

Architectural Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
.A-000	Cover Sheet	12/13/11	02-23-12
.C-0	Existing conditions	02/08/12	
.C-1	Site Plan	12/13/11	
.C-2	Site details	12/13/11	
.L-1	Landscape Plan	12/13/11	02-23-12
A-020	ARCHITECTURAL SITE PLAN	12/13/11	01-26-2012
A-100	BASEMENT LEVEL	12/13/11	01-26-2012
A-101	1st FLOOR PLAN	12/13/11	02-23-12
A-102	2nd FLOOR PLAN	12/13/11	02-23-12
A-103	3rd FLOOR PLAN	12/13/11	02-23-12
A-104	4th FLOOR PLAN	12/13/11	01-26-2012
A-105	Roof Plan	12/13/11	01-26-2012
A-300	ELEVATIONS	12/13/11	02-23-12
A-900	Shadow Studies	12/13/11	
A-902	Perspective view	12/13/11	02-23-12
A-903	Details	12/17/07	02-23-12
ES-1	Outdoor Lighting / Photometric Plan	12/13/11	



1 3D View

PROJECT:
CEDAR STREET RESIDENCES

REVISED 01-26-2012

PROJECT ADDRESS:
143 CEDAR STREET
SOMERVILLE MASSACHUSETTS

CLIENT
ALDAR REALTY TRUST
P.O. BOX 207
SOMERVILLE MA 02143

ARCHITECT
KHALSA DESIGN INC.

17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143

CIVIL ENGINEER
DESIGN CONSULTANTS

265 MEDFORD STREET
SOMERVILLE MA 02143

PROJECT NAME
**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

CLIENT
**Aldar Realty Trust P.O
Box 207 Somerville
MA 02143**

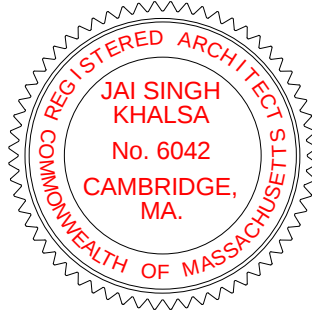
ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



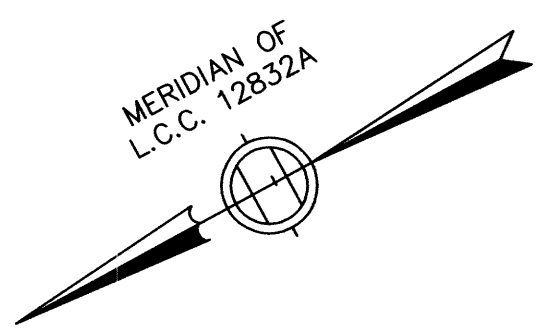
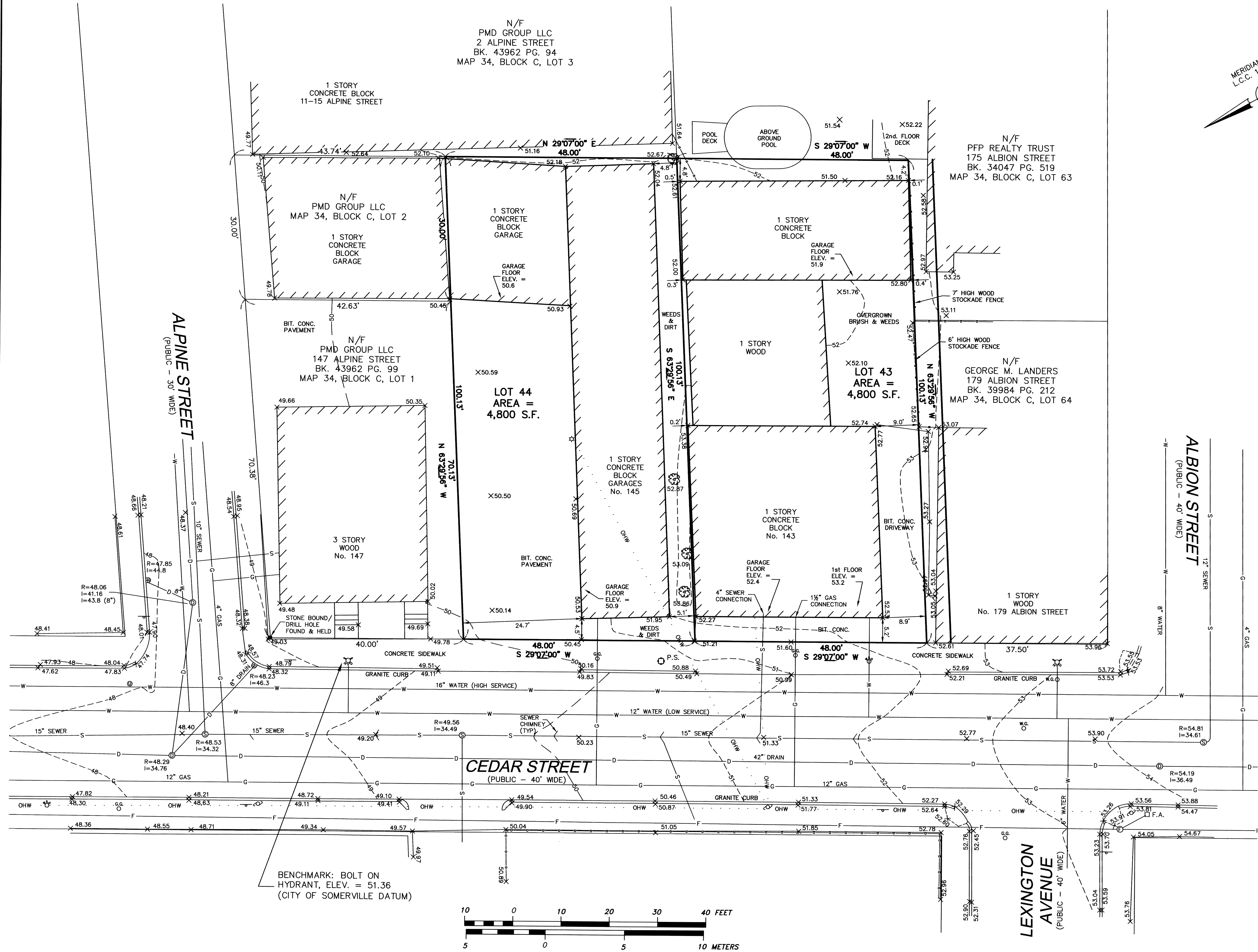
Project number	06007
Date	12/14/11
Drawn by	KK
Checked by	JSK
Scale	

REVISIONS		
No.	Description	Date
2	Revision 2	02-23-12

Cover Sheet

.A-000

CEDAR STREET RESIDENCES



- LEGEND**
- CHAIN LINK FENCE
 - STOCKADE FENCE
 - S SANITARY SEWER
 - D DRAIN LINE
 - W WATER LINE
 - G GAS LINE
 - F FIRE ALARM
 - OHW OVERHEAD ELECTRIC
 - Sanitary Manhole
 - Drain Manhole
 - Electric Manhole
 - Unknown Manhole
 - Catch Basin
 - Utility Pole
 - Fire Hydrant
 - Water Gate
 - Gas Gate
 - Sign

LOCUS TITLE INFORMATION

OWNER: HELEN CARNAVALE
DEED REFERENCE: BK. 15904 PG. 474
PLAN REFERENCE: PLAN BK. 40 PLAN 43
ADDRESS: 145 CEDAR STREET
ASSESSORS: MAP 34, BLOCK C, LOT 66

OWNER: ALSPAR HOMES INC.
DEED REFERENCE: BK. 21929 PG. 148
PLAN REFERENCE: PLAN BK. 40 PLAN 43
ADDRESS: 143 CEDAR STREET
ASSESSORS: MAP 34, BLOCK C, LOT 65

PLAN REFERENCES

PLAN BOOK 25 PLAN 42
PLAN BOOK 27 PLAN 40
PLAN BOOK 40 PLAN 43
PLAN BOOK 167 PLAN 35
PLAN No. 1328 of 2004
PLAN No. 1185 of 1947
L.C.C. 25635
L.C.C. 14182
L.C.C. 13491
CEDAR STREET ACCEPTANCE PLAN OF 1854
ALBION STREET ACCEPTANCE PLAN OF 1891
ALPINE STREET ACCEPTANCE PLAN OF 1907

NOTES

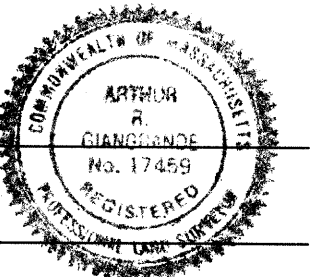
LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED.

THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY TO RETRACE THE PROPERTY LINES AND SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND WAS PERFORMED ON MARCH 13 & 14, 2006.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF SOMERVILLE ASSESSOR'S OFFICE.

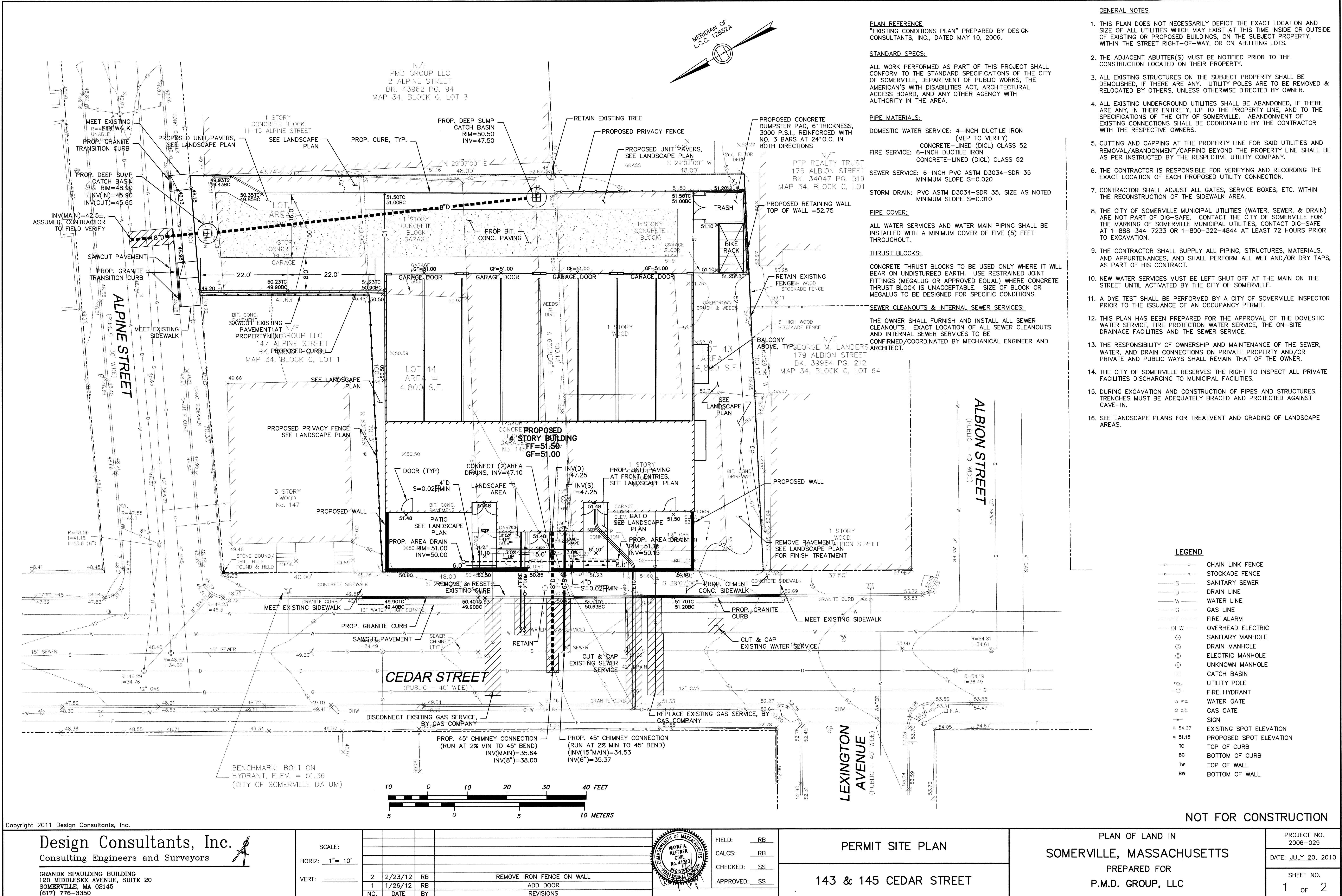
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. *Arthur J. DiGiuseppe*
May 11, 2006



Copyright 2006 Design Consultants, Inc.

Design Consultants, Inc. Consulting Engineers and Surveyors DESIGN CONSULTANTS BUILDING 265 MEDFORD STREET SOMERVILLE, MA 02143 (617) 776-3350	SCALE: HORIZ: 1"= 10' VERT:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
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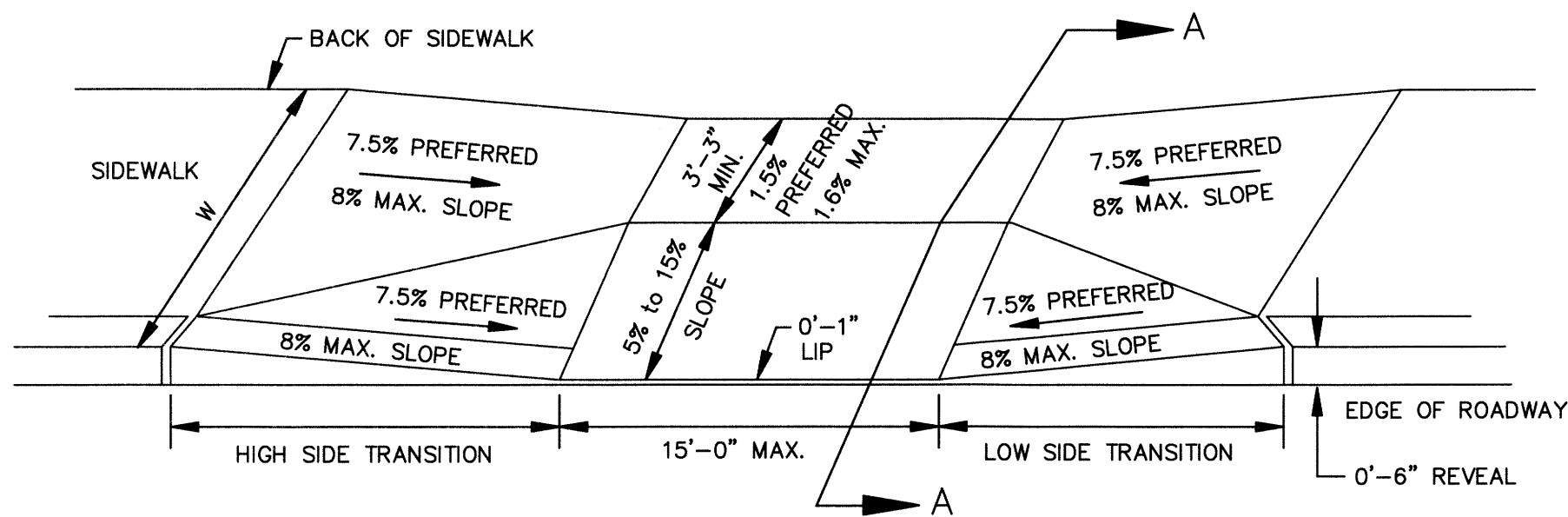
Design Consultants, Inc.
Consulting Engineers and Surveyors
GRANDE SPAULDING BUILDING
120 MIDDLESEX AVENUE, SUITE 20
SOMERVILLE, MA 02145
(617) 776-3350

SCALE:					
HORIZ:	1" = 10'				
VERT:					
NO.	DATE	BY	REVISIONS		
2	2/23/12	RB	REMOVE IRON FENCE ON WALL		
1	1/26/12	RB	ADD DOOR		

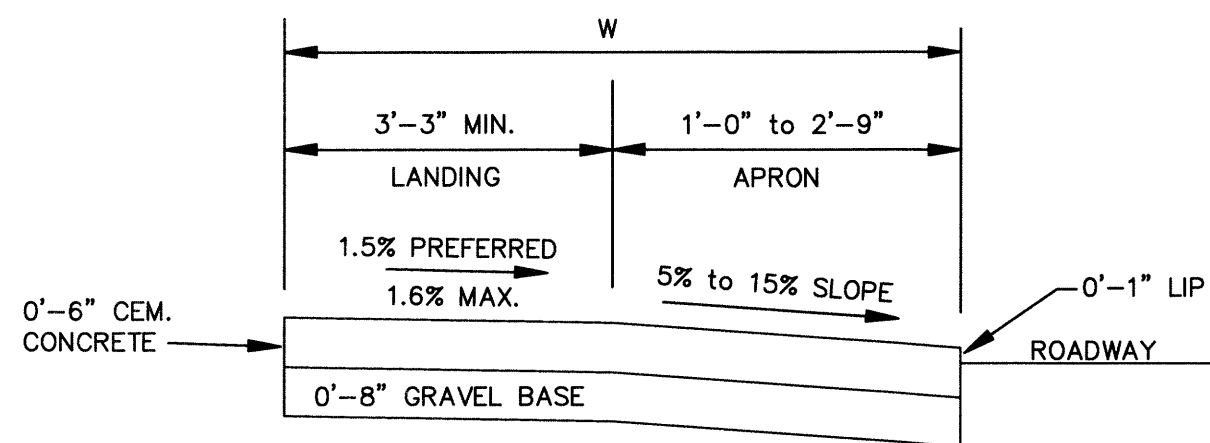
FIELD: RB
CALCS: RB
CHECKED: SS
APPROVED: SS

PERMIT SITE PLAN
143 & 145 CEDAR STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
PREPARED FOR
P.M.D. GROUP, LLC
PROJECT NO.
2006-029
DATE: JULY 20, 2010
SHEET NO.
1 OF 2



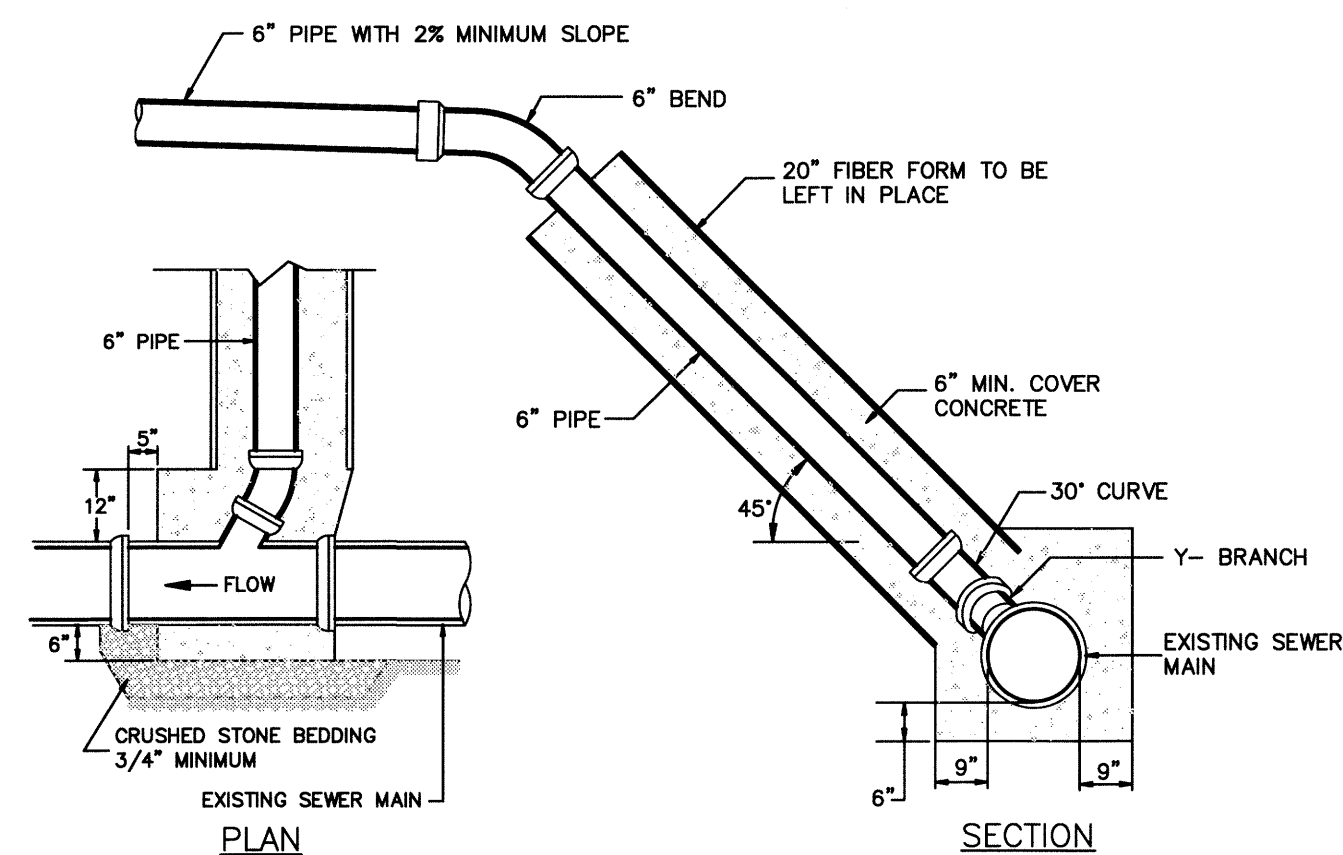
LEGEND
W = SIDEWALK WIDTH



SECTION A-A

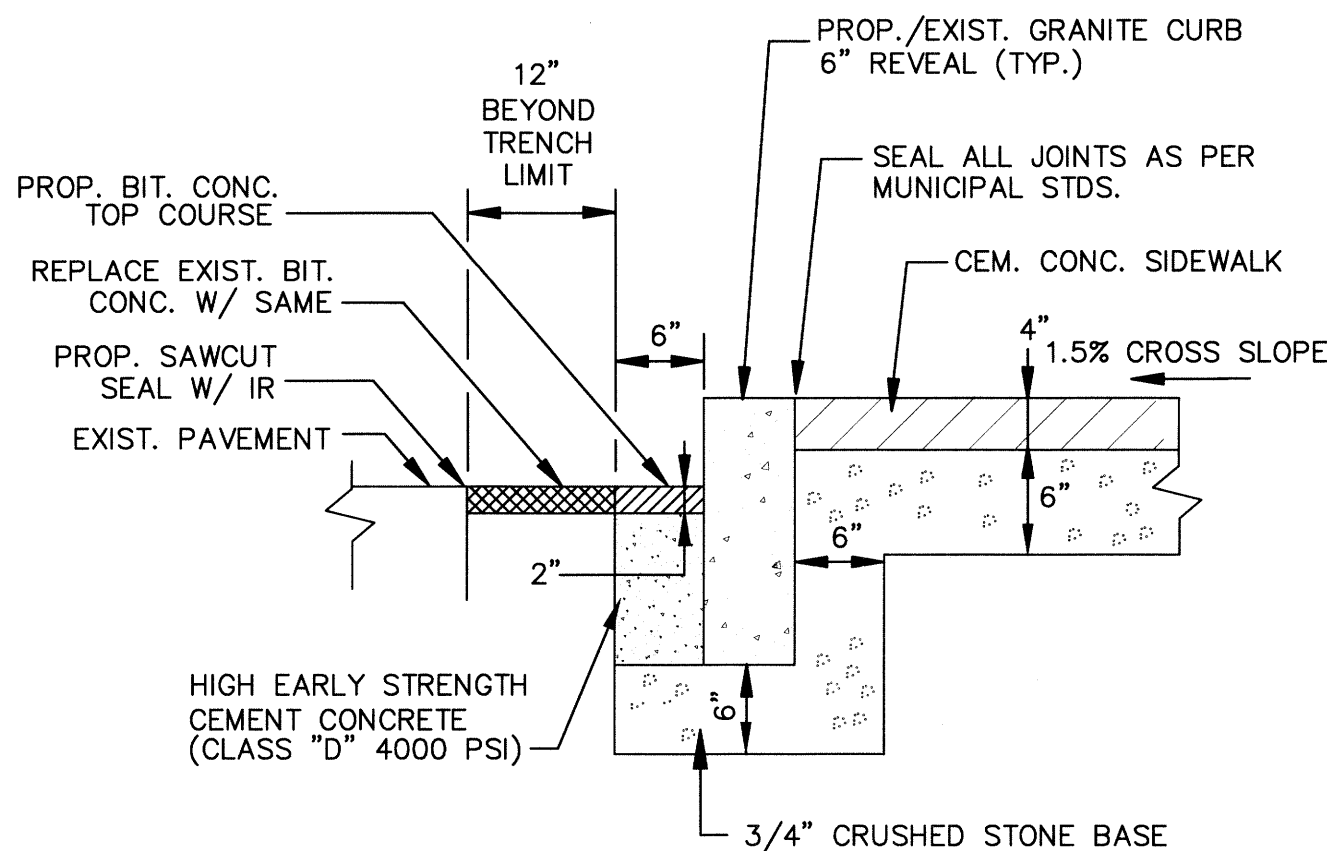
TYPICAL DRIVEWAY DETAIL

NOT TO SCALE



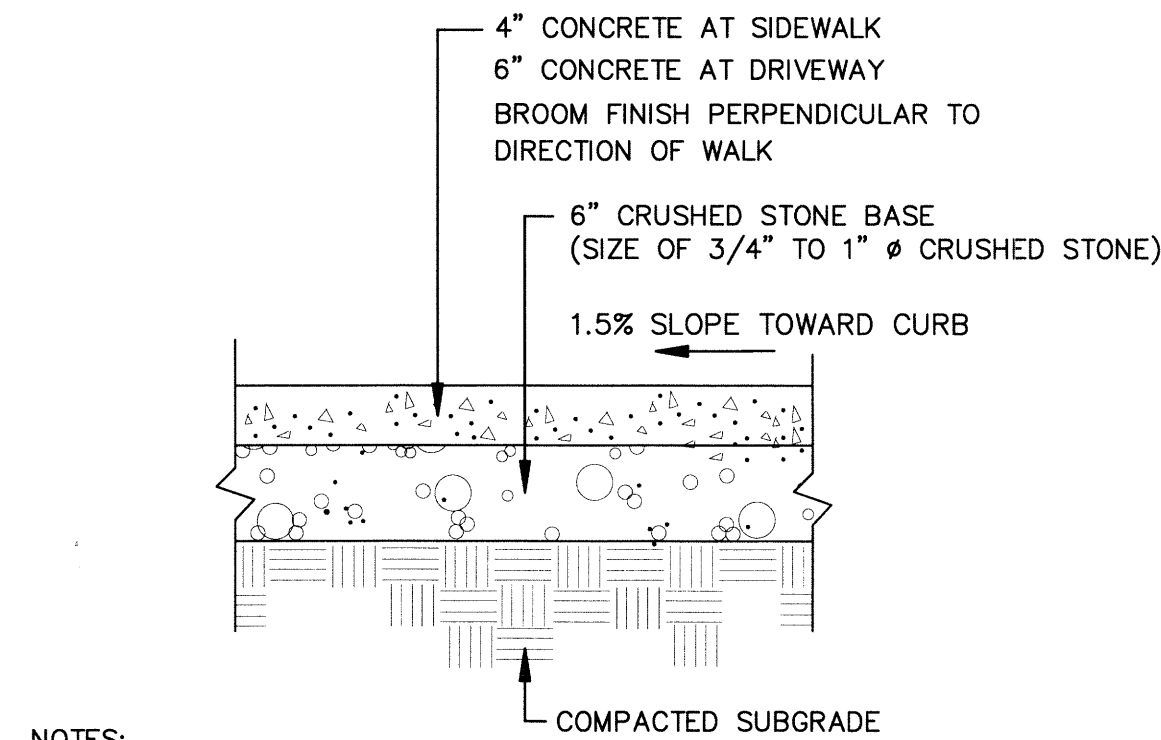
SEWER CHIMNEY WITH 45° CONNECT TO EXISTING SEWER

NOT TO SCALE



GRANITE CURB IN EXISTING ROAD PAVEMENT W/NEW SIDEWALK

NOT TO SCALE

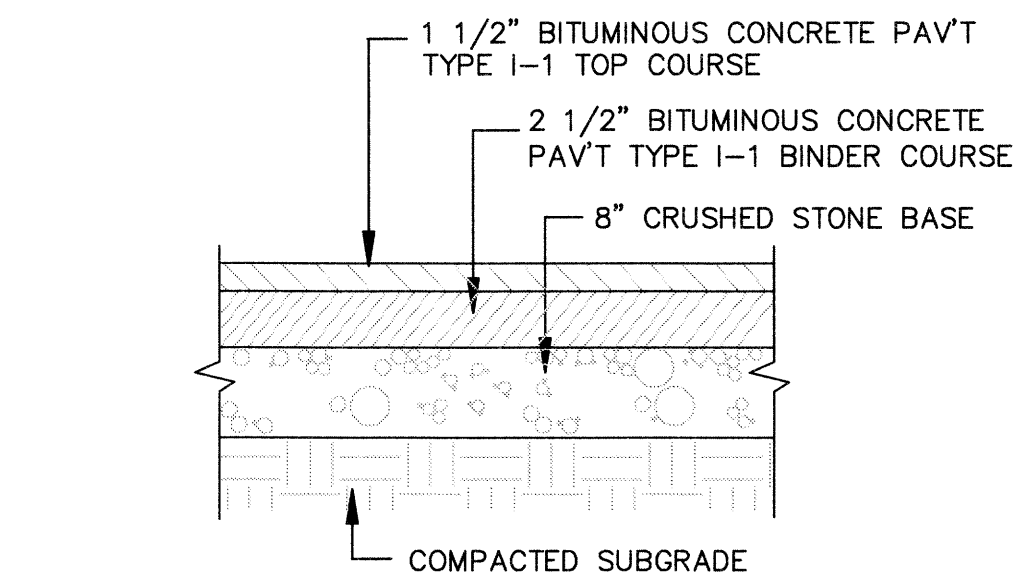


NOTES:

1. PROVIDE $\frac{1}{2}$ " CONSTRUCTION CONTROL JOINT WITH PREFORMED EXPANSION MATERIAL EVERY 25'-0" O.C. MAX.
2. PROVIDE A TOOLED DUMMY JOINT $\frac{1}{4}$ " W x $\frac{1}{2}$ " D AS NEEDED TO PROVIDE SYMMETRY.

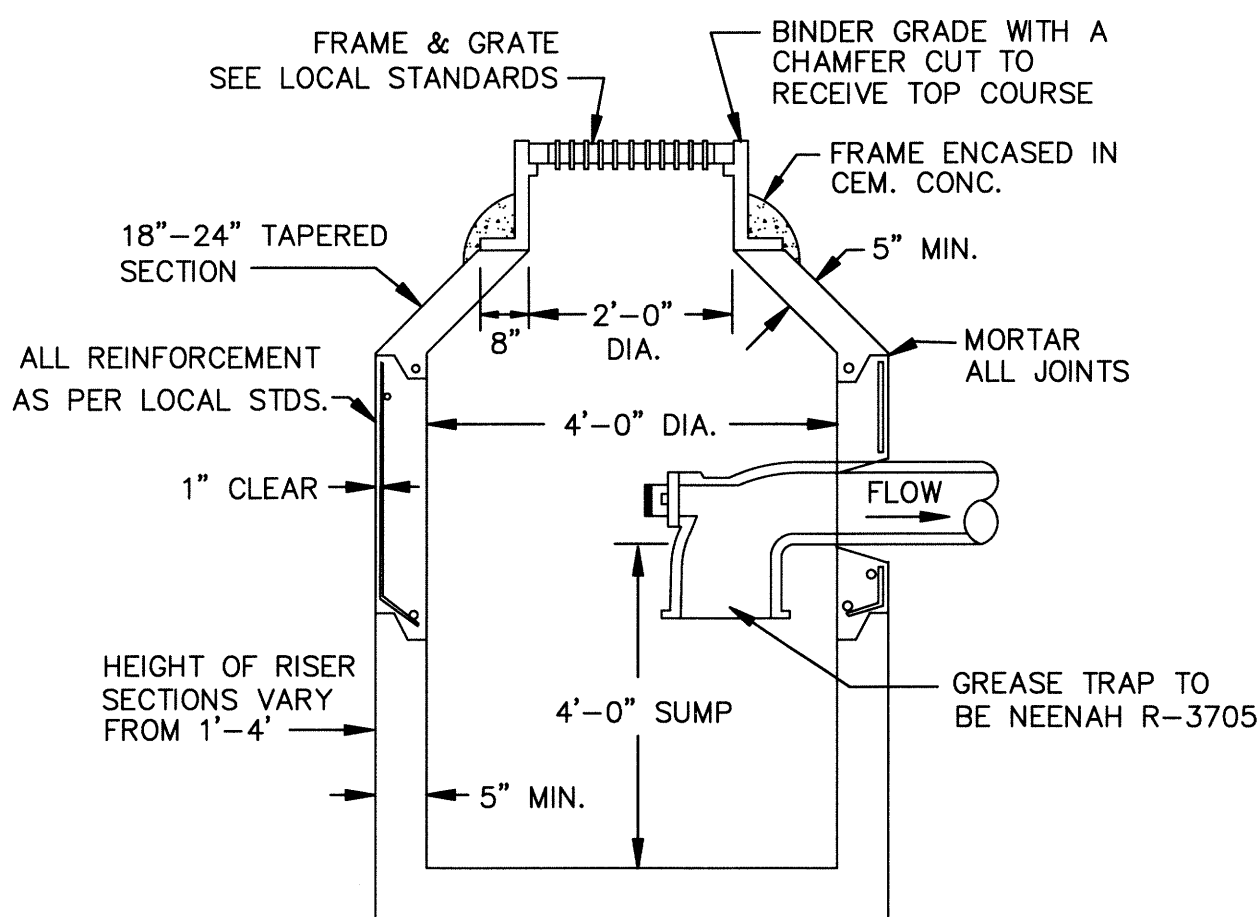
CEMENT CONCRETE SIDEWALK

NOT TO SCALE



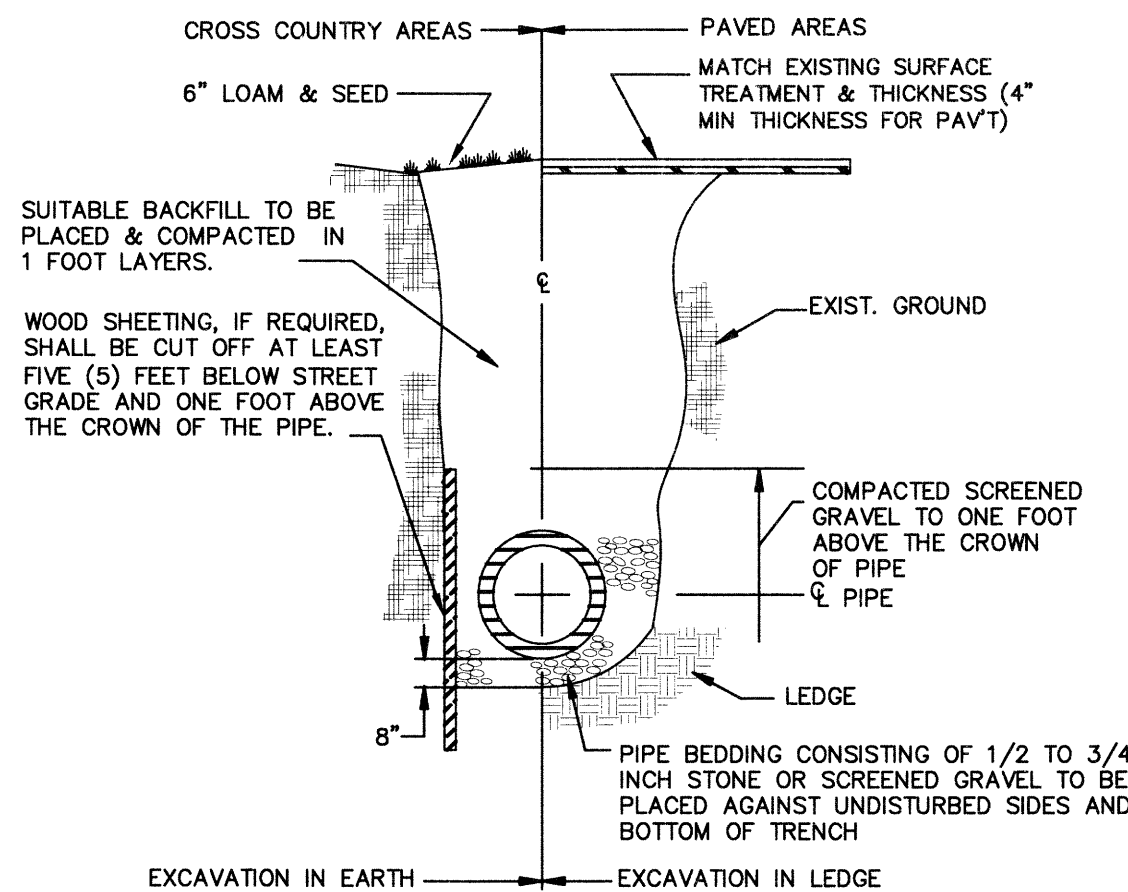
BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE



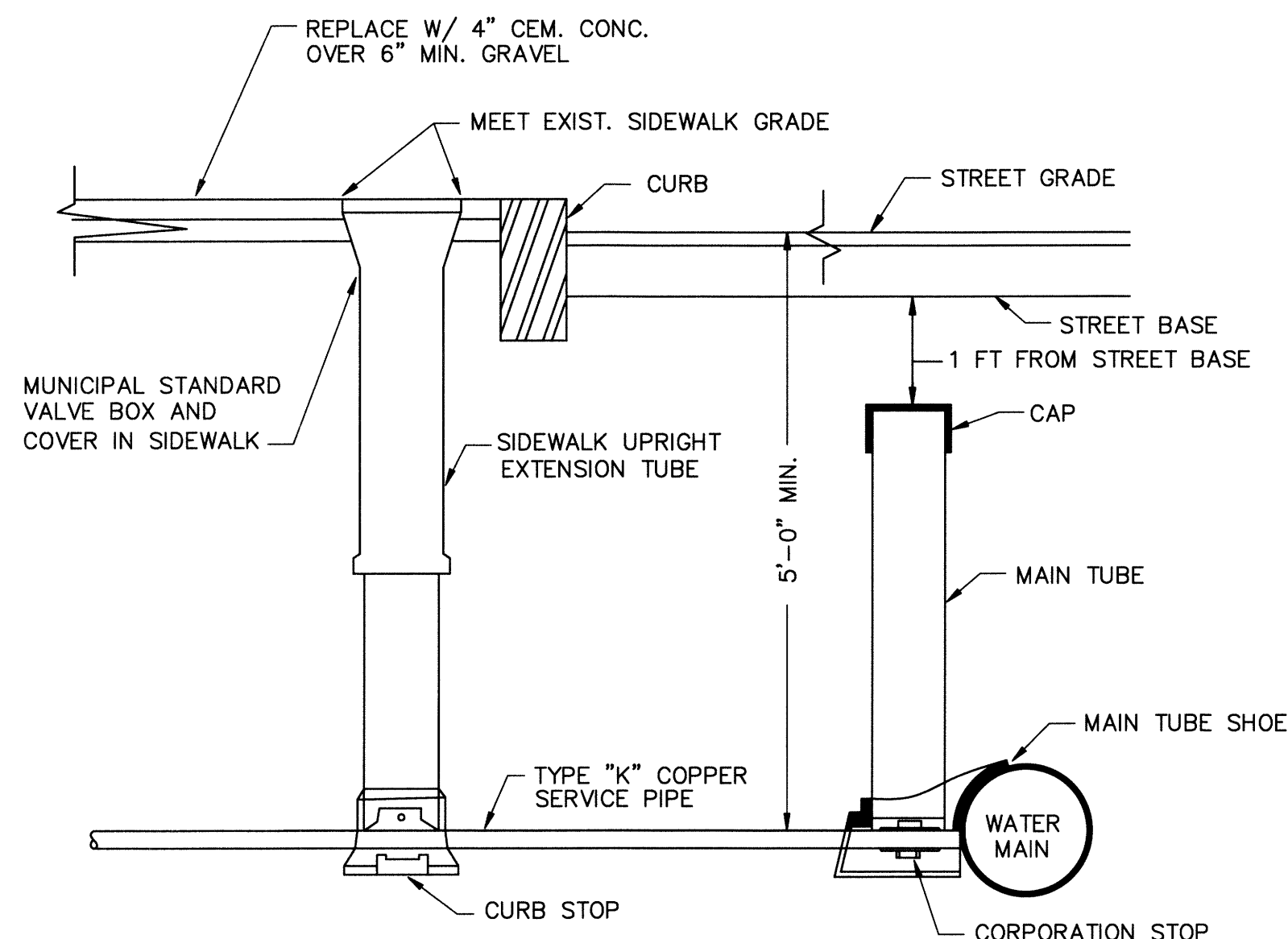
PRECAST CONCRETE CATCH BASIN WITH GAS TRAP

NOT TO SCALE



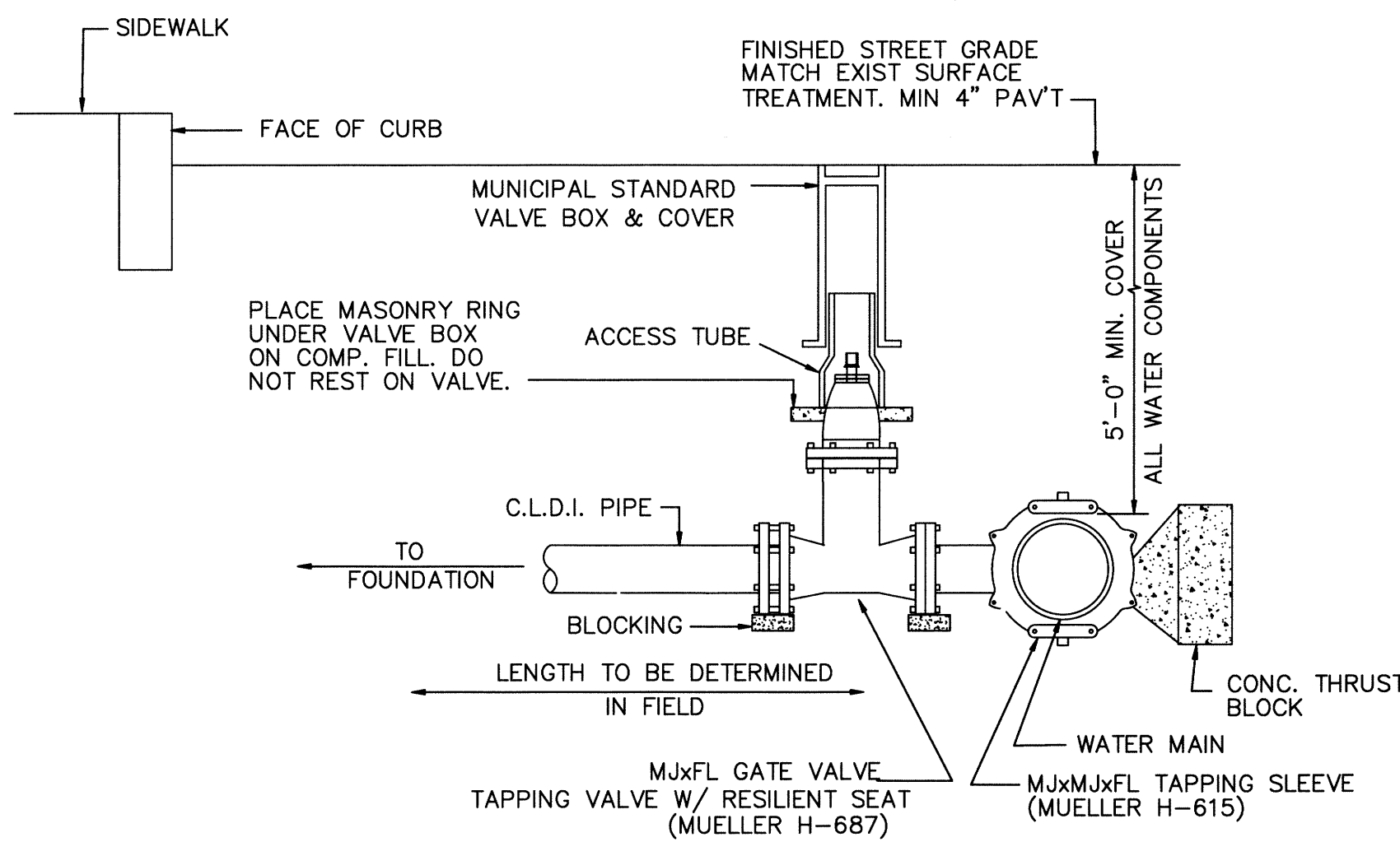
TRENCH EXCAVATION

NOT TO SCALE



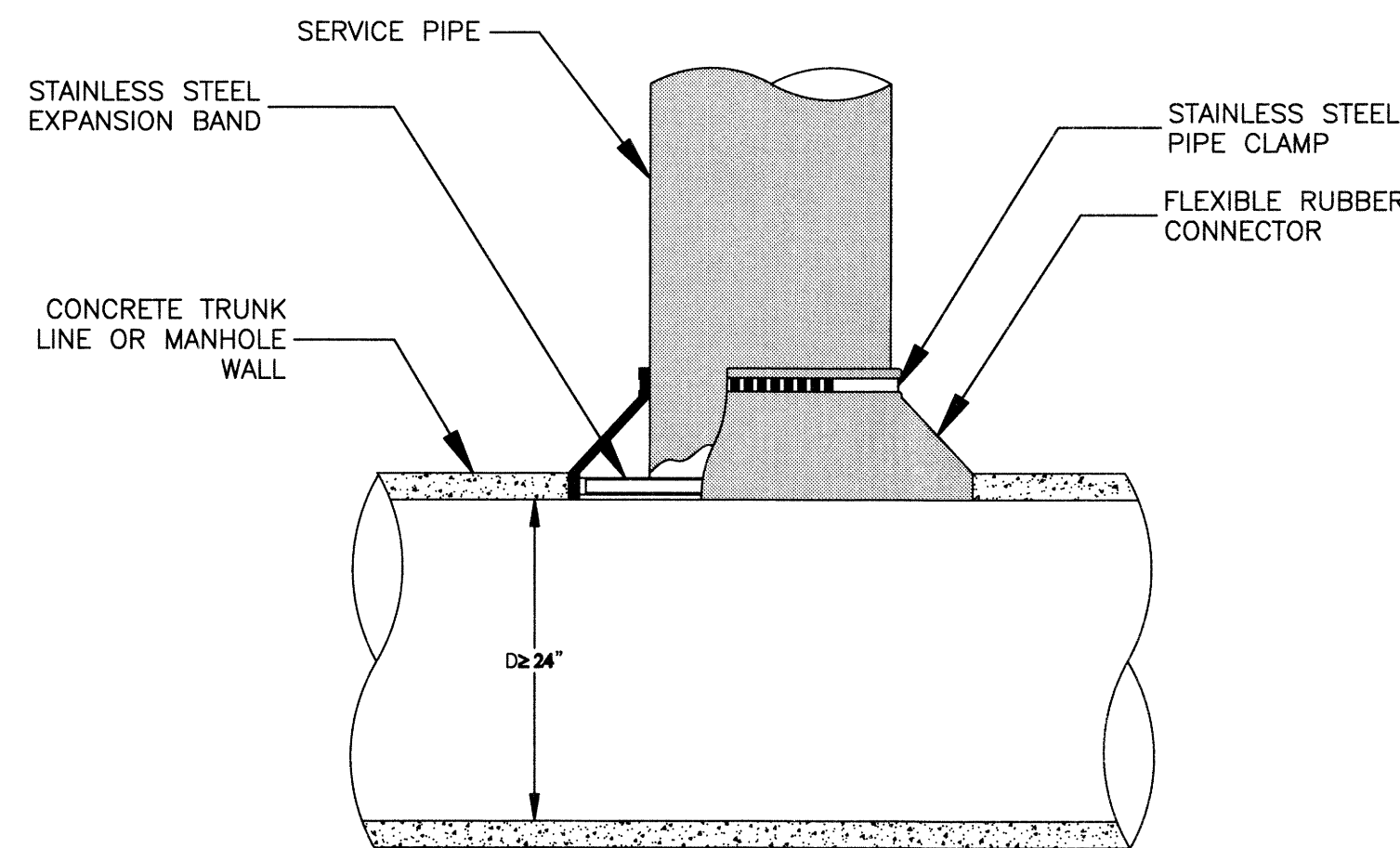
WATER CONNECTION FOR 2" SERVICE PIPE

NOT TO SCALE



WATER CONNECTION WITH WET TAP FOR 4 & 6 INCH SERVICE PIPE

NOT TO SCALE



NOTES:

1. OPENING IN CONCRETE WALL SHALL BE CORED USING HIGH SPEED DIAMOND DRILL.
2. ALL METAL FIXTURES SHALL BE OF STAINLESS STEEL.
3. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE CONCRETE PIPE OR WALL.
4. IF TRUNK LINE DIAMETER IS LESS THAN 24" THEN A SADDLE TYPE CONNECTION WILL BE USED.

DRAIN LINE CONNECTION LARGE PIPE

NOT TO SCALE

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Design Consultants, Inc.
Consulting Engineers and Surveyors

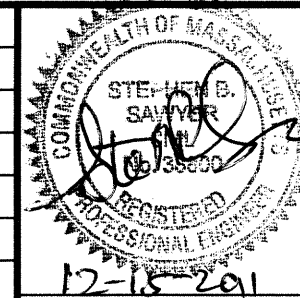
DESIGN CONSULTANTS BUILDING
265 MEDFORD STREET
SOMERVILLE, MA 02143
(617) 776-3350

SCALE:

HORIZ: 1" = 10'

VERT: _____

NO.	DATE	BY	REVISIONS



FIELD: RB
CALCS: RB
CHECKED: SS
APPROVED: SS

DETAILS

143 & 145 CEDAR STREET

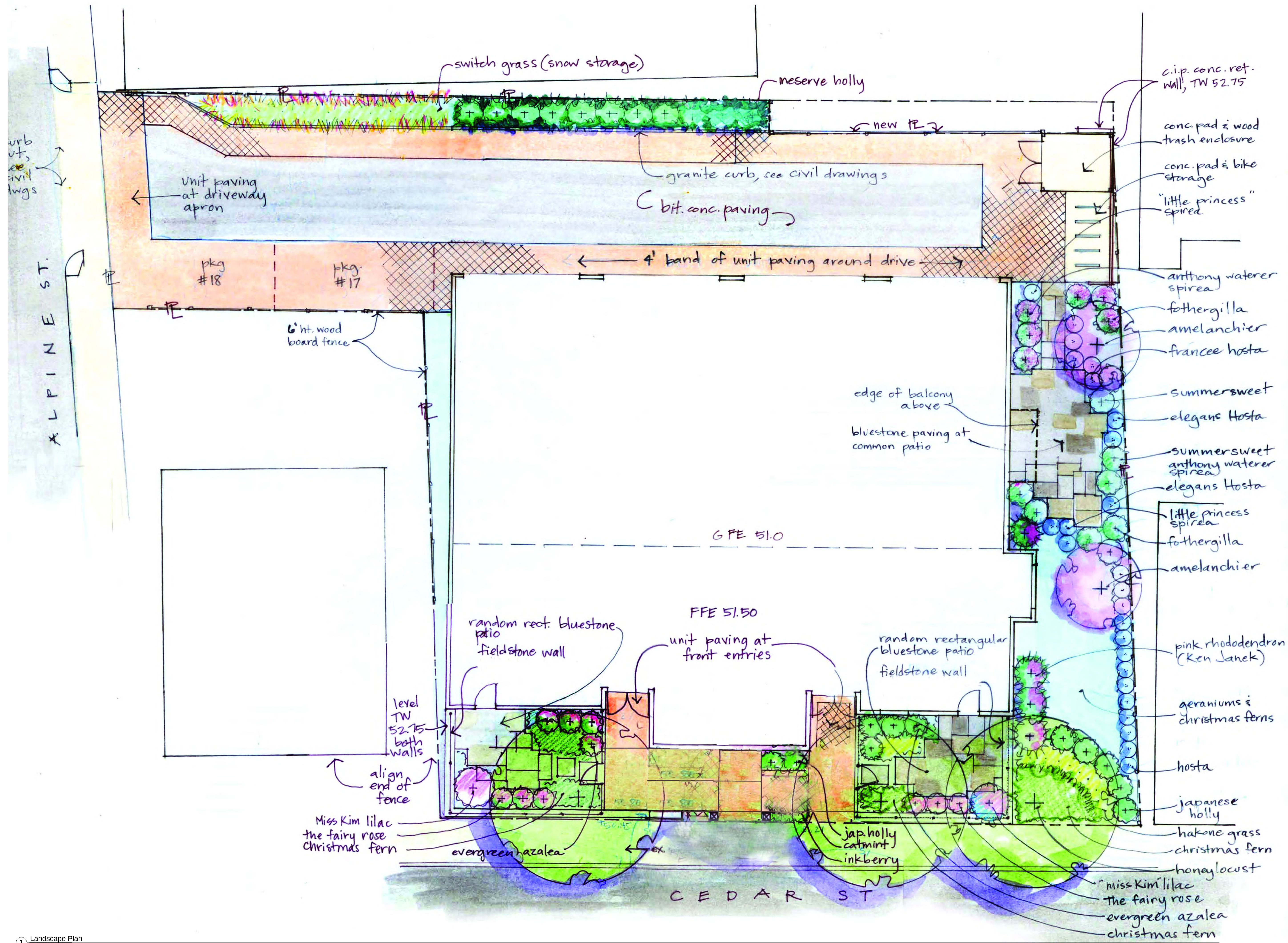
PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
SURVEYED FOR
P.M.D. GROUP, LLC

PROJECT NO.
2006-029

DATE: JULY 20, 2011

SHEET NO.

2 OF 2



PROJECT NAME
CEDAR STREET RESIDENCES

PROJECT ADDRESS
 143 Cedar Street
 Somerville, MA

CLIENT
Aldar Realty Trust P.O
Box 207 Somerville
MA 02143

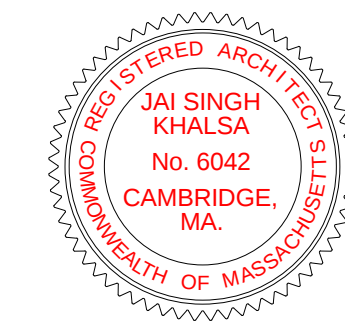
ARCHITECT
KHALSA DESIGN INC.



17 WALDO STREET SUITE 400
 SOMERVILLE, MA 02143
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 06007
 Date 12/14/11
 Drawn by KK
 Checked by BH
 Scale 1 : 1

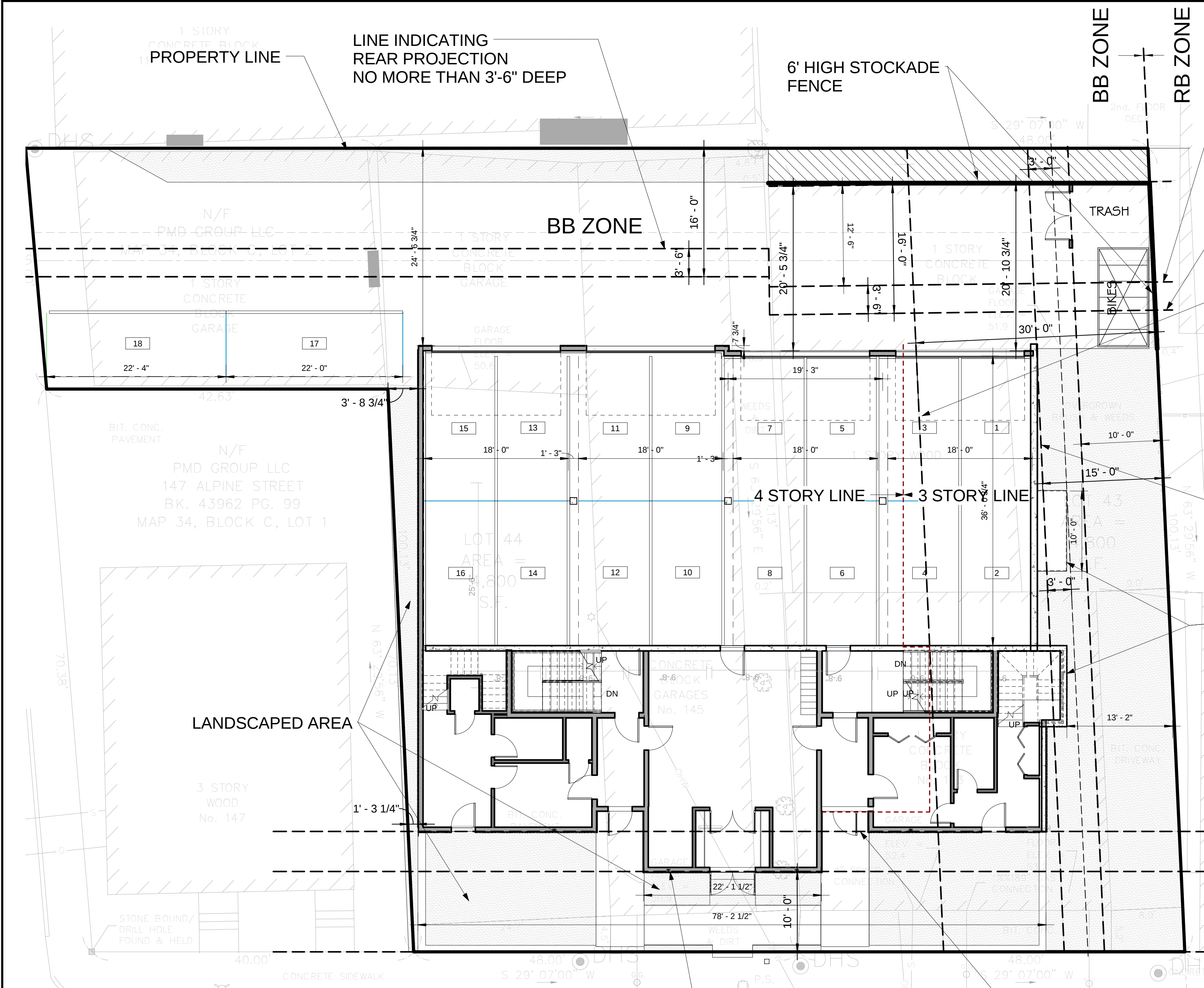
REVISIONS

No.	Description	Date
1	Revision 1	01-26-2012
2	Revision 2	02-23-12

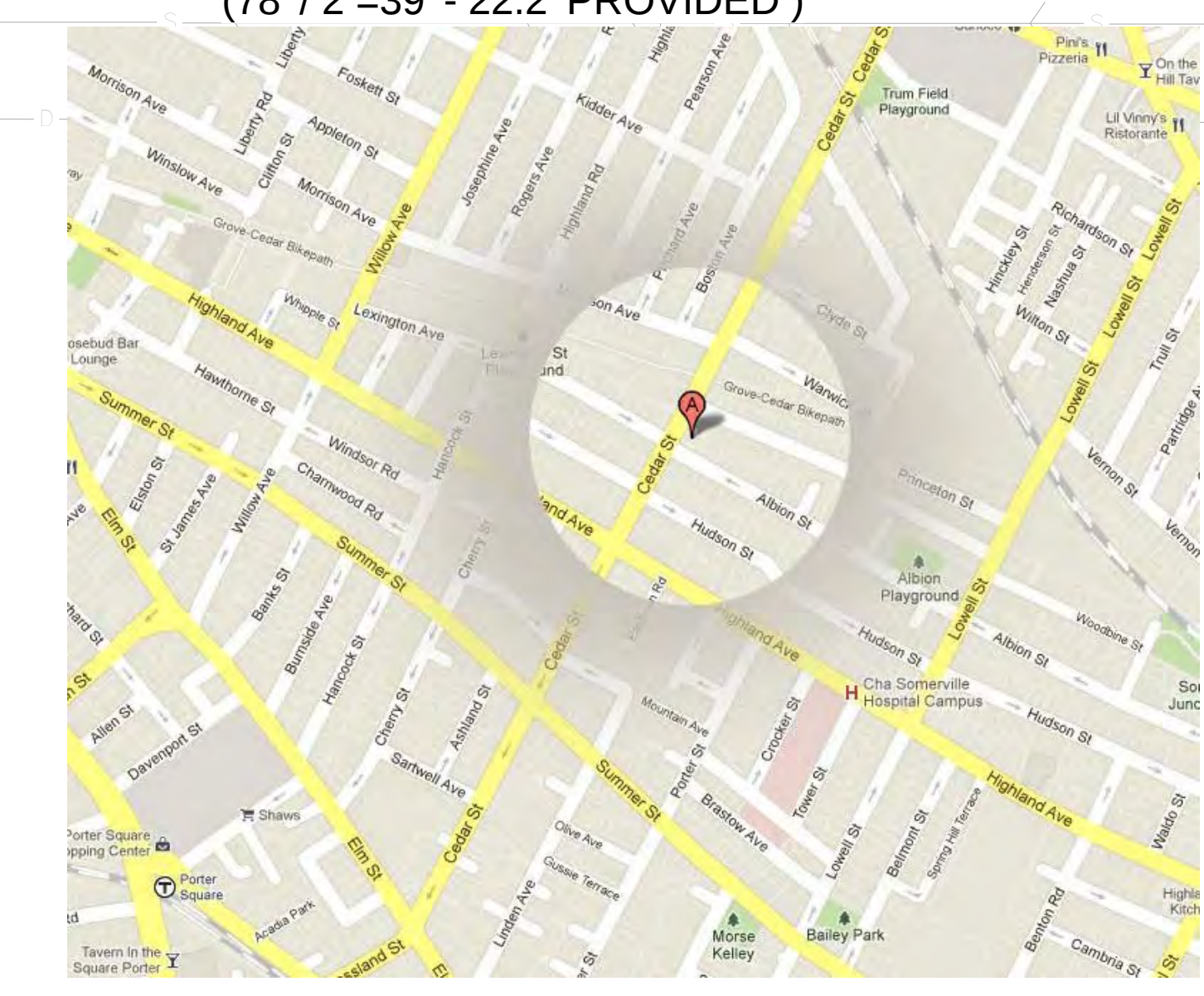
Landscape Plan

.L-1

CEDAR STREET RESIDENCES



1 Site
1/8" = 1'-0"



REAR SET BACK LINE
PROJECTION:
50% OF THE LENGTH
NO MORE THAN 3'-6" DEEP

REAR SET BACK LINE
10'+2' / Story = 10'+(2'x3)= 16'

30' SET BACK. ANY STRUCTURE BUILT
WITHIN 30' OF "RB" DISTRICT LINE
SHALL BE LIMITED TO 3 STORIES
AND 40 FT IN HEIGHT.

MINIMUM SET BACK FOR BUILDING
AT SIDE YARDS: 1/3 OF BUILDING HEIGHT
30' / 3 = 10' - 15' MIN.

-PROJECTION INTO SIDE YARDS: (WIDTH)
1/3 LENGTH OF BUILDING (60.5' / 3 = 20')
-PROJECTING 1/4 THE SET BACK
(15' / 4 = 3.7') NOR MORE THAN 3' DEEP

PROJECTION INTO FRONT
YARD SETBACK- 10' MIN:
FIRST STORY / BAY
NOT MORE THAN 50% OF LENGTH
(78' / 2 = 39' - 22.2' PROVIDED)

MINIMUM FRONT
YARD SETBACK: 15'

Area Schedule (NET AREA)		
Name	Area	Level
Floor 1 Corridor	124 SF	1st Floor Level
Floor 2 Corridor	258 SF	2nd Floor Level
Floor 3 Corridor	229 SF	3rd Floor Level
LOBBY	545 SF	1st Floor Level
Mail Room	154 SF	1st Floor Level
UNIT 1 (1st floor)	395 SF	1st Floor Level
UNIT 1 (second floor)	822 SF	2nd Floor Level
UNIT 2 (first floor)	398 SF	1st Floor Level
UNIT 2 (second floor)	850 SF	2nd Floor Level
UNIT 3	1186 SF	2nd Floor Level
UNIT 4	1212 SF	2nd Floor Level
UNIT 5	775 SF	3rd Floor Level
UNIT 6	778 SF	3rd Floor Level
UNIT 7	1160 SF	3rd Floor Level
UNIT 8	1282 SF	3rd Floor Level
UNIT 9	927 SF	4th Floor Level
UNIT 10	1478 SF	4th Floor Level
17	12574 SF	

Area Schedule (Gross Building Area)			
Number	Name	Level	Area
0	Floor 0 Area	0-Basement Level	1910 SF
1	Floor 1 Area	1st Floor Level	4773 SF
2	Floor 2 Area	2nd Floor Level	4566 SF
3	Floor 3 Area	3rd Floor Level	4564 SF
4	Floor 4 Area	4th Floor Level	2709 SF
Grand total: 5			18522 SF

ZONING REQUIREMENTS FOR CEDAR STREET PROJECT				
ZONE BB				
	REQUIRED	ALLOWED	PROVIDED	COMPLIANCE
A	LOT SIZE in Sf	N/A	5000 MIN.	10,893 Sf
B	MIN. LOT AREA FOR EACH D.U. in Sf			
	1-9 D.U.	875	875+	
	10 D.U.	1,000	1000+	1000+
	NUMBER OF D.U. ALLOWED INCLUSIONARY D.U. BONUS D.U. TOTAL D.U.		10	10,893/1000=10 10 D.U.
C	MAXIMUM GROUND COVERAGE %	80%	43%	YES
D	LANDSCAPED AREA MINIMUM % OF LOT	10	21%	YES
E	FAR - MAX. RATIO OF FLOOR AREA TO LOT AREA INCLUSIONARY FAR BONUS FAR TOTAL FAR	2.0	1.15	YES
F	MAXIMUM HEIGHT IN FEET (20) NO ST. REQ. (3) WHEN ABUTING RB ZONE -30 FT	50 N/A	40/30 4 40' / 3 Stories	YES YES YES
G	MINIMUM FRONT (FT) (5a, 5b, 5c, 17) 5a-FIRST FLOOR -50% BAY WINDOWS	15 FT 10 FT	15 FT 10 FT	YES YES
H	SIDE (12, 5B, 6, 7, 10, 17) (12-1/3 OF HGT-15 FT MIN WHEN ABUTING RB ZONE) 6-1/3 OF LENGTH-BAYS 3 FT MAX OR 1/4 OF SB)	Left Side - N/A Right Side - 15 Ft Right Side - 10 Ft	N/A 15 FT 10 FT	YES YES YES
I	REAR 10 FT+2' / STORY ABOVE GF (12, 5B, 13, 14, 15, 17) 12-1/3 OF HT-15 FT MIN WHEN ABUTING RB ZONE) 14-50% PROJECTED TO REAR YARD. 1/4 SB, 10' MIN.SB)	N/A	16 FT 12.5 FT 20.5 FT	YES YES YES
J	MIN. LOT WIDTH in Ft	N/A		YES
	PARKING RESIDENTS CARS (1.5 PER D.U. (1,2 BDR UNITS) VISITORS CARS (1 FOR EVERY 6 UNITS) (10/6 = 1.6) TOTAL BIKES (1 FOR EVERY 3 D.U.) (10/3=3.3)	16 2 18 4	16 2 18 4	YES YES YES YES

PROJECT NAME
CEDAR STREET RESIDENCES

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

CLIENT
**Aldar Realty Trust P.O
Box 207 Somerville
MA 02143**

ARCHITECT
KHALSA DESIGN INC.

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION

REGISTERED ARCHITECT
KHALSA DESIGN INC.
MA 02143

Project number 06007
Date 12/14/11
Drawn by KK
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Revision 1	01-26-2012

ARCHITECTURAL
SITE PLAN

A-020

CEDAR STREET RESIDENCES

PROJECT NAME

CEDAR STREET
RESIDENCES

PROJECT ADDRESS

143 Cedar Street
Somerville, MA

CLIENT

Aldar Realty Trust P.O
Box 207 Somerville
MA 02143

ARCHITECT

KHALSA DESIGN INC.

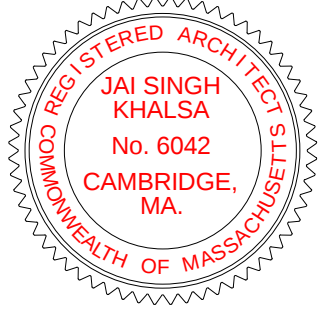


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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	06007
Date	12/14/11
Drawn by	KK
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date
1	Revision 1	01-26-2012

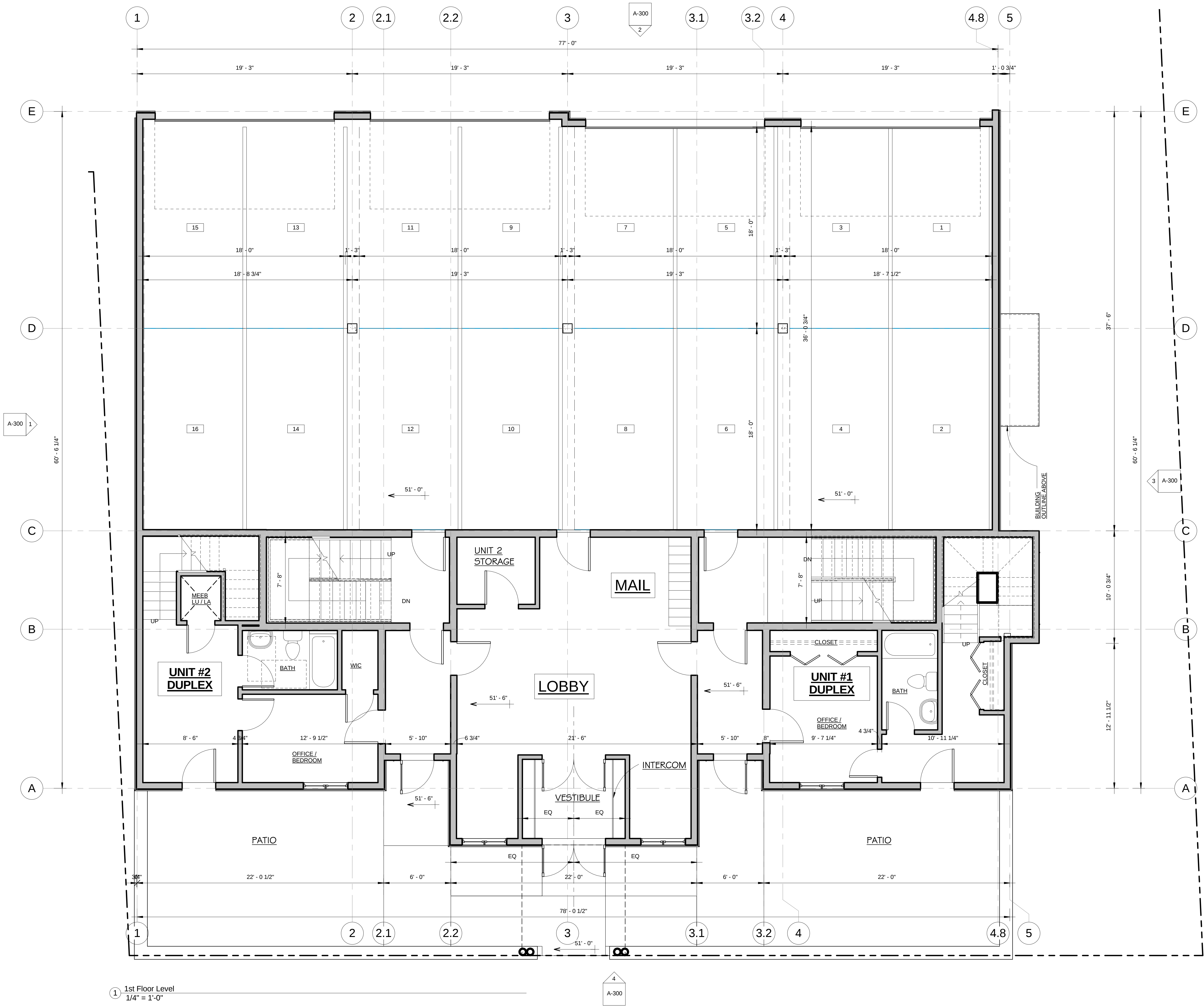
BASEMENT
LEVEL

A-100

CEDAR STREET RESIDENCES



1 0-Basement Level
1/4" = 1'-0"



1 1st Floor Level
1/4" = 1'-0"

PROJECT NAME

**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS

143 Cedar Street
Somerville, MA

CLIENT

Aldar Realty Trust P.O
Box 207 Somerville
MA 02143

ARCHITECT

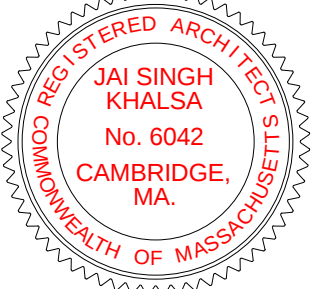
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 06007
Date 12/14/11
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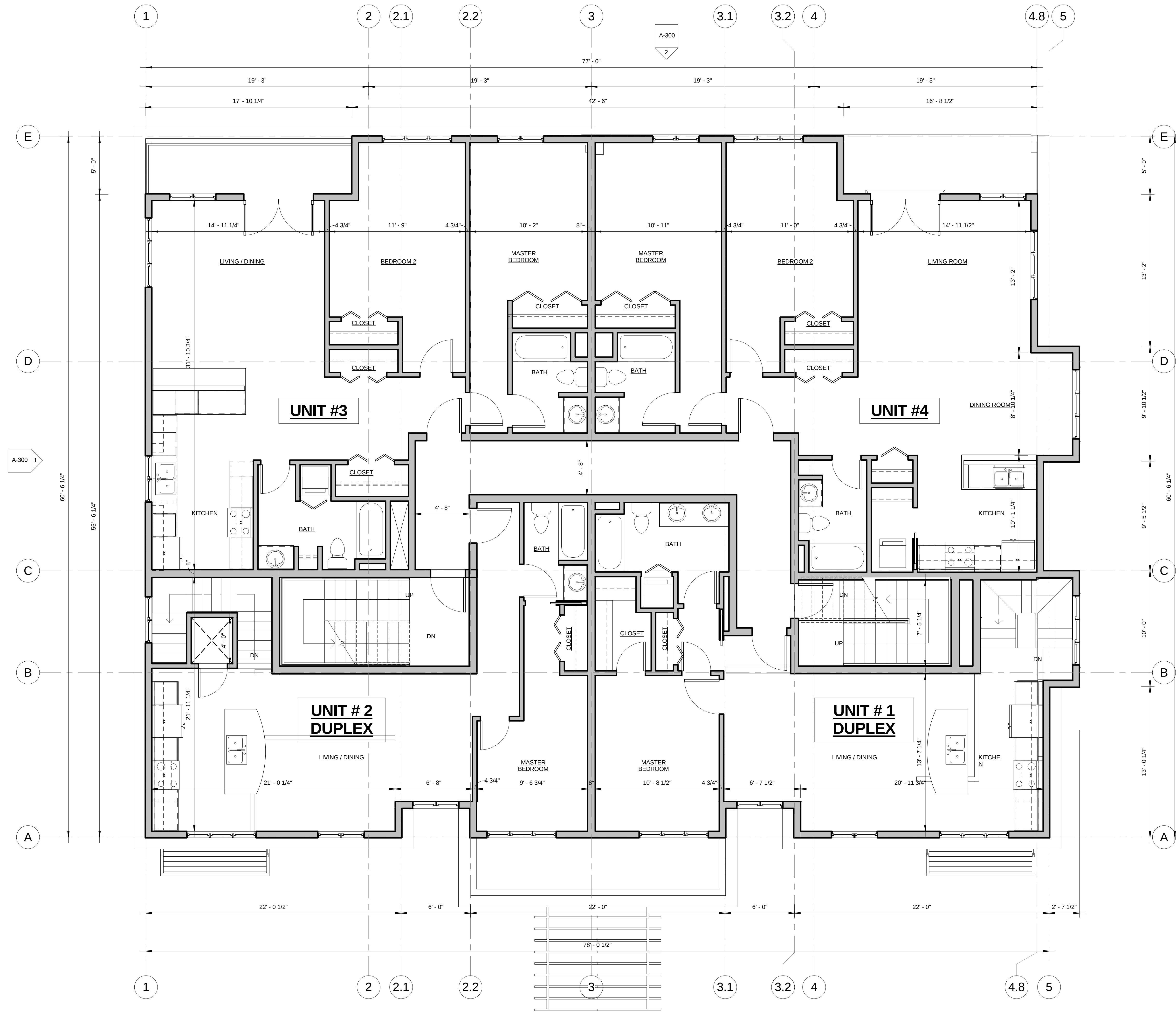
REVISIONS

No.	Description	Date
1	Revision 1	01-26-2012
2	Revision 2	02-23-12

1st FLOOR PLAN

A-101

CEDAR STREET RESIDENCES



1 2nd Floor Level
1/4" = 1'-0"

PROJECT NAME
CEDAR STREET RESIDENCES

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

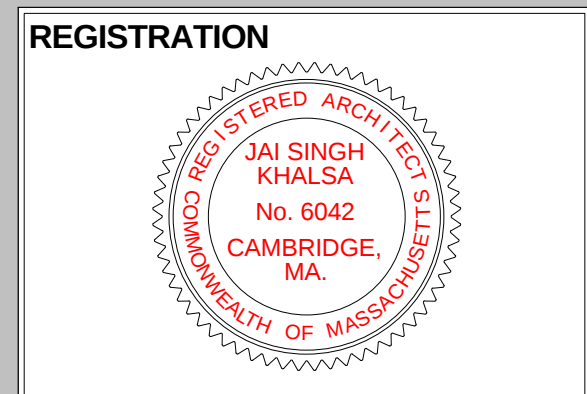
CLIENT
Aldar Realty Trust P.O
Box 207 Somerville
MA 02143

ARCHITECT
KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

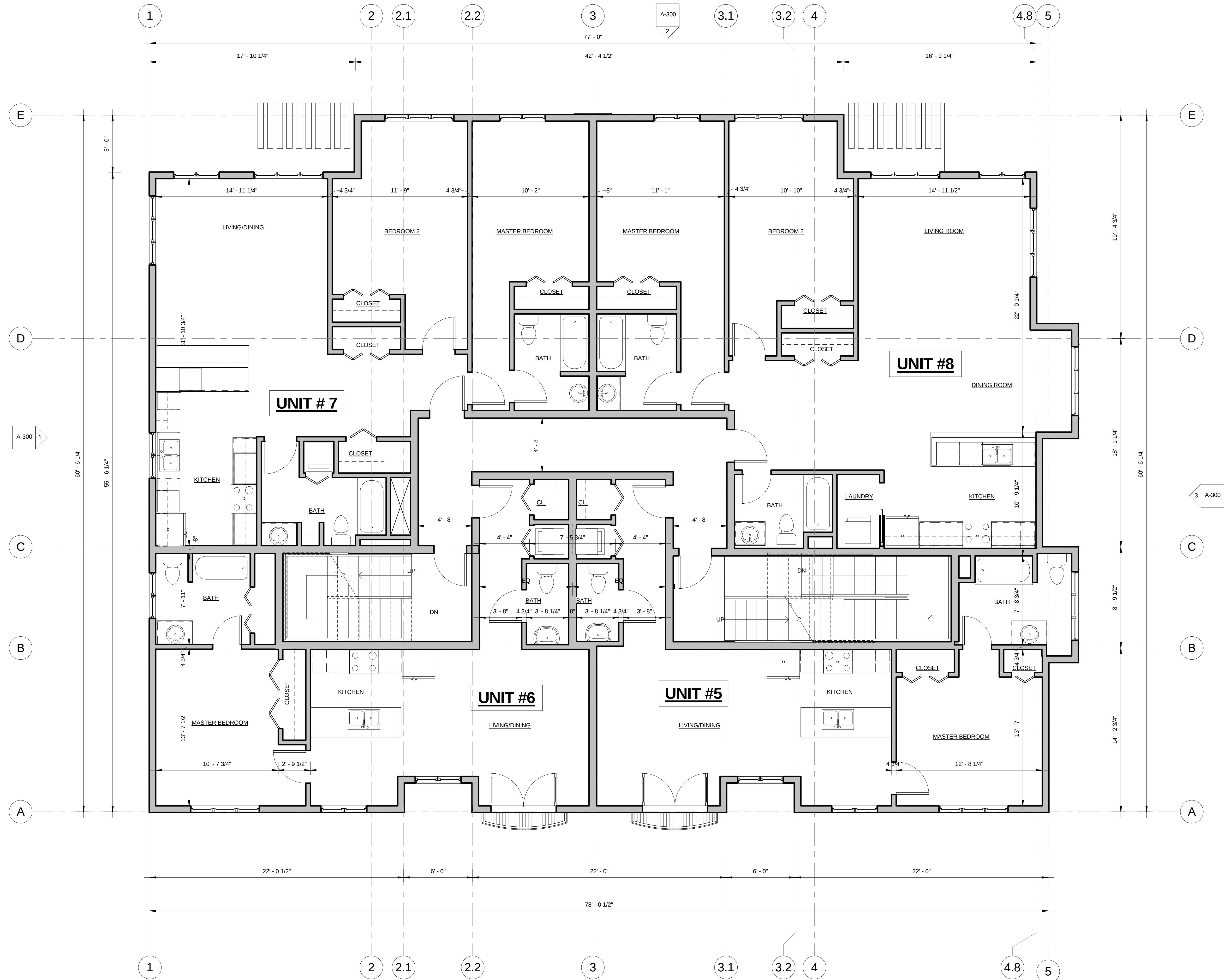


Project number	06007
Date	12/14/11
Drawn by	KK
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	Revision 1	01-26-2012
2	Revision 2	02-23-12

2nd FLOOR PLAN

A-102
CEDAR STREET RESIDENCES



① 3rd Floor Level
1/4" = 1'-0"

PROJECT NAME
**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

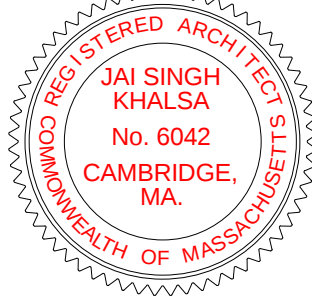
CLIENT
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MA 02143**

ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number	06007
Date	12/14/11
Drawn by	KK
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	Revision 1	01-26-2012
2	Revision 2	02-23-12

3rd FLOOR PLAN

A-103

CEDAR STREET RESIDENCES



1 4th Floor Level
1/4" = 1'-0"

PROJECT NAME

**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS

143 Cedar Street
Somerville, MA

CLIENT

**Aldar Realty Trust P.O
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MA 02143**

ARCHITECT

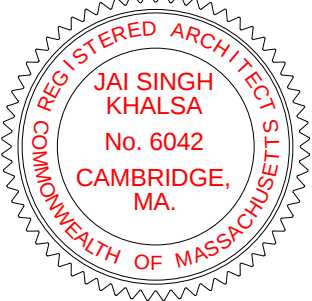
KHALSA DESIGN INC.



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CONSULTANTS:

REGISTRATION



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Checked by JSK
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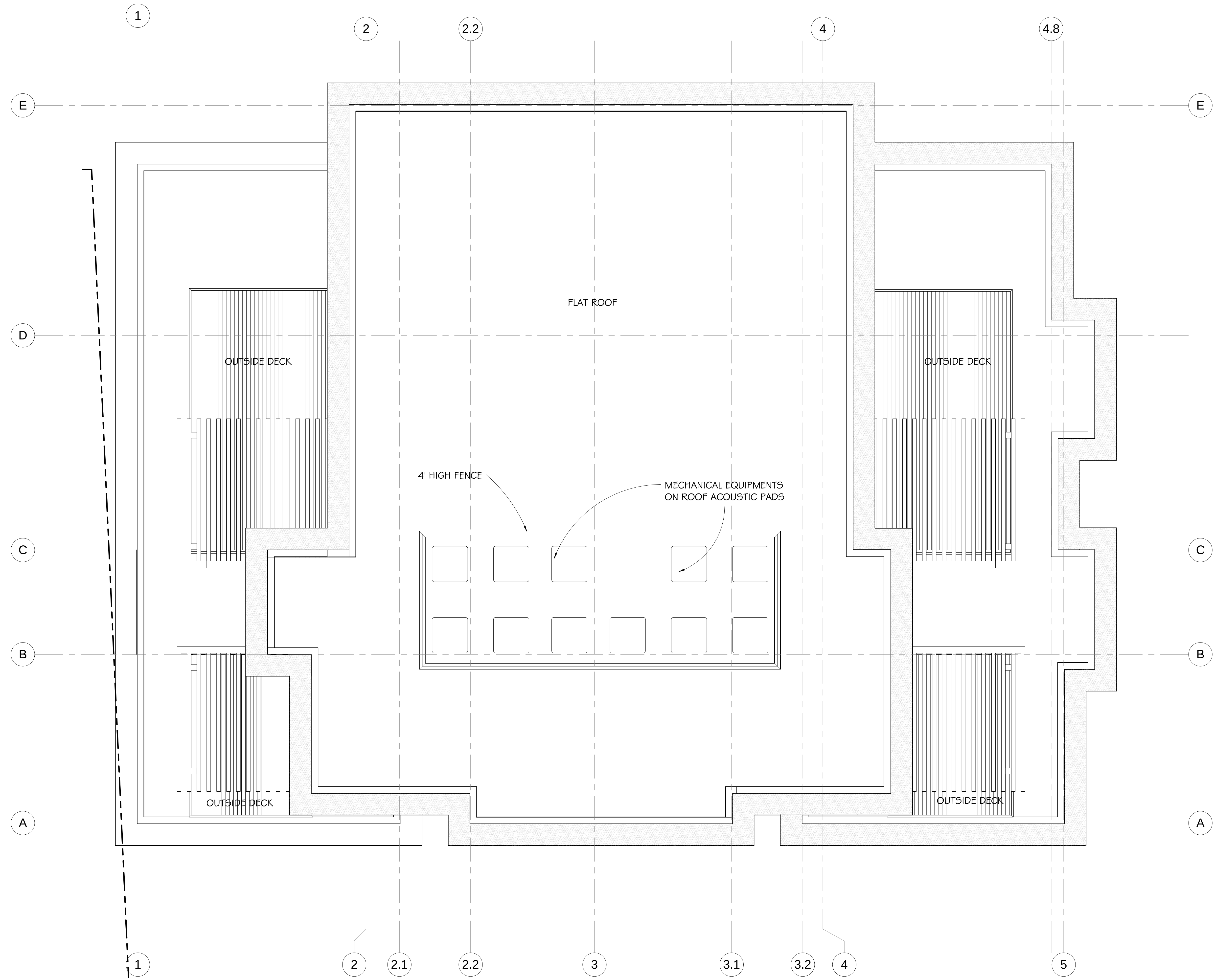
REVISIONS

No.	Description	Date
1	Revision 1	01-26-2012

4th FLOOR PLAN

A-104

CEDAR STREET RESIDENCES



1 Roof Level
1/4" = 1'-0"

PROJECT NAME
CEDAR STREET RESIDENCES

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

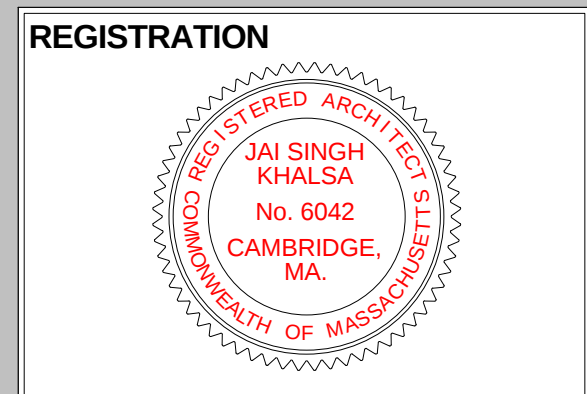
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ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



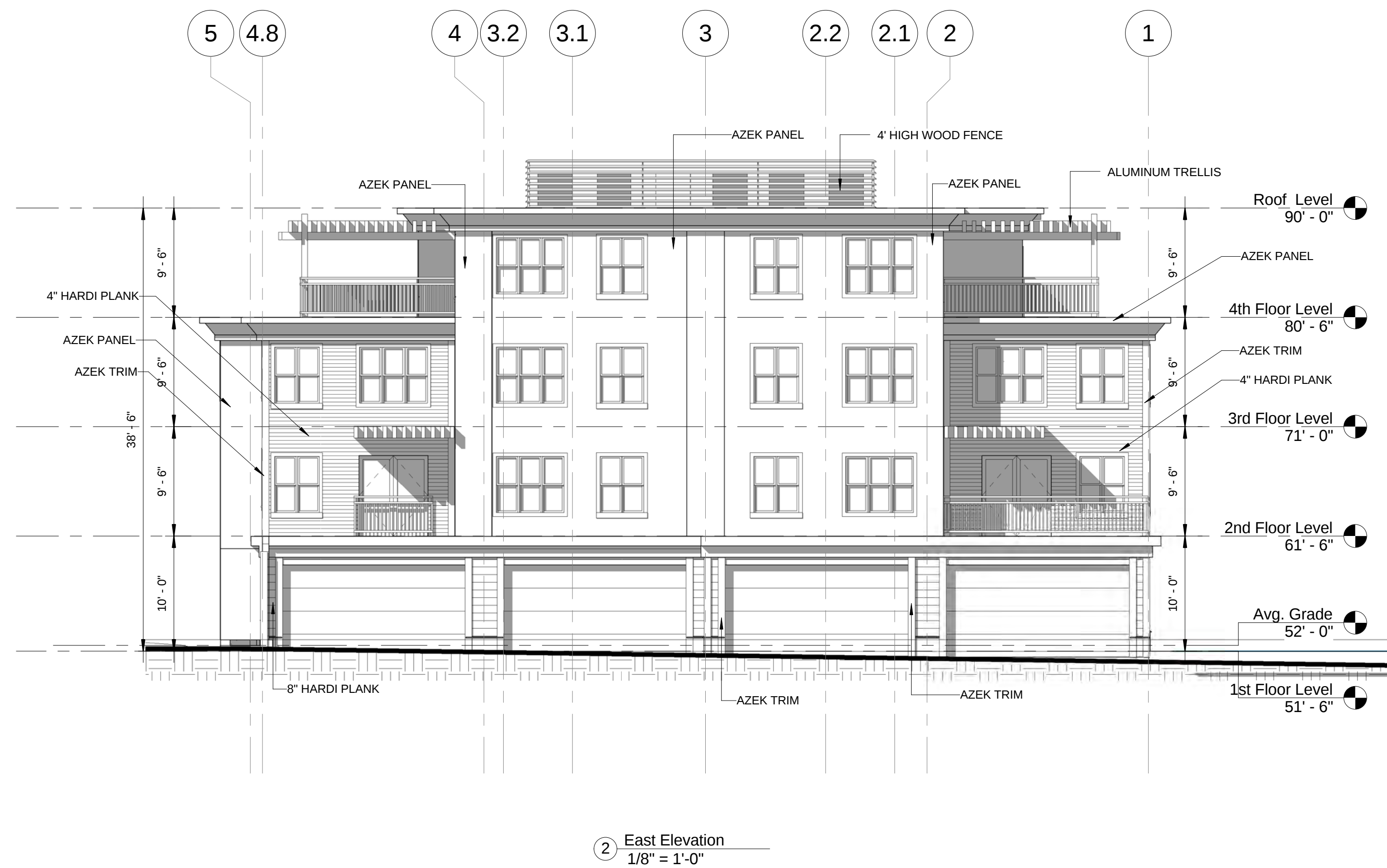
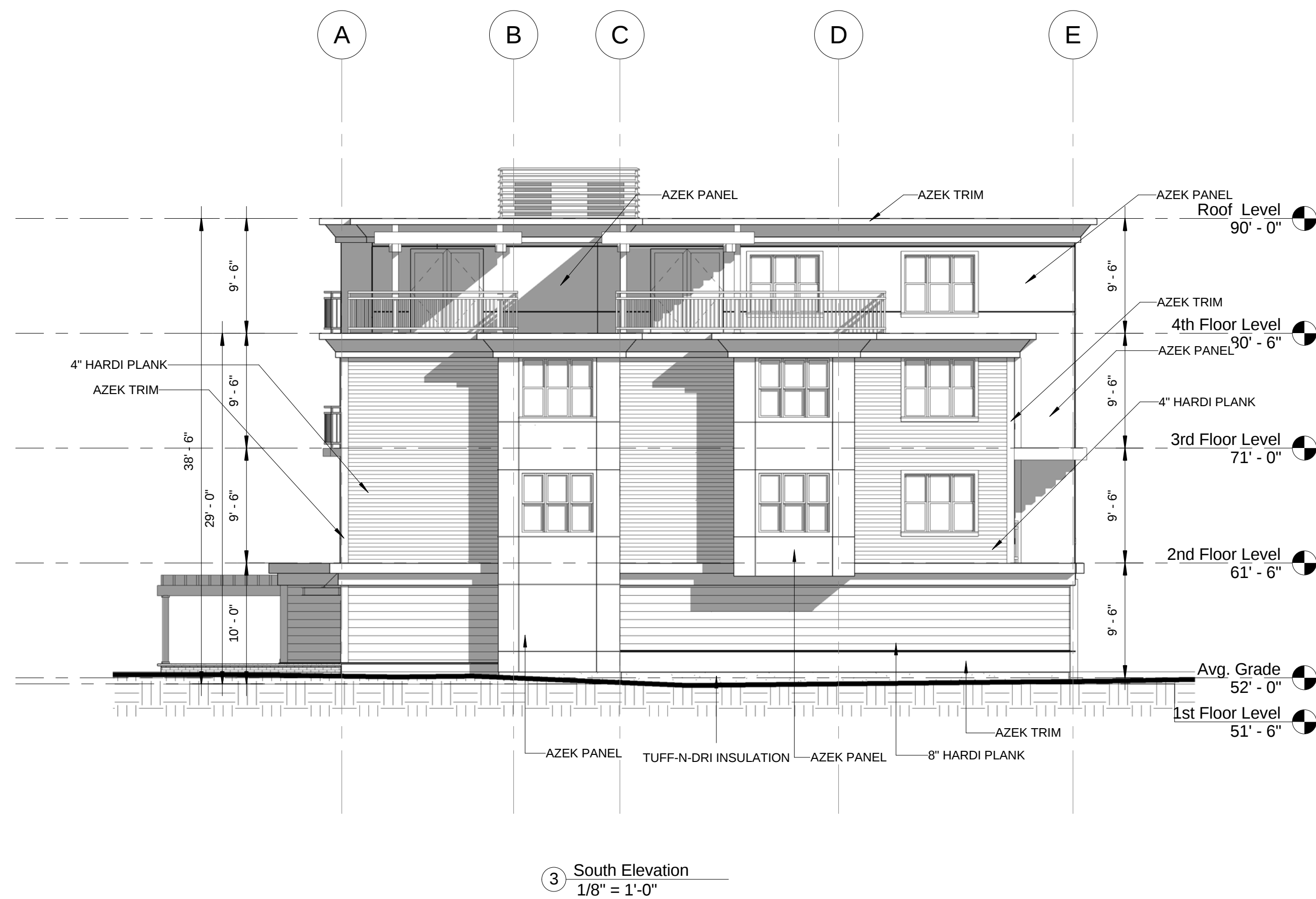
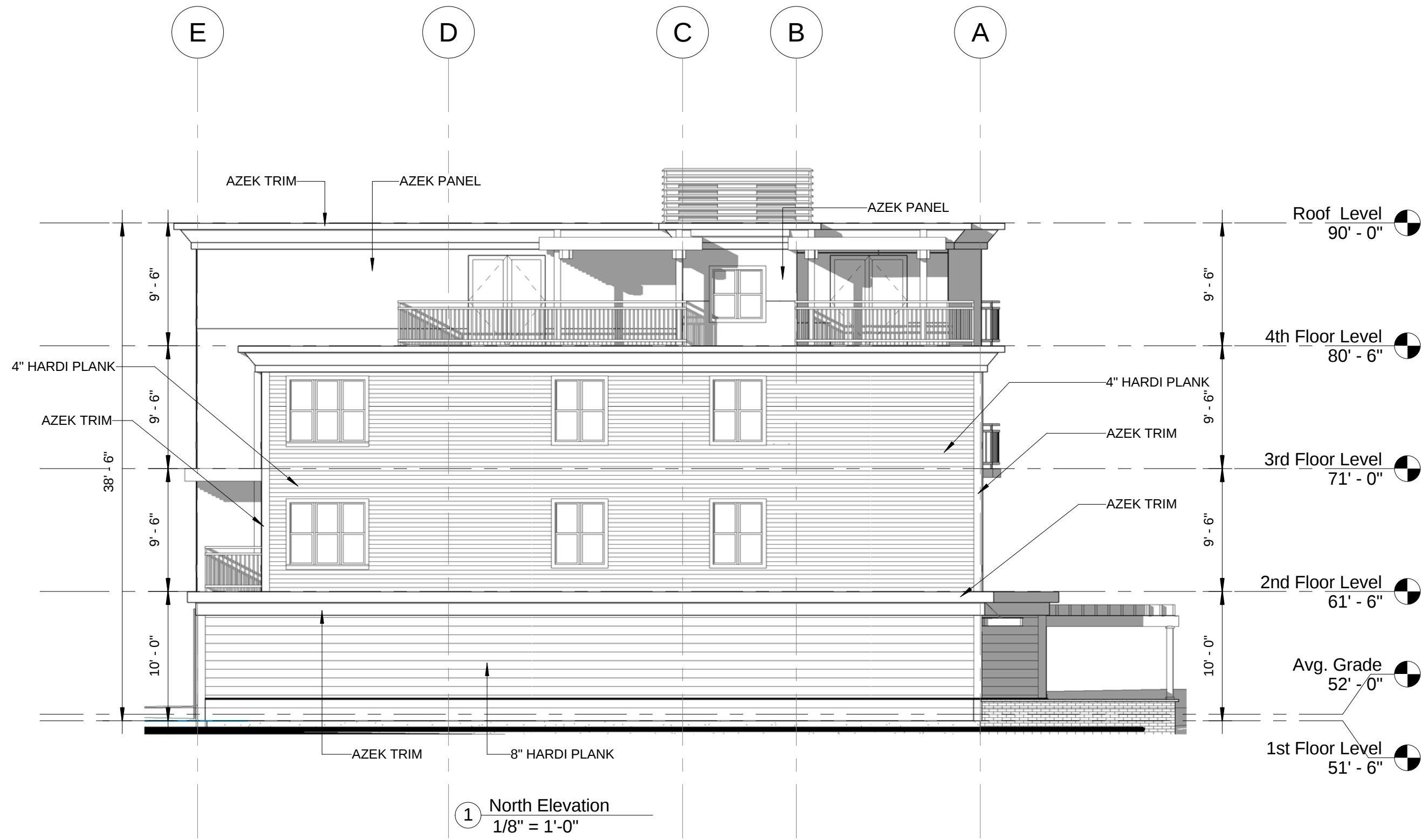
Project number	06007
Date	12/14/11
Drawn by	KK
Checked by	JSK
Scale	1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	Revision 1	01-26-2012

Roof Plan

A-105

CEDAR STREET RESIDENCES



PROJECT NAME
**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

CLIENT
**Aldar Realty Trust P.O
Box 207 Somerville
MA 02143**

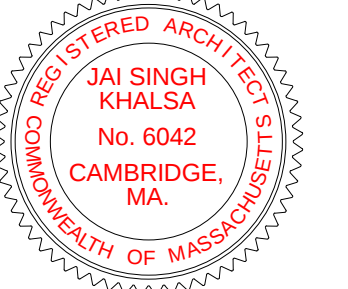
ARCHITECT
KHALSA DESIGN INC.



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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



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Checked by	JSK
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	Revision 1	01-26-2012
2	Revision 2	02-23-12

ELEVATIONS

A-300

CEDAR STREET RESIDENCES

MORNING (9-10 AM)

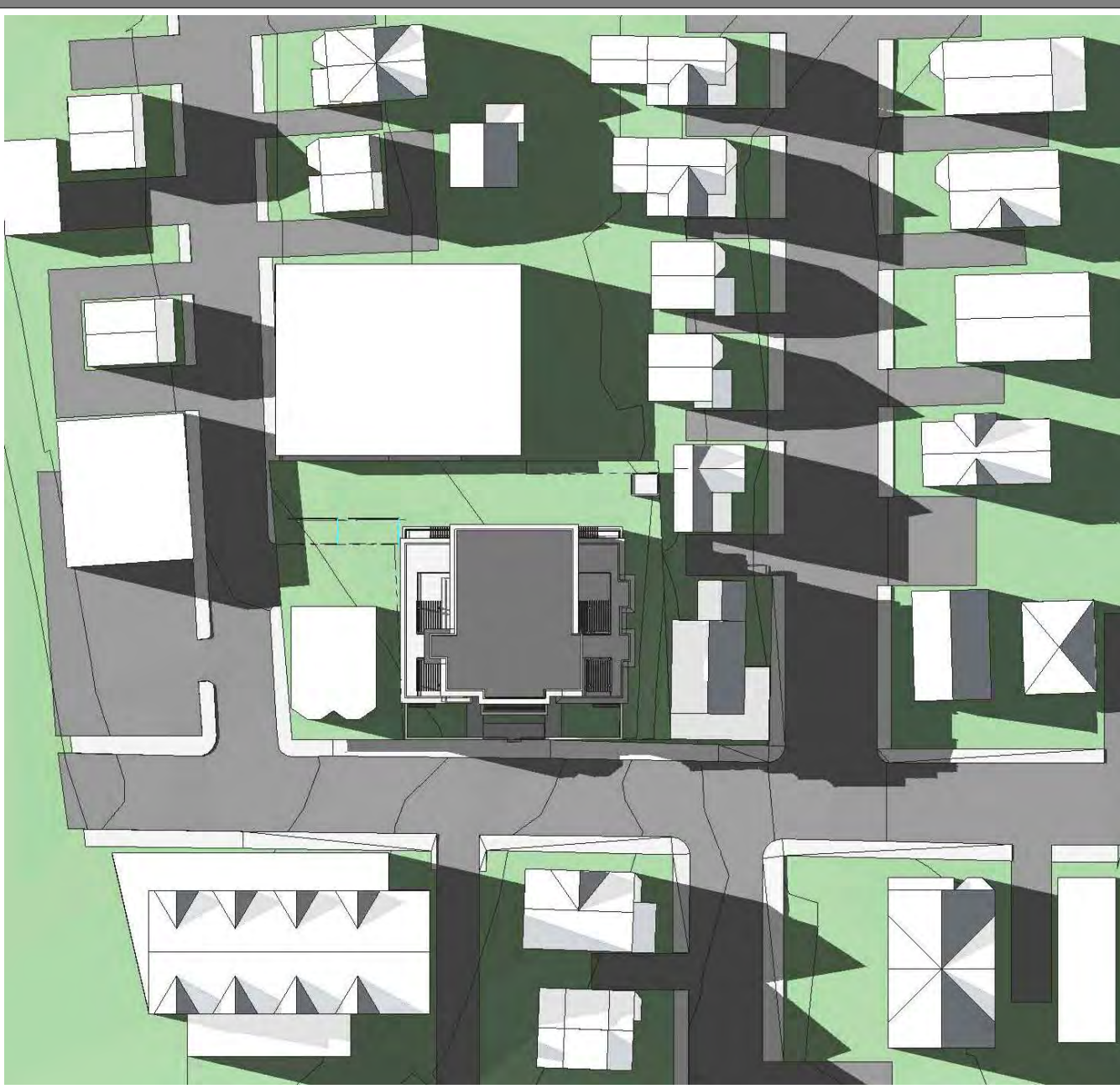
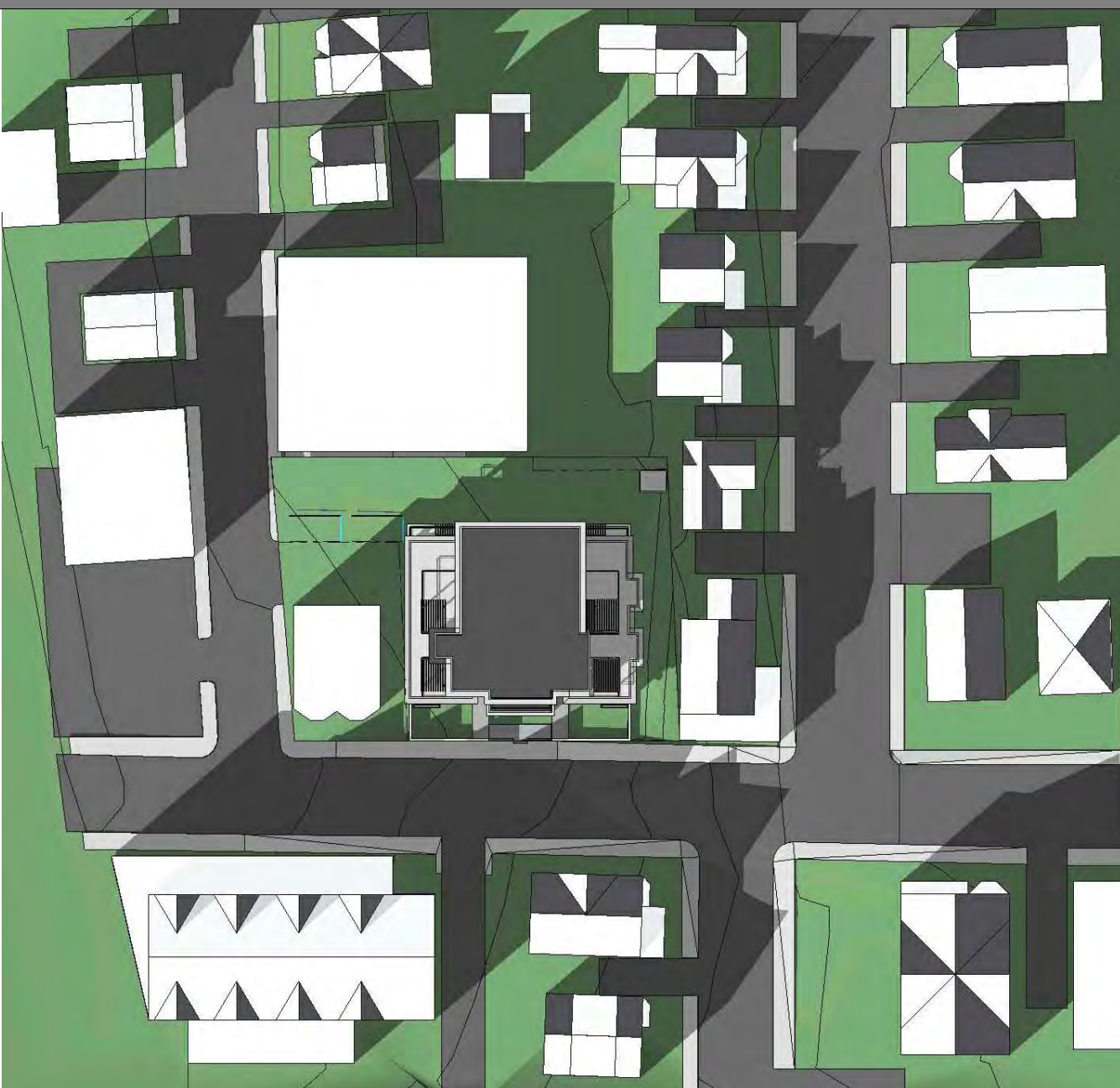
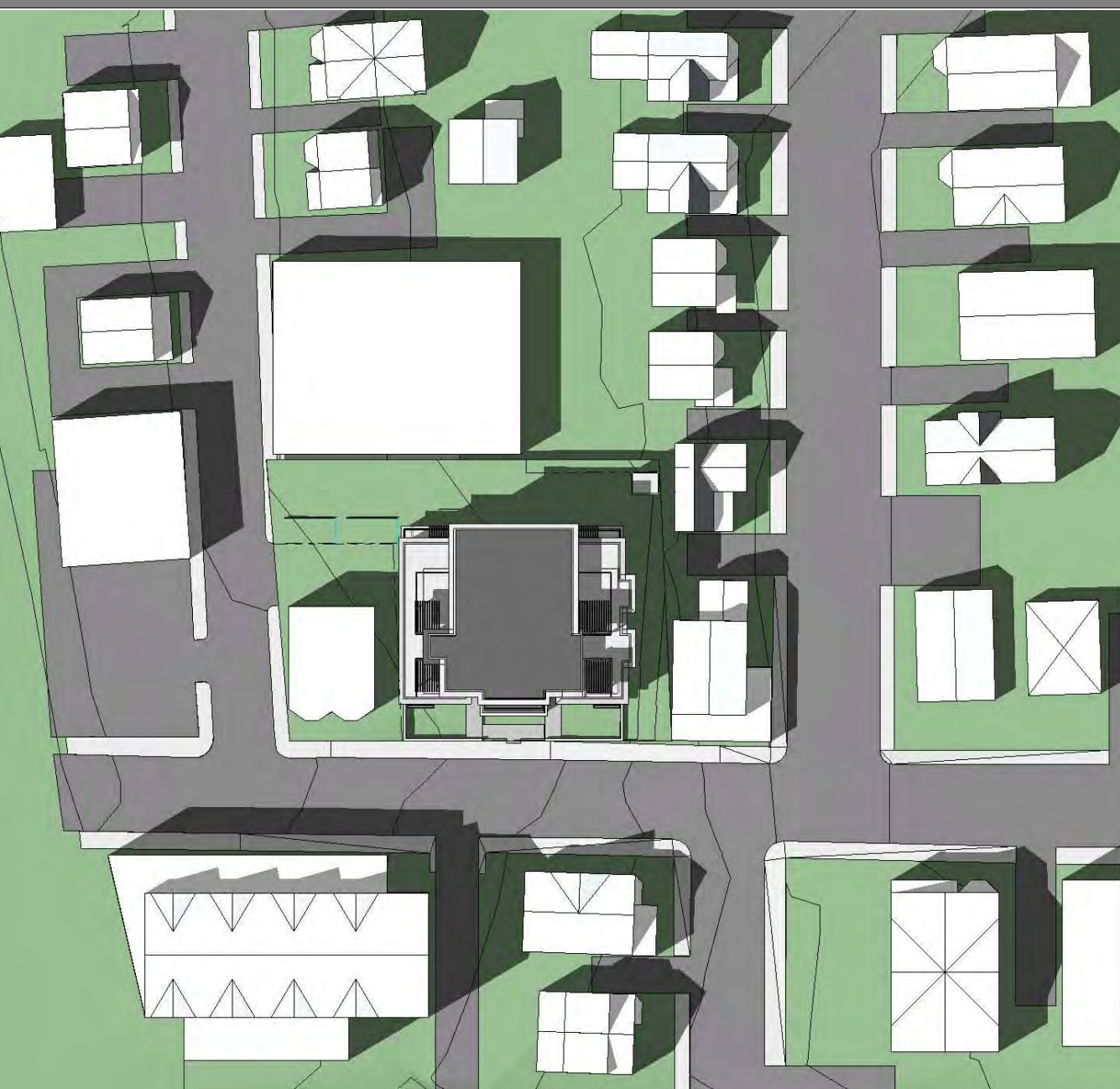
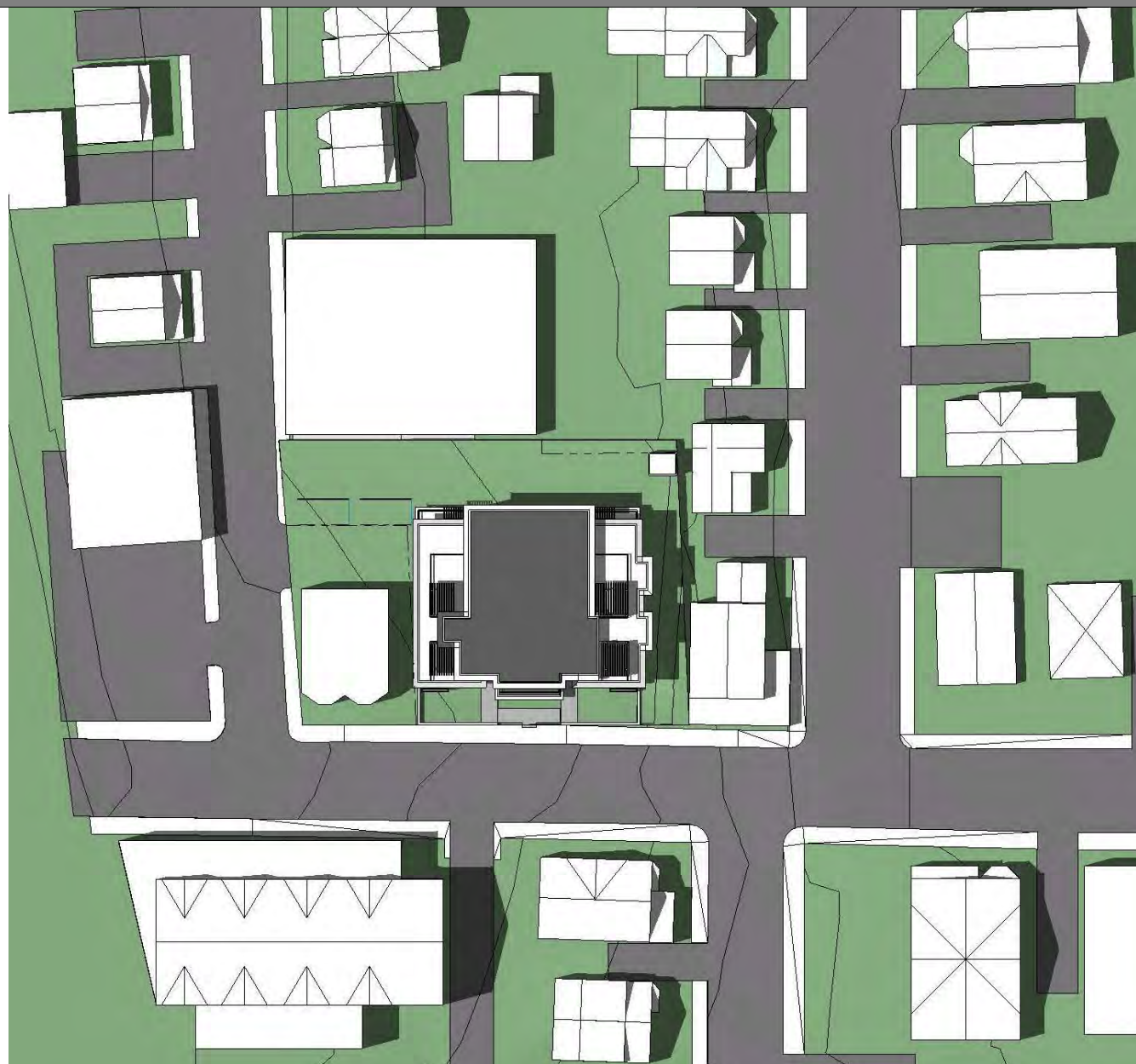
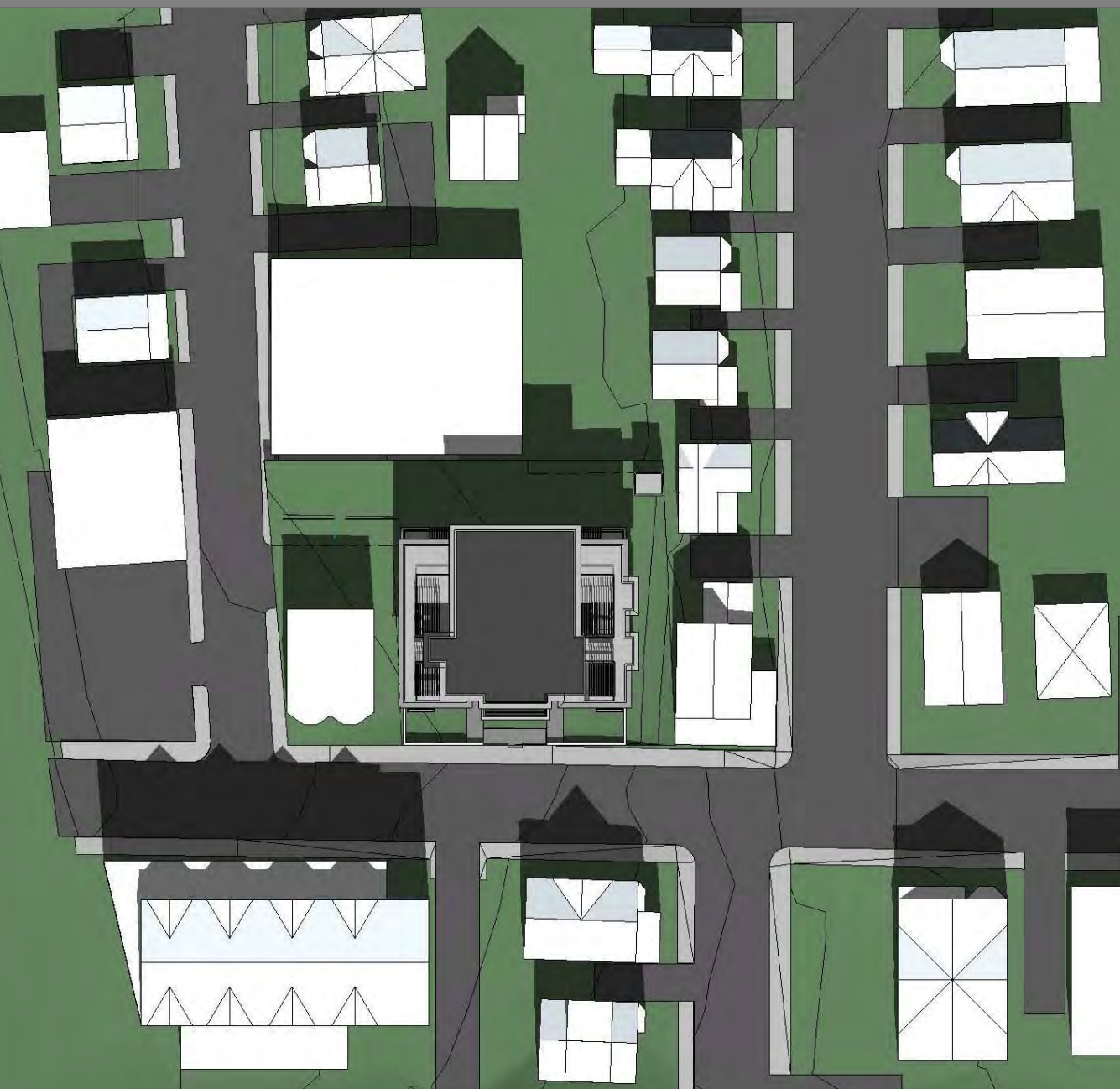
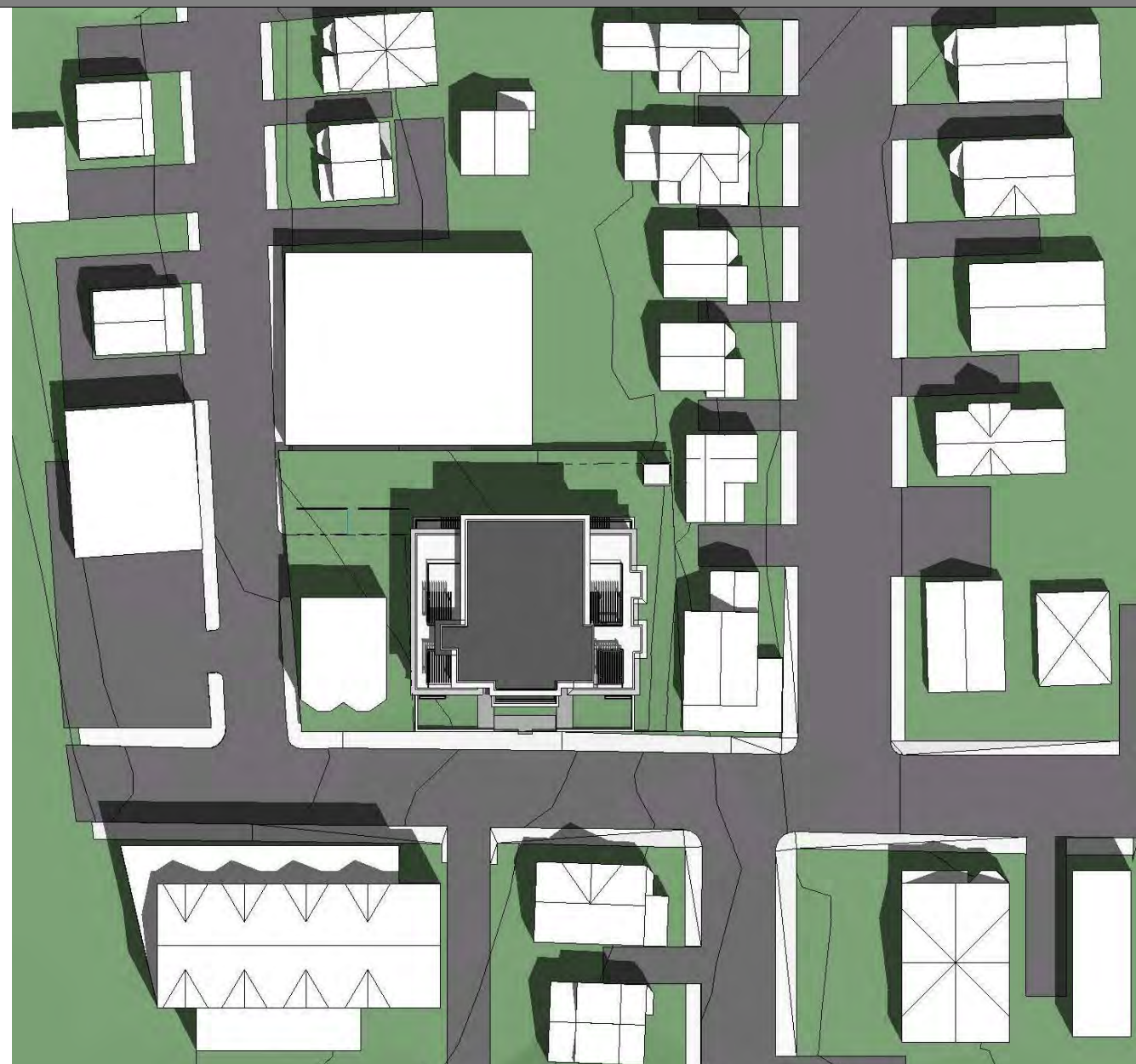
NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

SUMMER SOLSTICE

FALL / SPRING EQUINOX

WINTER SOLSTICE



PROJECT NAME
**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

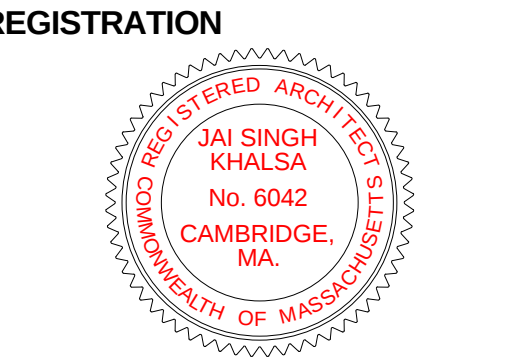
CLIENT
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ARCHITECT
KHALSA DESIGN INC.



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CONSULTANTS:



Project number 06007
Date 12/14/11
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Checked by JSK
Scale 1/2" = 1'-0"

REVISIONS		
No.	Description	Date



VIEW FROM CEDAR STREET



VIEW FROM CEDAR & ALPINE STREET



VIEW FROM BACKYARD



VIEW FROM NEIGHBOR'S HOUSE



VIEW FROM LEXINGTON AVENUE



BIRDS EYE VIEW PERSPECTIVE

PROJECT NAME
**CEDAR STREET
RESIDENCES**

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

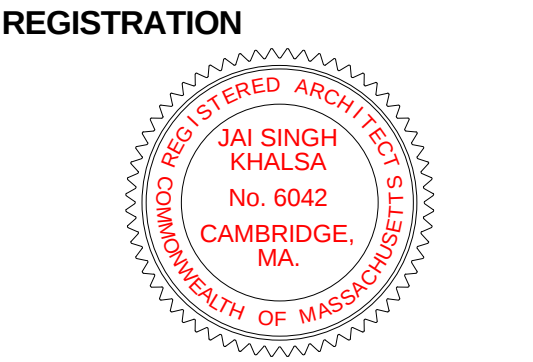
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KHALSA DESIGN INC.



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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number 06007
Date 12/14/11
Drawn by KK
Checked by JSK
Scale

REVISIONS		
No.	Description	Date
1	Revision 1	01-26-2012
2	Revision 2	02-23-12

Perspective view

A-902

CEDAR STREET RESIDENCES

MISCELLANEOUS

NOTICE :
P1 PREMIUM ADHESIVE MUST BE USED ON ALL BECKING/RAFT JOINTS.

TR 1010
10' x 10' Trellis Contains:
4 - 10' Main Beams with end caps, 3' x 9"
7 - 10' Cross Beams with end caps, 3' x 6"

TR 1020
10' x 20' Trellis Contains:
2 - 10' Main Beams with end caps, 4" x 10"
2 - 20' Main Beams with end caps, 4" x 10"
17 - 10' Cross Beams with end caps, 3' x 6"

TRB 100 - 4' w. x 10" h.
Beam with notches includes end caps

TRB 101 - 3' w. x 9" h.
Beam without notches includes end caps

TRB 102 - 3' w. x 6" h.
Beam without notches includes end caps

TRE 100 - End cap 4' w. x 10" h. x 12" p.

TRE 101 - End cap 3' w. x 9" h. x 12" p.

TRE 102 - End cap 3' w. x 6" h. x 12" p.

TRN 100 - Beam notching

Beams are reinforced with an aluminum truss embedded in the polyurethane

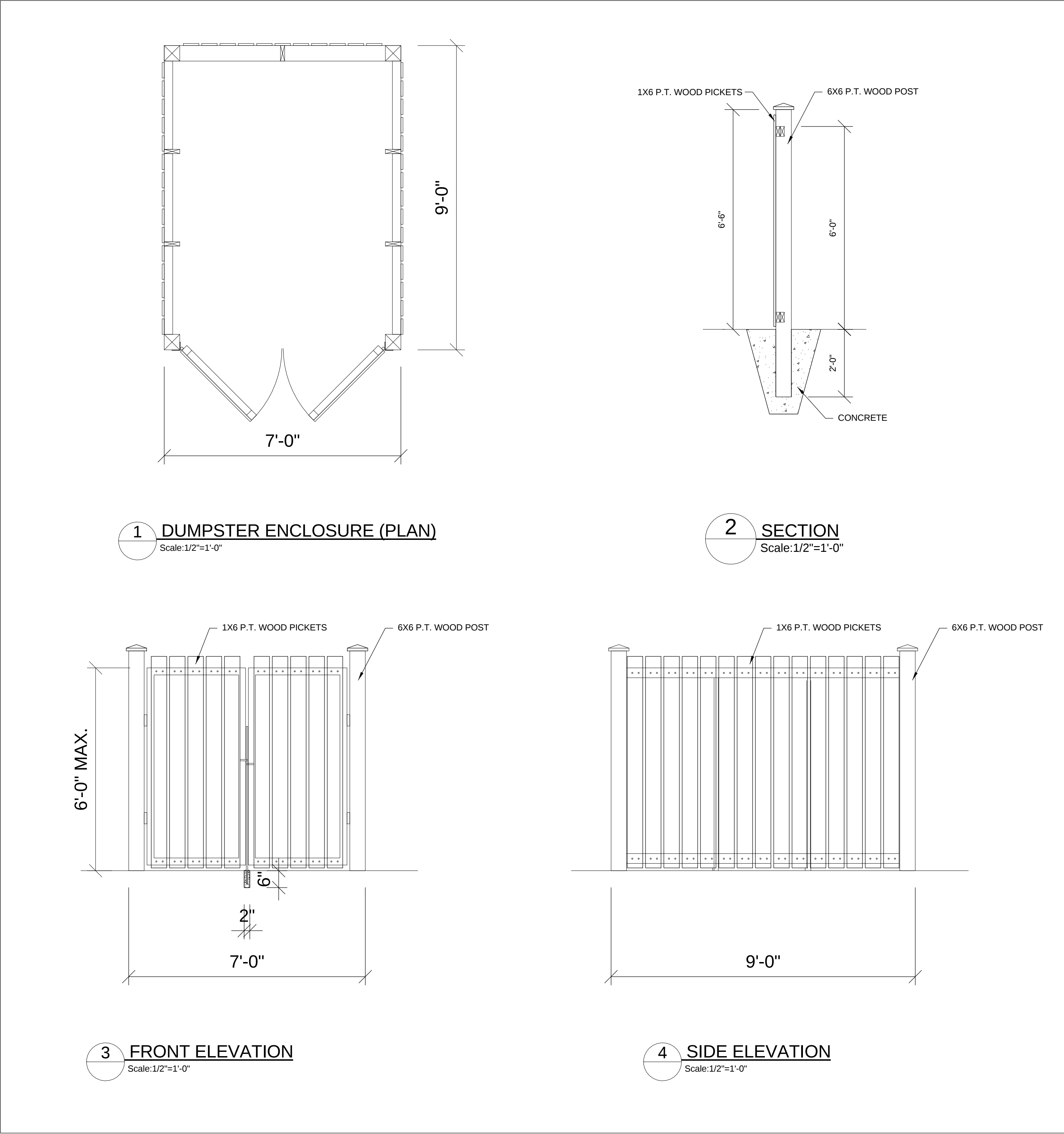
trellis design incorporates the latest maintenance free technology with the traditional look of early 20th century architecture. Our trellis features a 100% maintenance free polyurethane exterior shell wrapping an internal aluminum structural truss, providing a 5-lb./ft² safe loading. Our trellis is offered in two standard sizes, a 10' x 10' and a 10' x 20'. Each trellis comes with pre-notched beams and crosses for easy assembly.

TRELLIS / ARBOR / PERGOLA

CUSTOM SIZES AVAILABLE
Call for Quotation



TRELLIS DETAIL



4 Dumpster enclosure
1/2" = 1'-0"

PROJECT NAME
CEDAR STREET RESIDENCES

PROJECT ADDRESS
143 Cedar Street
Somerville, MA

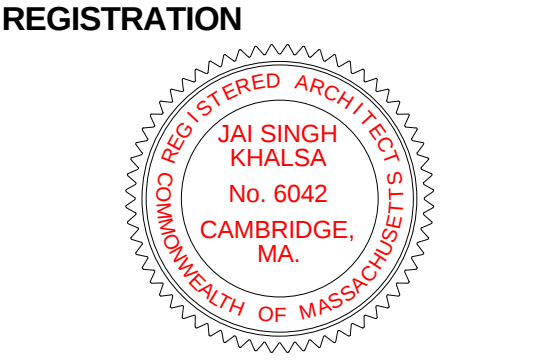
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REVISIONS		
No.	Description	Date
2	Revision 2	02-23-12

Details

A-903
CEDAR STREET RESIDENCES

CEDAR STREET RESIDENCES

143 Cedar Street
Somerville, MA

**Aldar Realty Trust P.O
Box 207 Somerville
MA 02143**

KHALSA DESIGN INC.



CONSULTANTS:

[illegible]

ES-1

CEDAR STREET RESIDENCES

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2/7/2012 3:16:20 PM