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NOTES

LAND IN SOMERVILLE: MBLU 26/H-7, ZONE RB

LAND IN CAMBRIDGE: MAP/LOT 182-4,

REFERENCES

DEED: BOOK 26498, PAGE 372

PLAN: BOOK 351, PLAN 13

PLAN: L.C.C 32889A

PLAN: 1420 OF 1983

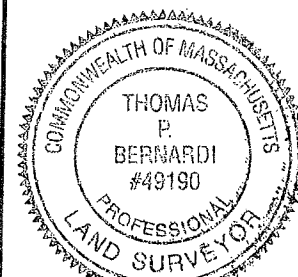
PLAN: 1808 OF 1987

CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM
AN INSTRUMENT SURVEY ON THE GROUND
ON OCTOBER 28, 2011 AND ALL STRUCTURES
ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY
MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE
MAJOR IMPROVEMENTS ON THIS PROPERTY
FALL IN AN AREA DESIGNATED AS ZONE "X",
OUTSIDE THE SPECIAL FLOOD HAZARD AREA.

THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN
EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT
ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT,
VISIBLE USES OF THE LAND; HOWEVER THIS DOES NOT
CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.



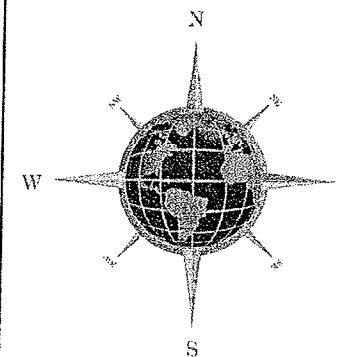
7/12 11-2-11

CERTIFIED PLOT PLAN

LOCATED AT
16 CHESTER STREET
SOMERVILLE, MA

PREPARED FOR:

MICHAEL DULL
26 SUMMIT AVE.
SOMERVILLE, MA

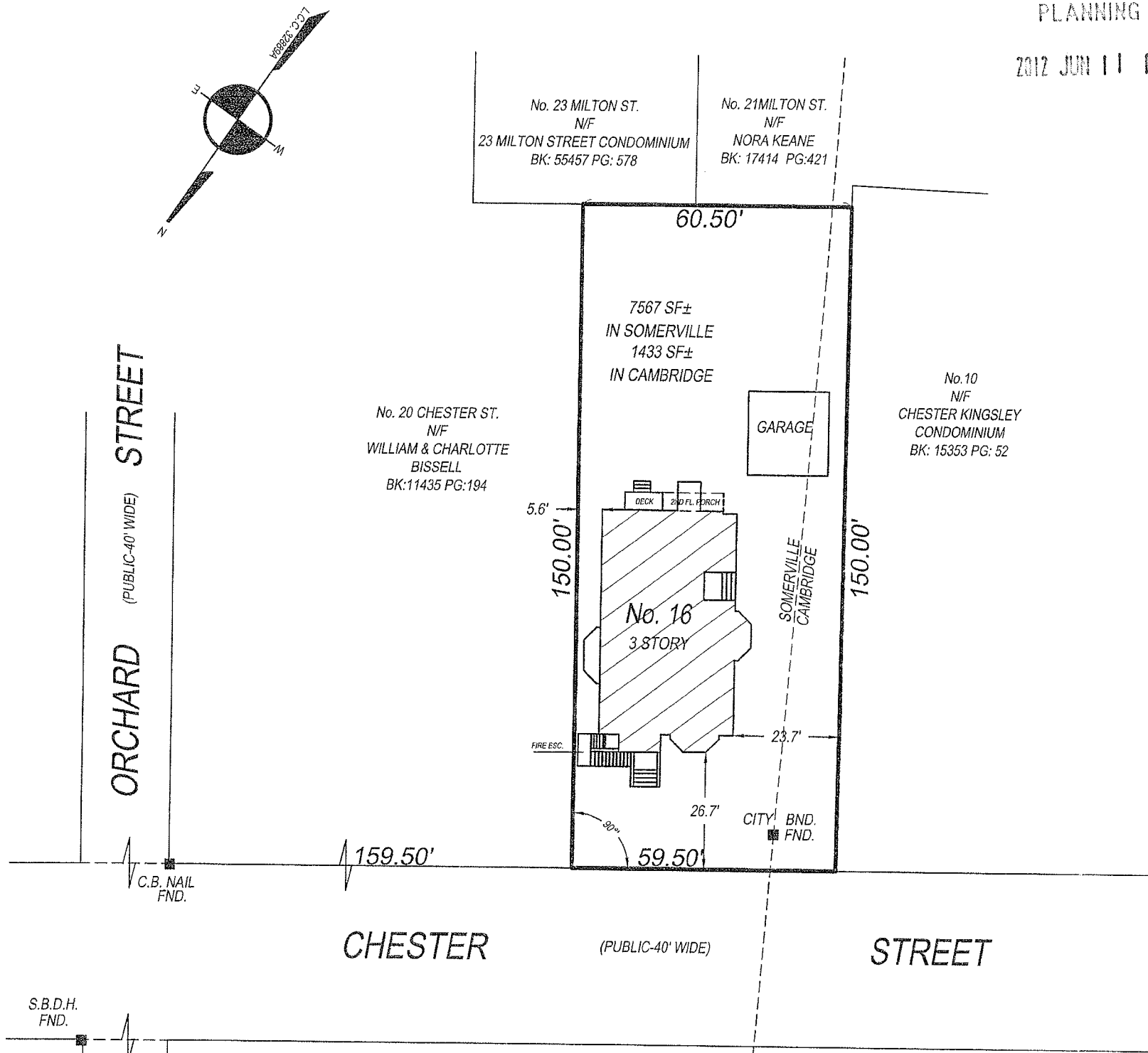


MASSACHUSETTS SURVEY

CONSULTANTS, LLC

14 SUMNER STREET
GLOUCESTER, MA 01930
(617) 899-0703

JOB: 16CHESTERDWG

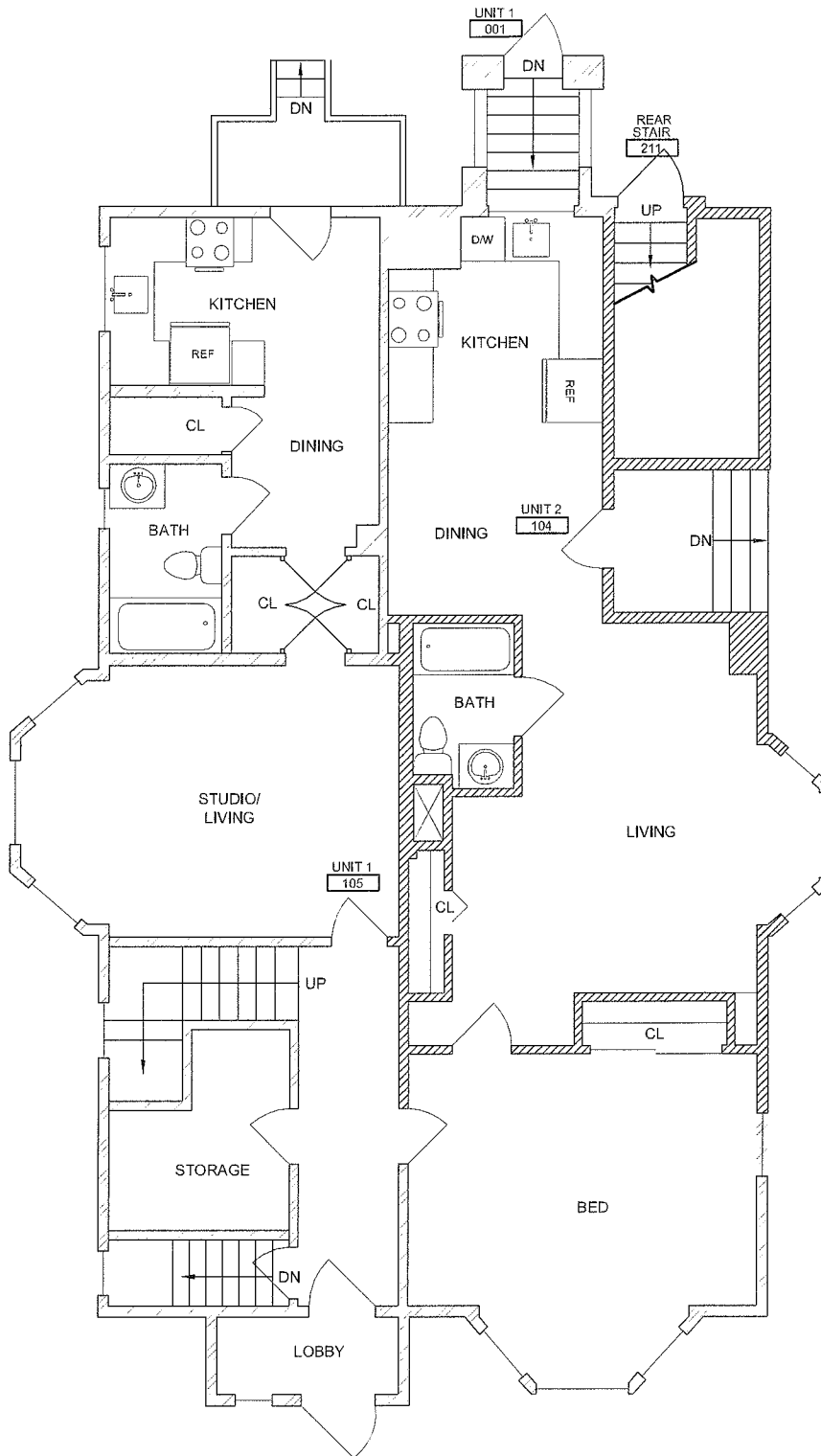


PLANS DENIED

1/18/12
SIGNATURE DATE

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A FIRST FLOOR PLAN: EXISTING
SCALE: 1/8" = 1'-0"

KDS
168 Middle Road
Southborough, MA 01772
617 721-6687 Tel
617 812-6140 Fax
jkurtz@kurtzarchitecture.com

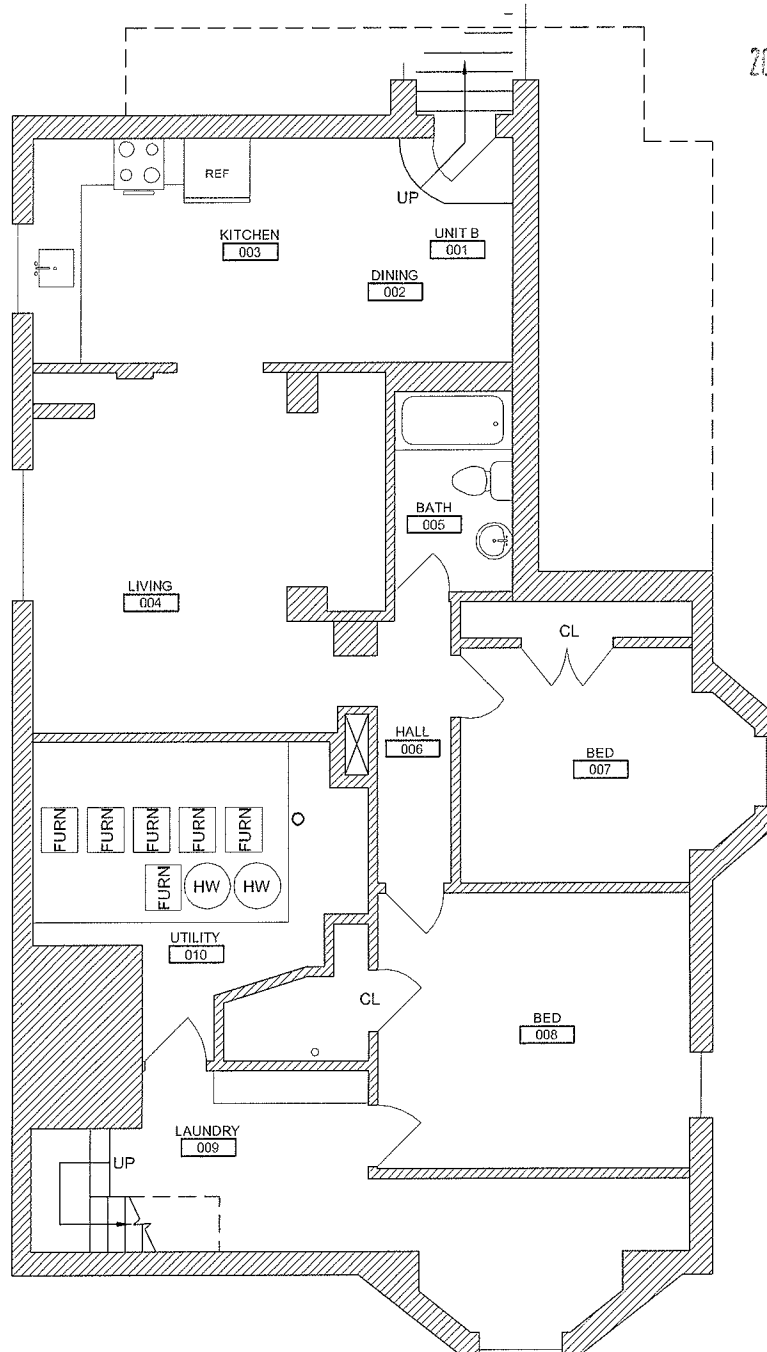
**16 CHESTER ST
SOMERVILLE, MA**

DATE: May 24, 2012
SCALE: AS SHOWN
PROJ. NO.: 1111A.00
FILE NAME: p1.dwg

PLAN

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A BASEMENT FLOOR PLAN: EXISTING
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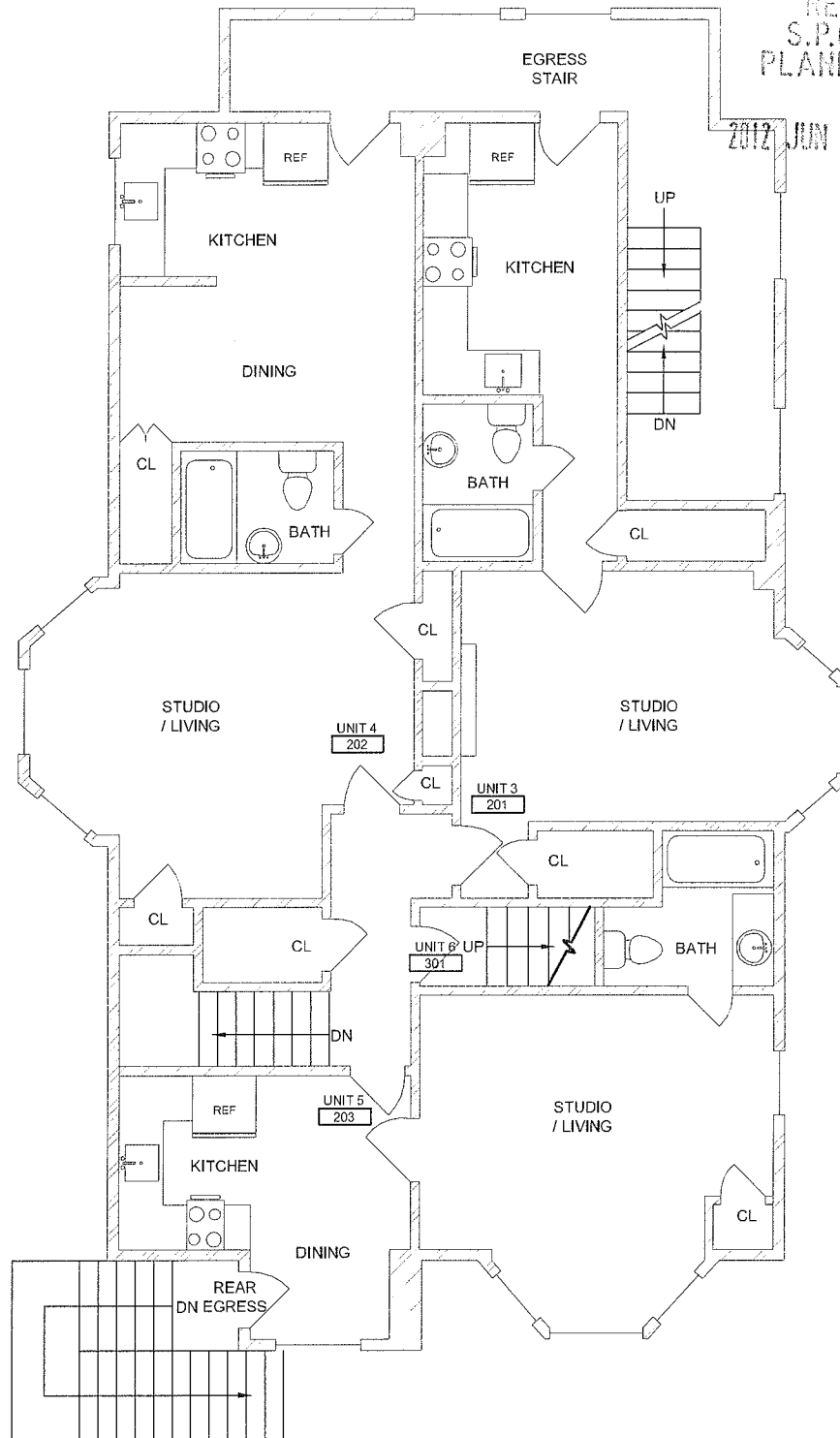
**16 CHESTER ST
SOMERVILLE, MA**

DATE: May 24, 2012
SCALE: AS SHOWN
PROJ. NO.: 1111A.00
FILE NAME: plb.dwg

PLAN

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A SECOND FLOOR PLAN: EXISTING
SCALE: 1/8" = 1'-0"

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Southborough, MA 01772
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jkurtz@kurtzarchitecture.com

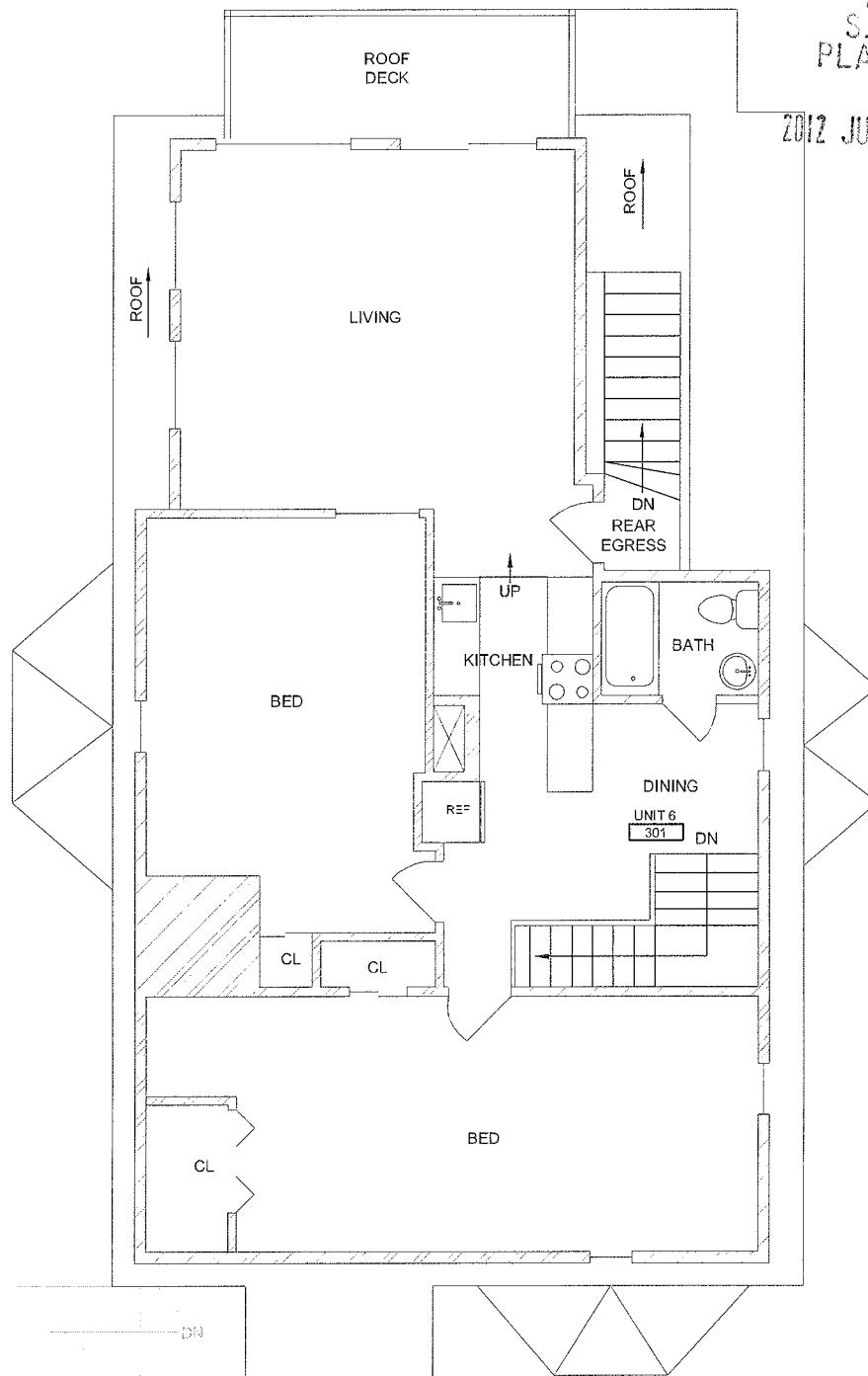
**16 CHESTER ST
SOMERVILLE, MA**

DATE: May 24, 2012
SCALE: AS SHOWN
PROJ. NO.: 1111.00
FILE NAME: plb.dwg

PLAN

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A THIRD FLOOR PLAN: EXISTING
SCALE: 1/8" = 1'-0"

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**16 CHESTER ST
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16 Chester Street

16 Chester Street
Somerville, MA

DRAWING LIST:

- ARCHITECTURAL
- A000 : COVER SHEET
 - A001 : CODE REVIEW, SYMBOLS & ABBREVIATIONS
 - D101 : DEMOLITION FLOOR PLANS
 - A101 : PARTITION FLOOR PLANS
 - A121 : REFLECTED CEILING & POWER PLANS
 - A601 : PARTITION TYPES, SECTIONS & DETAILS

Issued for Permit - December 21, 2011

ARCHITECT

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PROJECT NAME

16 Chester
Street

Somerville MA

CLIENT

Michael Dull

26 Summit Avenue
Somerville, MA 02143

PROJECT TEAM

REVISIONS

1	
2	
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5	DATE

DRAWING TITLE

Cover Sheet

DRAWING INFORMATION

November 16, 2011
DATE OF ISSUE

Permit Set
DESCRIPTION

None	1:1
SCALE	DRAWN BY

1111A.00	A000_1111A.dwg
PROJECT	FILE NAME

DRAWING NUMBER

A000

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ABBREVIATIONS	
A.C.T.	Acoustic Ceiling Tile
ALUM.	Aluminum
A.F.F.	Above Finish Floor
ANOD.	Anodized
ARCH.	Architect-ural
BITUM.	Bituminous
BLDG.	Building
BLKG.	Blocking
C.L.	Center Line
CLG.	Ceiling
CLO.	Closet
CLR.	Clear
COL.	Column
CONC.	Concrete
CONT.	Continuous
DEMO.	Demolish-ion
DIAG.	Diagonal
DIA.	Diameter
DISP.	Dispenser, Disposer
DN.	Down
DWG.(S)	Drawing(s)
EA.	Each
ELEC.	Electric(al)
ENGR.	Engineer
EQ.	Equal
EQUIP.	Equipment
EL.	Elevation
EXT.	Exterior
EXIST.	Existing
EXTR.	Extruded
F.F.	Finish Floor
FLUOR.	Fluorescent
F.R.T.	Fire Retardant Treated
GALV.	Galvanized
G.C.	General Contractor
G.W.B.	Gypsum Wall Board
HCP.	Handicapped
H.P.	High Point
HM.	Hollow Metal
HWH.	Hot Water Heater
INSUL.	Insulated
INTR.	Interior
LT.	Light
MAX.	Maximum
MFR.	Manufacturer
MIN.	Minimum
MLWK.	Millwork
M.O.	Masonry Opening
MTD.	Mounted
N.I.C.	Not in Contract
NO.	Number
N.T.S.	Not To Scale
O.C.	On Center
O.D.	Outside Diameter
OPP.HND.	Opposite Hand

PBD.	Particle Board
P.LAM.	Plastic Laminate
PLWD.	Plywood
PT.	Pressure Treated
PT(D).	Paint(ed)
PR.	Pair

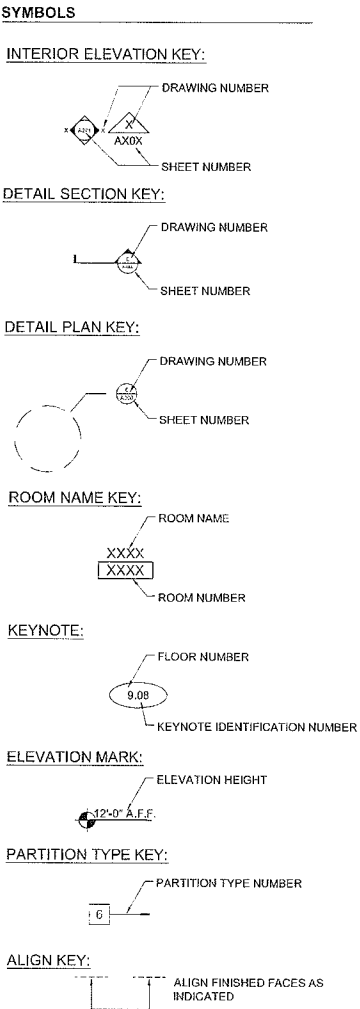
R.	Riser, Radius
RAD.	Radius
RCP.	Reflected Ceiling Plan
REM.	Removable
REQ'D	Required
R.O.	Rough Opening

SC.	Solid Core
SCHD.	Schedule
SIM.	Similar
SPEC.	Specification
SS.	Stainless Steel
STL.	Steel
SQ.	Square
SUSP.	Suspended

T.O.B.	Top Of Beam
TMFD.	Tempered
TYP.	Typical

V.C.T.	Vinyl Composition Tile
VNR.	Veneer

W.	With
WD.	Wood



CODE REVIEW

PROJECT: 16 CHESTER STREET APARTMENTS

DESCRIPTION: 16 CHESTER STREET

SOMERVILLE, MA 02144

THE PROJECT RENOVATES A MULTI-FAMILY RESIDENCE. COMBINING FIRST FLOOR UNIT AND PRE-EXISTING BASEMENT.

- ARRANGEMENT OF EGRESS**
- A. APPLICABLE REFERENCE CODES
- INTERNATIONAL BUILDING CODE 2009 (IBC)
 - COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, 8TH ED. AMENDMENTS TO (IBC 2009) (780 CMR)
 - COMMONWEALTH OF MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (521 CMR)
 - FIRE PROTECTION REGULATIONS (527 CMR)
- B. USE GROUP - "R-2" - RESIDENTIAL
- C. SPRINKLER
- THE BUILDING IS NOT SPRINKLED.
- D. MEANS OF EGRESS CALCULATIONS (REF. IBC 2009 1004.1.1)
- "R-2" - CALCULATE OCCUPANCY @ 1 OCCUPANT PER 200 S.F.
- TOTAL FINISHED BUILDING AREA - 3,788 SF
- PROJECT AREA - 1,250 SF
- (INCLUDES 900SF OF EXISTING UNFINISHED SPACE)
- OCCUPANCY LOAD OF RENOVATED AREA = 1250/200 = 6 OCCUPANTS
- E. EGRESS WIDTH (REF. IBC 2009 1005.1)
- CALCULATE OCCUPANT LOAD PER PERSON WIDTH UNIT
- EGRESS UNITS REQUIRED PER EXIT ACCESS = 6 OCCUPANTS X .3" = 1.8
- EGRESS UNITS PROVIDED = ALL EGRESS DOORS EXCEED REQUIREMENTS
- F. NUMBER OF EXIT ACCESS DOORS (REF. IBC 2009 1015.2.1/1021.1)
- NUMBER OF EXIT ACCESS DOORS REQUIRED = 2
- NUMBER OF EXIT ACCESS DOORS PROVIDED = 2
- G. NUMBER OF EXITS (REF. IBC 2009 1015.2.1/1021.1)
- NUMBER OF EXITS REQUIRED = 2
- NUMBER OF EXITS PROVIDED = 2

WORK AREA COMPLIANCE METHOD

LEVEL 1 ALTERNATION (403) COMPLIANCE (CHAPTER 6 IBC)

LEVEL 2 ALTERNATION (404) COMPLIANCE (CHAPTER 6 & 7 IBC)

- ADDITION OF WINDOW AND DOORS MEET CODE (REFER TO NEW BASEMENT WINDOW BELOW)

- RENOVATION AREA < 50% OF THE AGGREGATE BUILDING AREA. (REFER TO F.A.R. BELOW)

- CEILING HEIGHT FOR HABITABLE SPACE LOCATED AT MINIMUM 7'-0" A.F.F.

- STAIR RISER / TREAD MEET CODE (REFER TO 4/A601 FOR DETAIL)

F.A.R.

EXISTING AREA: 4,688 SQFT

AREA IN SCOPE FOR RENOVATION: 1,250 SQFT

PERCENTAGE OF EXISTING AREA TO BE RENOVATED: 27%

NEW BASEMENT CASEMENT WINDOW OPENING:

WINDOW WIDTH: 2'-4" (28")

WINDOW HEIGHT: 2'-6" (30")

TOTAL WINDOW OPENING: 5.83 SQFT (70SQIN)

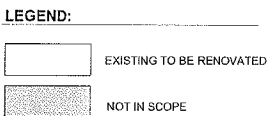
MINIMUM OPENING ALLOWED BY CODE: 5.7 SQFT

WINDOW SILL HEIGHT A.F.F.: 3'-6" (42")

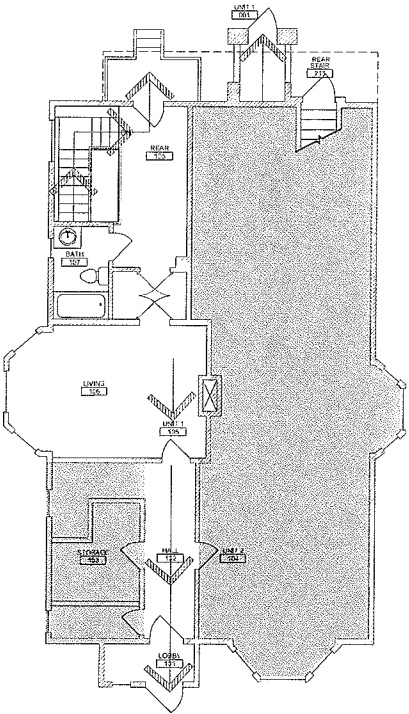
MAXIMUM SILL HEIGHT ALLOWED BY CODE: 3'-8" (44")

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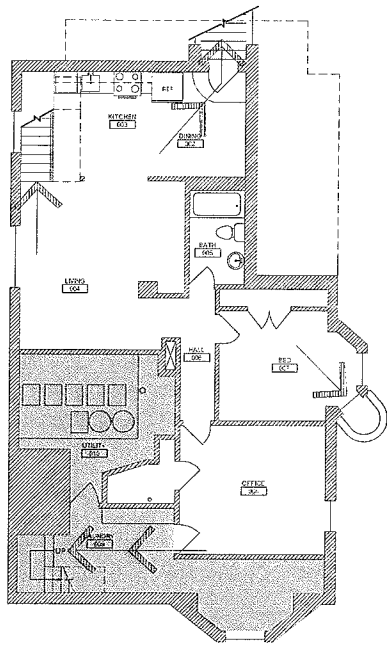


- PARTITION PLAN NOTES:**
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.
 - ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
 - ALL NEW DOOR FRAMES TO BE A MINIMUM OF 2" FROM THE NEAREST PERPENDICULAR PARTITION, U.O.N. ENSURE THAT ALL DOORS OPEN 90°, INCLUDING ACUTE ANGLE CONDITIONS.
 - REVIEW LAYOUTS FOR PARTITIONS IN FIELD. CONTACT ARCHITECT OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
 - DIMENSIONS:
 - ALL DIMENSIONS ARE TO FINISHED FACE OF WALL, U.O.N.
 - DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
 - NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.
 - WHERE NEW PARTITIONS ABUT EXISTING SURFACES, REMOVE EXISTING CORNER BEAD AND PROVIDE A SMOOTH FINISH AT INTERSECTION.



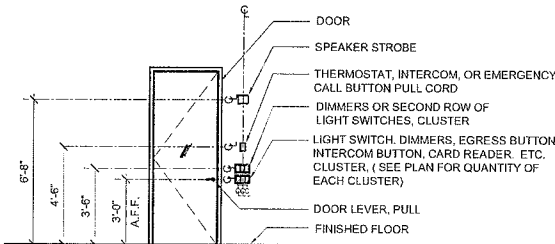
B FIRST FLOOR CODE PLAN: EGRESS

1/8" = 1'-0"



A BASEMENT CODE PLAN: EGRESS

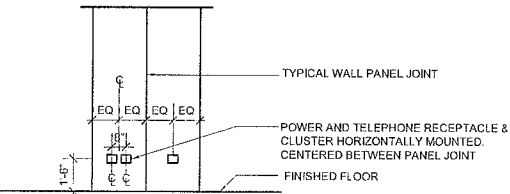
1/8" = 1'-0"



NOTE: COORDINATE LOCATION OF OUTLETS WITH FINISH WALL PANEL JOINTS BEFORE SETTING OUTLETS IN GYPSUM BOARD/ WOOD STUD PARTITION

TYPICAL LOCATION FOR: LIGHT SWITCHES, DIMMERS, EGRESS BUTTONS, THERMOSTATS, ETC.

SCALE: 3/4" = 1'-0"



TYPICAL LOCATION FOR: POWER & TELEPHONE OUTLETS AT WALLS OR COLUMNS

SCALE: 3/4" = 1'-0"

ARCHITECT

KDS

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617 721-6687 Tel
617 812-6140 Fax

PROJECT NAME

16 Chester Street

Somerville MA

CLIENT

Michael Dull

26 Summit Avenue
Somerville, MA 02143

PROJECT TEAM

REVISIONS

1	
2	
3	
4	
5	

DATE

DRAWING TITLE

Code Review,
Symbols,
Abbreviations

DRAWING INFORMATION

November 16, 2011

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DESCRIPTION

As Noted

SCALE

PROJECT

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PROJECT

FILE NAME

A001

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PARTITION PLAN LEGEND:	
	EXISTING WALL TO REMAIN
	NEW WALL
	DEMO WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR
	DEMO DOOR
	AREA NOT IN CONTRACT

ARCHITECT

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Street

Somerville MA

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PROJECT TEAM

REVISIONS

1	Revision #1 - March 1, 2012	
2		
3		
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6		DATE

DRAWING TITLE

Demolition
Floor Plans

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November 15, 2011

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DESCRIPTION

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SCALE

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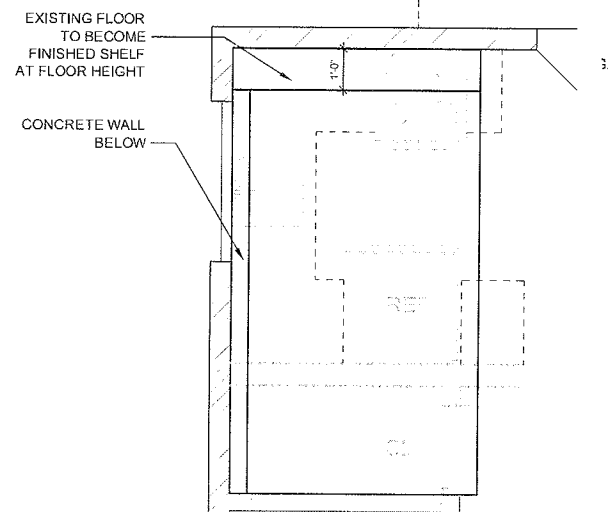
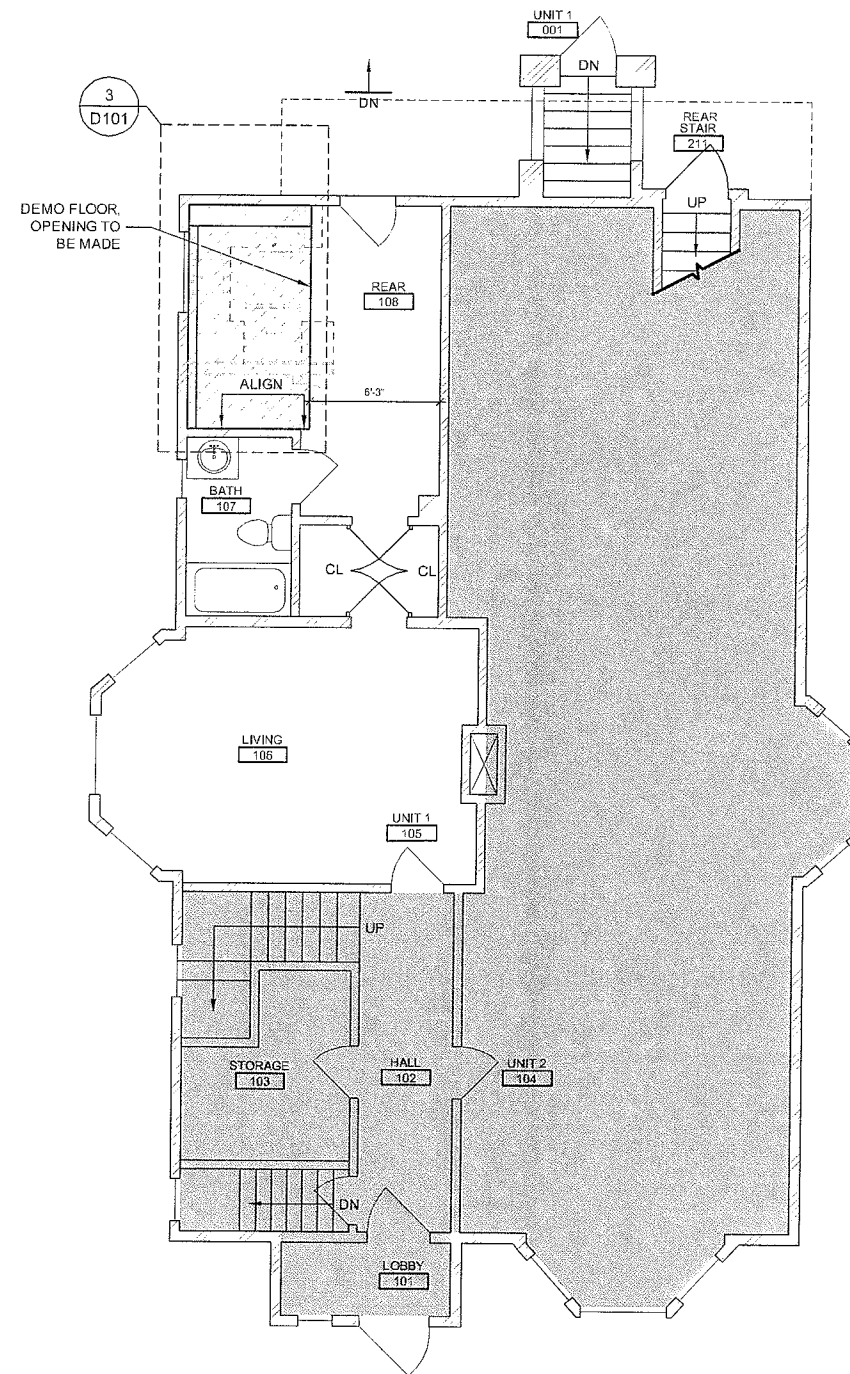
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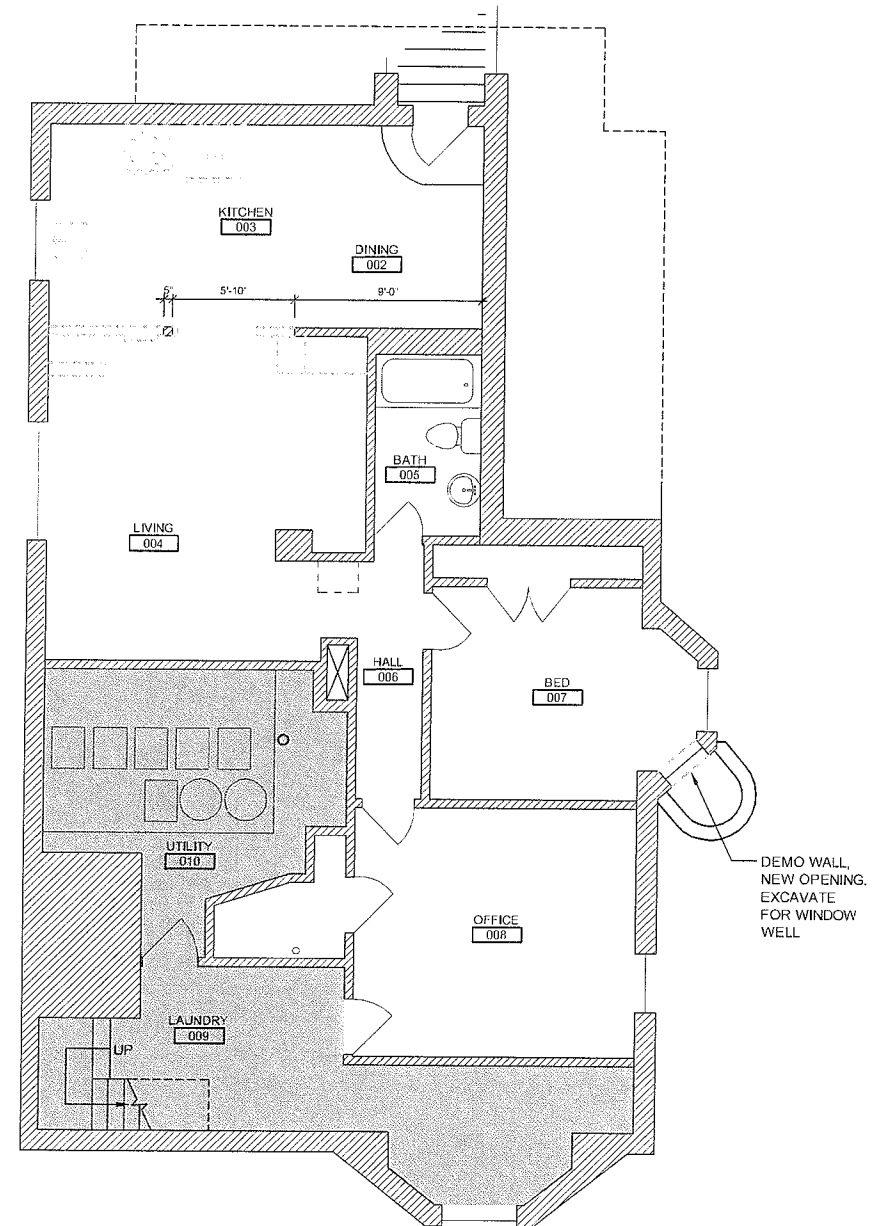
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D101

Croyfield KDS



3 PLAN: ENLARGED DEMOLITION @ FLOOR OPENING FOR NEW STAIR
1/2" = 1'-0"

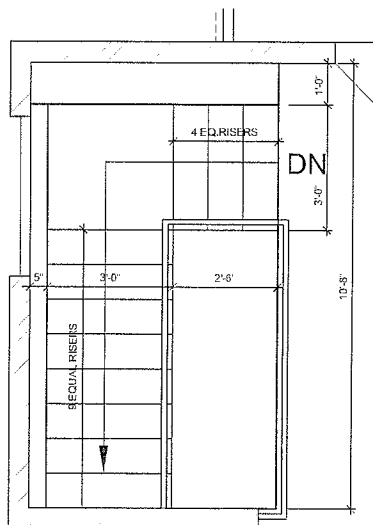


1 PLAN: BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

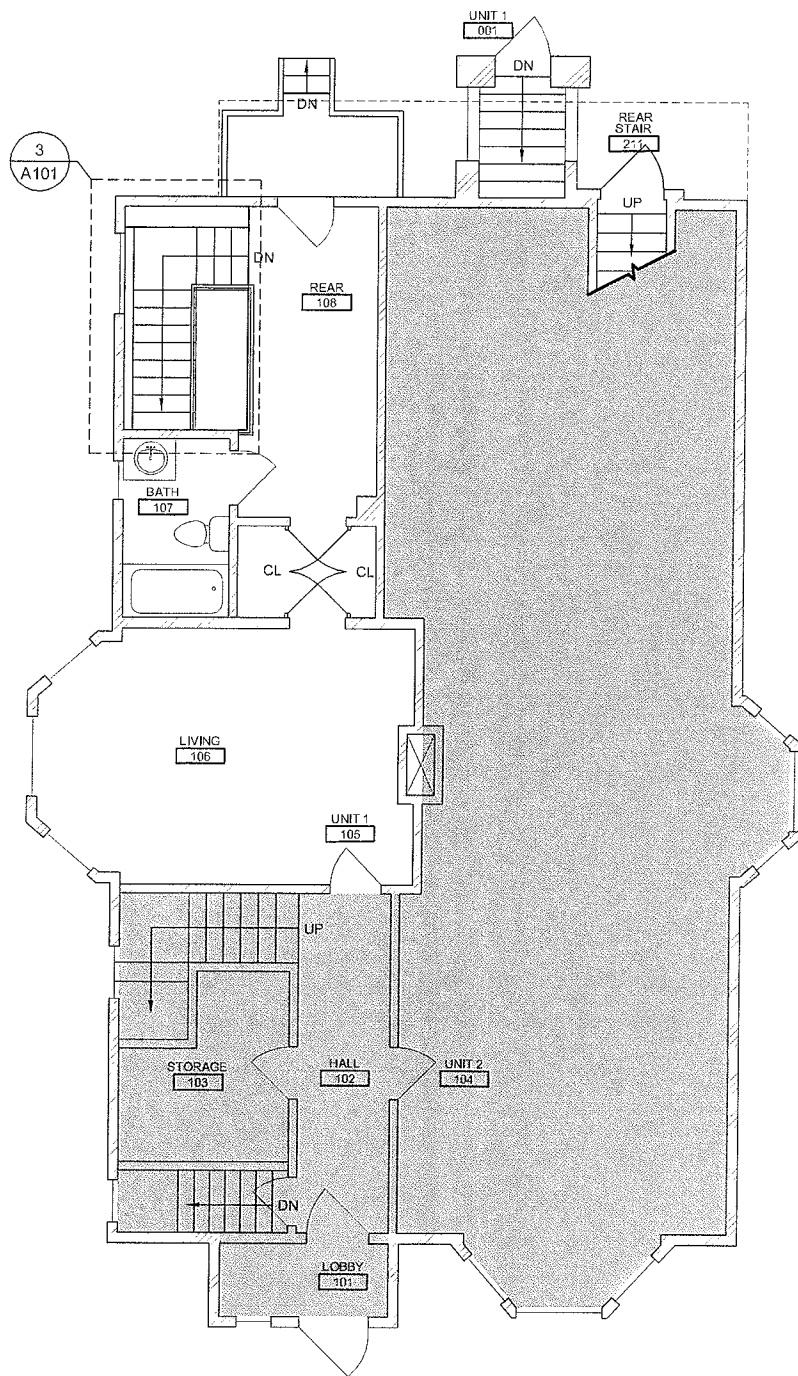
2 PLAN: EXISTING FIRST FLOOR W/ DEMOLITION PLAN
1/4" = 1'-0"

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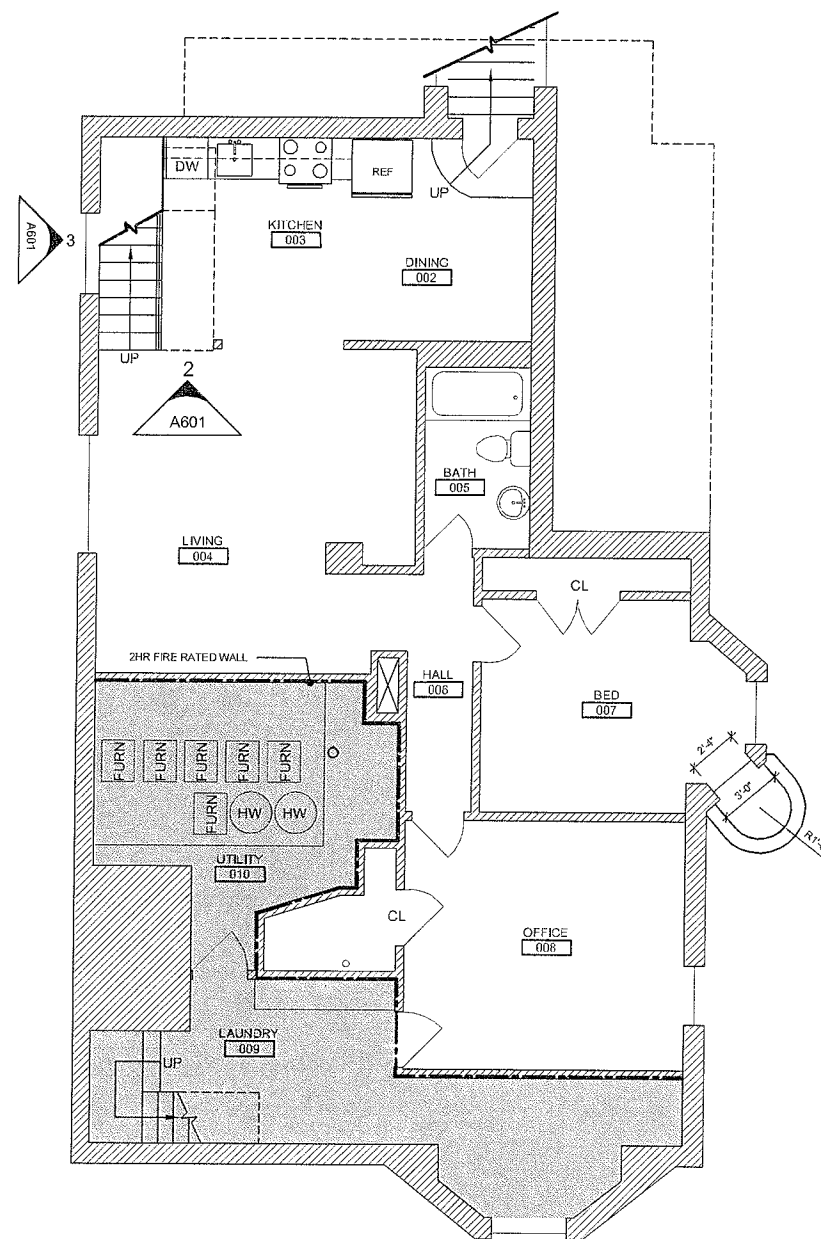
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3 PLAN: ENLARGED AT NEW STAIR
1/8" = 1'-0"



2 PLAN: PROPOSED FIRST FLOOR PARTITION PLAN
1/4" = 1'-0"



1 PLAN: PROPOSED BASEMENT PARTITION PLAN
1/4" = 1'-0"

PARTITION PLAN LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL
- DEMO WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- DEMO DOOR
- AREA NOT IN CONTRACT

ARCHITECT

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PROJECT NAME

16 Chester
Street

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CLIENT

Michael Dull

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Somerville, MA 02143

PROJECT TEAM

REVISIONS

1	Revision #1 - March 1, 2012
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DRAWING TITLE

Partition
Floor Plans

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A101

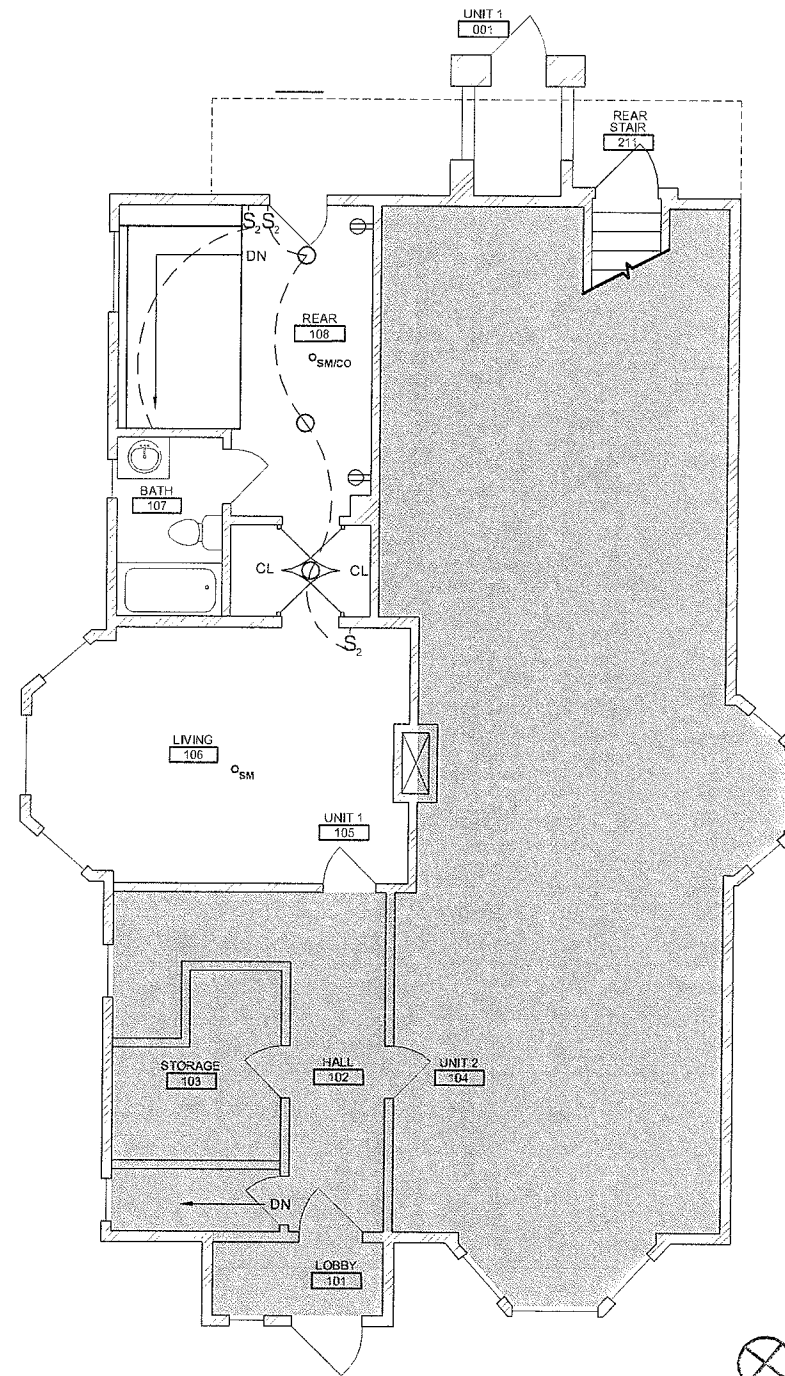
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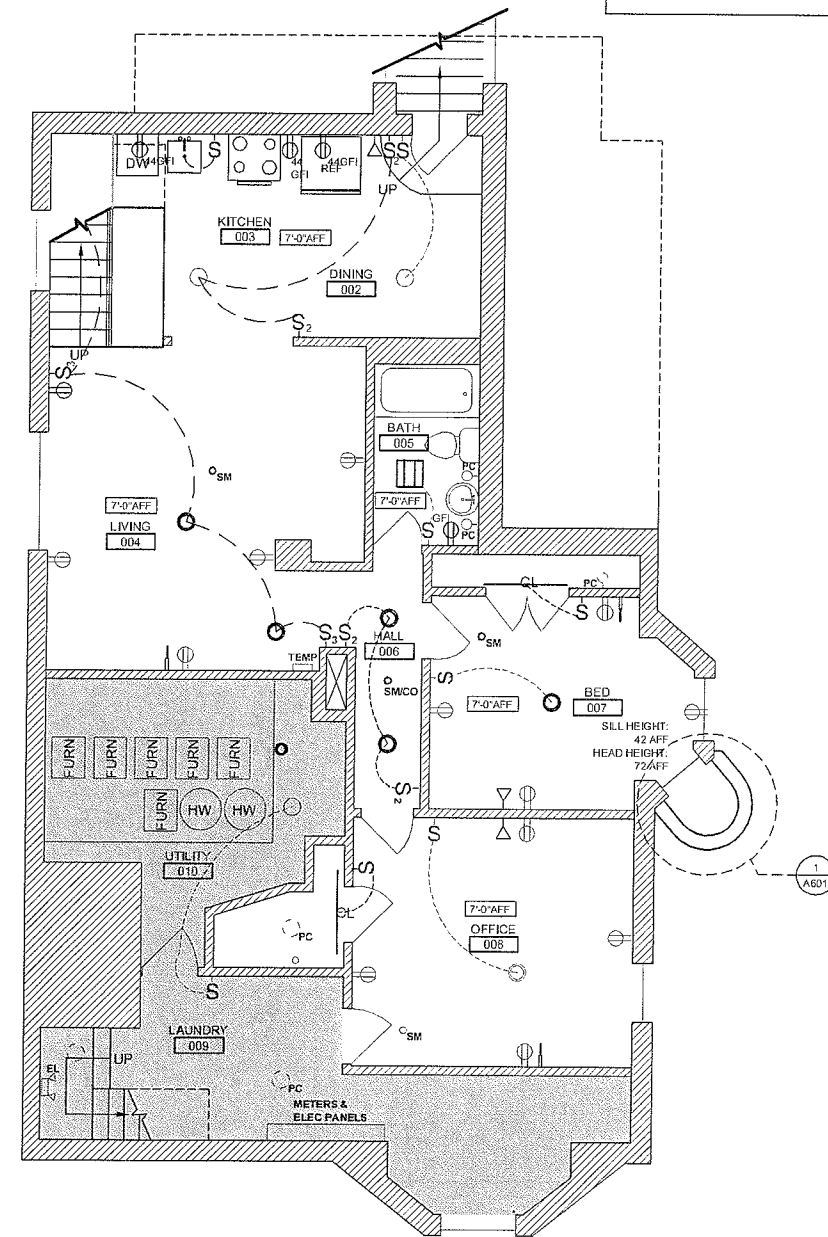
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B PLAN: PROPOSED FIRST FLOOR REFLECTED CEILING & POWER PLAN
1/4" = 1'-0"



A PLAN: PROPOSED BASEMENT REFLECTED CEILING & POWER PLAN
1/4" = 1'-0"

CEILING / ELECTRICAL LEGEND:

- FLUORESCENT LIGHT FIXTURE
- CEILING FIXTURE
- RECESSED CEILING FIXTURE
- PHONE
- TOGGLE SWITCH
- TWO-WAY SWITCH
- CABLE
- ELECTRIC RECEPTACLE
- ELECTRIC RECEPTACLE GROUND FAULT INTERRUPTER @ HEIGHT
- SMOKE DETECTOR
- SMOKE AND CARBON MONOXIDE DETECTOR
- SCONCE / VANITY LIGHT
- EXHAUST FAN / LIGHT COMBO

ARCHITECT

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PROJECT NAME

16 Chester
Street

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PROJECT TEAM

REVISIONS

1	Revision #1 - March 1, 2012
2	
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DRAWING TITLE

Reflected
Ceiling and
Power Plans

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November 15, 2011

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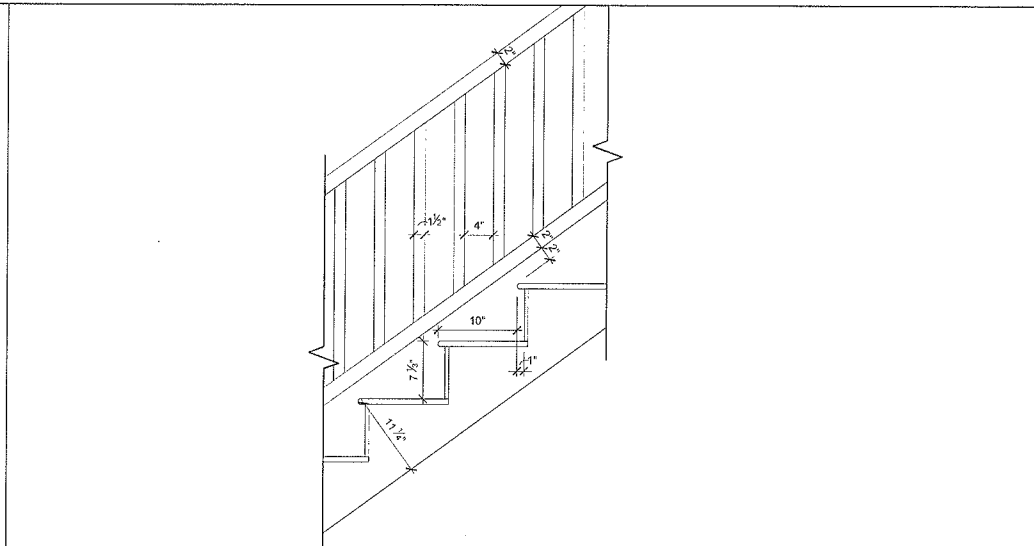
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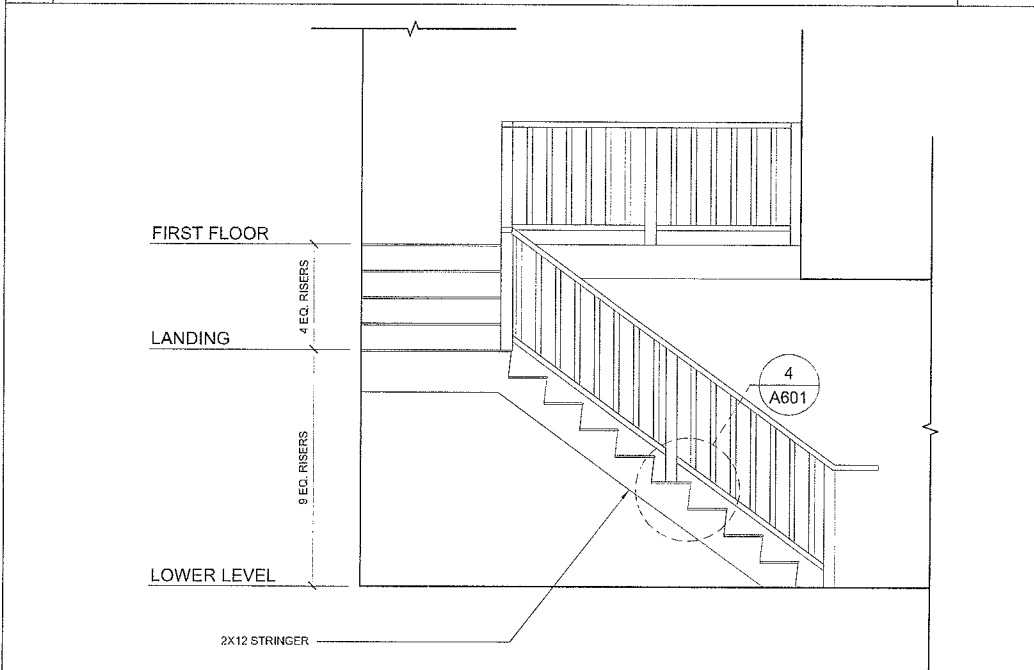
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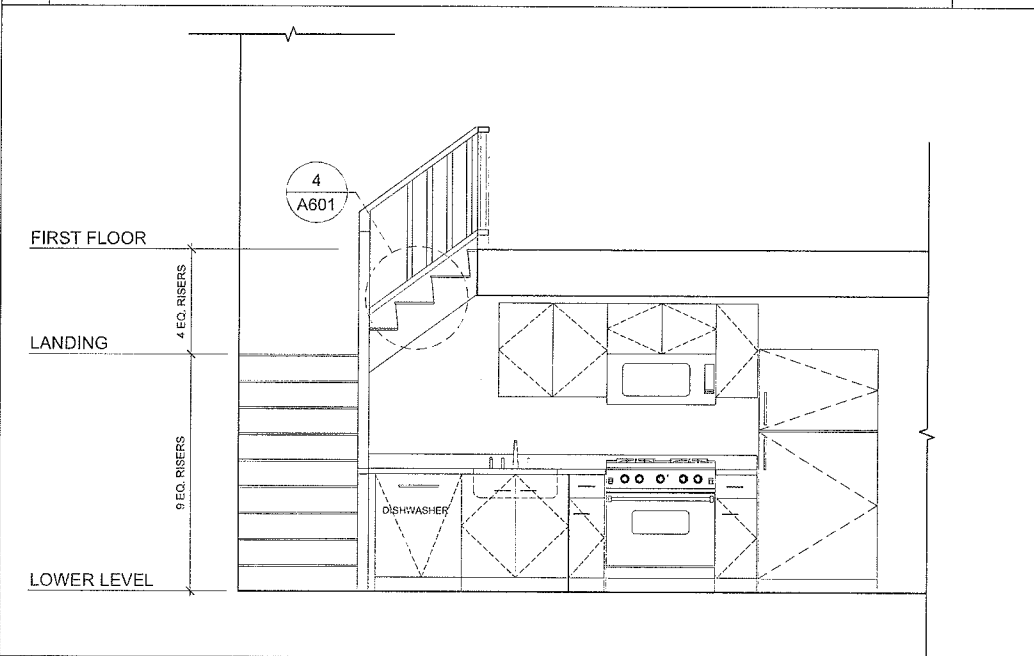
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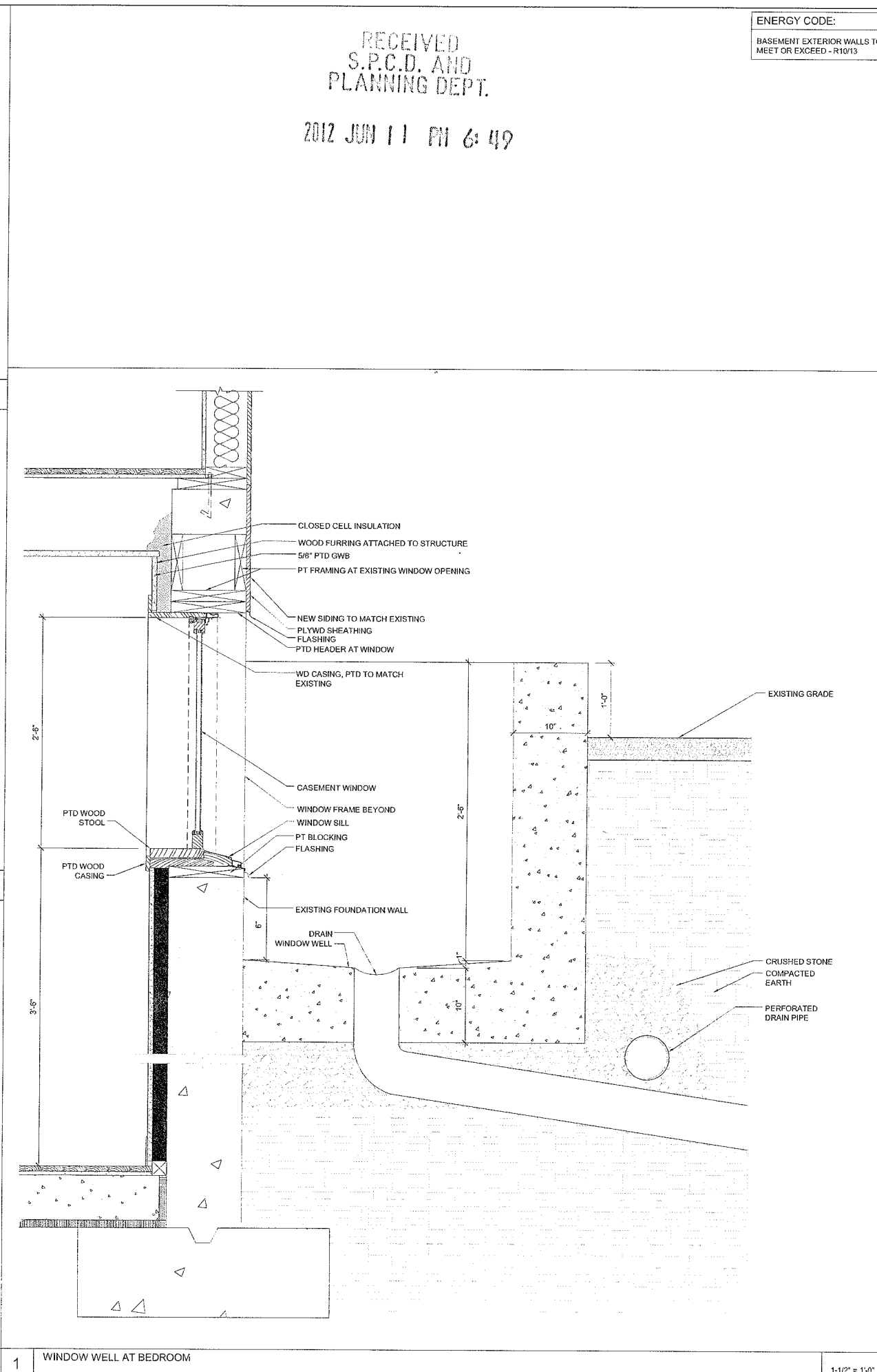
4 DETAIL: STAIR 1" = 1'-0"



3 ELEV: KITCHEN AND NEW STAIR 1/2" = 1'-0"



2 ELEV: KITCHEN AND NEW STAIR 1/2" = 1'-0"



1 WINDOW WELL AT BEDROOM 1-1/2" = 1'-0"

ENERGY CODE:
BASEMENT EXTERIOR WALLS TO
MEET OR EXCEED - R1013

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ARCHITECT
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PROJECT NAME
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Somerville MA

CLIENT
Michael Dull

26 Summit Avenue
Somerville, MA 02143

PROJECT TEAM

REVISIONS	
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	DATE

DRAWING TITLE

**Partition Types,
Sections & Details**

DRAWING INFORMATION

November 16, 2011
DATE OF ISSUE
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SCALE
1111A.00
PROJECT #

FOR
REVISION
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FILE NAME

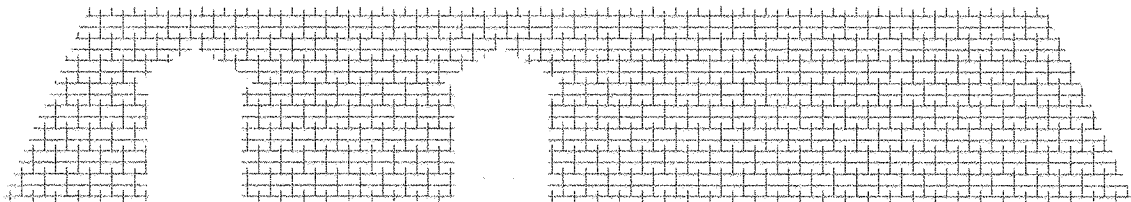
DRAWING NUMBER

A601

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2012 JUN 11 PM 6:43



A ELEV.: ELEVATION OF WINDOW WELL

SCALE: 1/8" = 1'-0"

KDS

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**16 CHESTER ST
SOMERVILLE, MA**

DATE: Feb. 14, 2012
SCALE: AS SHOWN
PROJ. NO.: 1111.00
FILE NAME: CSK-1.dwg

CSK-5

cc:\usera\public\kurtz design studio\1111s - somerville\csd\csk-1.dwg kurtz design studio

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S.P.C.D. AND
PLANNING DEPT.

2012 JUN 11 PM 6:43

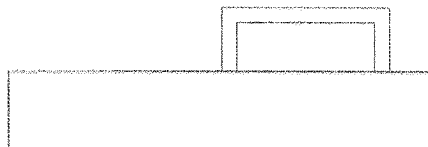
KDS

168 Middle Road
Salem, MA 01970
617 721-6687 Tel
617 812-0140 Fax
kds@kurtzdesign.com

**16 CHESTER ST
SOMERVILLE, MA**

DATE: Feb. 14, 2012
SCALE: AS SHOWN
PROJ. NO.: 1111.00
FILE NAME: CSK-1.dwg

CSK-6



A

ELEV.: ELEVATION OF WINDOW WELL

SCALE: 1/2" = 1'-0"