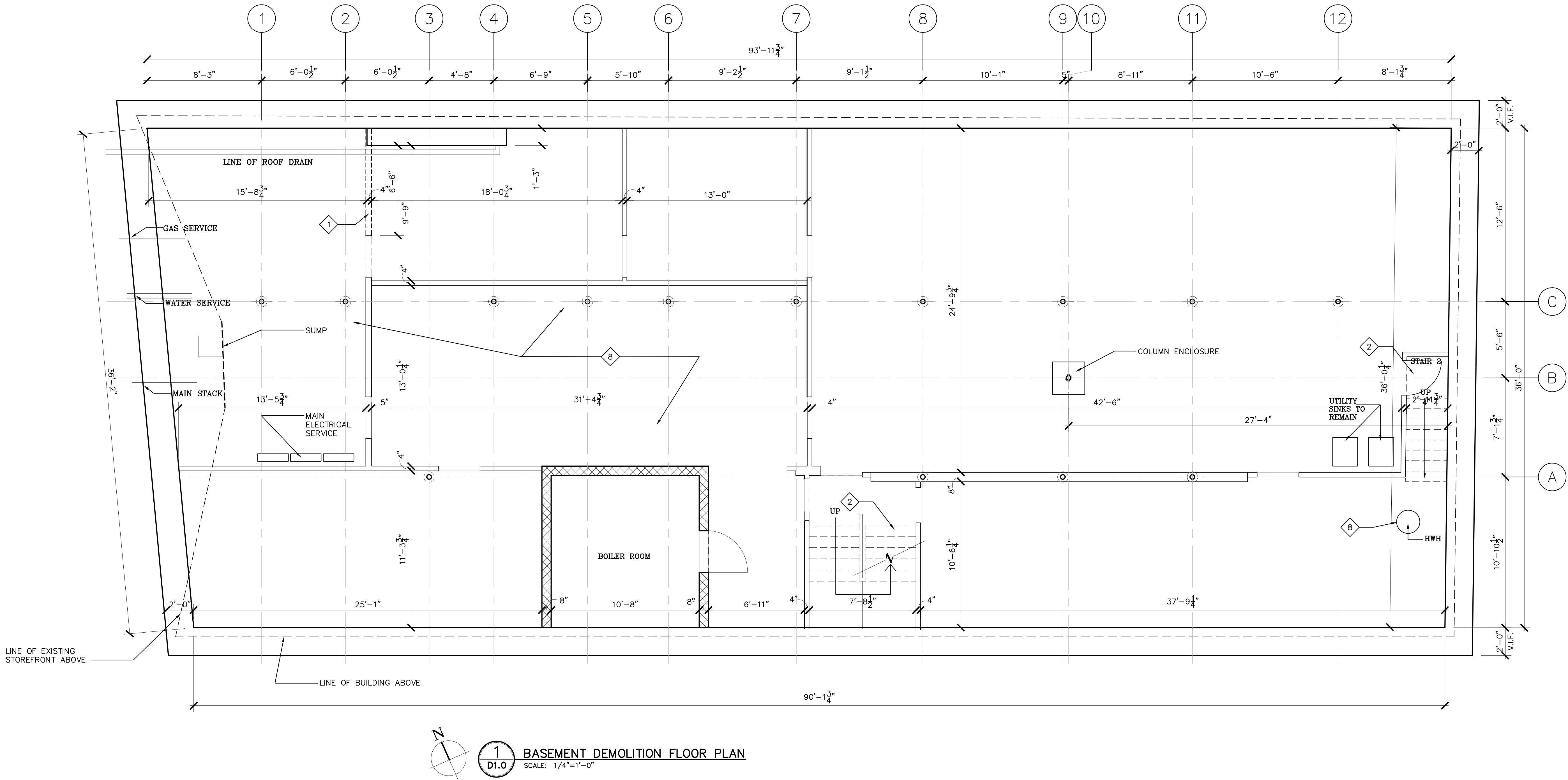
JOB NO:

SHEET NO.:

D1.0

SHEET:

OF:



SELECTIVE DEMOLITION NOTES:

- REMOVE AND DISPOSE OF EXISTING INTERIOR WALL PARTITIONS AND DOORS INCLUDING GWB, TRIM MOLDINGS, BASE STUDS, BLOCKING AND RELATED MATERIAL FLOOR TO CEILING. DEMO ONLY THOSE WALLS INDICATED IN THE DRAWINGS (SEE LEGEND)
- COMPLETELY REMOVE EXISTING STAIR & RAILINGS.
- COMPLETELY REMOVE AND DISPOSE OF EXISTING STOREFRONT GLAZING SYSTEM INCLUDING DOORS & HARDWARE, BASE, ETC., FROM GRADE TO SOFFIT, FOR COMPLETE EXTENTS, SEE DEMOLITION ELEVATIONS.
- REMOVE AND DISPOSE OF EXISTING SOFFIT MATERIALS AND OR DUCT WORK AT CEILING AND ALONG WALL.
- REMOVE AND DISPOSE OF EXISTING TIN CEILING, SUSPENSION/FURRING SYSTEM, FASTENERS AND RELATED MATERIALS DOWN TO EXISTING STRUCTURAL MEMBERS.
- REMOVE ALL WALL FINISH, DOWN TO EXISTING BRICK INCLUDING WAINSCOTING, LATH & PLASTER & FURRING FROM CEILING.
- REMOVE ALL EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING, EXCEPT AS NOTED, CUT & CAP SERVICE, SEE MECHANICAL DRAWINGS FOR COMPLETE SCOPE.
- REMOVE ALL EXISTING HVAC EQUIPMENT, DOMESTIC HOT WATER SYSTEMS, HANGERS, DUCTWORK, CXUT & CAP ALL UTILITY SERVICE BACK TO METER. SEE HVAC DRAWINGS FOR COMPLETE SCOPE.
- COMPLETELY REMOVE EXISTING WINDOWS & VENTS.
- COMPLETELY REMOVE EXISTING IRON GATES & GRILLWORK.
- COMPLETELY REMOVE & DISPOSE OF EXISTING SKYLIGHT GLAZING SYSTEM, REMOVE CURB DOWN TO ROOF. (SKYLIGHTS TO BE COMPLETELY REMOVED & OPENING TO BE FILLED IN SEE PROPOSED DRAWINGS).
- COMPLETELY REMOVE EXISTING SKYLIGHT GLAZING & CURBS AS INDICATED.
- REMOVE & DISPOSE ALL EXISTING INTERIOR & EXTERIOR LIGHTING INCLUDING PENDANT MOUNTED CEILING LIGHTS, WALL & SOFFIT MOUNTED FIXTURES.
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- REMOVE EXISTING FLOORING & FLOORING FRAMING TO ACCOMMODATE NEW WORK, SEE STRUCTURAL DRAWINGS

NOTES (TYPICAL):

- DIMENSIONS AND LOCATIONS OF ALL EXISTING ELEMENTS AND STRUCTURES ARE FOR REFERENCE ONLY. DRAWINGS MAY NOT REFLECT ALL EXISTING CONDITIONS AND SHOULD BE USED TO SUPPLEMENT FIELD VERIFICATION.
- REFER TO GENERAL NOTE 9 ON SHEET T2 FOR SECTION 02 08 00 REQUIREMENTS (ASBESTOS ABATEMENT).
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- COMPLETELY REMOVE MTL. CEILING & ANY FURRING OR SUSPENSION.
- REMOVE EXISTING CEILING SUSPENDED LIGHTING STORE FOR REINSTALLATION AS POSSIBLE TEMPORARY LIGHTING.

LEGEND (TYPICAL):

- EXISTING CONSTRUCTION TO BE REMOVED
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- ===== CMU WALL
- LINE OF BUILDING BELOW/ ABOVE
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- ⊙ EXIST. COLUMNS
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DRAWING TITLE:

EXISTING CONDITION &
DEMOLITION FIRST FLOOR
PLAN

DRAWN BY: B.P.

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SCALE:

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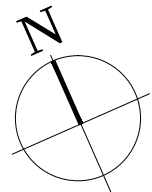
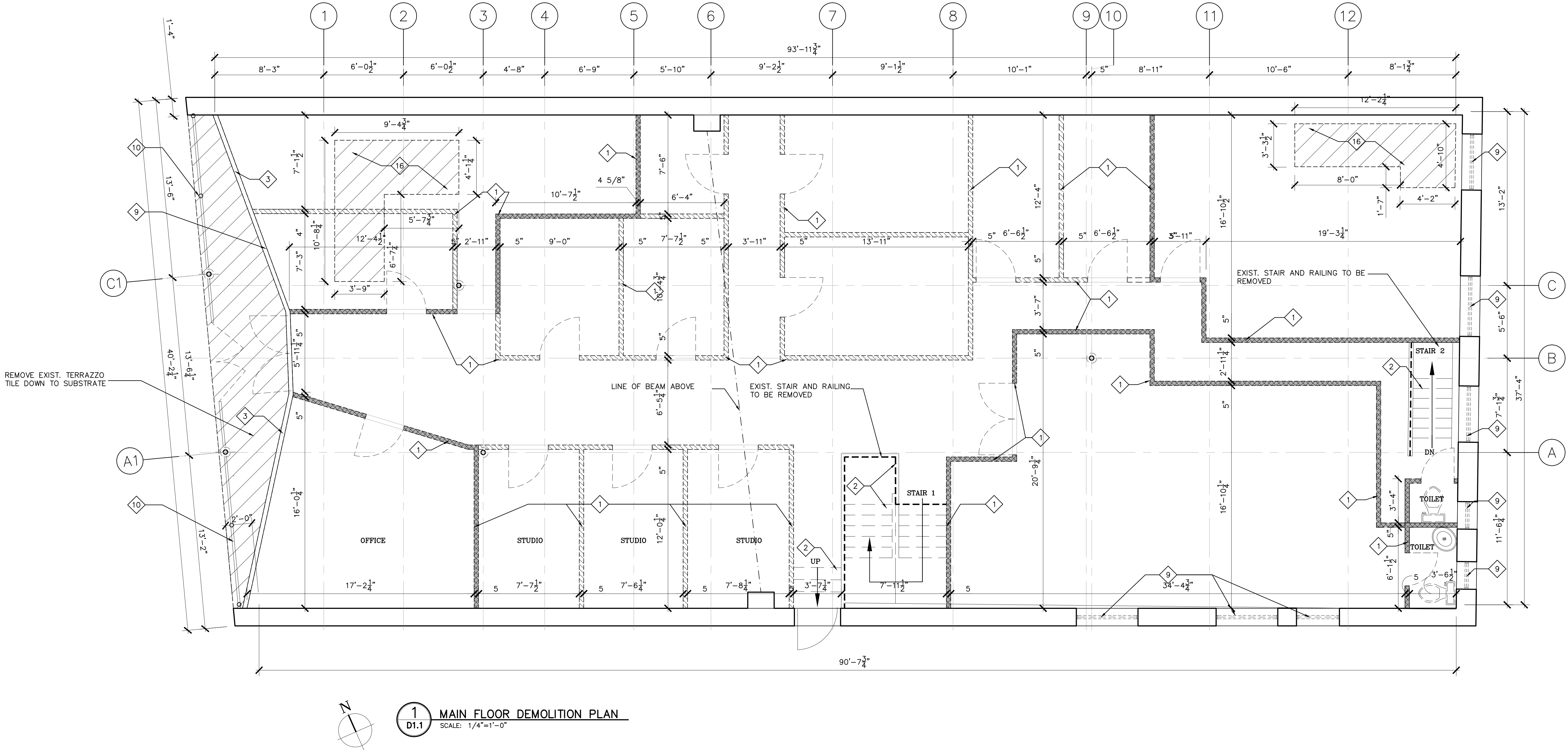
JOB NO:

SHEET NO.:

D1.1

SHEET:

OF:



1
D1.1 MAIN FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

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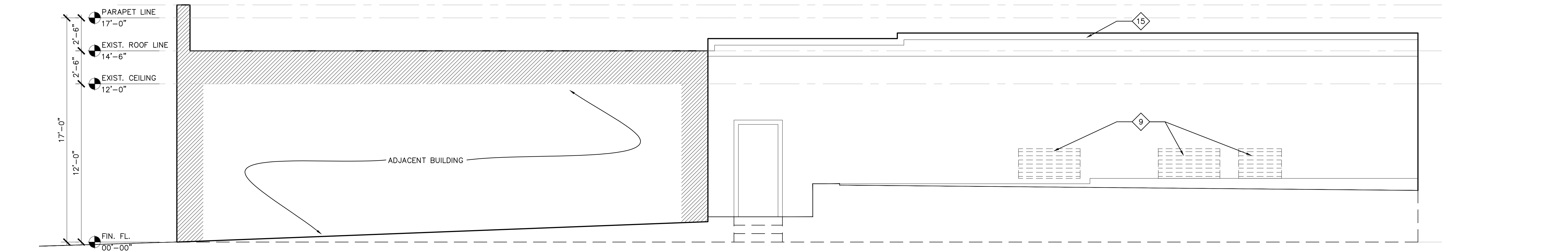
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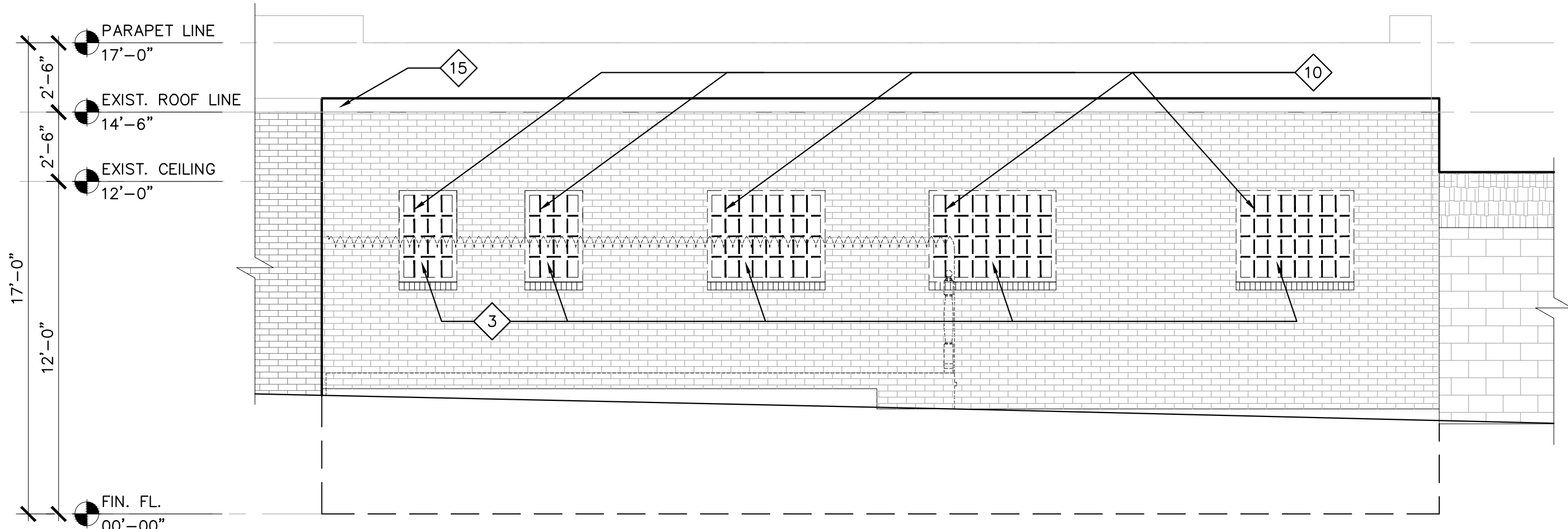
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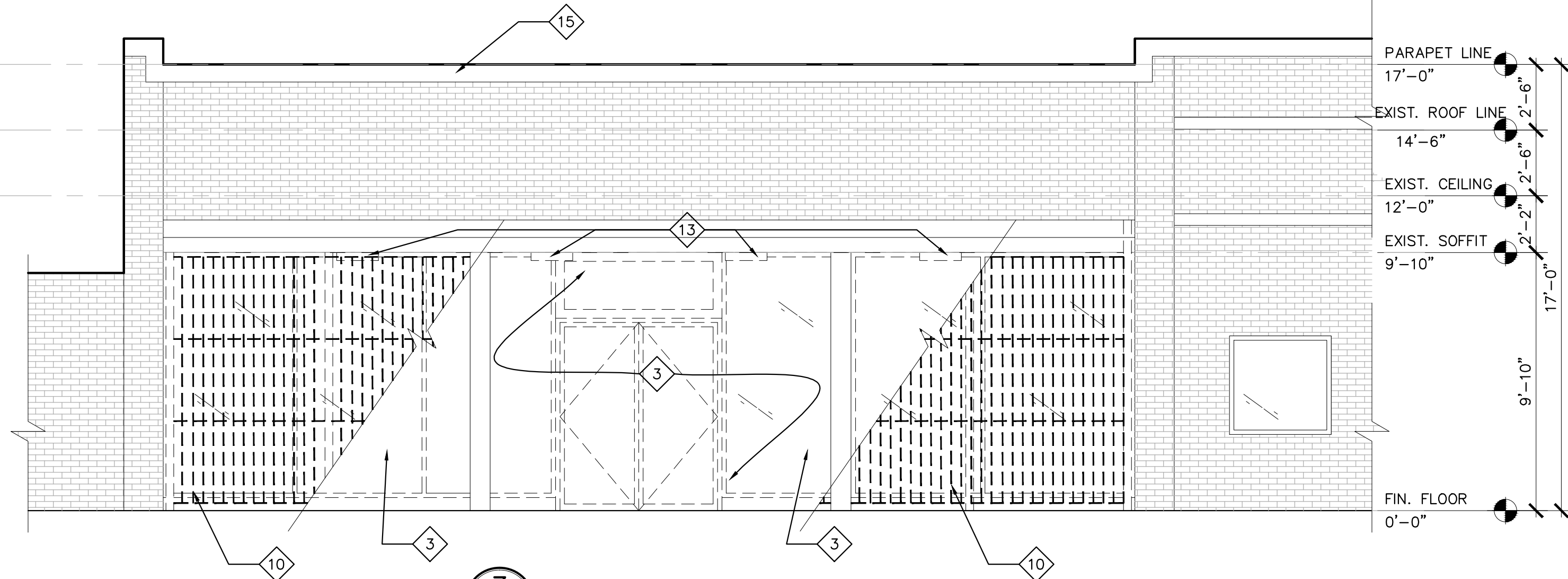
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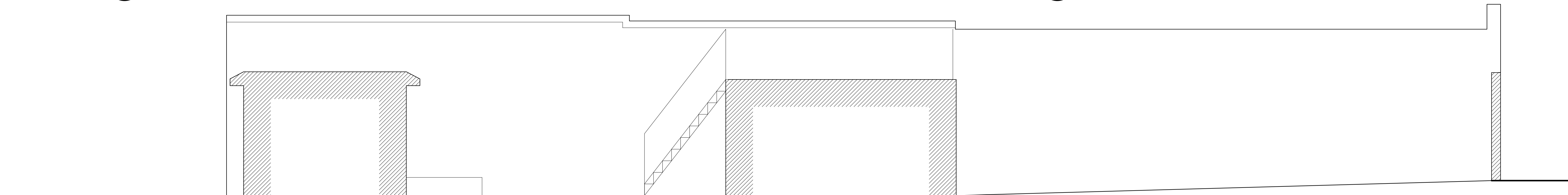
1 SOUTH EASTERN ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH WESTERN ELEVATION
SCALE: 1/4"=1'-0"



3 SOUTH WESTERN ELEVATION
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2 WEST NORTHEN ELEVATION
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PROJECT:

RENOVATION OF
149 BROADWAY STREET FOR
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EXISTING CONDITION &
DEMOLITION ELEVATIONS

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PROJECT:

RENOVATION OF
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DRAWING TITLE:

BASEMENT FLOOR PLAN

DRAWN BY: B.P.

CHECKED BY: E.P.

SCALE:

DATE: 03-05-12

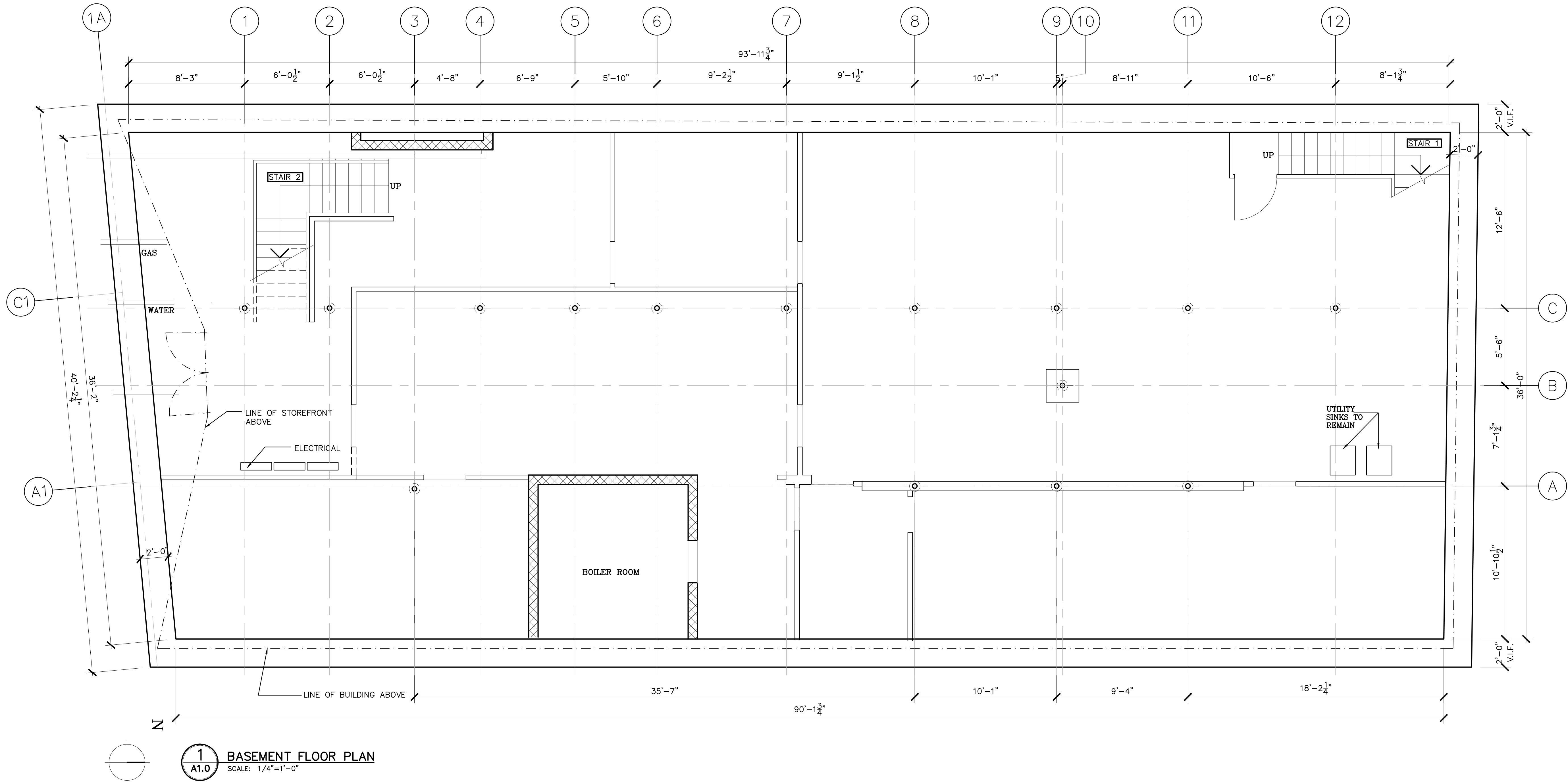
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SHEET NO.:

A1.0

SHEET:

OF:



PARTITION LEGEND:

- EXISTING TO REMAIN.
- NEW PARTITION (SEE SCHEDULE).
- 4" MASONRY VENEER TO MATCH EXISTING CONSTRUCTION.
- CMU PARTITION OR INFILL.

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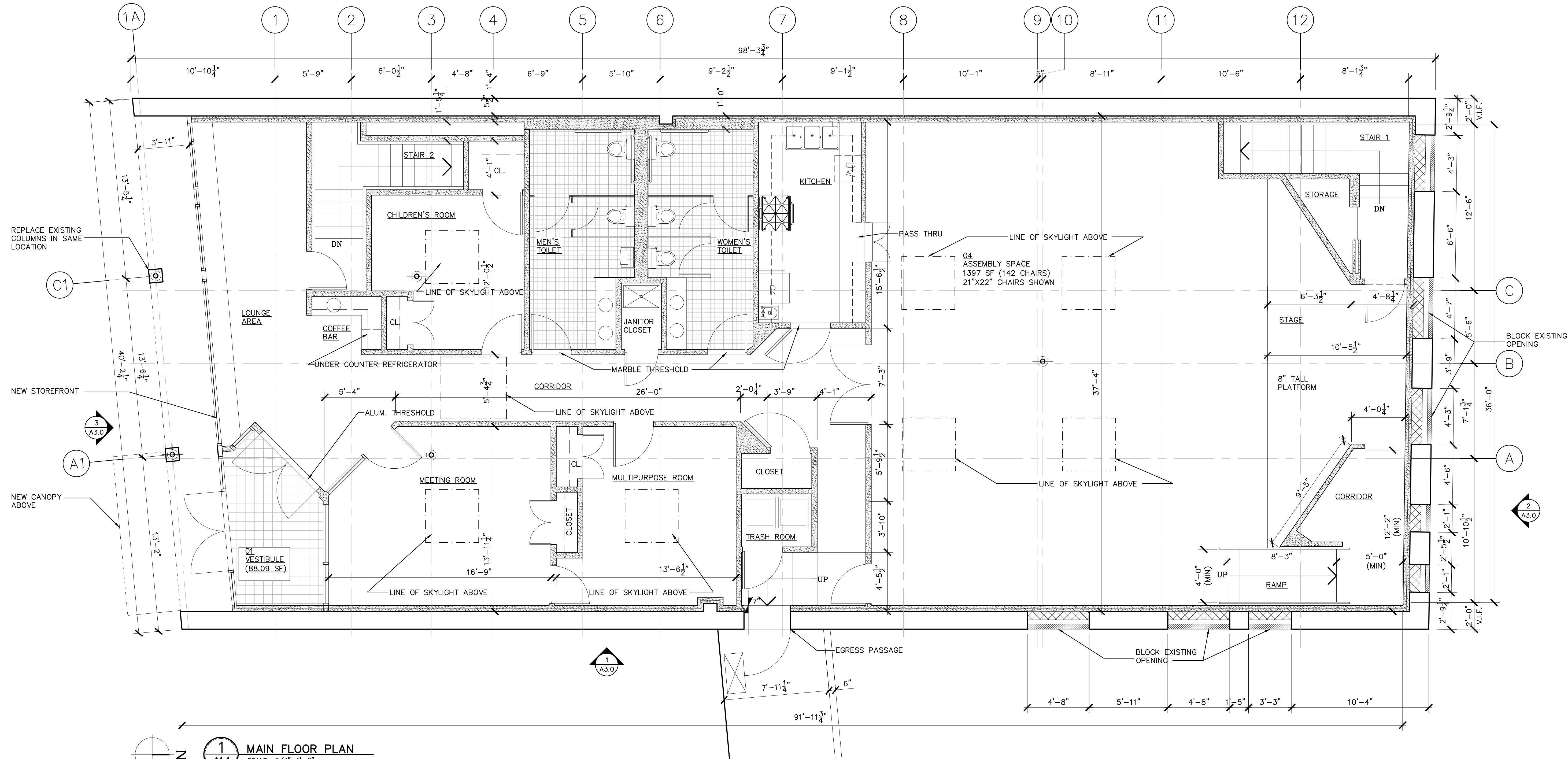
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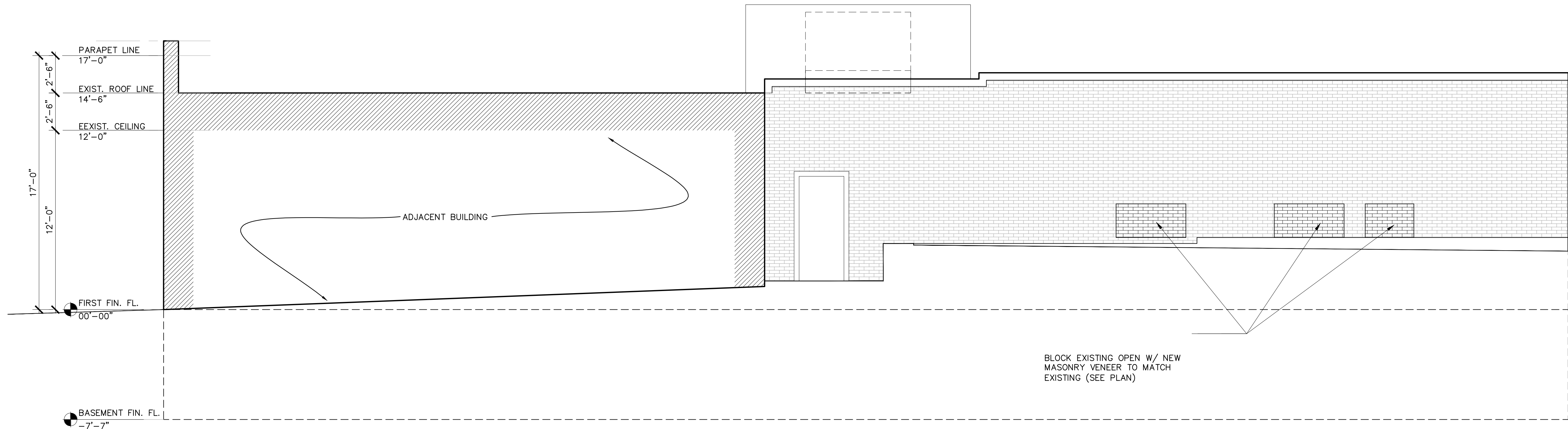
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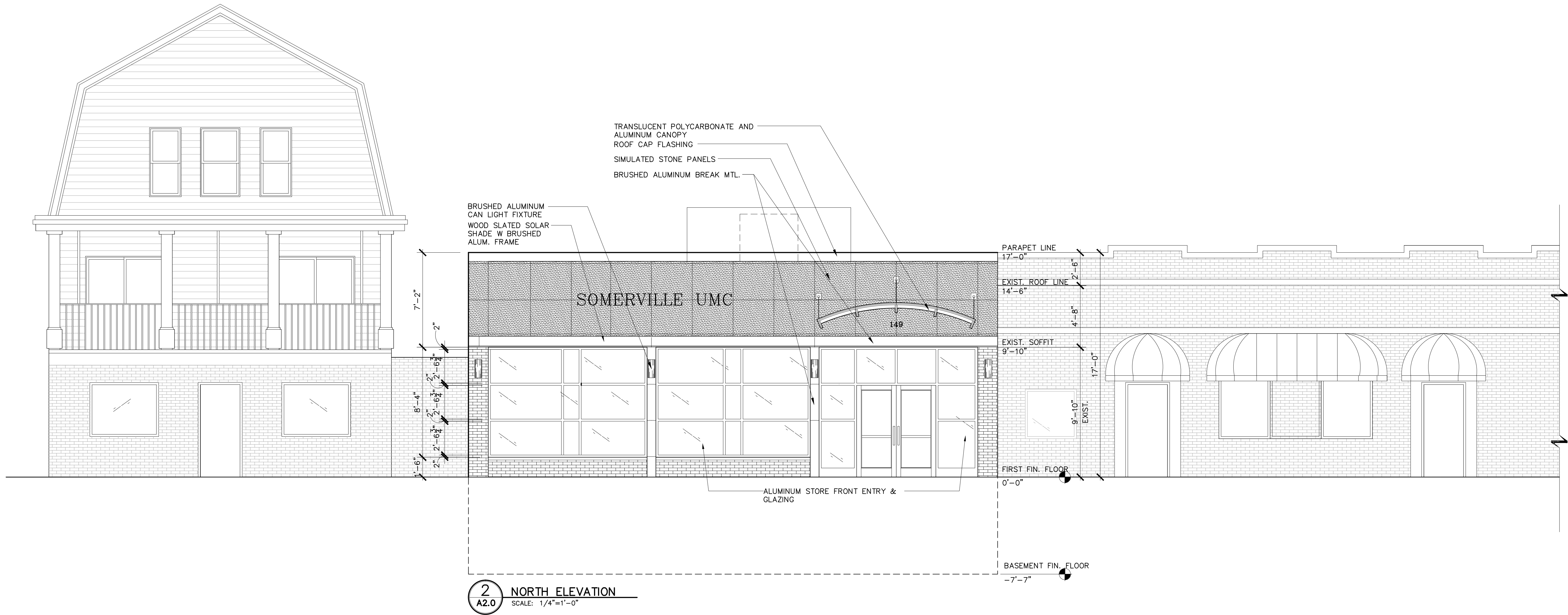
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OF:



1 SOUTH EASTERN ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

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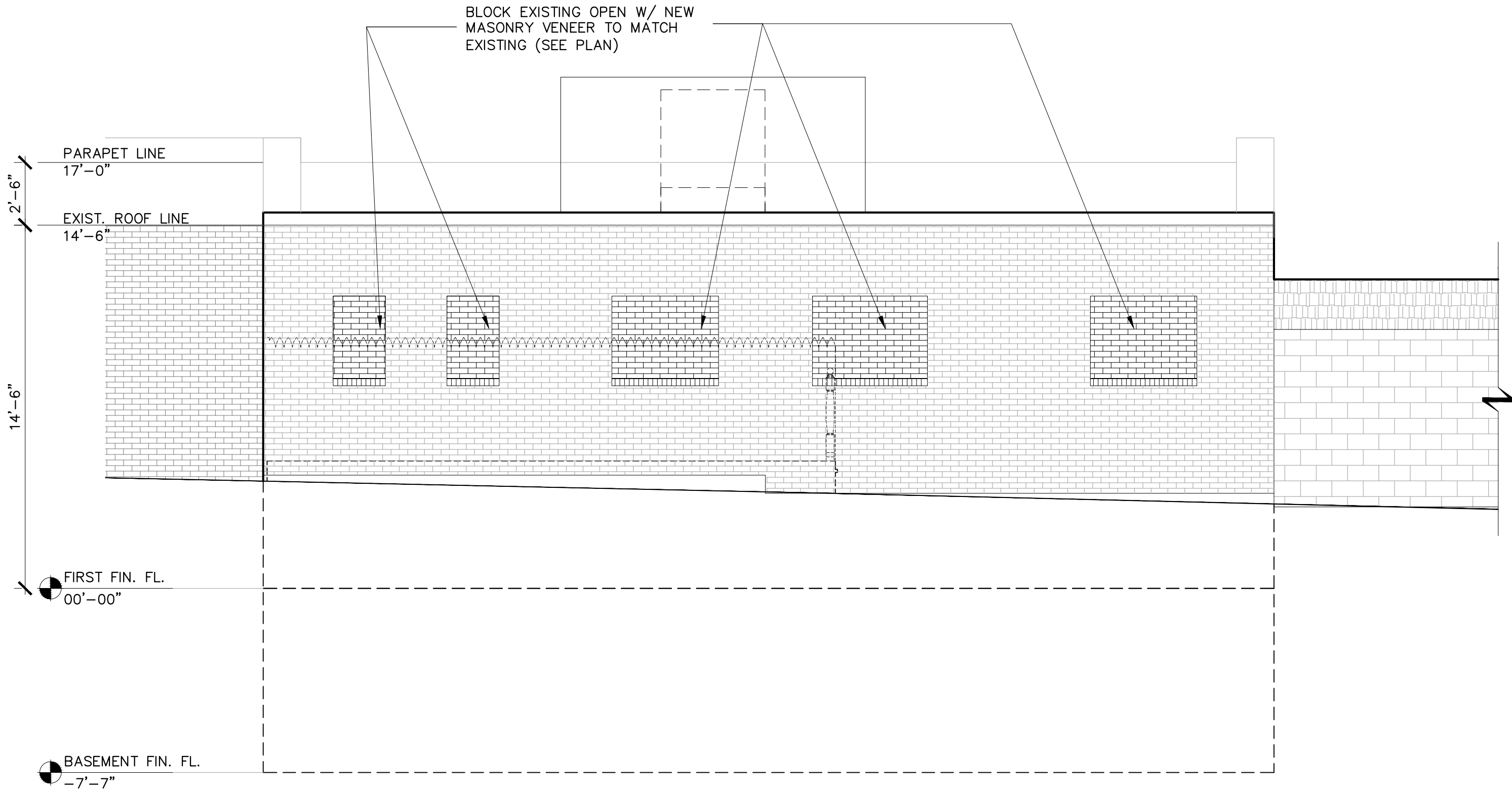
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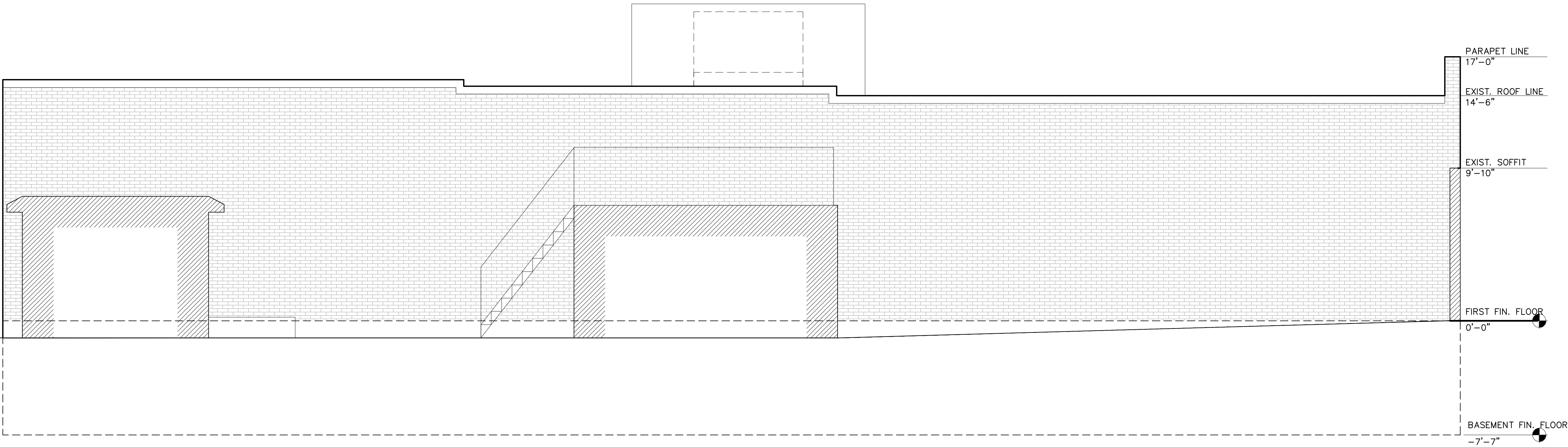
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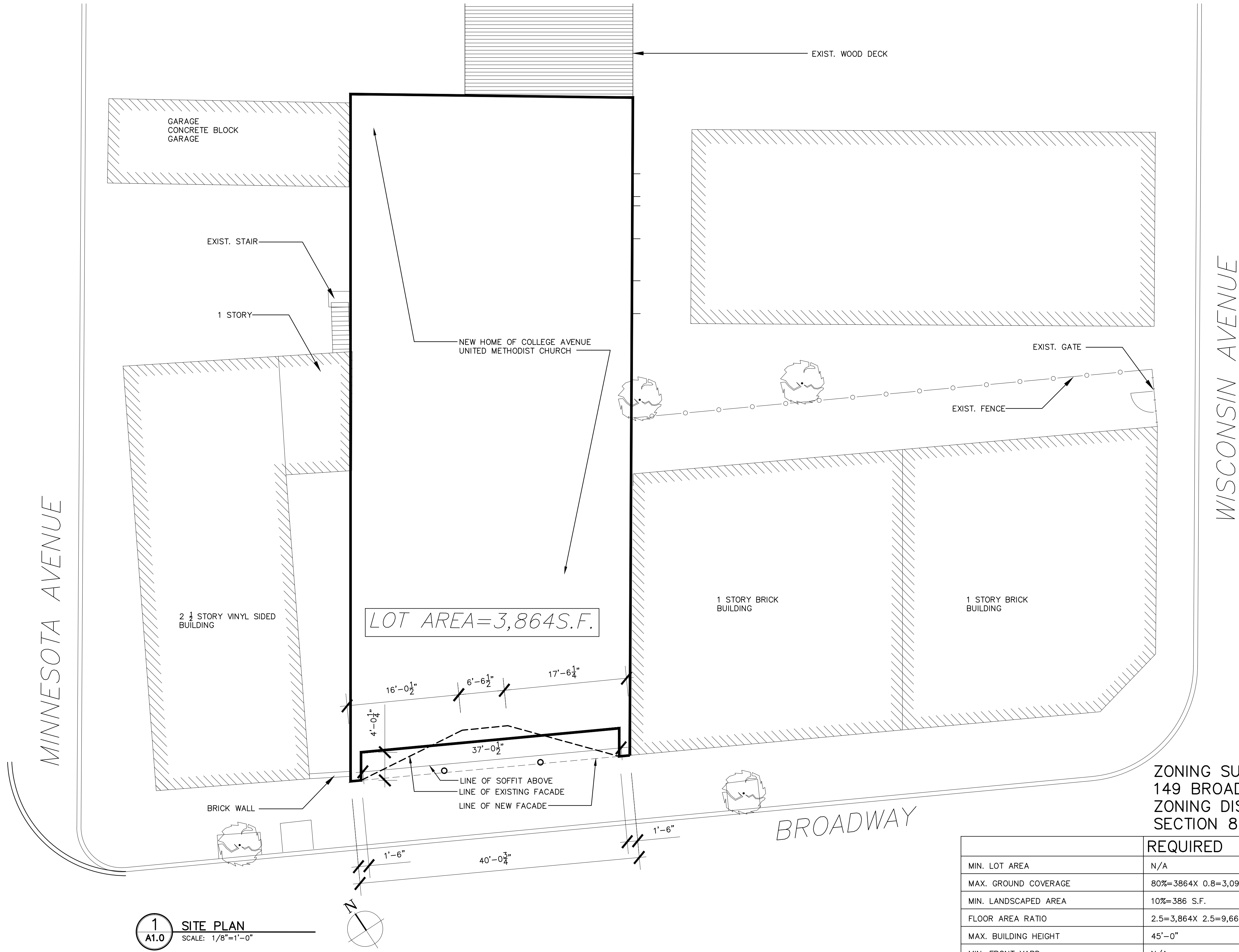
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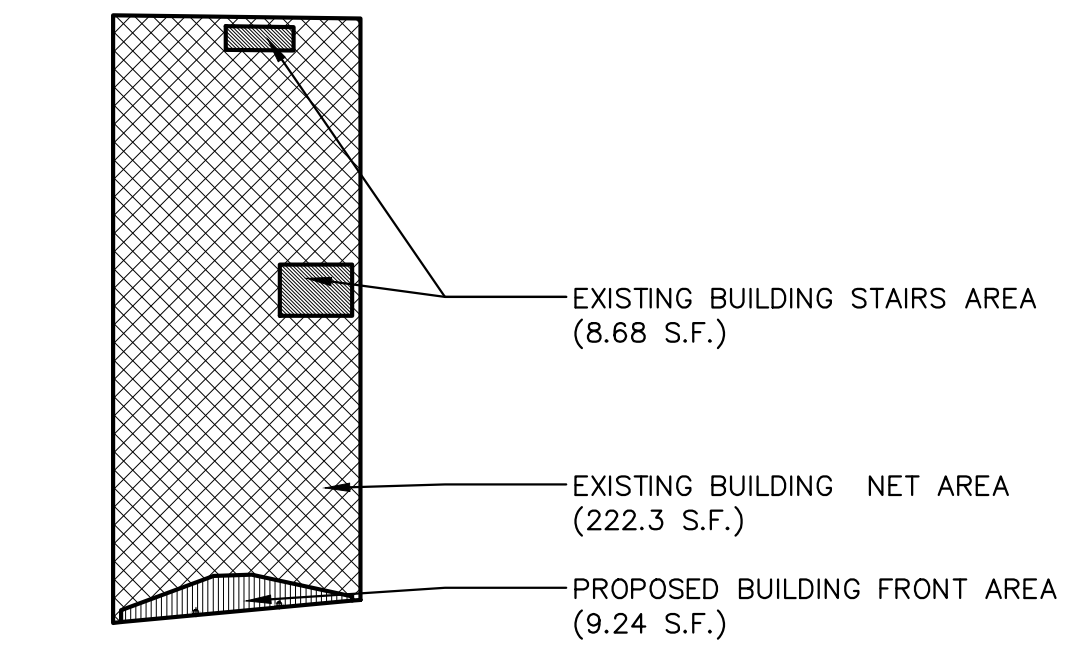
2 NORTH WESTERN ELEVATION
A2.1 SCALE: 1/4"=1'-0"



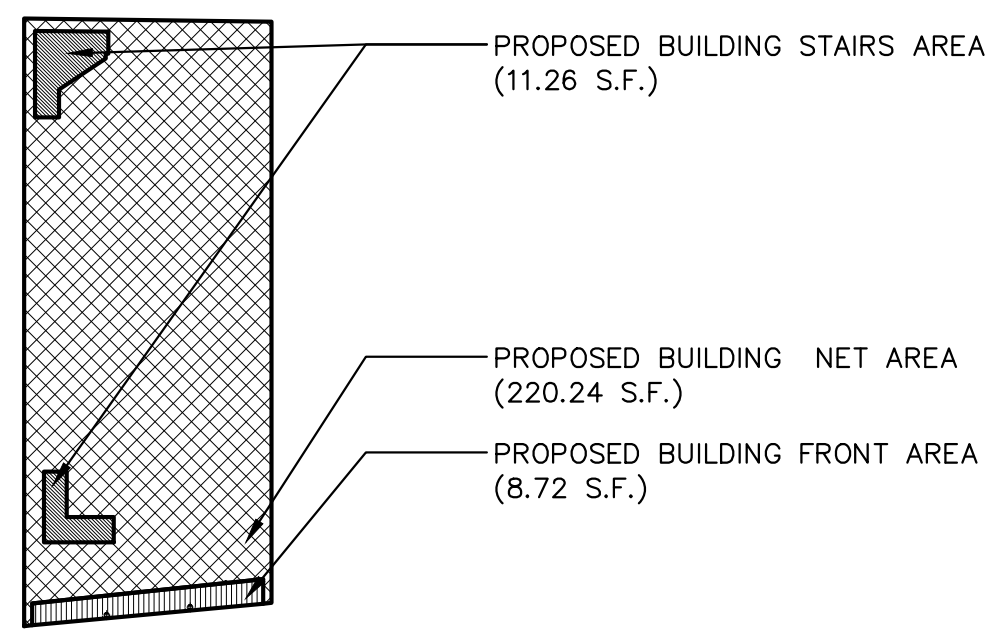
2 WEST NORTHERN ELEVATION
D2.1 SCALE: 1/4"=1'-0"



1 SITE PLAN
A1.0 SCALE: 1/8"=1'-0"



EXISTING BUILDING



PROPOSED BUILDING

ZONING SUMMARY
149 BROADWAY, SOMERVILLE MA
ZONING DISTRICT CCD45
SECTION 8.5 TABLE OF DIMENSIONAL REQUIREMENTS.

	REQUIRED	PROPOSED
MIN. LOT AREA	N/A	3,864 S.F. (EXISTING)
MAX. GROUND COVERAGE	80%=3864X 0.8=3,091.2 S.F.	3,695 S.F. (EXISTING NON-CONFORMING = 96%)
MIN. LANDSCAPED AREA	10%=386 S.F.	0 S.F. (EXISTING NON-CONFORMING = 96%)
FLOOR AREA RATIO	2.5=3,864X 2.5=9,660 S.F.	7,576 S.F. (EXISTING)
MAX. BUILDING HEIGHT	45'-0"	14'-6" (EXISTING)
MIN. FRONT YARD	N/A	0'-0" (EXISTING)
MIN. SIDE YARD	N/A	0'-0"- LEFT & RIGHT (EXISTING)
MIN. REAR YARD	N/A	0'-0" (EXISTING)
MIN FRONTAGE	30'-0"	40'-2-1/2" (EXISTING)
PARKING	9 (SEE NOTE 1)	0 (EXISTING NON-CONFORMING)

- NOTE:**
- PARKING PER SECTION 9.17 FOR PROTECTED USES, SHOULD CONFORM TO CLUSTER WITH SIMILAR USE. SIMILAR USE CLUSTER EDUCATIONAL/ RECREATIONAL/ INSTITUTIONAL =1 PER 400 N.S.F.=3,515/400=9 SPACES.
 - EXISTING BUILDING SQUARE FOOTAGE:
 - EXISTING BUILDING STAIRS AREA=138.92 S.F.
 - EXISTING BUILDING GROSS AREA=3,695.66 S.F.
 - EXISTING BUILDING NET AREA=3,556.74 S.F.

- PROPOSED BUILDING SQUARE FOOTAGE:
 - PROPOSED BUILDING STAIRS AREA=180.15 S.F.
 - PROPOSED BUILDING GROSS AREA=3,736.6 S.F.
 - PROPOSED BUILDING NET AREA=3,556.45 S.F.

ALL SITE INFORMATION ON THIS SHEET OBTAINED FROM DRAWINGS PREPARED BY FIELDMAN LAND SURVEYORS, BOSTON MASSACHUSETTS ALTS/ ACSM LAND TITLE SURVEY, 149-153 BROADWAY SOMERVILLE MASSACHUSETTS, DATED JULY25, 2011

Boston Bay Architects, Inc.

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Interiors
Construction-
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info@bostonbayarchitects.com
www.bostonbayarchitects.com

ARCHITECTS SEAL:

REVISIONS/SUBMISSION

CLIENT:

COLLEGE AVENUE
UNITED METHODIST CHURCH
ONE POWDERHOUSE TERRACE
SOMERVILLE, MA 02144

PROJECT:

RENOVATION OF
149 BROADWAY STREET FOR
COLLEGE AVENUE UNITED
METHODIST CHURCH

DRAWING TITLE:

SITE PLAN

DRAWN BY: B.P.

CHECKED BY: E.P.

SCALE:

DATE: 03-05-12

JOB NO:

SHEET NO.:

C1.0

SHEET: OF:

BOUNDARY DESCRIPTION PER EXHIBIT A OF OF FIDELITY NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE NO. 11-45198, HAVING AN EFFECTIVE DATE OF JULY 1, 2011 AT 5:00 P.M.

149-153 BROADWAY
SOMERVILLE, MASSACHUSETTS

THE LAND IN SOMERVILLE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEING THE REAR PORTION OF LOT 49 ON A PLAN OF THE SOMERVILLE HOME BUILDING ASSOCIATION, DATED AUGUST 1916 AND RECORDED IN MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS, BOOK OF PLANS 251, PLAN 24.

BEGINNING AT A POINT ON THE DIVIDING LINE BETWEEN LOTS 94 AND 49 AS SHOWN ON SAID PLAN AND DISTANT FIFTY (50) FEET FROM THE BROADWAY LINE AS SHOWN ON SAID PLAN, AND RUNNING IN A SOUTHWESTERLY DIRECTION ABOUT FORTY (40) FEET TO THE DIVIDING LINE BETWEEN LOTS 48 AND 49 AS SHOWN ON SAID PLAN; THEN TURNING AND RUNNING IN A NORTHWESTERLY DIRECTION ALONG THE BOUNDARY LINE BETWEEN LOTS ABOUT 48 AND 49 ABOUT FORTY- EIGHT AND 68/100 (48.68) FEET; THEN TURNING AT ABOUT RIGHT ANGLES AND RUNNING ABOUT FORTY (40) FEET IN A NORTHEASTERLY DIRECTION ALONG THE BOUNDARY LINE OF LOT 50 AS SHOWN ON SAID PLAN; THEN TURNING AT ABOUT RIGHT ANGLES AND RUNNING IN A SOUTHEASTERLY DIRECTION FORTY-FOUR AND 65/100 (44.65) FEET TO THE POINT OF BEGINNING, AND CONTAINING ABOUT 1867 SQUARE FEET OF LAND, MORE OR LESS.

[NOTE: THE DIRECTIONS IN THE ABOVE DESCRIPTION ARE INCORRECT]

MEANING AND INTENDING TO INCLUDE ALL RIGHT, TITLE AND INTEREST TO THE PASSAGEWAY ABOUT FIVE (5) FEET IN WIDTH AND ABOUT FORTY (40) FEET LONG RUNNING ALONG THE SOUTHWESTERLY LINE AS ABOVE DESCRIBED.

ALSO, ANOTHER PARCEL OF LAND WITH THE BUILDINGS THEREON SITUATED IN SAID SOMERVILLE AND BEING THE LOT MARKED "B" ON A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN SOMERVILLE" DATED MAY, 1925, SCHEIN AND LEVINE, C.E., RECORDED WITH THE MIDDLESEX SOUTH DISTRICT DEEDS IN PLAN BOOK 354, PLAN 47, AND BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY BY BROADWAY, FORTY AND 21/100 (40.21) FEET;
NORTHWESTERLY BY LAND NOW OR FORMERLY OF BONSHAW, FIFTY (50) FEET;
NORTHEASTERLY BY LOT A ON SAID PLAN, FORTY AND 21/100 (40.21) FEET;
SOUTHEASTERLY BY LAND NOW OR FORMERLY OF OLIVIERA, FIFTY (50) FEET.

CONTAINING 2,000 SQUARE FEET, MORE OR LESS.

BOUNDARY DESCRIPTION PER SURVEY

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF SOMERVILLE, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY END OF A CURVE AT THE INTERSECTION OF THE NORTHWESTERLY SIDELINE OF WISCONSIN AVENUE AND THE NORTHEASTERLY SIDELINE OF BROADWAY, HAVING A RADIUS OF 16.57 FEET, THENCE RUNNING N58°28'40"W, ALONG SAID SIDELINE OF BROADWAY, A DISTANCE OF 65.40 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING N58°28'40"W, ALONG SAID SIDELINE A DISTANCE OF 40.21 FEET TO A POINT;

THENCE TURNING AND RUNNING N37°14'23"E, BY LAND NOW OR FORMERLY OF RENEE & PHILIP POLCARO, A DISTANCE OF 98.61 FEET TO A POINT;

THENCE TURNING AND RUNNING S52°45'37"E, BY LAND NOW OR FORMERLY OF WILLIAM PINA, ELSY LOPEZ DE PINA, JOSE G. RAMIREZ & NANCY LOPEZ, A DISTANCE OF 40.00 FEET TO A POINT;

THENCE TURNING AND RUNNING S37°14'23"W, PARTLY BY LAND NOW OR FORMERLY OF PASCUAL LOPEZ REYES & BLANCA M. AYALA LOPEZ AND PARTLY BY LAND NOW OR FORMERLY OF BEFEKADU DEFAR, A DISTANCE OF 94.60 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 3,864 SQUARE FEET.

TITLE EXCEPTIONS PER SCHEDULE B, SECTION 2 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE No. 11-45198, HAVING AN EFFECTIVE DATE OF JULY 1, 2011 AT 5:00 P.M.

No. 9: TAKING OF EASEMENTS BY THE METROPOLITAN DISTRICT COMMISSION FOR WATER PIPELINES DATED NOVEMBER 27, 1946 AND RECORDED IN BOOK 7066, PAGE 103 - PLOTTED

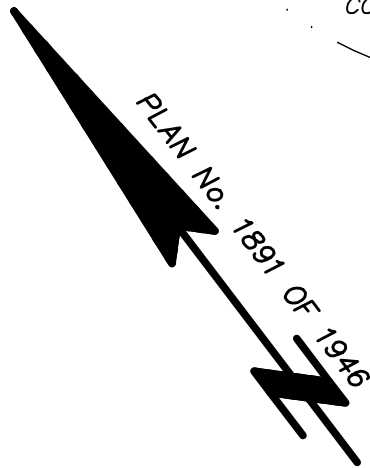
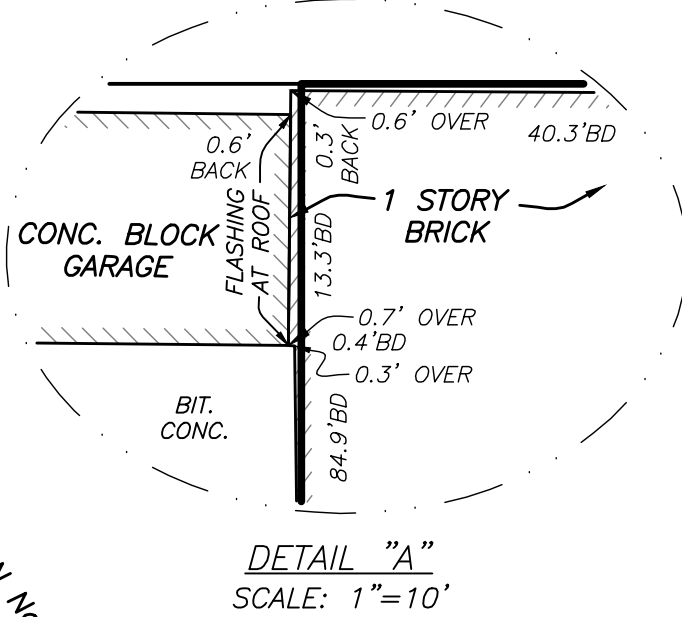
NOTES:

- 1) THIS SURVEY WAS PREPARED WITH THE BENEFIT OF FIDELITY NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE No. 11-45198, HAVING AN EFFECTIVE DATE OF JULY 1, 2011 AT 5:00 P.M.
- 2) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES ENTIRELY WITHIN A "ZONE X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP No. 25017C0439E, EFFECTIVE DATE: JUNE 4, 2010.
- 3) THERE ARE NO GAPS OR GORES BETWEEN THE PARCELS SHOWN HEREON.
- 4) THE PARCELS DESCRIBED IN THE TITLE COMMITMENT ARE THE SAME AS THE PARCELS SHOWN HEREON.
- 5) THE ZONING INFORMATION LISTED HEREON WAS NOT PROVIDED BY THE INSURER AS REQUIRED IN ITEM 6(b) OF THE 2011 ALTA SURVEY REQUIREMENTS.

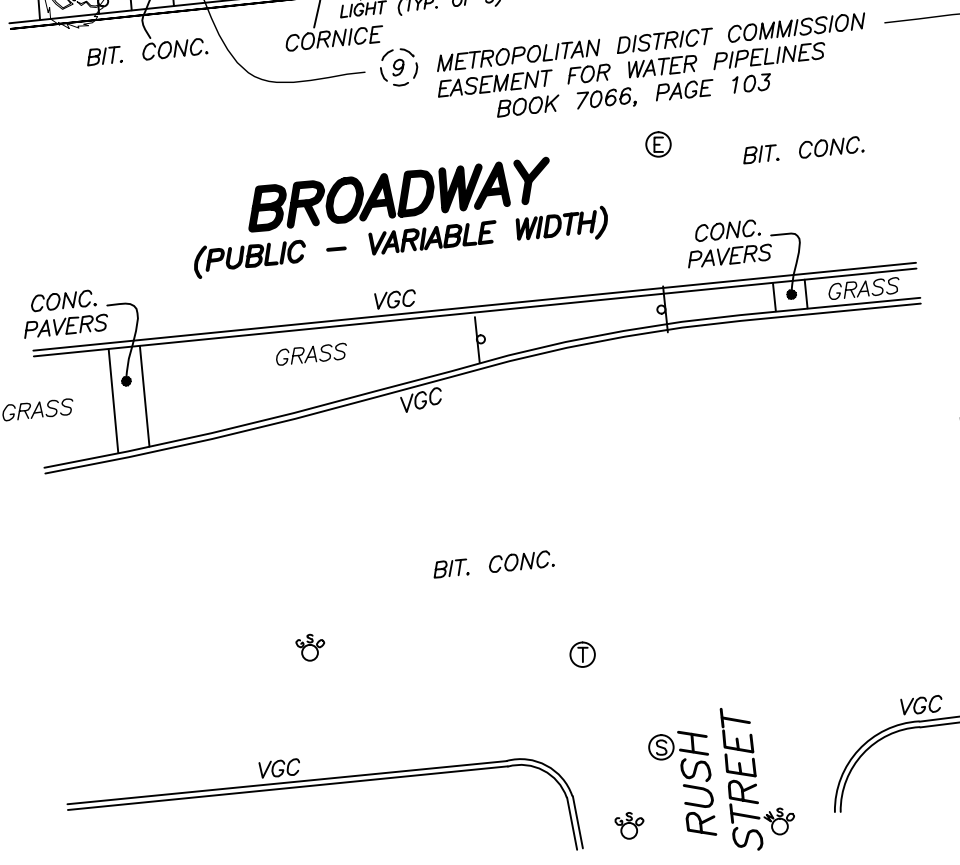
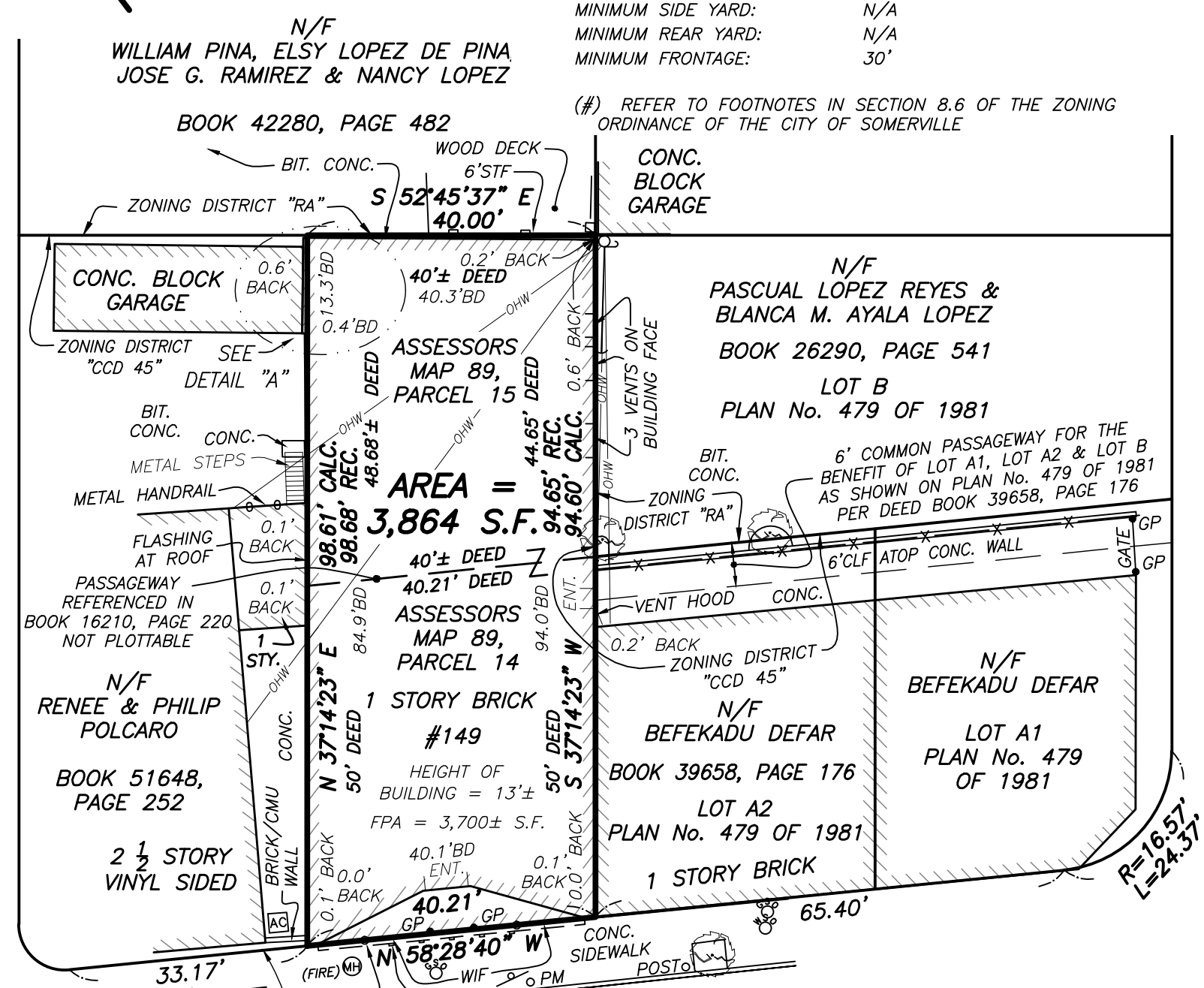
TO: COLLEGE AVENUE UNITED METHODIST CHURCH; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY, 25 2011.

ROBERT G. APPEGATE, PLS
REGISTRATION No. 28514
rga@harryfeldman.com

DATE



MINNESOTA (PUBLIC - 40' WIDE) AVENUE



VISIBLE ENCROACHMENTS:

- THE CORNICE OF THE LOCUS BUILDING ENCROACHES ONTO BROADWAY UP TO 0.8'
- 5 LIGHTS ATTACHED TO SAID CORNICE ENCROACH ONTO BROADWAY UP TO 1.1'
- THE CAP ON THE ROOF OF THE LOCUS BUILDING ENCROACHES 0.2' ONTO BROADWAY AND 0.2' ONTO NORTHWESTERLY ABUTTER.
- VERTICAL FLASHING ON LOCUS BUILDING ENCROACHES ONTO BROADWAY UP TO 0.1'
- THE LOCUS BUILDING ENCROACHES ONTO NORTHWESTERLY ABUTTER UP TO 0.7'
- NORTHEASTERLY ABUTTER'S BITUMINOUS CONCRETE PAVING ENCROACHES ONTO LOCUS UP TO 0.5'
- OVERHEAD WIRES CROSS LOCUS.
- A VENT HOOD ON LOCUS BUILDING ENCROACHES ONTO SOUTHEASTERLY ABUTTER 0.2'
- SOUTHEASTERLY ABUTTER'S CONCRETE WALL WITH CHAIN LINK FENCE ATOP ENCROACH ONTO LOCUS UP TO 0.1'

ZONING

ZONING DISTRICT PER CITY OF SOMERVILLE ZONING MAP
SECTION 12 DATED FEBRUARY 11, 2010: "CCD 45"
(CORRIDOR COMMERCIAL DISTRICT)

CCD 45 DIMENSIONAL REQUIREMENTS

MINIMUM LOT SIZE:	N/A
MAXIMUM GROUND COVERAGE:	80%
MINIMUM LANDSCAPED AREA:	10%
MAXIMUM FLOOR AREA RATIO:	2.5 (2) (23)
MAXIMUM HEIGHT:	45' (23)
MINIMUM FRONT YARD:	N/A
MINIMUM SIDE YARD:	N/A
MINIMUM REAR YARD:	N/A
MINIMUM FRONTAGE:	30'

(#) REFER TO FOOTNOTES IN SECTION 8.6 OF THE ZONING ORDINANCE OF THE CITY OF SOMERVILLE

REFERENCES:

MIDDLESEX REGISTRY OF DEEDS SOUTH DISTRICT DEEDS	BOOK 16210, PAGE 220 (LOCUS)
	26290, 541
	39658, 176
	42280, 482
	48856, 018
	51648, 252
	56944, 484
PLANS	
PLAN BOOK 206, PLAN 18	
	251, 24
	310, 08
	354, 47
PLAN No. 479 OF 1981	
	1891, 1946
CITY OF SOMERVILLE ENGINEERING DEPARTMENT	
NOTE BOOK 031, PAGES 228-237	
	031a, 228-235
	117, 076-079
	225, 084-089
	225, 096-101
	225, 156-161

LEGEND:

- ⓔ ELECTRIC MANHOLE
- Ⓢ SEWER MANHOLE
- Ⓣ TELEPHONE MANHOLE
- Ⓜ MANHOLE
- ⛶ GAS SHUT OFF
- ⛶ WATER SHUT OFF
- Ⓢ UTILITY POLE
- Ⓢ GUY WIRE
- Ⓢ AIR CONDITIONING UNIT
- Ⓢ SIGN
- Ⓢ DECIDUOUS TREE
- GP GATE POST
- PM PARKING METER
- BD BUILDING DIMENSION
- BIT. BITUMINOUS
- CONC. CONCRETE
- CMU CONCRETE MASONRY UNIT
- VGC VERTICAL GRANITE CURB
- CLF CHAIN LINK FENCE
- WIF WROUGHT IRON FENCE
- STF STOCKADE FENCE
- N/F NOW OR FORMERLY
- S.F. SQUARE FEET
- ENT. ENTRANCE
- REC. RECORD
- FPA FOOTPRINT AREA
- STY. STORY
- ⑨ TITLE EXCEPTIONS PER SCHEDULE B, SECTION 2 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE No. 11-45198, HAVING AN EFFECTIVE DATE OF JULY 1, 2011 AT 5:00 P.M.
- X—X—X CHAIN LINK FENCE
- WOOD FENCE
- WROUGHT IRON FENCE
- OHW— OVERHEAD WIRES

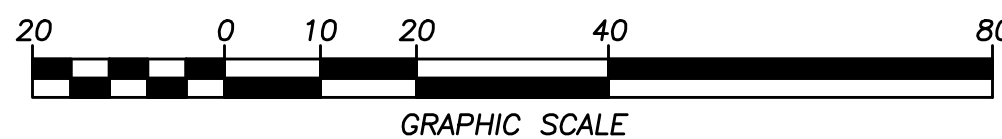
ALTA/ACSM LAND TITLE SURVEY
149-153 BROADWAY
SOMERVILLE, MASS.

SCALE: 1"=20'

HARRY R. FELDMAN, INC.
112 SHAWMUT AVENUE
BOSTON, MASS. 02118

JULY 25, 2011
LAND SURVEYORS
PHONE: (617)357-9740
www.harryfeldman.com

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Professional Land Surveyors



RESEARCH MJB	FIELD CHIEF KP	PROJ MGR MJB	APPROVED	SHEET NO. 1 OF 1
CALC MJB	CADD MJB	FIELD CHECKED MJB	CRD FILE 13193	JOB NO. 13193
FILENAME: S:\PROJECTS\13100s\13193\13193-ALTA.dwg				