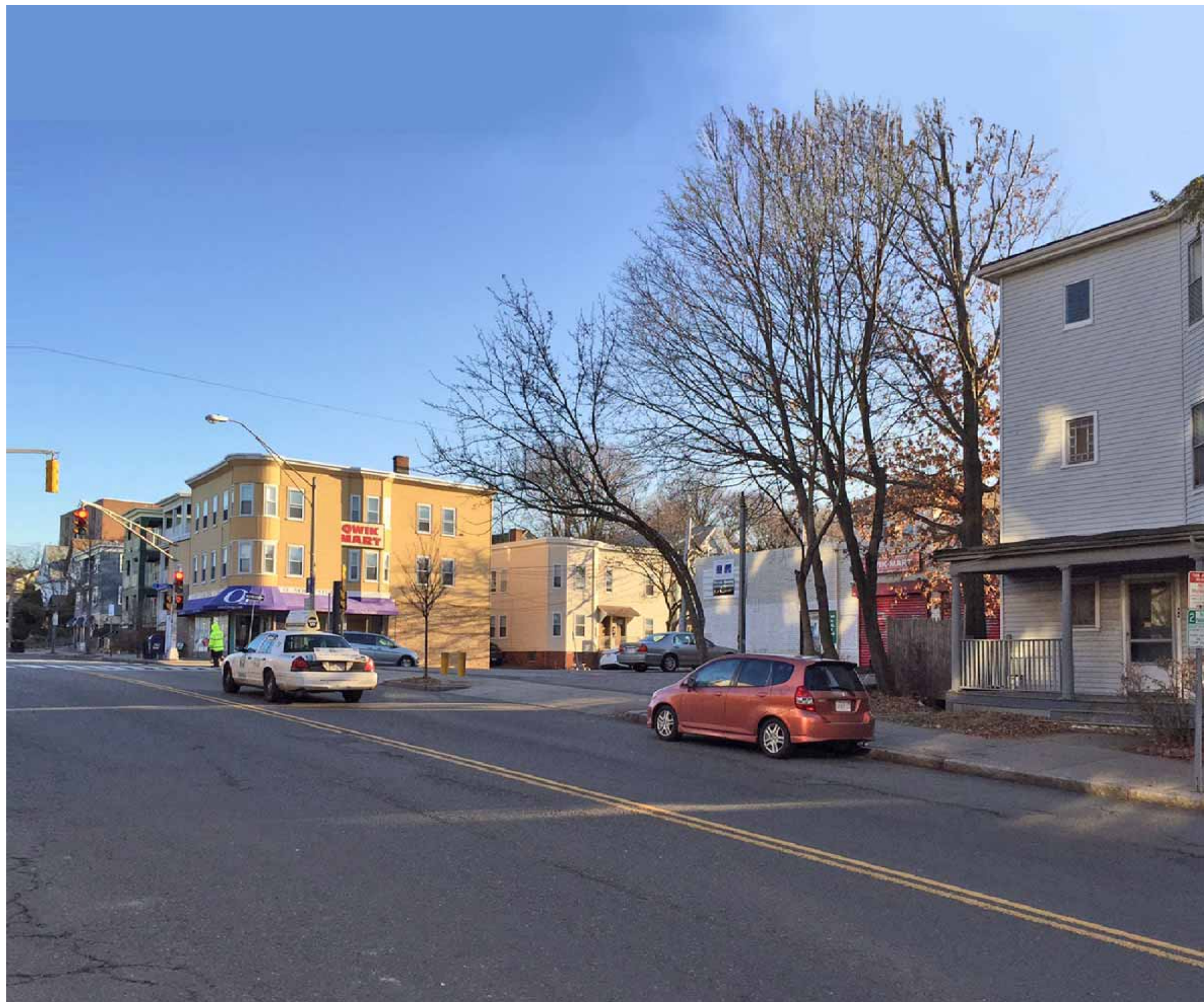
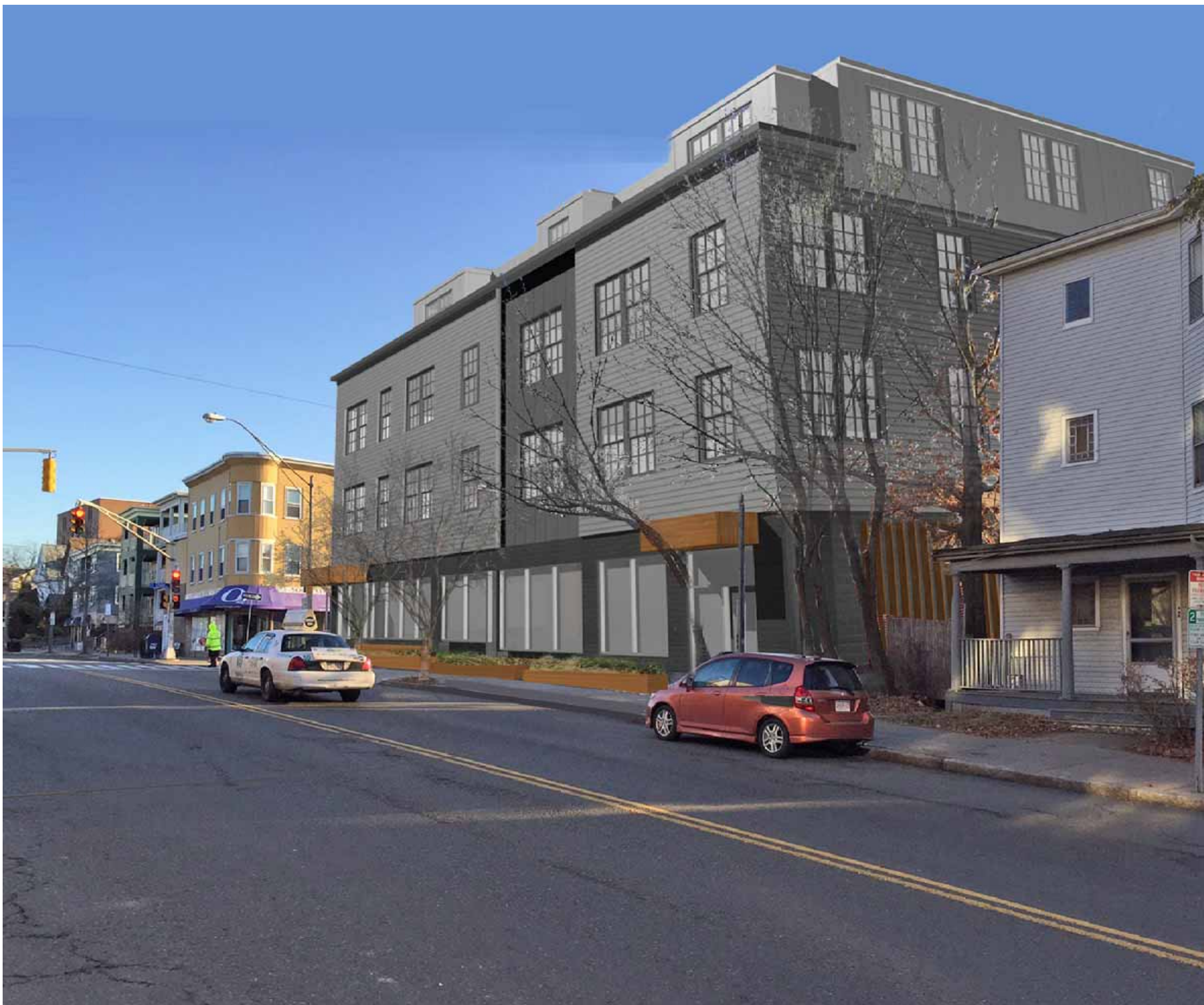




EXISTING VIEW FROM HIGHLAND AVE



CONCEPTUAL RENDERING FROM HIGHLAND AVE

290 Highland Ave

ZBA Submittal

1/12/15

LIST OF DRAWINGS

ARCHITECTURAL	
A01	RENDERINGS, CONTENTS
A11	PROPOSED FIRST FLOOR PLAN
A12	PROPOSED SECOND FLOOR PLAN
A13	PROPOSED THIRD FLOOR PLAN
A14	PROPOSED FOURTH FLOOR PLAN
A21	EXTERIOR ELEVATIONS
A22	EXTERIOR ELEVATIONS
A23	EXTERIOR ELEVATIONS
A31	RENDERINGS & SHADOW STUDY
CIVIL / SITE	
C1	EXISTING CONDITIONS PLAN
C2	SITE LAYOUT PLAN
C3	DRAINAGE, GRADING AND UTILITY PLAN
D1	CONSTRUCTION DETAILS

Owner:
290 Highland Avenue, LLC
67 Kemple Street
Boston, MA 02119
(617) 991-1105

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants

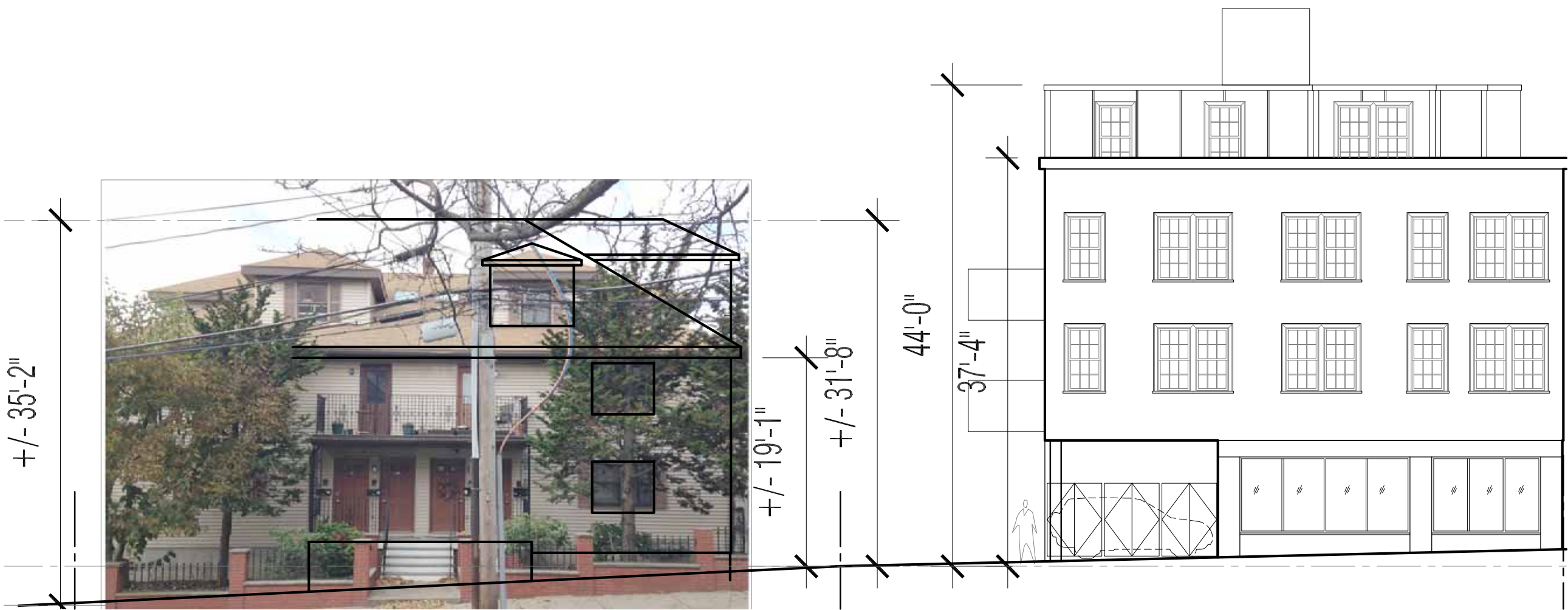
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

BOSTON
SURVEY, INC.

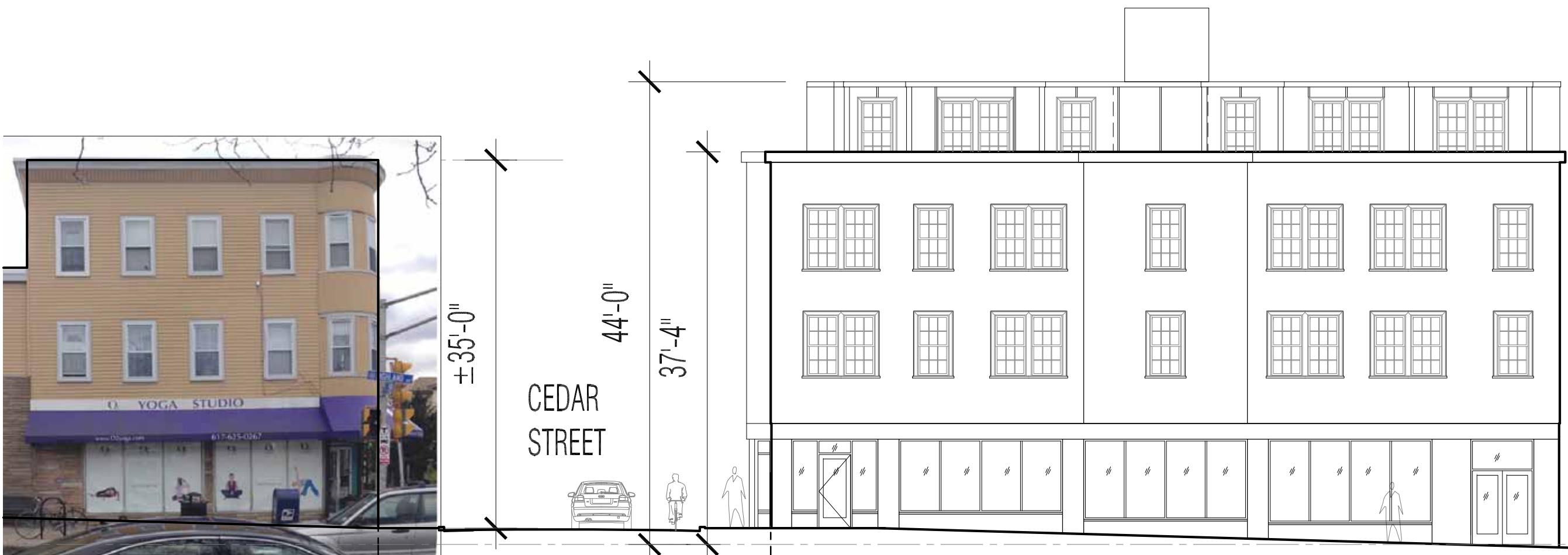
UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA 02129
(617) 242-1313
www.boston-survey.com

Derek Bloom Architects

580 Harrison Avenue
Suite # 444
Boston, MA 02118
Tel: 617.470.3164
db@derekbloombuilders.com



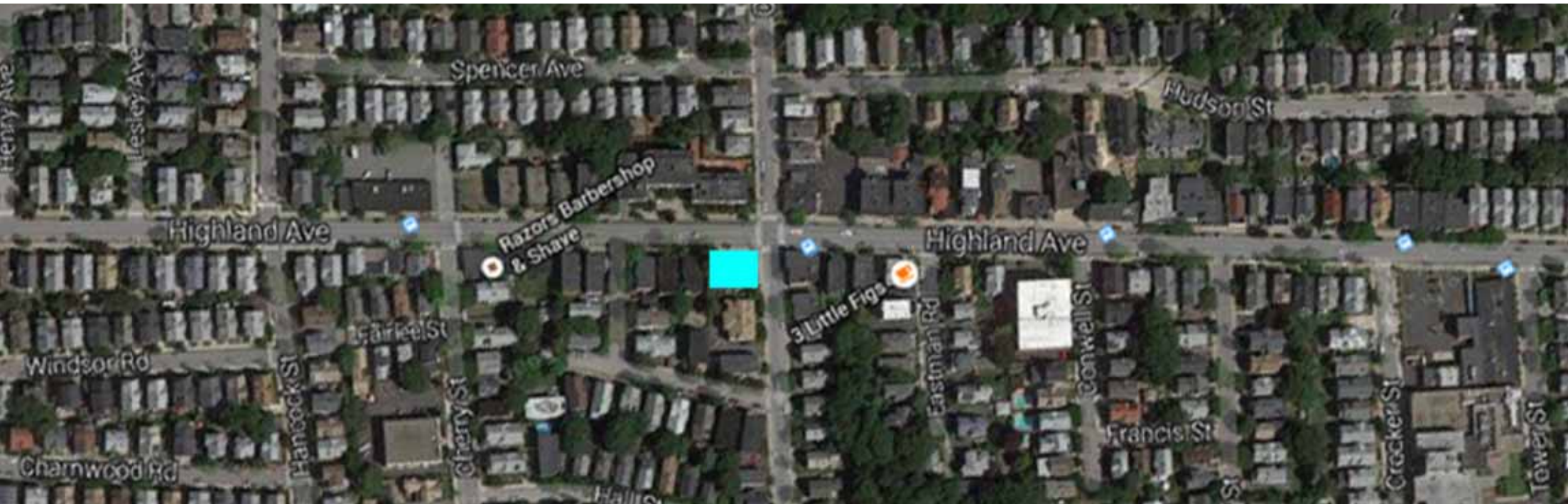
ESTIMATED HEIGHT COMPARISON ON CEDAR STREET



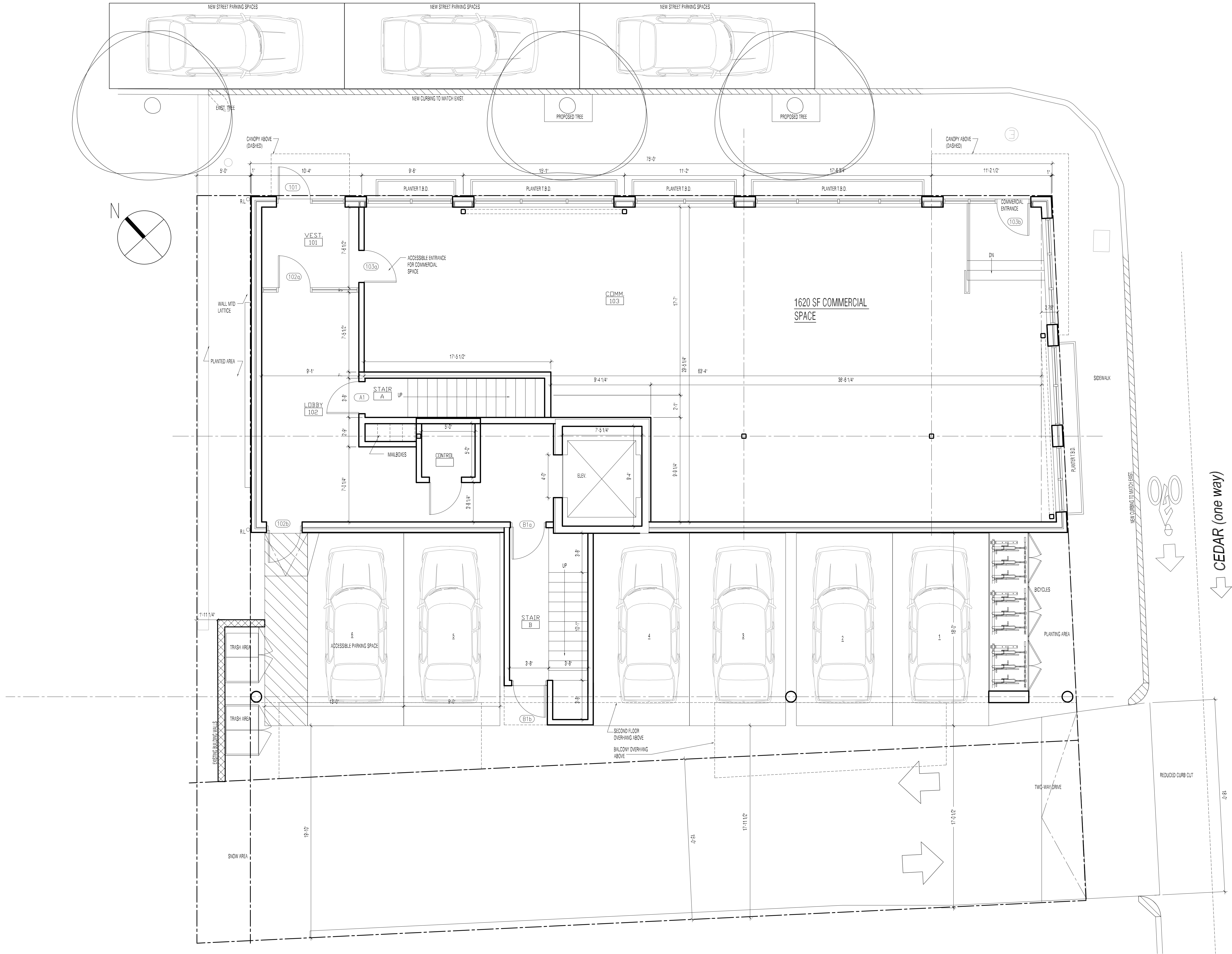
ESTIMATED HEIGHT COMPARISON ON HIGHLAND AVE



HIGHLAND AVE MAP



CONTEXT MAP



Owner:
290 Highland Avenue, LLC
67 Kemple Street
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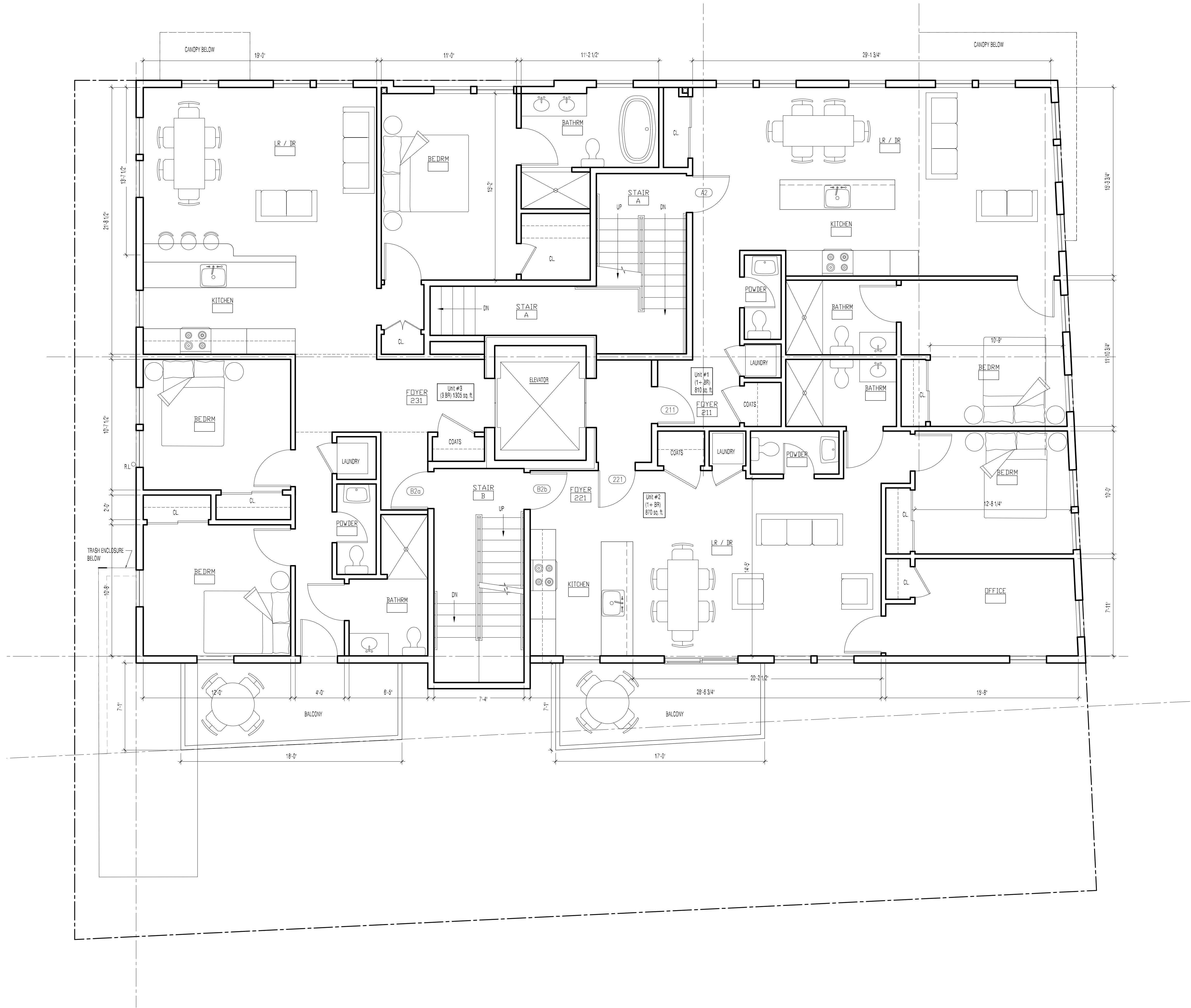
580 Harrison Avenue
Suite # 444
Boston, MA 02118
Tel: 617.470.3164
db@derekbloomerchitects.com

1/12/15 ZBA Submittal
1/2/15 Review Draft

First Floor Plan

DB

A11

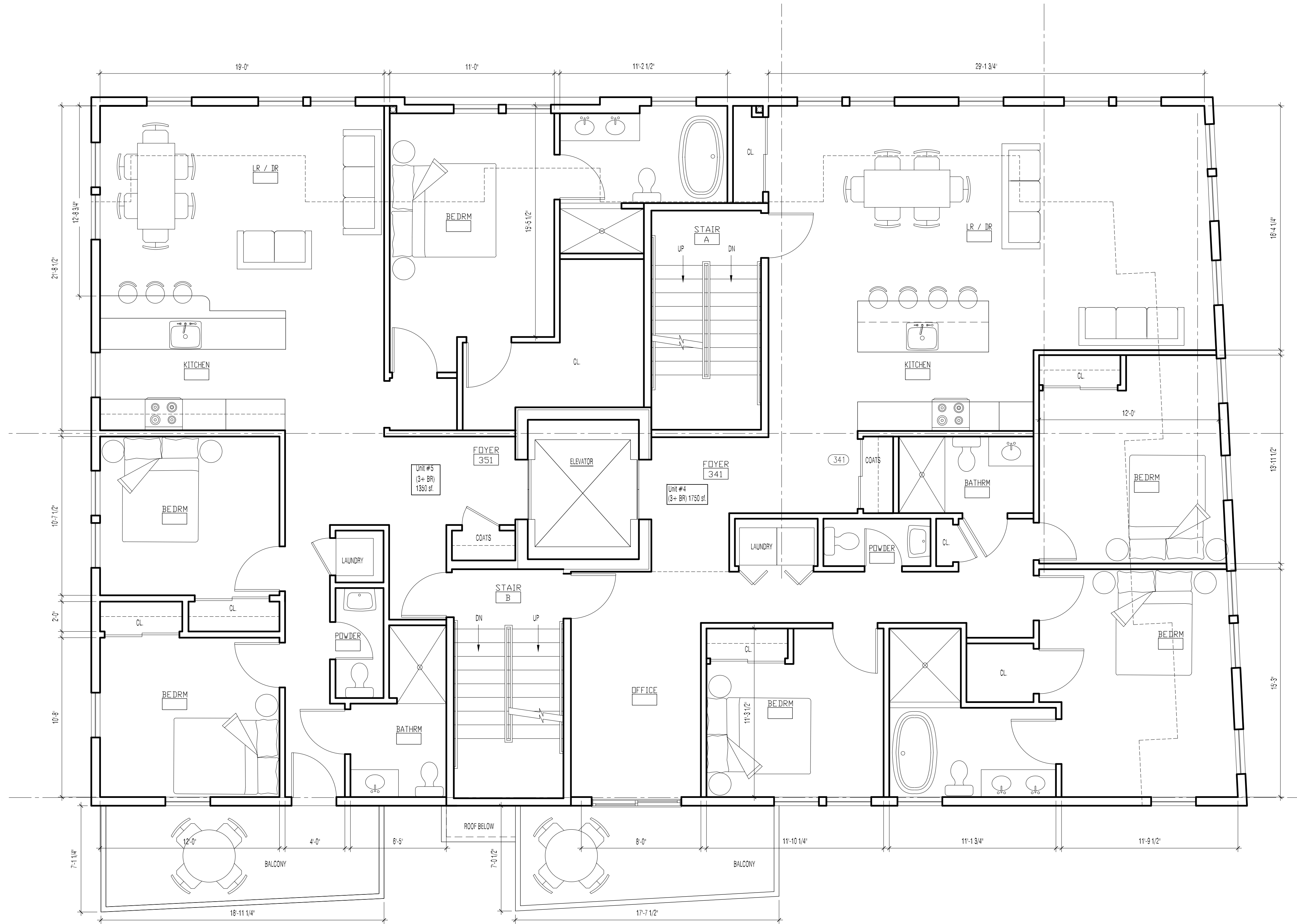


Derek Bloom Architects

580 Harrison Avenue
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Boston, MA 02118
Tel: 617.470.3164
db@derekbloomarchitects.com

1/12/15 ZBA Submittal
1/2/15 Review Draft

Second Floor Plan



Derek Bloom Architects

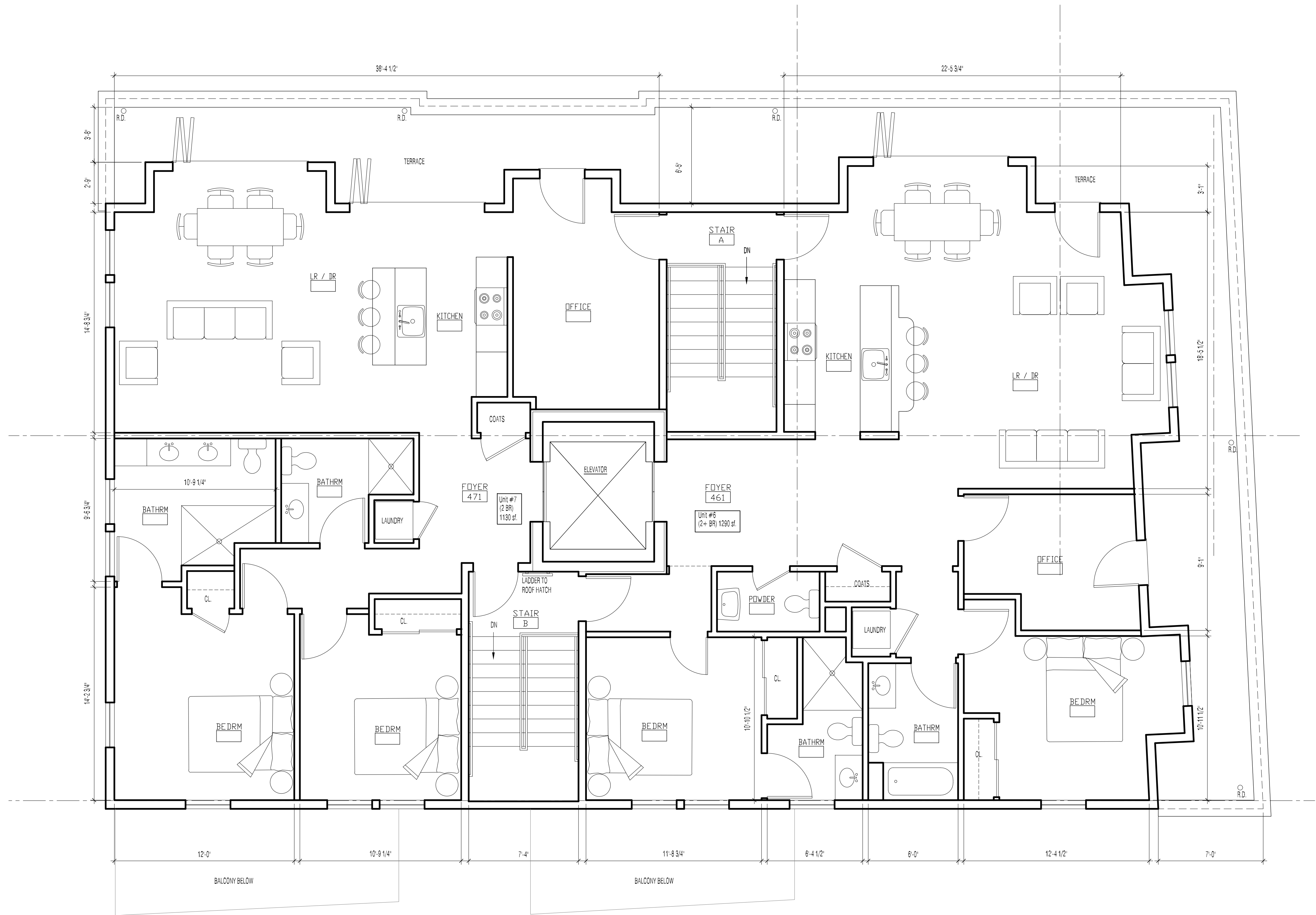
580 Harrison Avenue
Suite # 444
Boston, MA 02118
Tel: 617.470.3164
db@derekbloombuilders.com

1/12/15 ZBA Submittal
1/2/15 Review Draft

Third Floor Plan

DB

A13



Owner:
290 Highland Avenue, LLC
67 Kemple Street
Boston, MA 02119
(617) 991-1105

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants

194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
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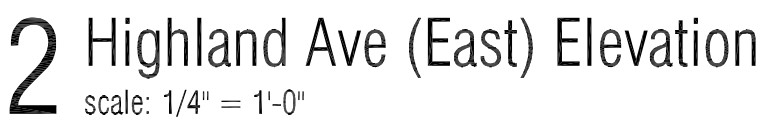
BOSTON
SURVEY, INC.
UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA 02129
(617) 242-1313
www.bostonsurveyinc.com

Derek Bloom Architects

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Suite # 444
Boston, MA 02118
Tel: 617.470.3164
db@derekbloombarchitects.com

1/12/15 ZBA Submittal
1/2/15 Review Draft

Fourth Floor Plan





1 Cedar St (South) Elevation
scale: 1/4" = 1'-0"

3 Right Side (North) Elevation
scale: 1/4" = 1'-0"

Derek Bloom Architects

580 Harrison Avenue
Suite # 444
Boston, MA 02118
Tel: 617.470.3164
db@derekbloomarhitects.com

1/12/15 ZBA Submittal
1/2/15 Review Draft

Exterior Elevations

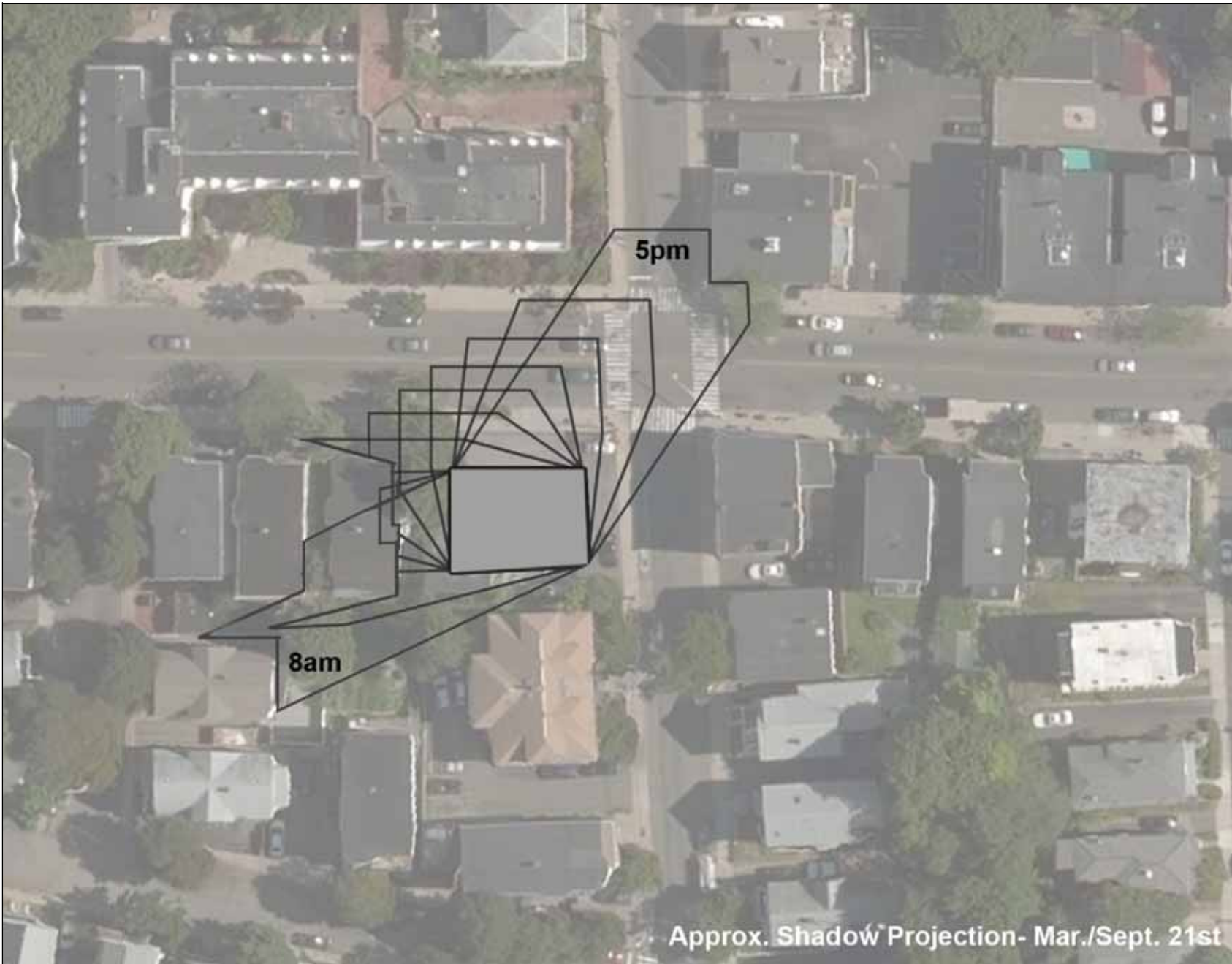


Derek Bloom Architects

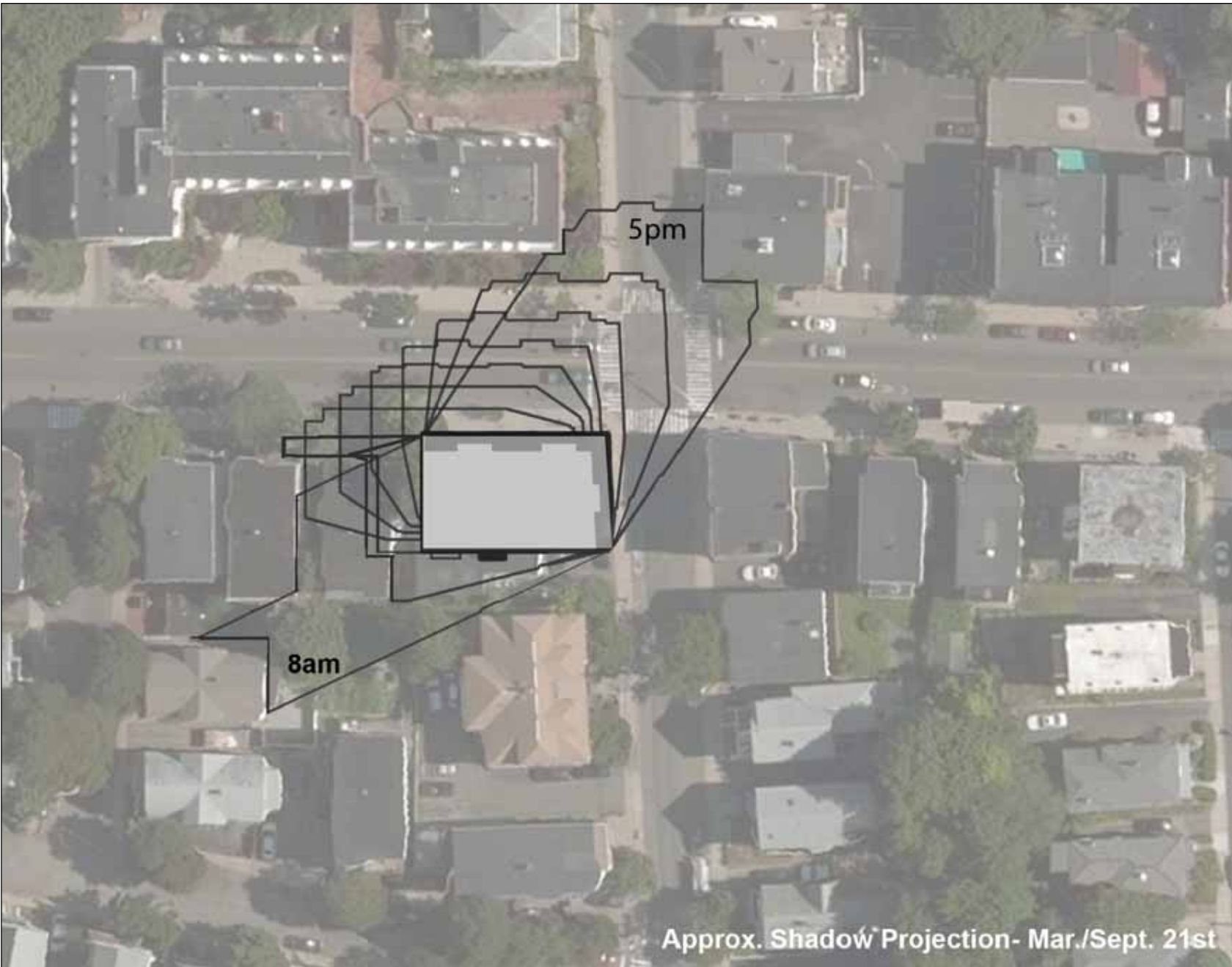
580 Harrison Avenue
Suite # 444
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Tel: 617.470.3164
db@derekbloomarhitects.com

1/12/15 ZBA Submittal
1/2/15 Review Draft

Exterior Elevations



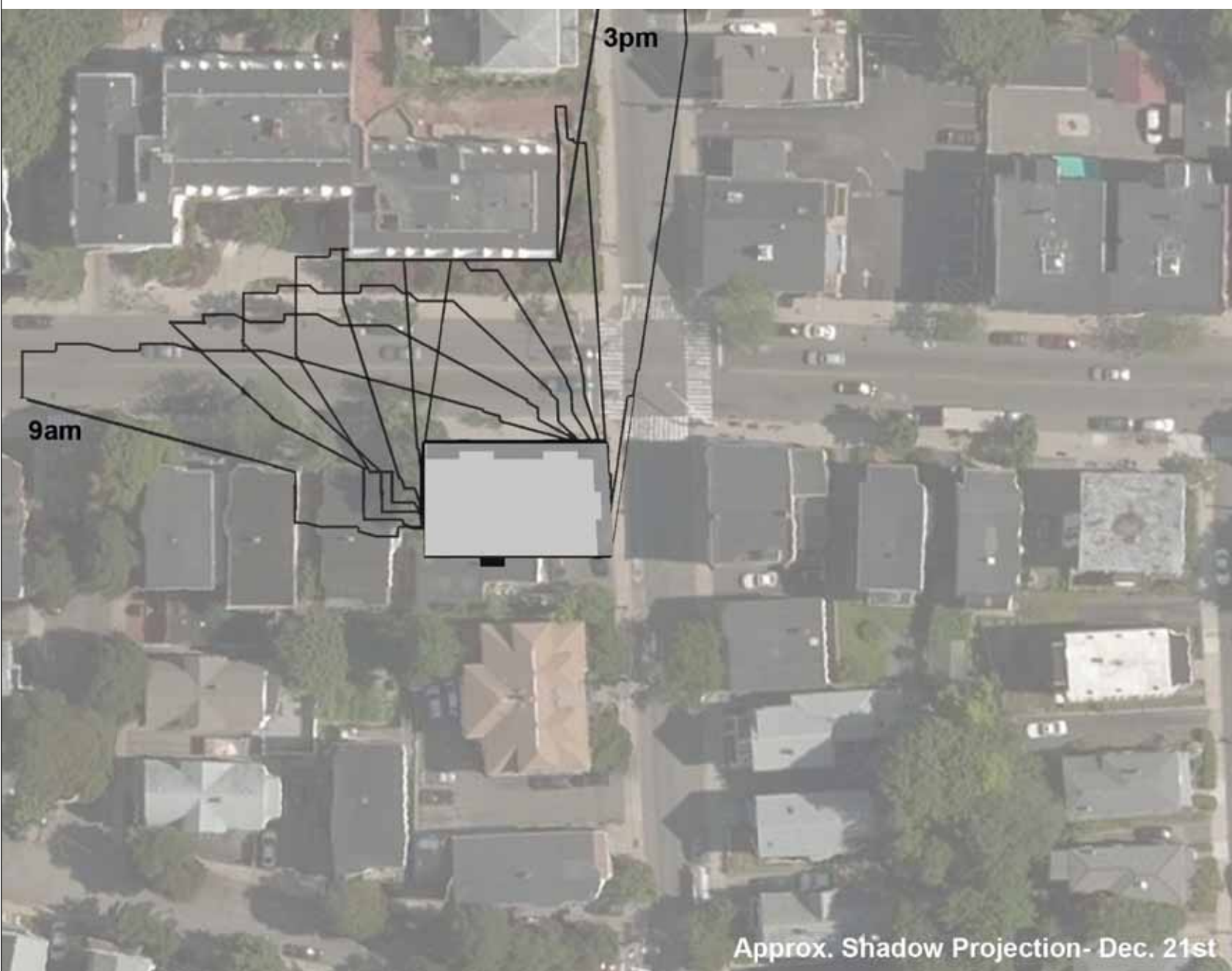
Approx. Shadow Projection- Mar./Sept. 21st



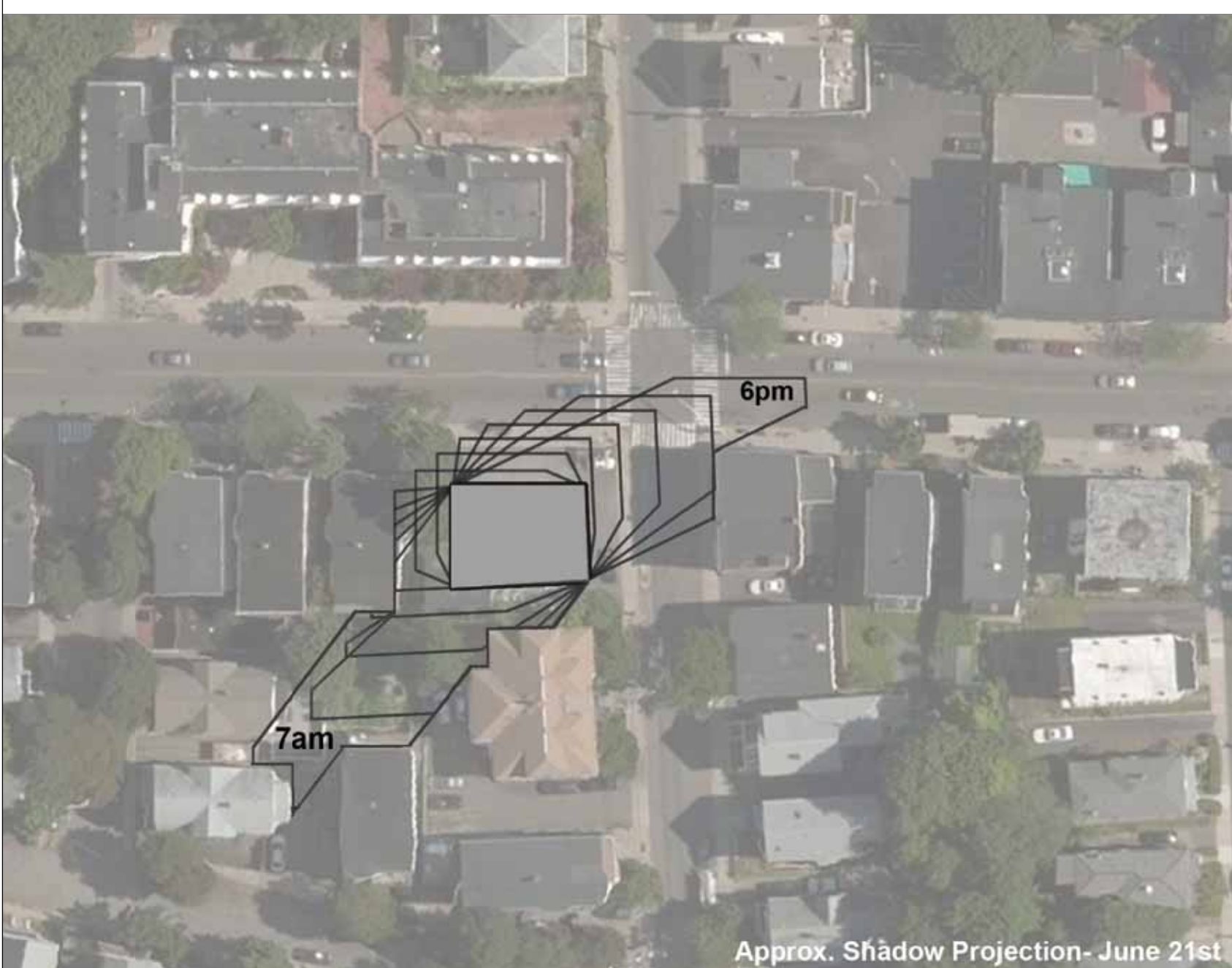
Approx. Shadow Projection- Mar./Sept. 21st



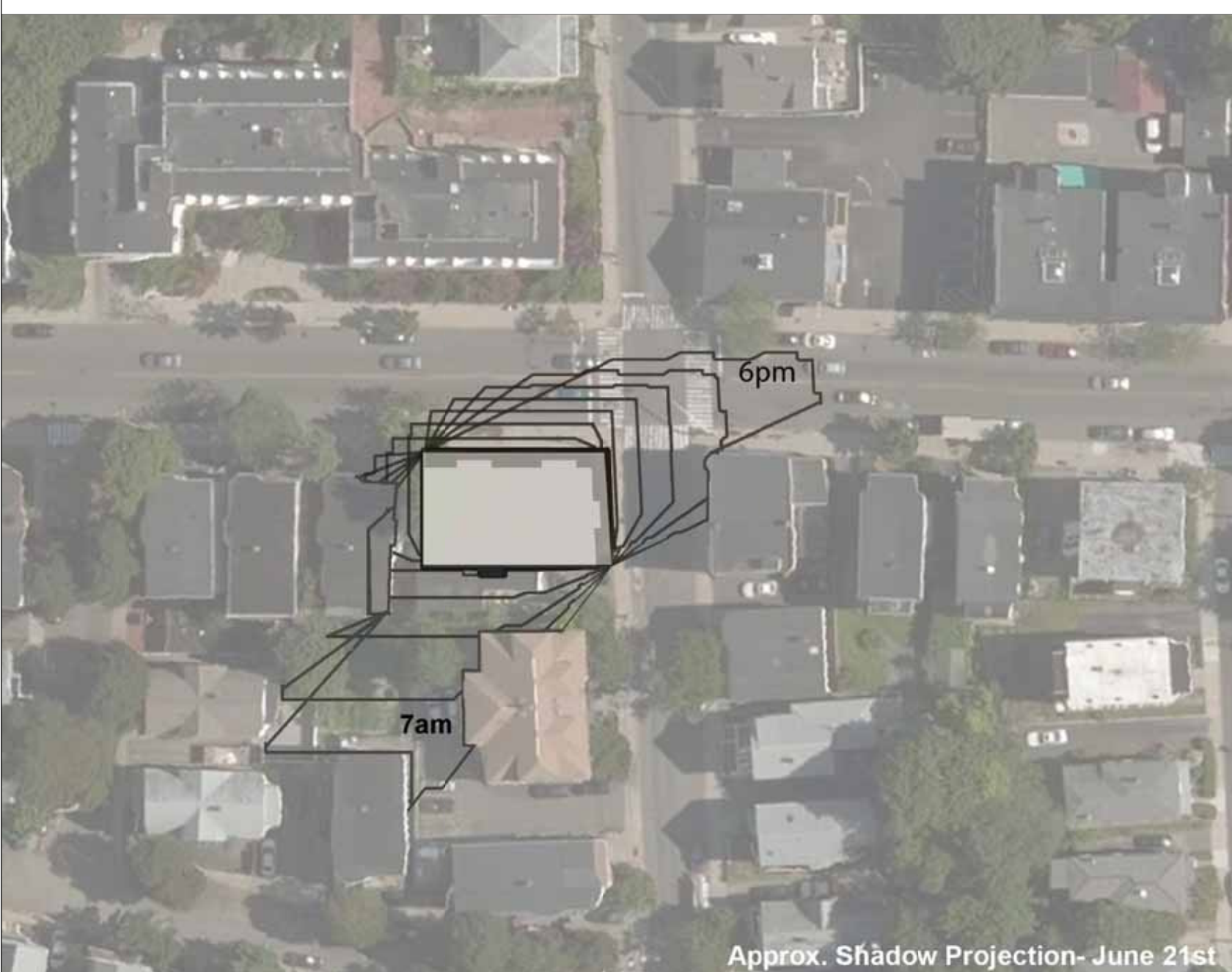
Approx. Shadow Projection- Dec. 21st



Approx. Shadow Projection- Dec. 21st



Approx. Shadow Projection- June 21st



Approx. Shadow Projection- June 21st



CONCEPTUAL RENDERING FROM HIGHLAND AVE (FACING SOUTHEAST)



CONCEPTUAL RENDERING FROM HIGHLAND AVE (FACING NORTHWEST)

Owner:
290 Highland Avenue, LLC
67 Kemple Street
Boston, MA 02119
(617) 991-1105

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants

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Saugus, MA 01906
Tel: (781) 231-1549
Fax: (781) 417-0020

BOSTON
SURVEY, INC.

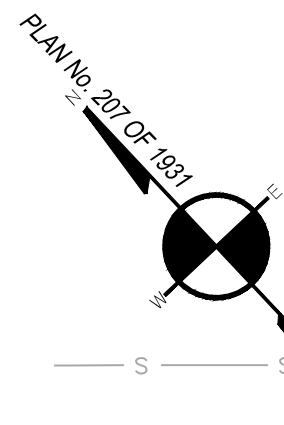
UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA 02129
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www.boston-survey.com

Derek Bloom Architects

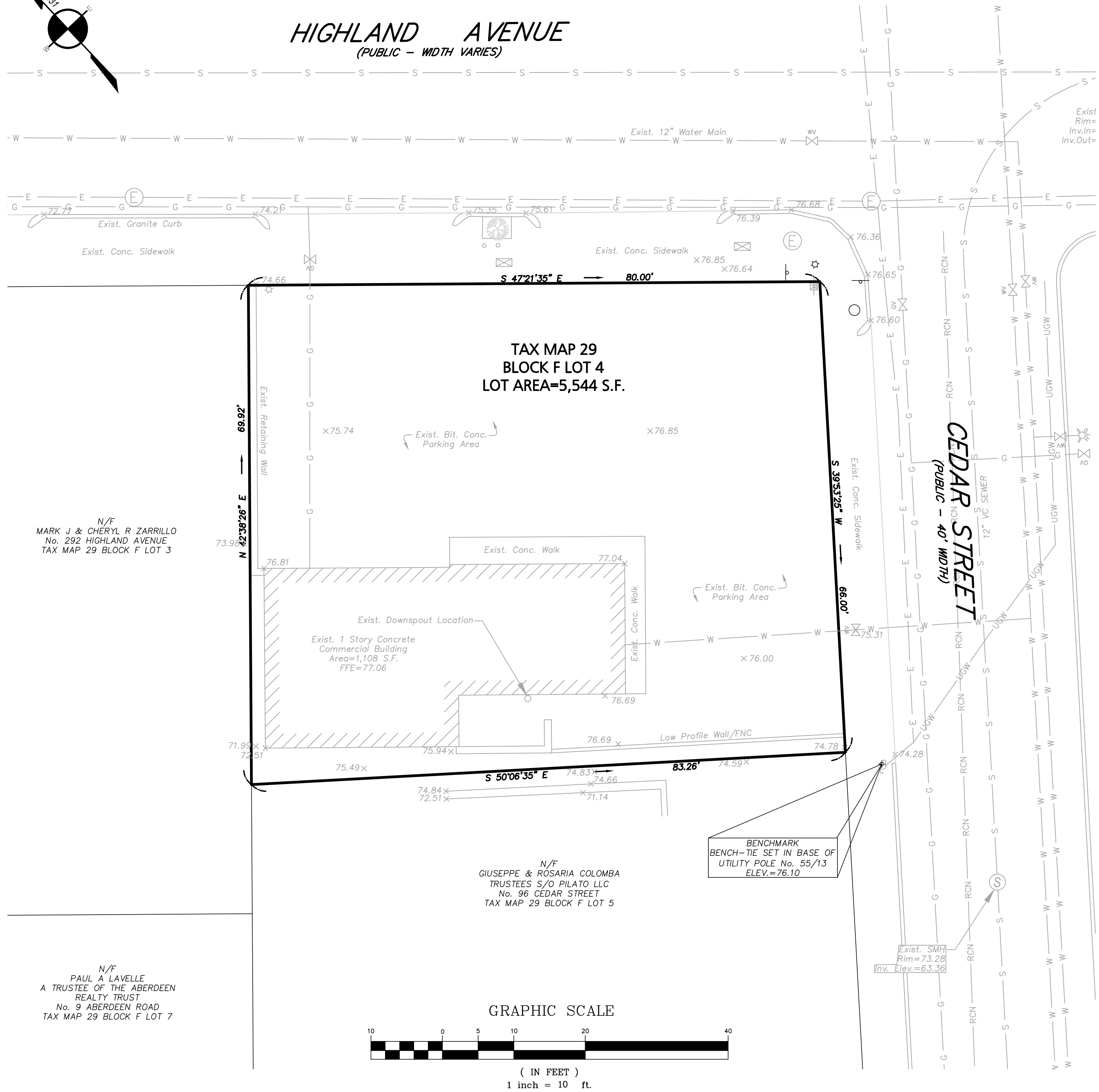
580 Harrison Avenue
Suite # 444
Boston, MA 02118
Tel: 617.470.3164
db@derekbloomarchitects.com

1/12/15 ZBA Submittal

Shadow Projection
Comparison



HIGHLAND AVENUE
(PUBLIC - WIDTH VARIES)



LEGEND - EXISTING CONDITIONS PLAN

PROPERTY LINE	
EXISTING BUILDING	
EXISTING CURB	
EXISTING WATER LINE	
EXISTING WATER VALVE	
EXISTING HYDRANT	
EXISTING SEWER LINE	
EXISTING SEWER MANHOLE	
EXISTING ELECTRIC LINE	
EXISTING ELECTRIC MANHOLE	
EXISTING ELECTRIC HAND HOLE	
EXISTING GAS LINE	
EXISTING GAS VALVE	
EXISTING UNDERGROUND WIRE	
EXISTING CABLE LINE	
EXISTING LIGHT POLE	
EXISTING UTILITY POLE	
EXISTING SIGN	
EXISTING SPOT SHOT	

GENERAL NOTES:

CURRENT OWNER: 290 HIGHLAND AVENUE LLC
DEED REFERENCE: MIDDLESEX SOUTH REGISTRY OF DEEDS
BOOK 64526 PAGE 511
PLAN REFERENCE: PLAN NO. 207 OF 1931, BOOK 5549 PAGE 165
EXISTING CONDITIONS INFORMATION SHOWN ON THIS PLAN WAS COMPILED FROM A FIELD SURVEY PERFORMED BY BOSTON SURVEY, INC. BETWEEN THE DATES OF SEPTEMBER 17 AND DECEMBER 17, 2014 AND FROM PLANS OF RECORD ATTAINED FROM THE CITY OF QUINCY WHERE AVAILABLE.
ELEVATIONS REFERENCED ON THIS PLAN ARE RELATIVE TO THE CITY SOMERVILLE VERTICAL DATUM AND WERE DETERMINED BY INSTRUMENT OBSERVATION OF A SEWER MANHOLE RIM SHOWN ON A SEWER PLAN AND PROFILE PROVIDED BY CITY OF SOMERVILLE PUBLIC WORKS DEPARTMENT.
UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. THE DIG-SAFE CALL CENTER SHALL BE CONTACTED PRIOR TO ANY EXCAVATION.
ALL LAND SHOWN LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INDICATED ON PANEL 19E OF THE FLOOD INSURANCE RATE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF BOSTON, COMMUNITY No. 25017C04, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

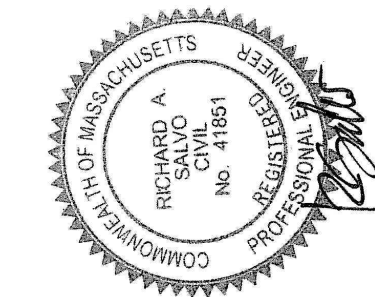
PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Somerville, MA 02146
Tel: (603) 610-7100
Fax: (603) 610-7101

PROJECT:

Proposed Site Plan
290 Highland Avenue
(Tax Map 29 Block F Lot 4, PID: 307)
Somerville, Massachusetts

PROJECT #: 14-53801
DATE: December 31, 2014
SCALE: AS NOTED
DWG FILE NAME: 14-53801.dwg
DESIGN BY: Eric Bradanese
CHECKED BY: Richard A. Salvo, P.E.



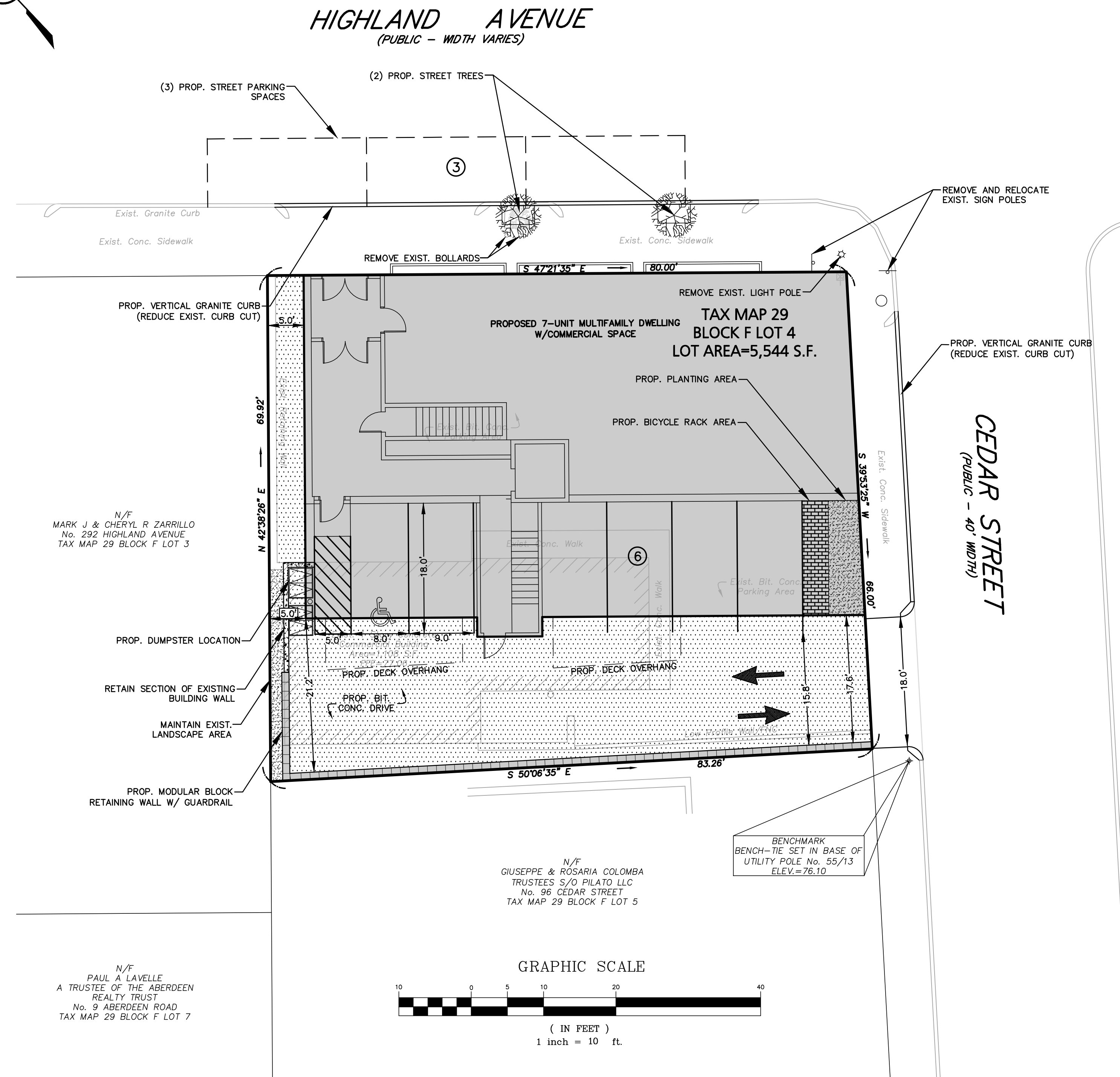
Professional Engineer for
Engineering Alliance, Inc.

APPLICANT:

HAYCON
784 Tremont Street
Boston, MA 02118

DRAWING TITLE:
**Existing
Conditions Plan**

DWG. NO.
C-1



PROPERTY LINE	
EXISTING BUILDING	
EXISTING CURB	
PROPOSED BUILDING	
PROPOSED PARKING COUNT	
PROPOSED CURB	
PROPOSED CONCRETE WALL	
PROPOSED TRAFFIC ARROW	
PROPOSED BITUMINOUS CONCRETE	
PROPOSED PARKING STRIPING	
PROPOSED PARKING STRIPING	

ITEM	REQUIRED	PROVIDED	VARIANCE/WAIVER REQUIRED
USE	-	RESIDENTIAL/ COMMERCIAL	SPSR
NO. OF DWELLING UNITS	-	7	NO
MINIMUM LOT SIZE	7,500 S.F.	5,544 S.F.	YES
MINIMUM LOT AREA PER DWELLING UNIT	6,125 S.F. ⁽¹⁾	5,544 S.F.	YES
MAXIMUM GROSS FLOOR AREA	11,088 S.F. ⁽²⁾	10,200 S.F. ⁽²⁾	NO
MAXIMUM GROUND COVERAGE	70%	66.1%	NO
MINIMUM LANDSCAPE AREA	25%	2%	YES
MINIMUM PERVIOUS AREA	30%	2%	YES
MAXIMUM FLOOR AREA RATIO	2.0	1.95	NO
MAXIMUM BUILDING HEIGHT (STORIES)	3	4	YES
MAXIMUM BUILDING HEIGHT (FEET)	40 FT	44.8 FT ⁽³⁾	YES
MINIMUM FRONT YARD SETBACK	15 FT	0 FT	YES
MINIMUM SIDE YARD SETBACK	15 FT ⁽⁴⁾	5 FT	YES
MINIMUM REAR YARD SETBACK	20 FT	N/A	NO
MINIMUM LOT FRONTAGE	50 FT	66.0' (CEDAR) 80.0' (HIGHLAND)	NO
NO. OF PARKING SPACES	18	9	YES
NO. OF BICYCLE PARKING SPACES	1	1	NO

(1) MINIMUM LOT AREA FOR 1-9 DWELLING UNITS = 875 S.F. PER UNIT
7 D.U. x 875 S.F. = 6,125 S.F.

(2) REQUIRED MAXIMUM GROSS FLOOR AREA = $2.0 \times \text{LOT SIZE} = 2.0 \times 5,544 \text{ S.F.} = 11,088 \text{ S.F.}$
 PROVIDED GROSS FLOOR AREA:
 1st FLOOR COMMERCIAL SPACE: 1,620 S.F.
 2nd FLOOR RESIDENTIAL SPACE: 1,350 S.F. + 810 S.F. + 870 S.F. = 3,030 S.F.
 3rd FLOOR RESIDENTIAL SPACE: 1,350 S.F. + 1,750 S.F. = 3,100 S.F.
 4th FLOOR RESIDENTIAL SPACE: 1,150 S.F. + 1,300 S.F. = 2,450 S.F.
 TOTAL GROSS FLOOR AREA = 10,200 S.F.

(3) AVERAGE GRADE CALCULATION: $75.70 + 74.66 + 76.60 + 75.31 / 4 = 75.58$
 ROOF ELEVATION = $76.40 + 44.0' = 120.40 - 75.58 = 44.82$ (BUILDING HEIGHT)

(4) MINIMUM SIDE YARD REQUIREMENTS FOR BUILDINGS 4 STORIES & OVER = $\frac{1}{3}$ BUILDING HEIGHT
 $44.8 \text{ FT (HEIGHT)} \times \frac{1}{3} = 14.67 \text{ FT}$

COMPONENT	REQUIRED	PROPOSED
DWELLING UNIT IN: MULTIPLE DWELLING BUILDING	6 SPACES (1.5 for 1 or 2 bedroom units) 4 units x 1.5 spaces = 6 Spaces 6 SPACES (2.0 for 3 or more bedroom units) 3 units x 2.0 spaces = 6 Spaces 2 SPACES (1.0 for every 6 units for visitors) 7 units / 6 units = 1.16 Spaces	6 SPACES (Residential Space)
RETAIL SALES/RENTAL USES	4 SPACES (1 for every 500 s.f. street level) 1620 s.f. x 1/500 spaces = 3.24 Spaces	3 SPACES (Off-Street Parking)
TOTAL	18 SPACES	9 SPACES *

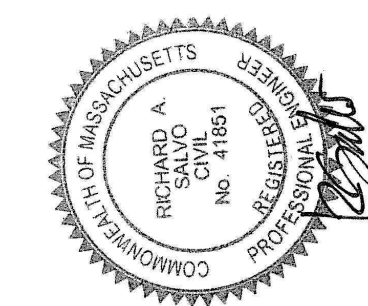
NOTES:
1.*VARIANCE/WAIVER REQUIRED.
2. ON SITE PARKING SPACE DIMENSIONS: 9' x 18'
3. OFF SITE PARKING SPACE DIMENSIONS: 9' x 22'

PROJECT:

Proposed Site Plan
290 Highland Avenue
(Tax Map 29 Block F Lot 4, PID: 307)
Somerville, Massachusetts

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
1950 Lafayette Road
Portsmouth, NH 03801
Tel: (603) 610-7100
Fax: (603) 610-7101

PROJECT #: 14-53801	DATE: December 31, 2014
SCALE: AS NOTED	DWG FILE NAME: 14-53801.dwg
DESIGN BY: Eric Bradanese	CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
Engineering Alliance, Inc.

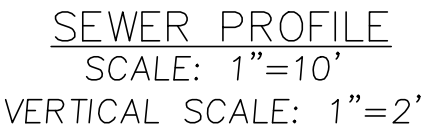
HAYCON
784 Tremont Street
Boston, MA 02118

DRAWING TITLE:

Site Layout Plan

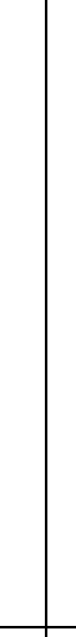
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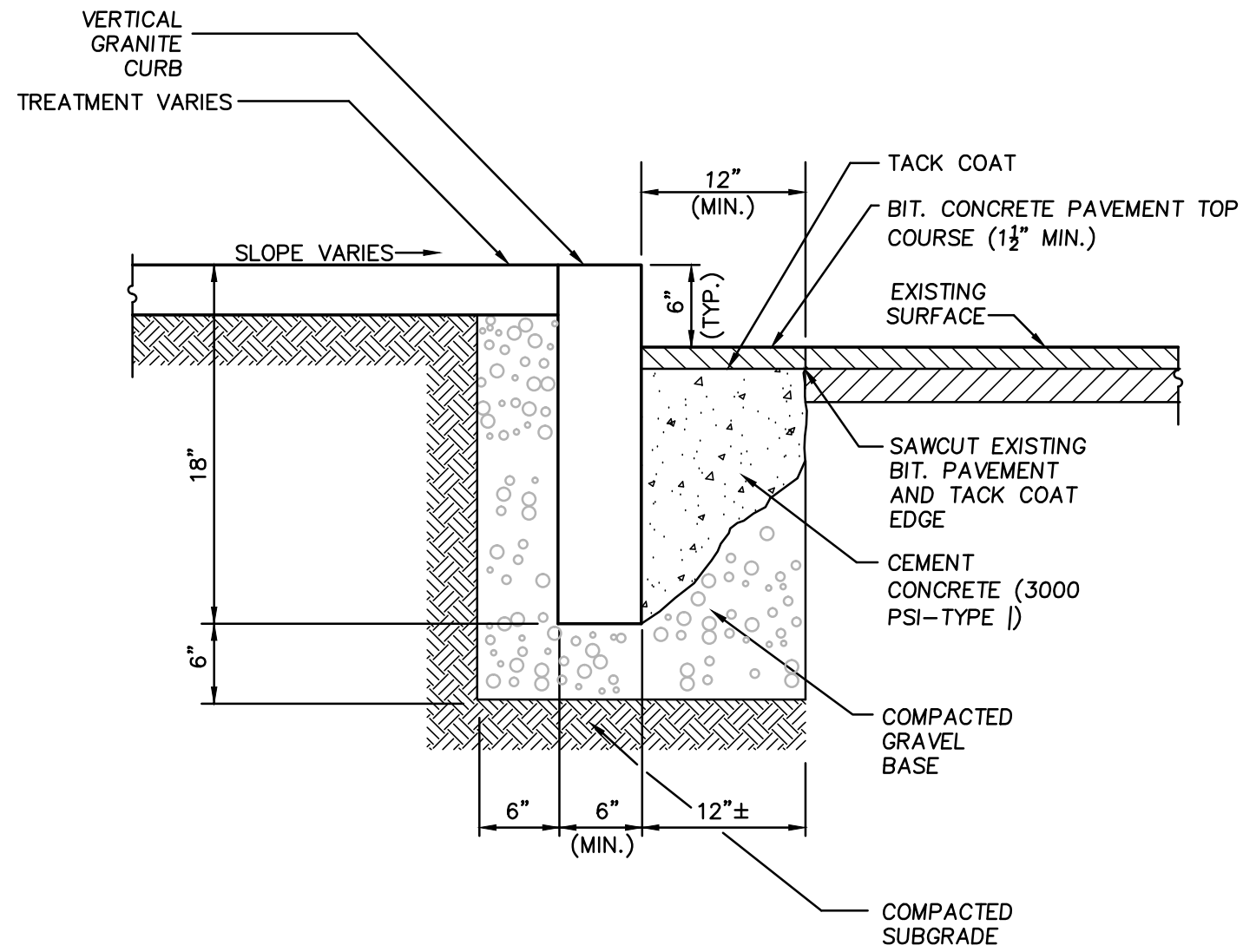
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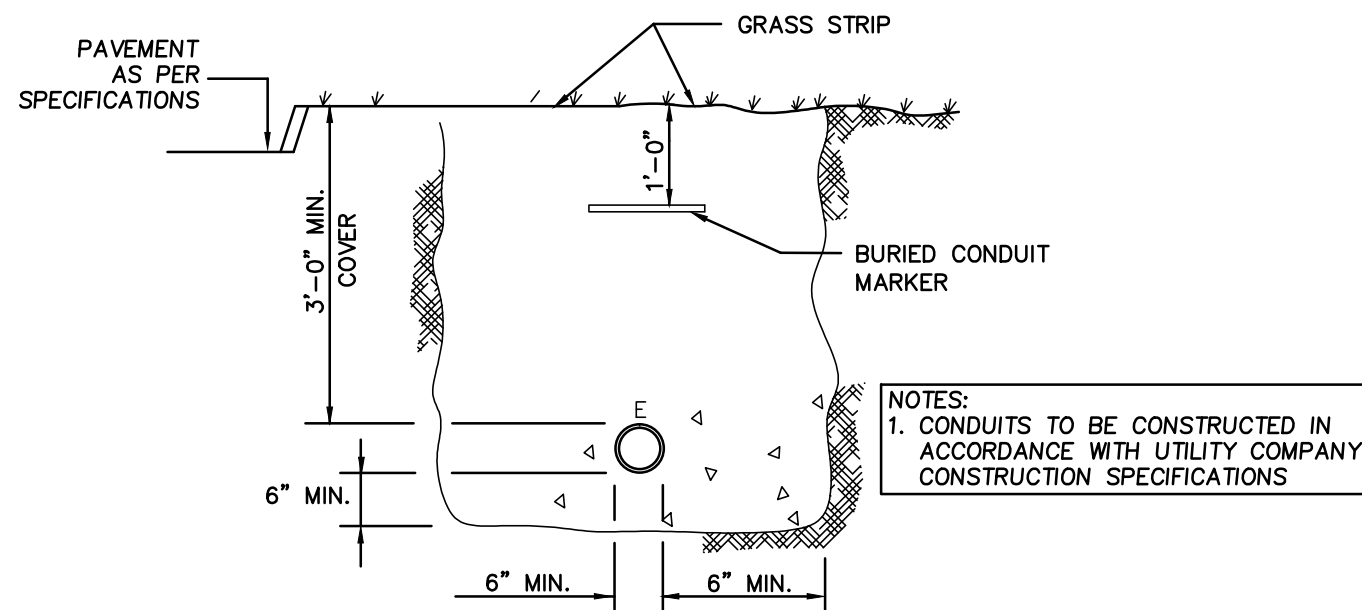
GENERAL UTILITY NOTES:

1. ALL EXISTING SITE FEATURES SHALL BE RETAINED UNLESS OTHERWISE NOTED.
2. DATUM: CITY OF SOMERVILLE
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMISSIONS WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
5. THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO TO DETERMINE THE EXACT LOCATION OF WATER AND GAS SERVICES.
6. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT , THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTION WITH A CONCRETE-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
7. ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF SOMERVILLE. THE CONTRACTOR SHALL NOTIFY THE CITY OF SOMERVILLE D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
8. ALL UTILITY WORK WITHIN THE CEDAR STREET & HIGHLAND AVE AREA RIGHT-OF-WAYS SHALL BE PERFORMED BY THE CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
9. ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
11. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
12. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
13. DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
15. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
16. ALL ROOF DRAINAGE SHALL BE INFILTRATED VIA THE SUB-SURFACE INFILTRATION SYSTEMS. ALL CONNECTIONS ARE TO BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
17. PRIOR TO CONSTRUCTION ALL EXISTING SERVICES ARE TO BE CUT AND CAPPED AT THEIR RESPECTIVE MANS.

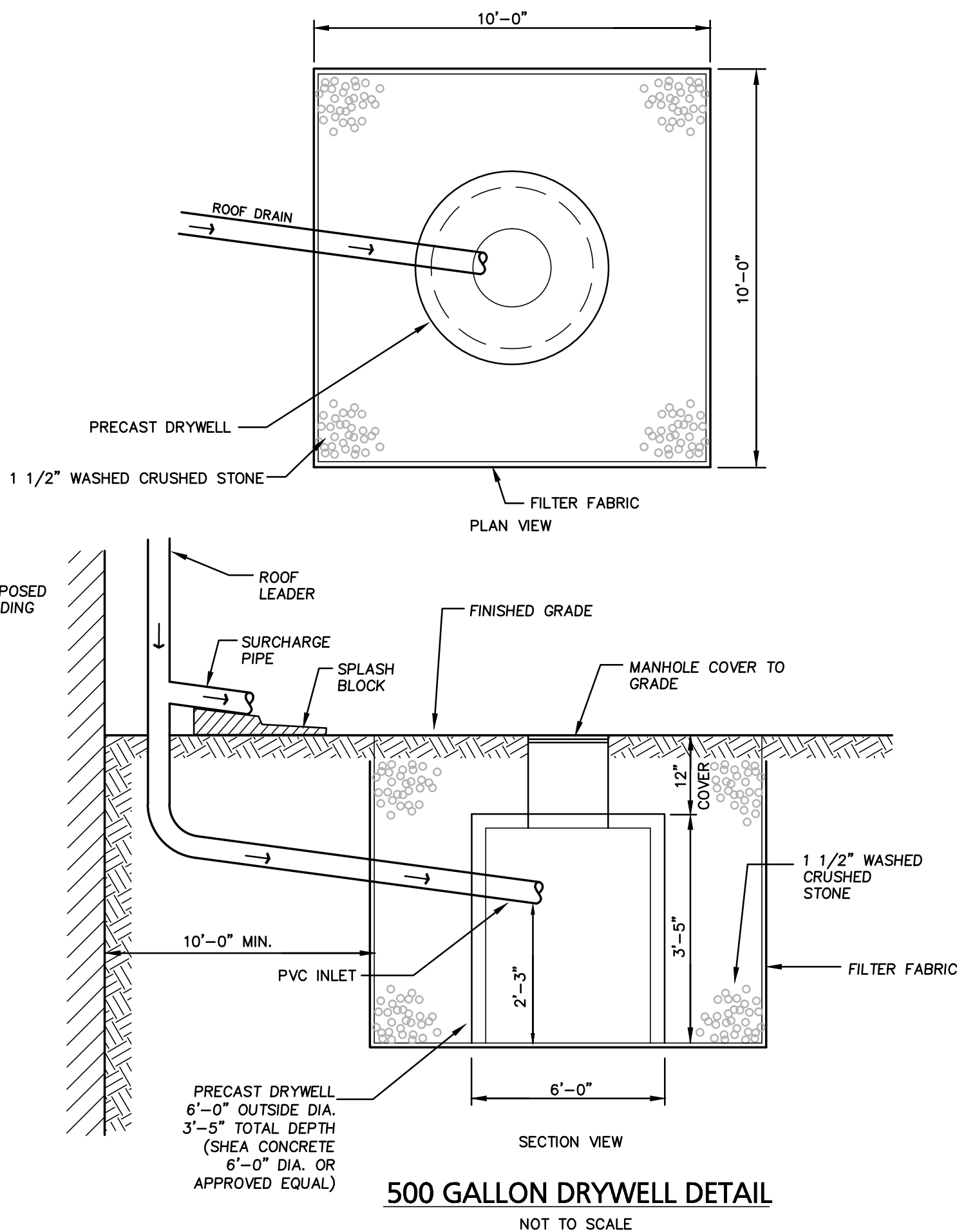
APPLICANT:	DWG. NO.	C-3
	DRAWING TITLE: Grading, Drainage & Utility Plan	
HAYCON 784 Tremont Street Boston, MA 02118  Professional Engineer for Engineering Alliance, Inc.		
PROJECT: Proposed Site Plan 290 Highland Avenue (Tax Map 29 Block F Lot 4, PID: 307) Somerville, Massachusetts PROJECT #: 14-53801 SCALE: AS NOTED DESIGN BY: Eric Bradanese DATE: December 31, 2014 DWG FILE NAME: 14-53801.dwg CHECKED BY: Richard A. Salvio, P.E.		
PREPARED BY:  Engineering Alliance, Inc. Civil Engineering & Land Planning Consultants 194 Central Street Saugus, MA 01906 Tel: (603) 610-7100 Fax: (603) 610-7101		
DATE:		



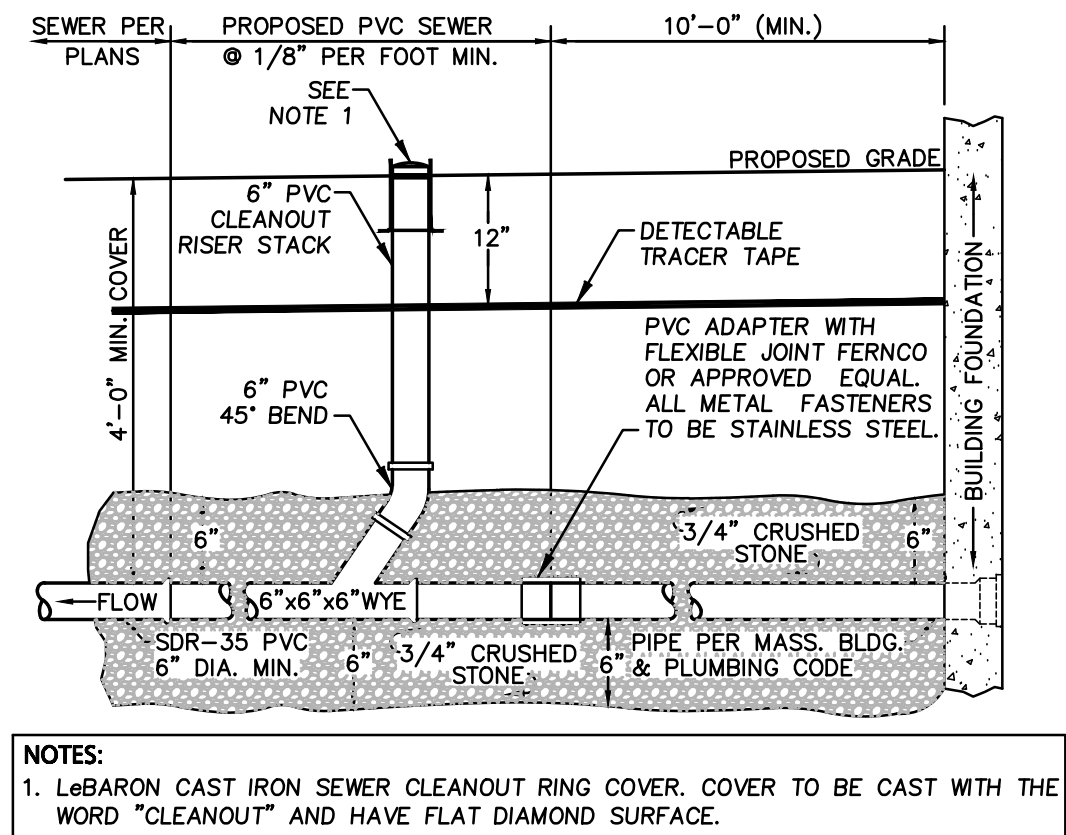
VERTICAL GRANITE CURB SET IN EXISTING PAVEMENT
NOT TO SCALE



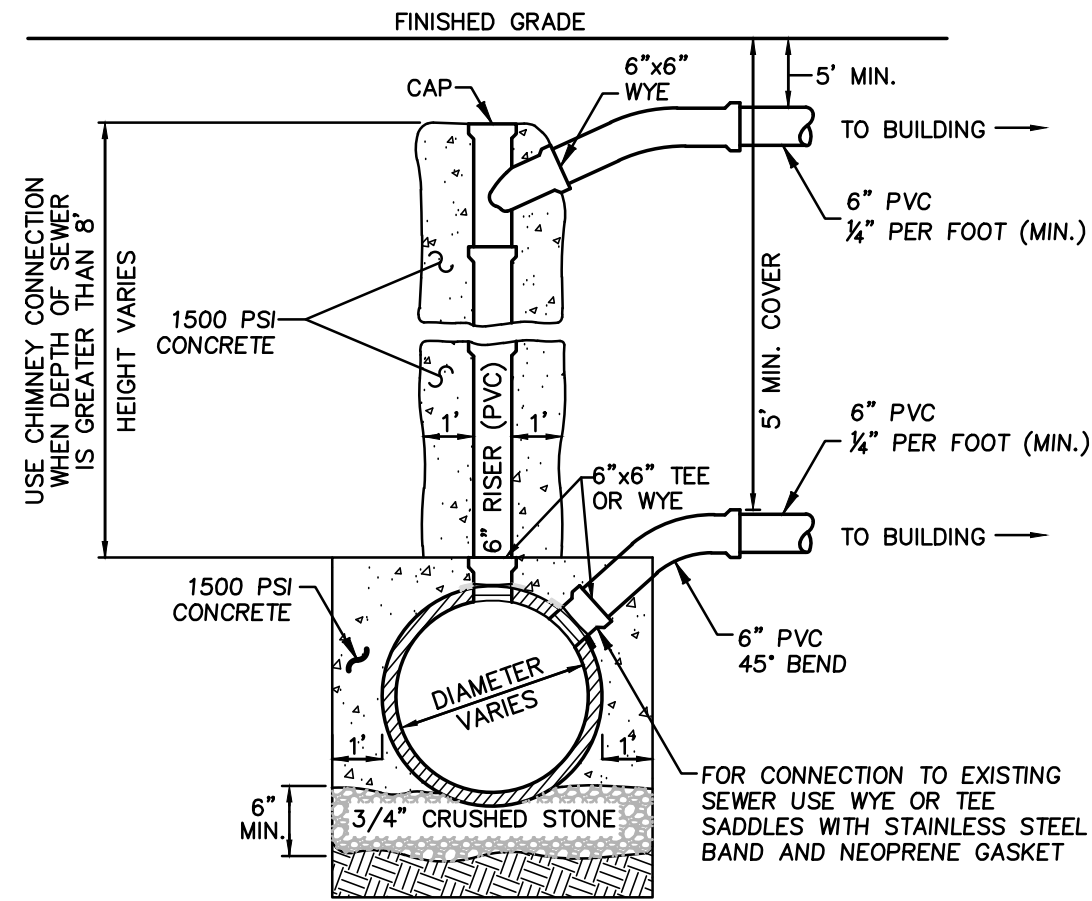
TYPICAL ELECTRIC/TELEPHONE/CABLE UNDERGROUND TRENCH DETAIL
NOT TO SCALE



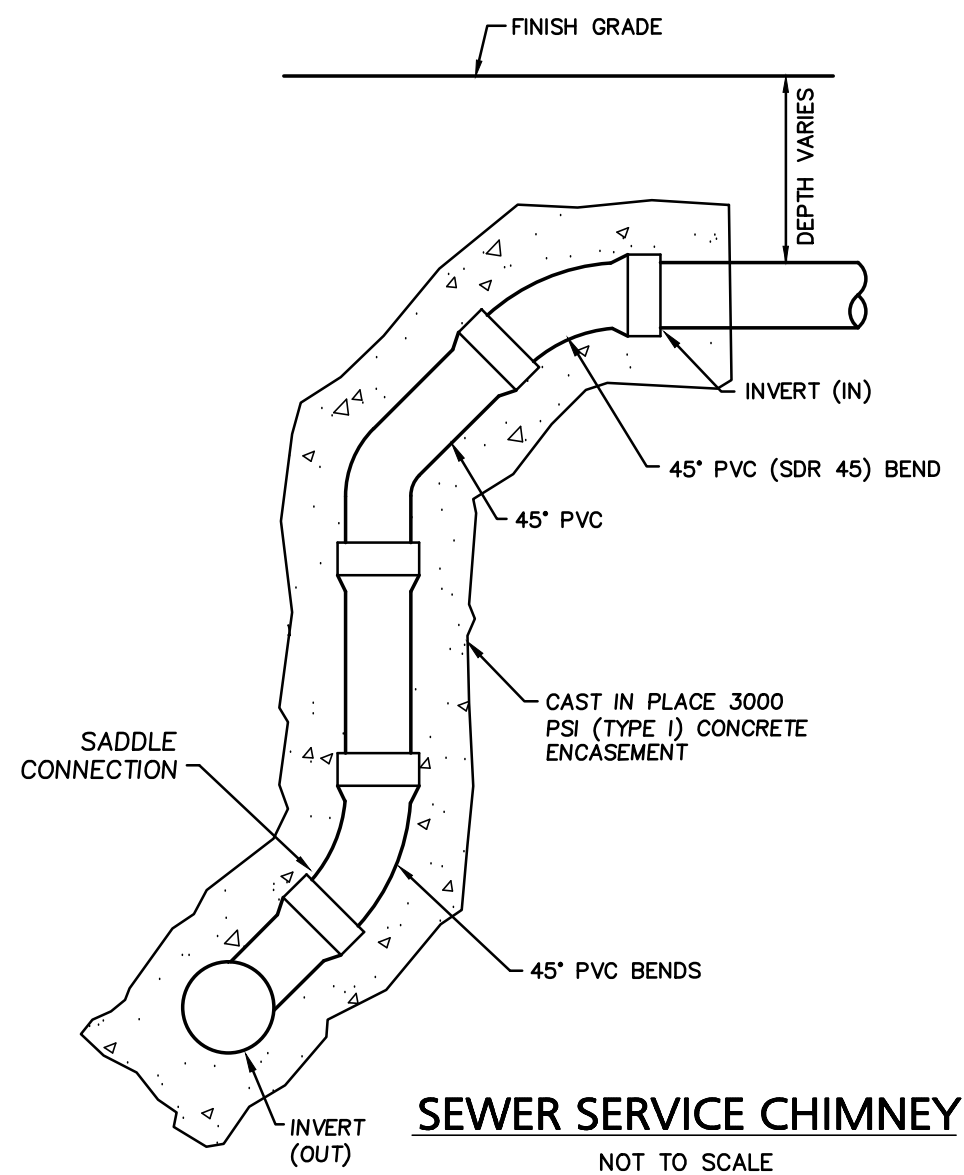
500 GALLON DRYWELL DETAIL
NOT TO SCALE



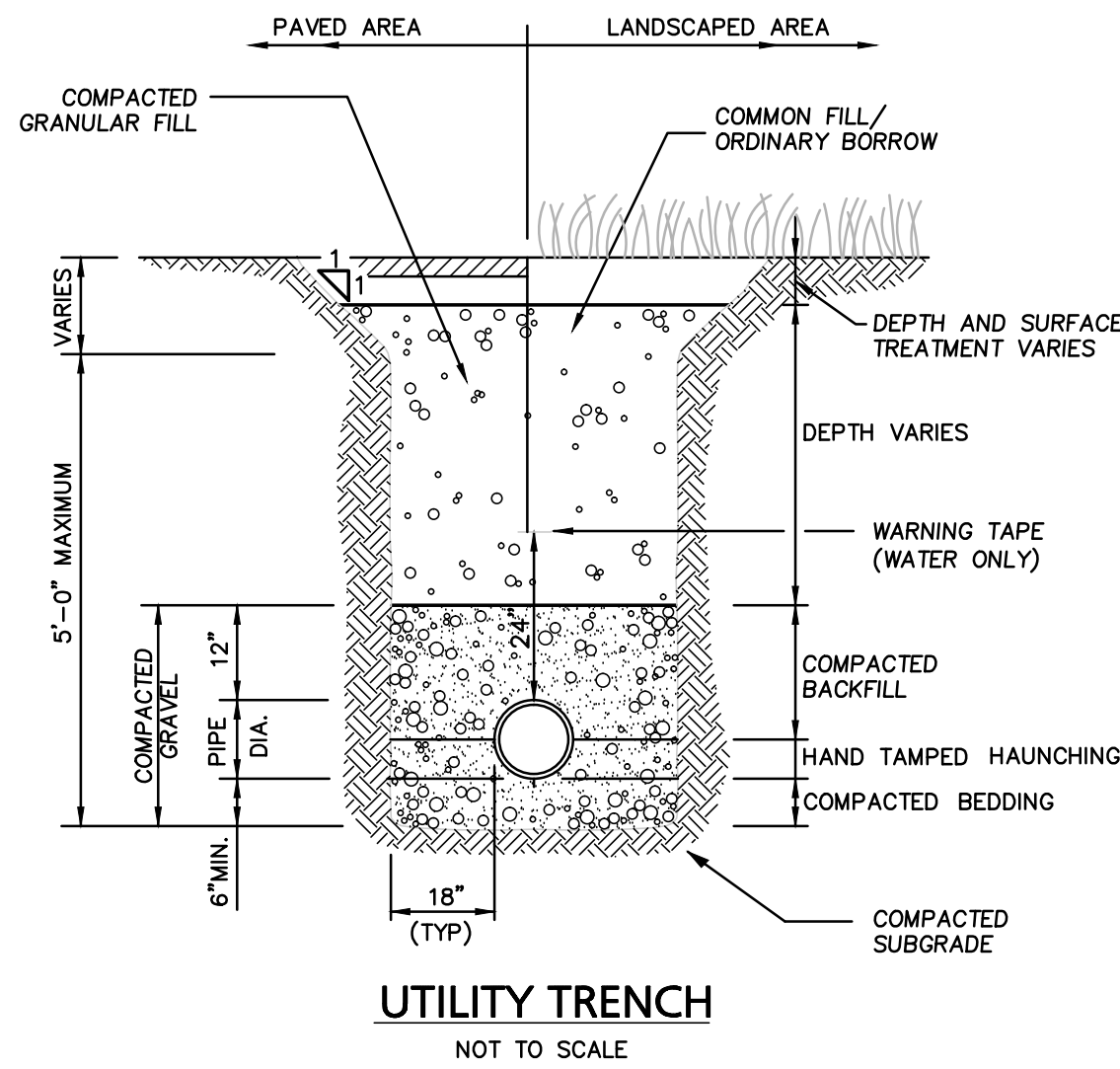
SANITARY SEWER SERVICE AT BUILDING
NOT TO SCALE



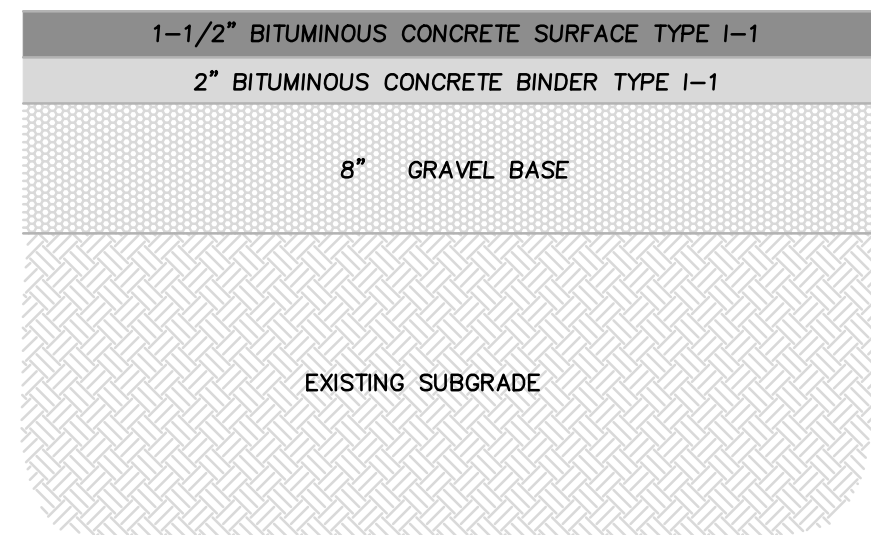
SANITARY SEWER SERVICE AT MAIN
NOT TO SCALE



SEWER SERVICE CHIMNEY
NOT TO SCALE



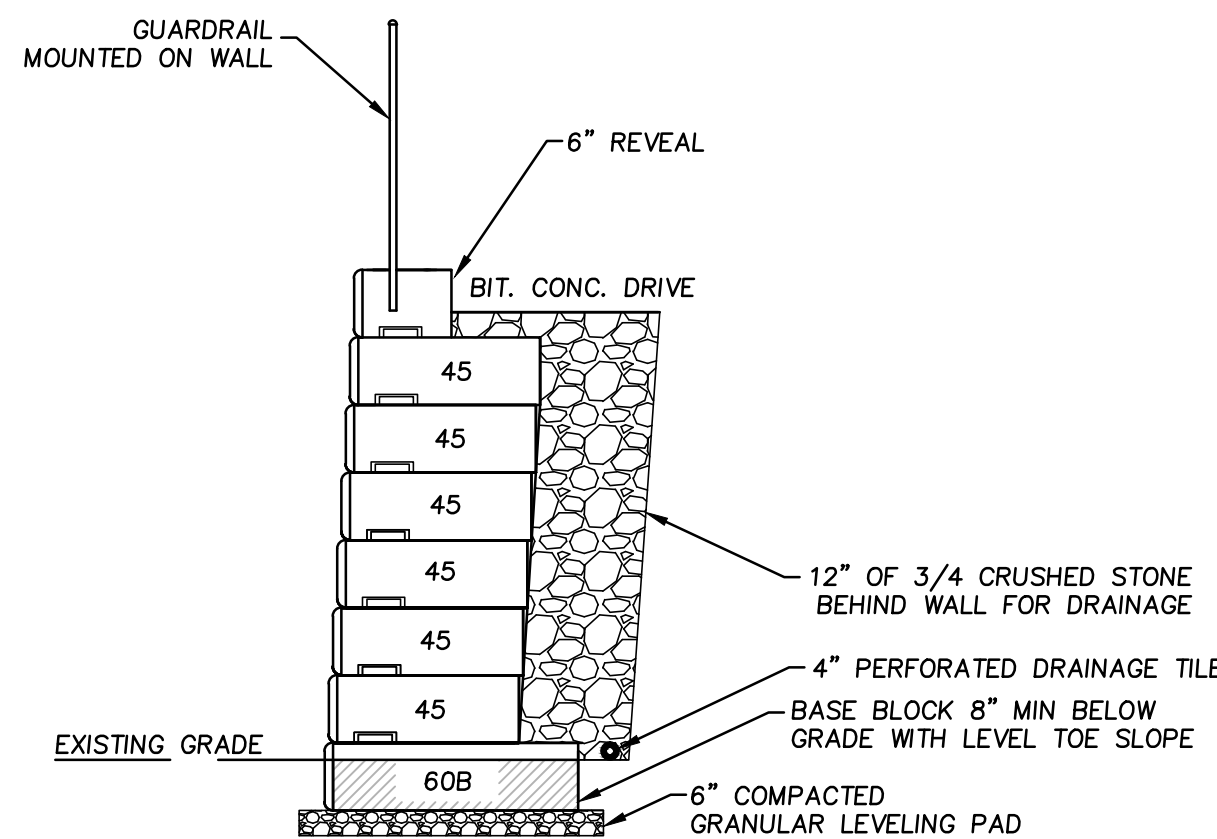
UTILITY TRENCH
NOT TO SCALE



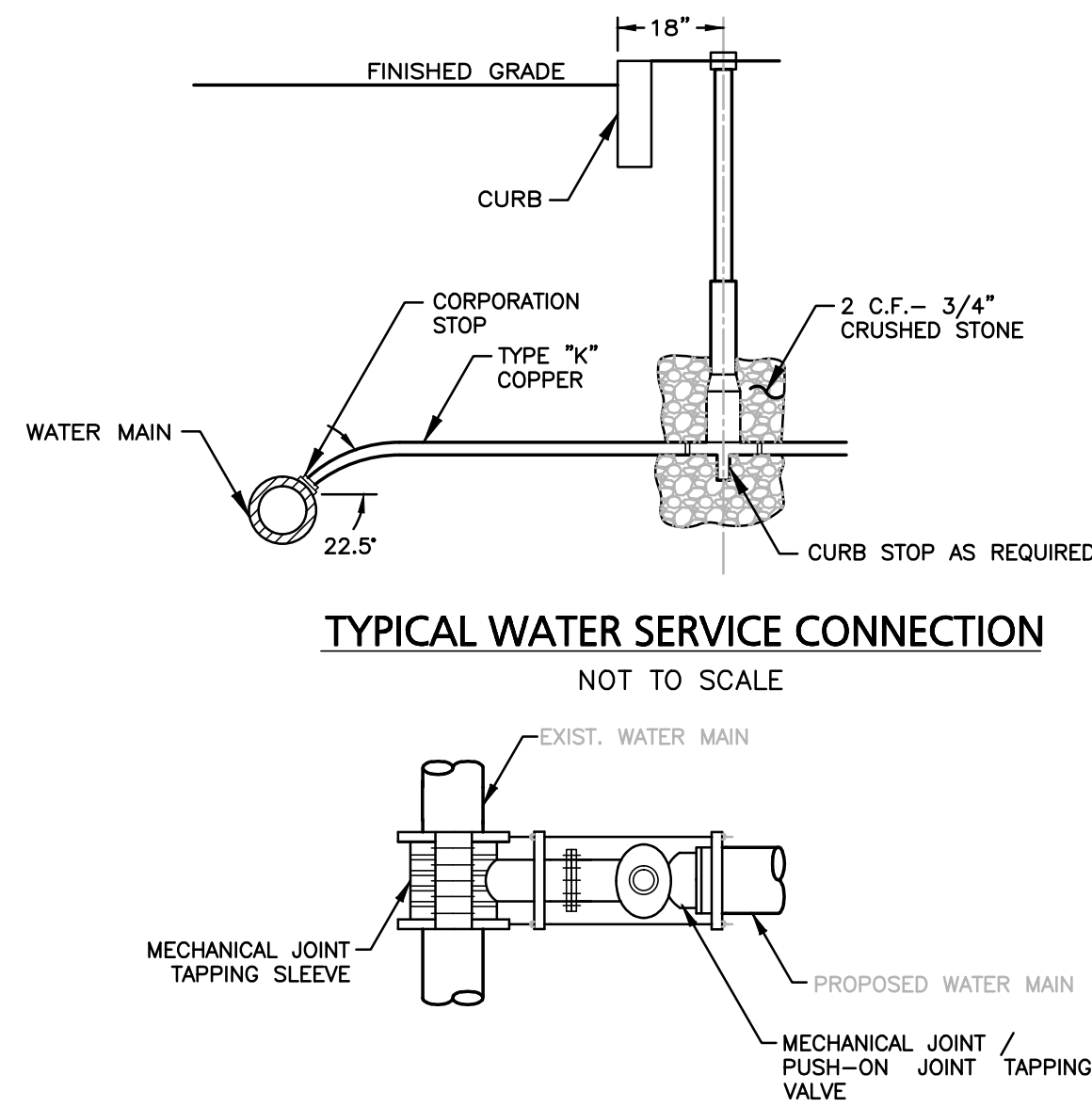
STANDARD PAVEMENT SECTION
NOT TO SCALE

- NOTES:**
1. NEW STANDARD PAVEMENT SHALL CONSIST OF A 3" TOTAL THICKNESS IN ALL PAVED AREAS OF MASSHIGHWAY CLASS 1, TYPE 1 BITUMINOUS CONCRETE APPLIED IN TWO COURSES, ONE 1-1/2" SURFACE COURSE OVER ONE 1-1/2" BINDER COURSE OVER AN 8" GRAVEL BASE COURSE. COMPACT THE UPPER 12" OF PAVEMENT SUBGRADE, BASE COURSE, PAVEMENT BINDER AND SURFACE COURSES TO 95 PERCENT OF MAXIMUM DENSITY, AS DETERMINED FOR EACH MATERIAL BY THE APPLICABLE TEST METHODS.
 2. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST

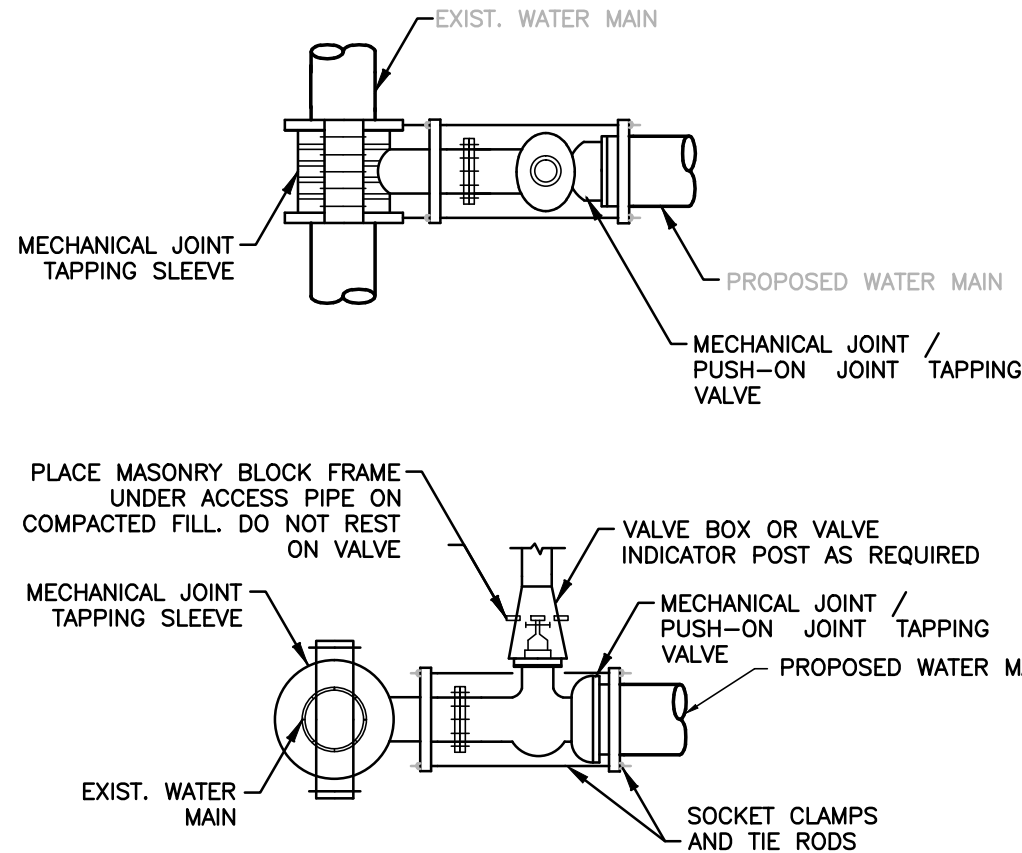
NOTE:- RETAINING WALL SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONSTRUCTION SHALL CONFORM TO MANUFACTURER'S WALL PLAN AND ALL MANUFACTURER'S SPECIFICATIONS.



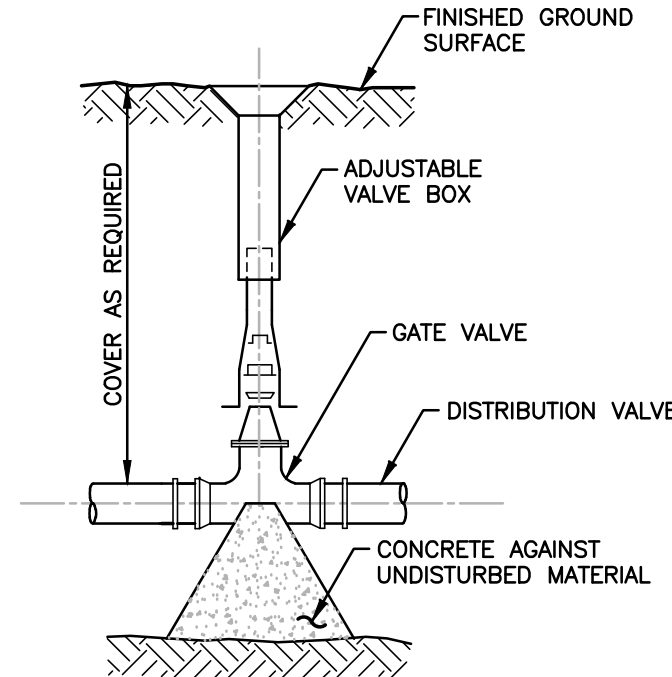
MODULAR BLOCK RETAINING WALL
NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



TAPPING SLEEVE AND VALVE
NOT TO SCALE



WATER GATE DETAIL
NOT TO SCALE

TABLE OF DIMENSIONS											
BENDS						BENDS					
B	C	D	E	F		B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	6"	45"	8"	30"	12"	24"
6"	22 1/2"	"	19"	"	"	6"	90"	"	30"	"	27"
8"	11 1/4"	"	20"	"	"	8"	45"	"	30"	"	24"
8"	22 1/2"	"	22"	"	"	8"	90"	"	36"	"	36"
12"	11 1/4"	"	30"	"	"	12"	45"	"	40"	"	40"
12"	22 1/2"	"	35"	"	"	12"	90"	"	60"	"	52"

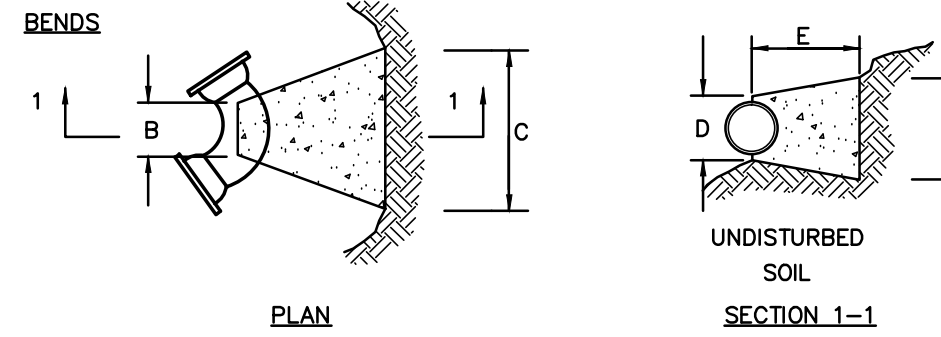
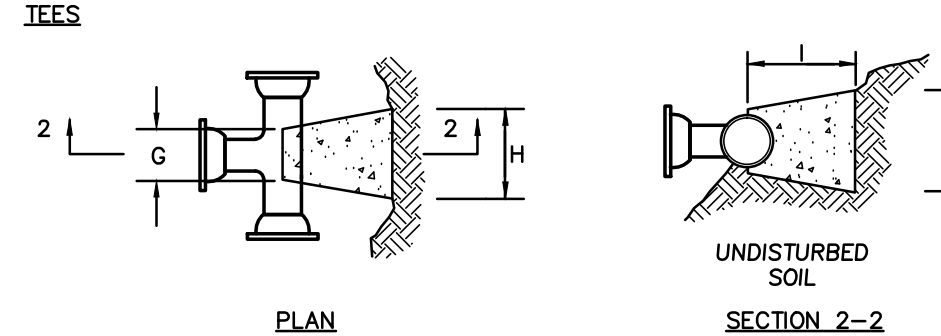


TABLE OF DIMENSIONS											
TEES						TEES					
G	H	I	J			G	H	I	J		
6"x 6"x 6"	12"	24"	24"	18"	12"x 12"x 6"	12"	24"	24"	18"		
8"x 8"x 6"	"	"	"	"	12"x 12"x 8"	"	"	"	24"		
8"x 8"x 8"	"	"	"	24"	12"x 12"x 12"	"	36"	"	36"		



- NOTES:**
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 3. CONCRETE SHALL BE 3000 PSI-TYPE I

CONCRETE THRUST BLOCK
NOT TO SCALE

PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
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Tel: (781) 231-1349
Fax: (781) 417-0020

DATE

PROJECT:

Proposed Site Plan
290 Highland Avenue
(Tax Map 29 Block F Lot 4, PID: 307)
Somerville, Massachusetts

DATE: December 31, 2014

DWG FILE NAME: 14-53801.dwg

SCALE: AS NOTED

DESIGN BY: Eric Bradanese

CHECKED BY: Richard A. Salvo, P.E.

APPLICANT:

HAYCON
784 Tremont Street
Boston, MA 02118

DRAWING TITLE:

Construction Details I

DWG. NO.

D-1

DATE