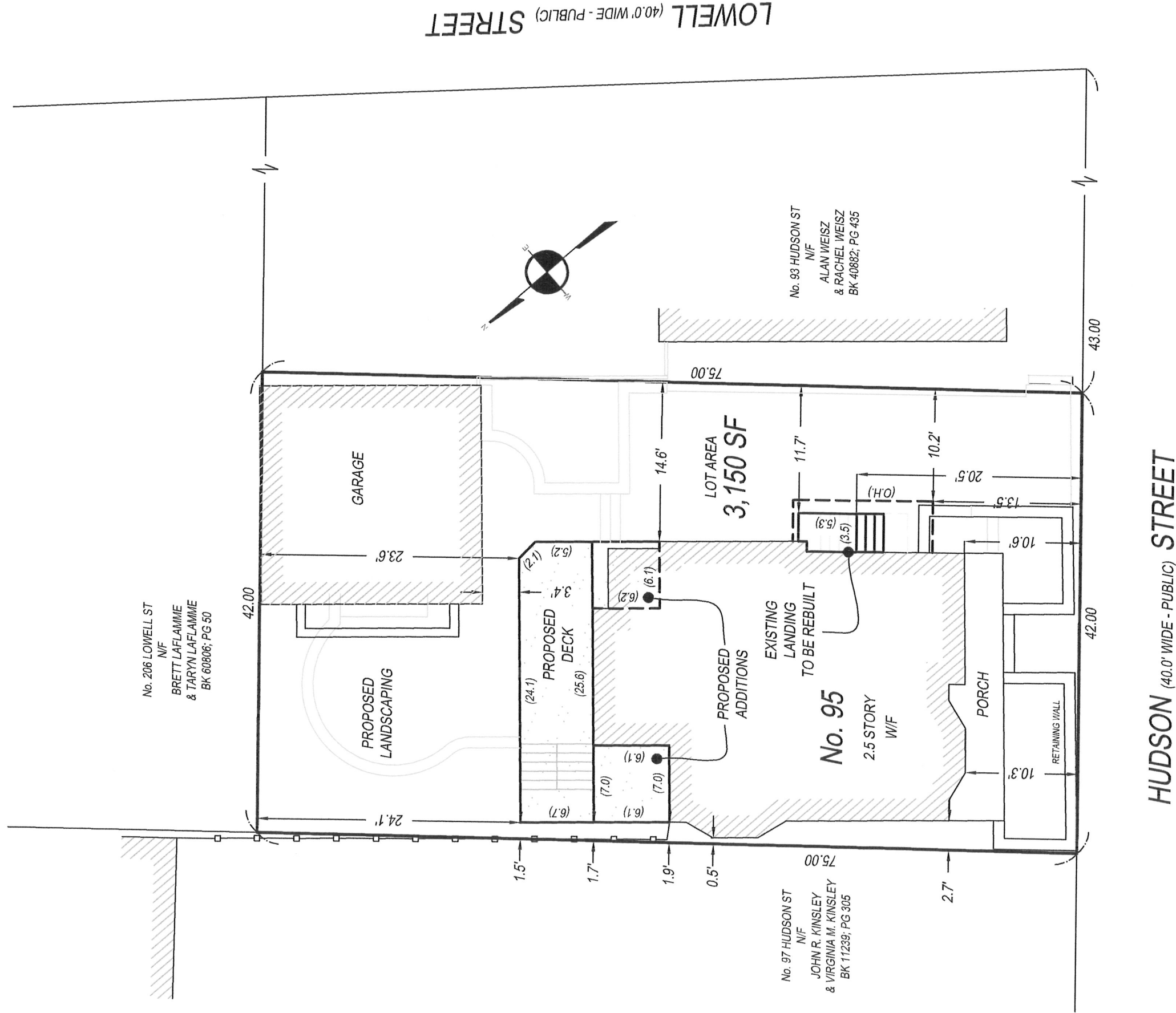




I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF APRIL 25, 2013, AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

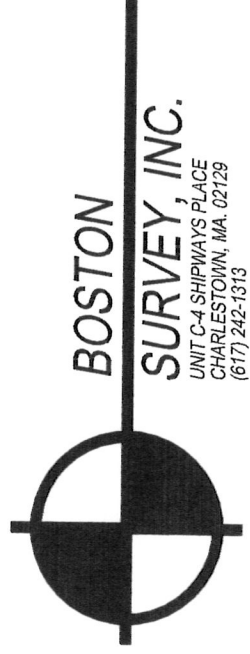
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X".
MAP No. 25017C0438E
EFFECTIVE DATE: JUNE 4, 2010

PREPARED FOR:
JAMES M. HAILE
95 HUDSON STREET
SOMERVILLE, MA 02144



REFERENCES:
DEED: BK 51003; PG 87
PLAN: PL BK 38; PL 73
PLAN: BK 2231; PG END
PLAN: BK 2179; PG END

CERTIFIED PLOT PLAN
SHOWING PROPOSED CONDITIONS AT
95 HUDSON STREET
SOMERVILLE, MA



SCALE: 1 INCH = 10 FEET

DATE: OCTOBER 18, 2013

JOB # 13-00265

FILE # 13-00265 - 05/01/13

ABBREVIATIONS

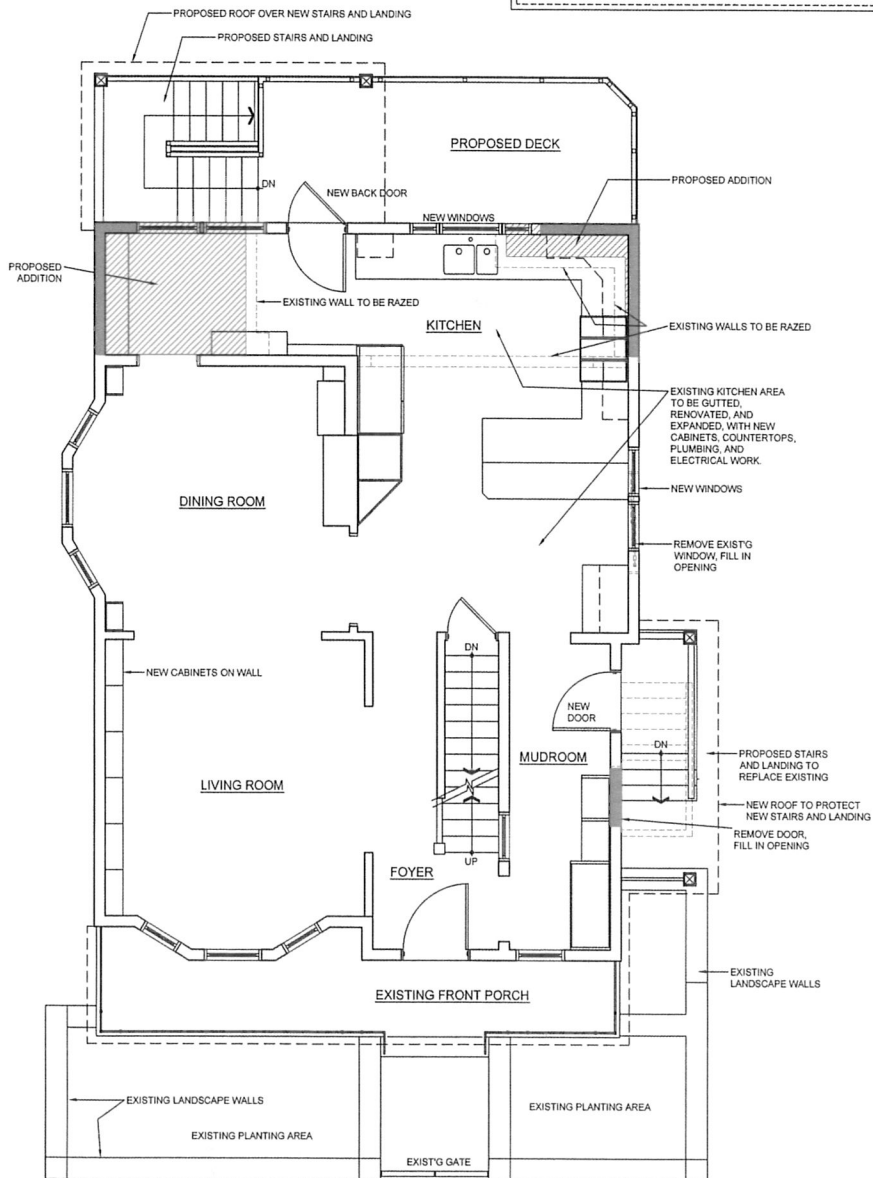
Ⓢ	At
A.B.	Anchor Bolt
ABV.	Above
ADJ.	Adjustable
A.F.F.	Above Finish Floor
ALT.	Alternate
APPROX.	Approximate
BB	Baseboard
BBH	Baseboard Heater
BD	Board
BEARG	Bearing
BETWN	Between
BIT.	Bituminous
BLDG	Building
BLOCKG	Blocking
BM.	Beam
B.O.	By Others
BOTT.	Bottom
C.B.	Catch Basin
C.J.	Control Joint
C.L.	Centerline
C.T.	Ceramic Tile
CABT	Cabinet
C.A.R.	Cold Air Return
CER.	Ceramic
CLG.	Ceiling
CLO.	Closet
CLR.	Clear
CMU	Concrete Masonry Unit
COL.	Column
CONC.	Concrete
COND.	Conductor
CONT.	Continuous
CONTR.	Contractor
CPT.	Carpet
DIA.	Diameter
DIM.	Dimension
DISP.	Disposal
D.J.	Double Joist
DNST.	Downspout
DP.	Deep
DR.	Door
D.S.	Downspout
D.W.	Dishwasher
DWG.	Drawing
EA.	Each
E.B.U.	Emergency Battery Unit
E.H.	Emergency (Light) Head
EL.	Elevation
ELEC.	Electrical
EQ.	Equal
E.W.	East Way
EXIST.	Existing
EXP.	Exposed
FAM.	Family
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cabinet
F.G.	Fixed Glass
FIN.	Finish
FLR.	Floor
FLUOR.	Fluorescent
FT.	Foot or Feet
FTG.	Footings
G.B.	Glass Block
G.C.	General Contractor
GFI.	Ground Fault Interrupt
GR.	Grade
GWB.	Gypsum Wallboard
HD.	Head
HT.	Height
HWH.	Hot Water Heater
INSUL.	Insulation
INT.	Interior
J.H.	Joist Hanger
LAV.	Lavatory
LOCN.	Location
MAS.	Masonry
MAX.	Maximum
M.D.O.	Medium Density Overlay
MECH.	Mechanical
MIN.	Minimum
MISC.	Miscellaneous
N.I.C.	Not in Contract
N.T.S.	Not to Scale
NOM.	Nominal
O.C.	On Center
P.J.F.	Pre-molded joint filler
PKT.	Pocket
P.LAM.	Plastic Laminate
PLAS.	Plastic
PLYVD.	Plywood
PORT.	Portable
P.T.	Pressure Treated
PTD.	Painted
Q.T.	Quarry Tile
RAD.	Radius
REF.	Reference
REQ'D	Required
RESIL.	Resilient
RM.	Room
R.W.L.	Rain Water Leader
S & R	Shelf and Rod
S.D.	Smoke Detector
S.F.	Square Feet
S.F.LR.	Subfloor
SH.	Shelf or Shelves
SHT.	Sheet
SHVR.	Shower
SIM.	Similar
SPRINKLR.	Sprinkler
SQ.	Square
STD.	Standard
STL.	Steel
S.V.	Sheet Vinyl
SW.	Switch
SYP.	Southern Yellow Pine
T & B	Top and Bottom
TB	Towel Bar
TEMP.	Temporary
TLT.	Toilet
T.O.	Top of
T.O.C.	Top of Concrete
T.O.PL.	Top of Plate
T.O.S.	Top of Steel
T.O.W.	Top of Wall
T.P.	Telephone pole (utility pole)
TPH.	Toilet Paper Holder
TS	Tube Steel
TYP.	Typical
U.O.N.	Unless Otherwise Noted
U.P.	Utility Pole
US	Underside
VAN.	Vanity
V.C.T.	Vinyl Composition Tile
V.I.F.	Verify in Field
V.P.	Veneer Plaster
V.T.R.	Vent to Roof
W	Wm
W.C.	Water Closet
WD.	Wood
W.W.M.	Welded Wire Mesh

LEGEND

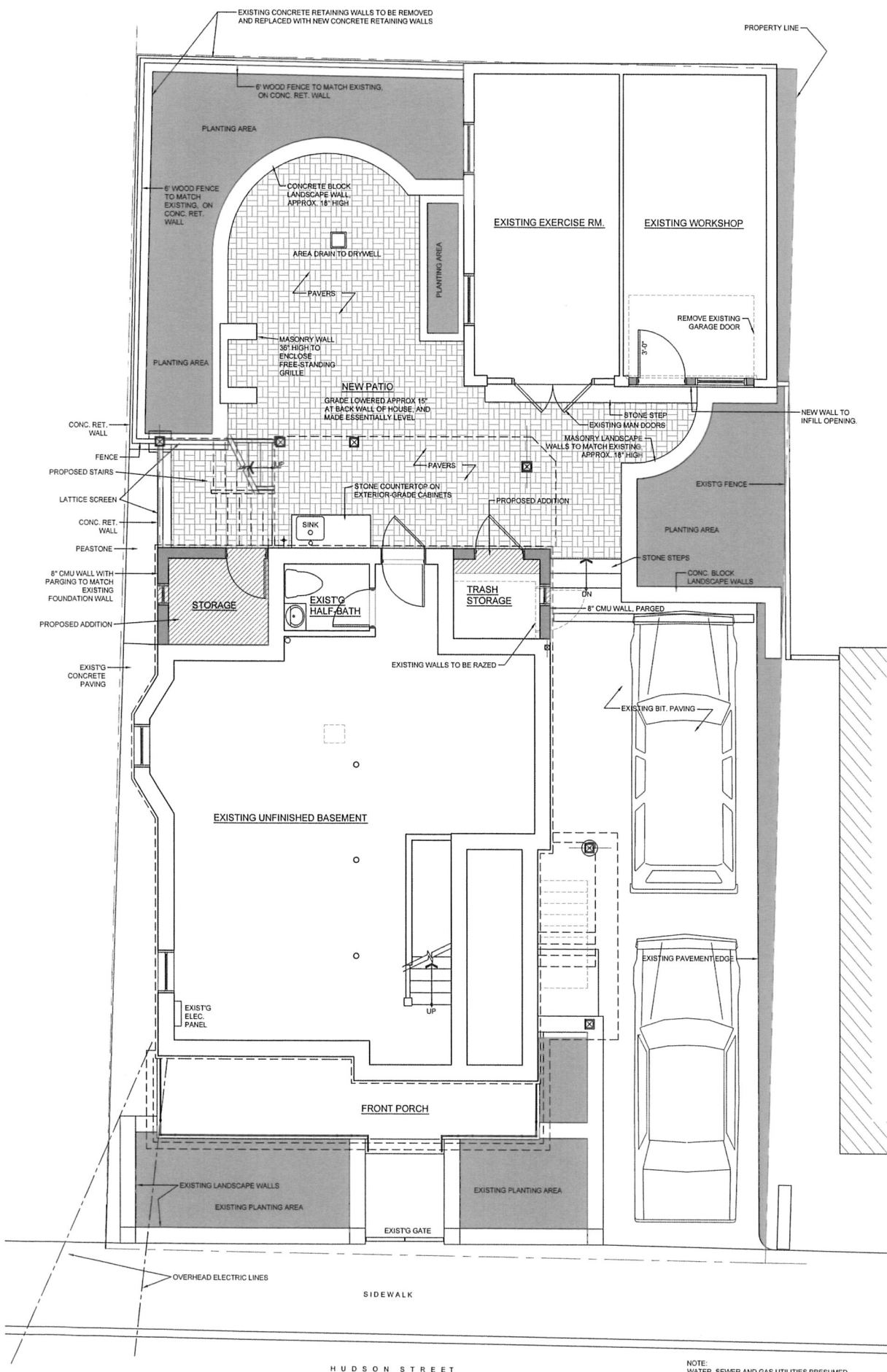
	NEW WALL, PARTITION, OR INFILL
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	CENTERLINE, GRIDLINE, OR FLOOR LEVEL LINE
	LINES OVERHEAD
	LINES BELOW
	WIRING (DIAGRAMMATIC)
	DETAIL DESIGNATOR
	SECTION DESIGNATOR
	INTERIOR ELEVATION DESIGNATOR
	WINDOW TYPE (REFER TO WINDOW SCHEDULE)
	DOOR NUMBER (REFER TO DOOR SCHEDULE)
	WALL CONSTRUCTION TYPE

ZONING DATA

Zoning District:	RB			
Lot Area:	3,150 sf			
Use:	Single-Family Residence			
Dwelling Units:	1			
	Required/Allowable	Existing	Proposed	Comment
<u>Ground Coverage:</u>				
Main house		776 sf	831 sf	
Decks		23	201	
Existing Garage		382	382	No change
Total ground coverage		1,181	1,414	
Total %	50%	38%	45%	Okay
<u>Landscaped Area:</u>				
	25%	1,281 sf	1,270	40%
<u>Floor Area:</u>				
First Floor:		787 gsf	841 gsf	
Second Floor:		657	736	
Third Floor		521	521	
Total for main building		1,964	2,098	
Existing garage		382	382	No change
Total for site		2,346	2,480	
FAR	1.0	0.75	0.79	Okay
<u>Building Height</u>				
Stories	3	3	3	
Height	40 ft.	33'-3"	33'-3"	No change from existing
<u>Minimum Front Yard</u>				
15 ft. or avg. of abutting properties, 10' minimum		10.71 ft.	10.71 ft.	No change from existing
<u>Minimum Side Yard</u>				
Least: 10 ft., Sum: 20 ft.		Left: 0.5 ft. Right: 10.2 ft. Sum: 12.7 ft.	Left: 0.5 ft. Right: 10.2 ft. Sum: 12.7 ft.	
<u>Minimum Rear Yard</u>				
20 ft.		30.3 ft.	23.6 ft.	
<u>Pervious Area:</u>				
Planting areas		192 sf	501 sf	
Pervious Pavers		n/a	395	
Total		192 sf	896 sf	
Percent of lot area		6.1%	25.6%	



2 FIRST FLOOR PLAN
1/4" = 1'-0"



1 BASEMENT PLAN / SITE PLAN
1/4" = 1'-0"

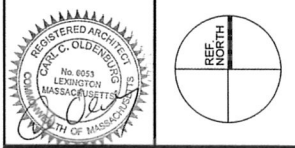
LIST OF DRAWINGS

- A-1 SITE / BASEMENT PLAN & FIRST FLOOR PLAN
- A-2 FLOOR PLANS AND ROOF PLAN
- A-3 ELEVATIONS
- L-1 PLANTING PLAN
- E-1 ELECTRICAL PLANS
- EX-1 EXISTING-CONDITIONS FLOOR PLANS
- EX-2 EXISTING-CONDITIONS ELEVATIONS

GENERAL NOTES

- These drawings and the designs, ideas, and arrangements represented herein are and shall remain the property of the Architect. These drawings shall not be copied, disclosed to others, or used in connection with any work or project other than the specified project for which they have been prepared, without the prior written consent of the Architect.
- Dimensions are to finish face of walls or to centerline of window or door, unless otherwise indicated. Dimensions pertaining to built-in cabinets, fixtures, accessories, and the like are typically to finish face of wall and finish face of cabinets or centerline of fixture or accessory, unless otherwise indicated. Foundation dimensions are to face of concrete. Exterior dimensions are to face of stud which is assumed to align with face of concrete at foundation walls.
- All construction shall conform to the requirements of the "Commonwealth of Massachusetts State Building Code", latest edition, the National Electrical Code, latest edition, to all other applicable codes, and to the requirements of regulatory agencies including the local fire department.
- Field-verify all dimensions and existing conditions. Notify Architect of discrepancies prior to commencing or continuing work.
- Written dimensions shall have precedence over scaled dimensions. Do not scale drawings for construction.
- Details and larger-scale drawings shall have precedence over general drawings.
- All changes and deviations from the drawings shall be done in consultation with the Architect.

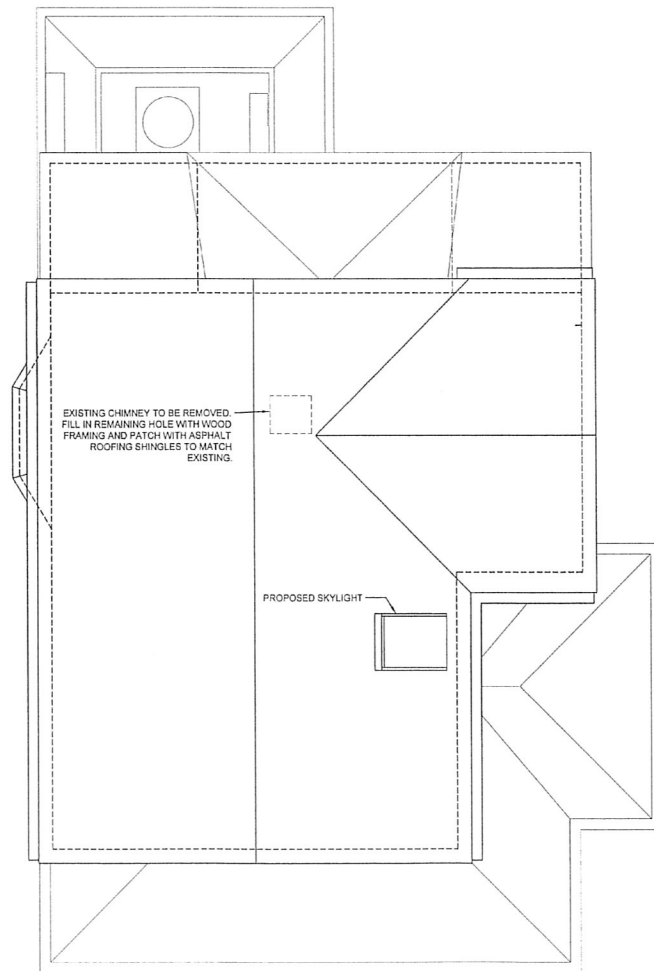
NO.	REVISION	DATE



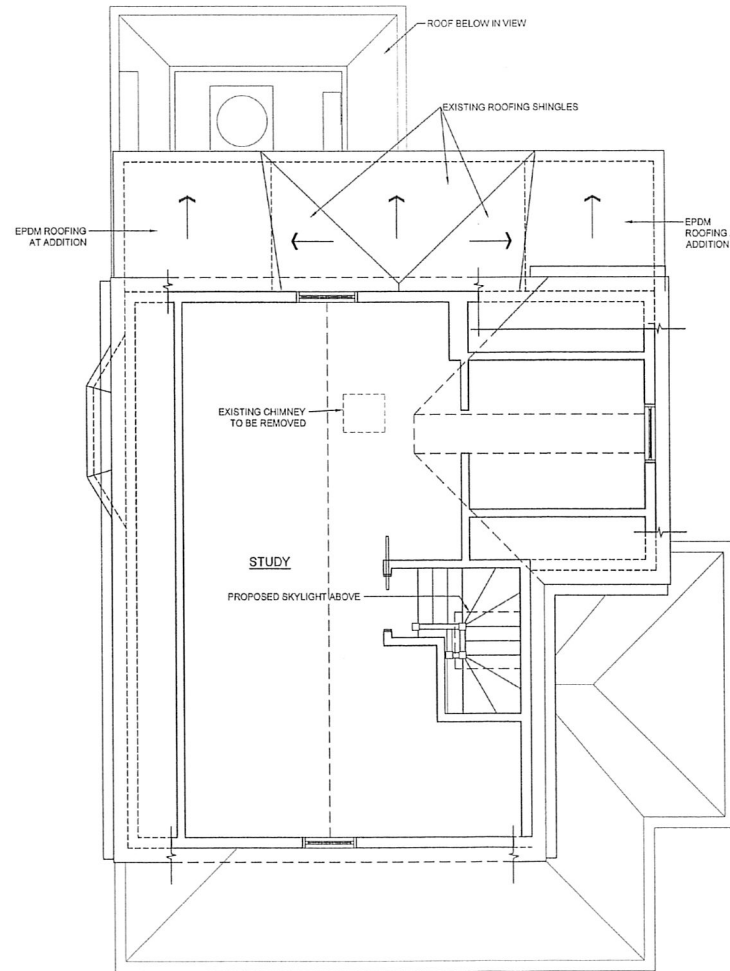
Carl C. Oldenburg AIA | Architect
1566 Massachusetts Avenue, Suite 11
Lexington, MA 02420
781-652-2275

PROJECT
**HAILE RESIDENCE:
ALTERATIONS**
95 HUDSON STREET
SCOMERVILLE, MA 02144
TITLE
**SITE PLAN /BASEMENT PLAN
AND FIRST FLOOR PLAN**

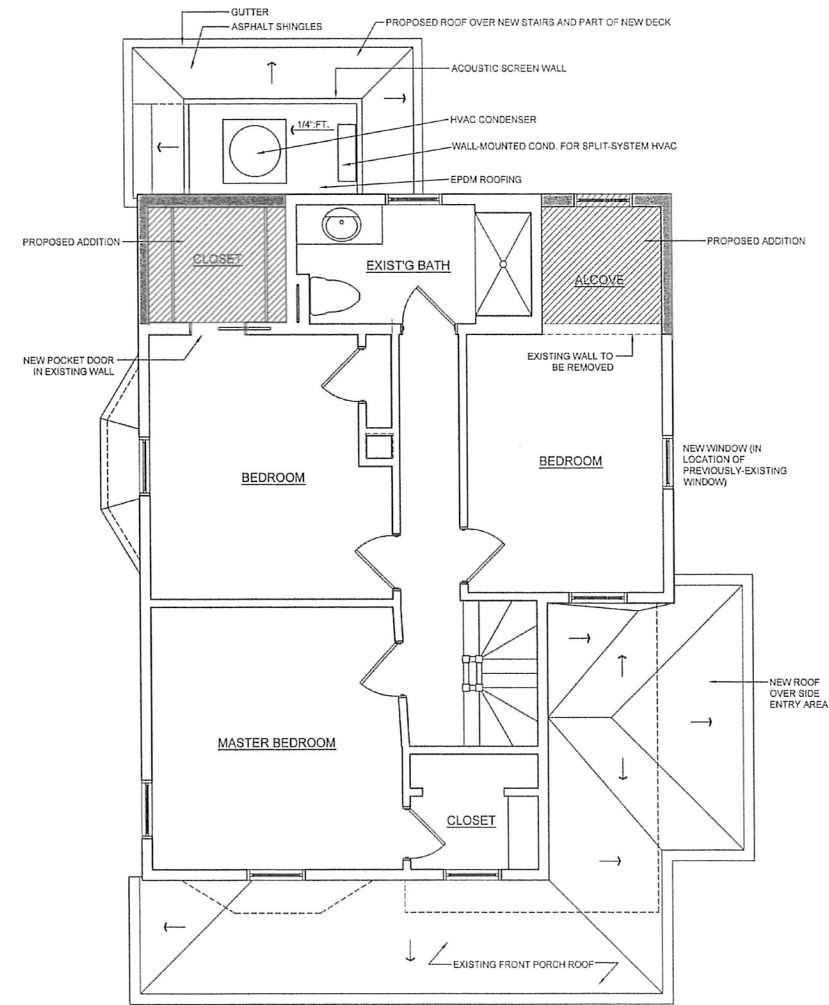
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SCALE 1/4" = 1'-0"	
PROJECT NO. 1301	
SET	



3 ROOF PLAN
1/4" = 1'-0"

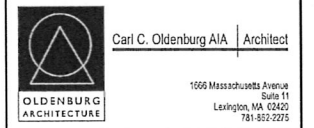
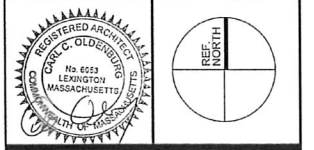


2 THIRD FLOOR PLAN
1/4" = 1'-0"



1 SECOND FLOOR PLAN
1/4" = 1'-0"

NO.	REVISION	DATE

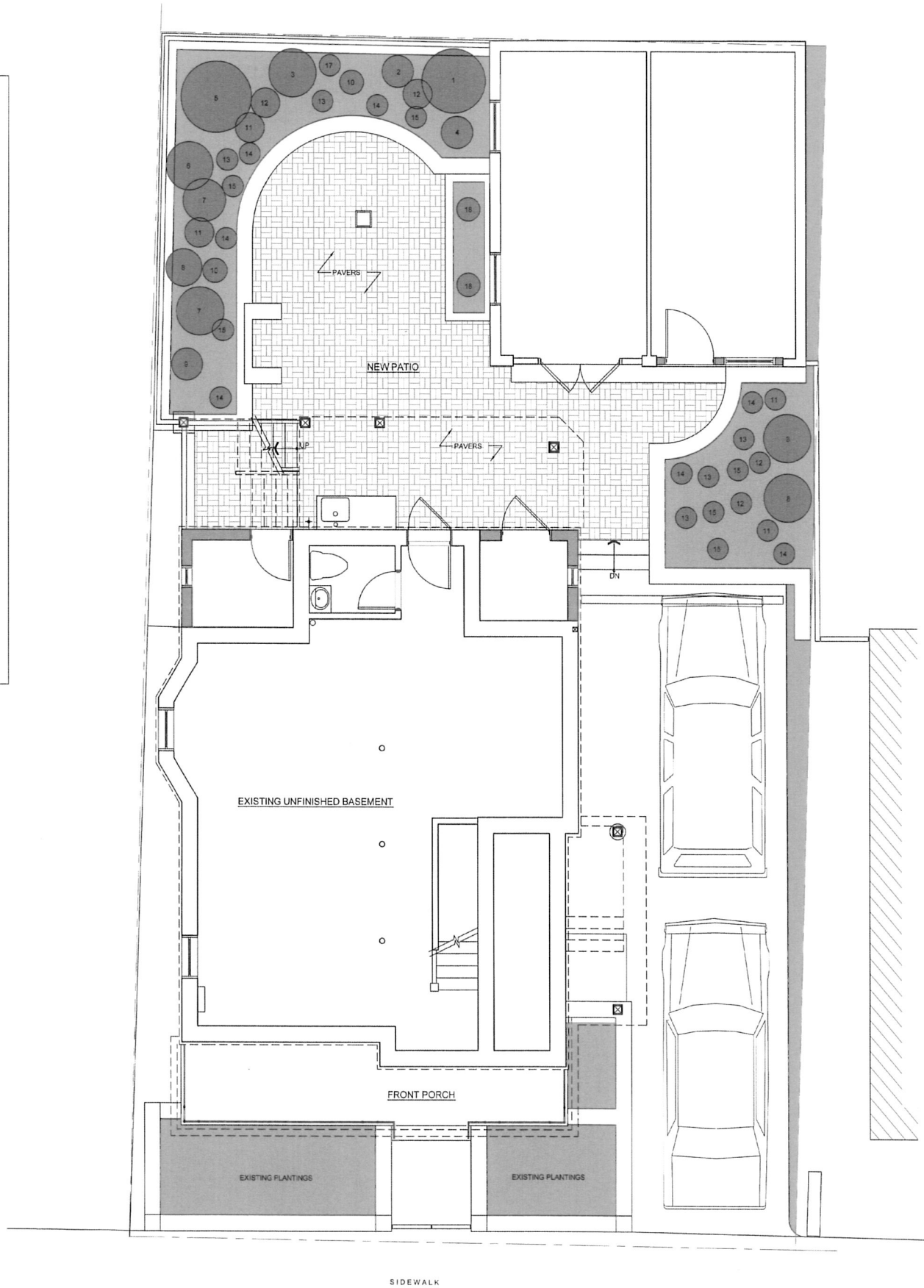


PROJECT
**HAILE RESIDENCE:
ALTERATIONS**
95 HUDSON STREET
SOMERVILLE, MA 02144

TITLE
FLOOR PLANS

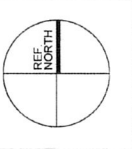
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SCALE 1/4" = 1'-0"	
PROJECT NO. 1301	
SET	

#	Plant	Mature Size (full x wide)	type
1	Calliopsis 'Early Amethyst'	3-4 x 4-5'	shrub
2	Ilex virginica 'Little Henry'	1.5-2 x 2-2.5'	shrub
3	Cedre sinifolia 'Ruby Spice'	4-8' x 3'	shrub
4	Pieris japonica 'Prelude'	1.5-2' x 2-3'	shrub
5	Fruit tree - to be determined		tree
6	Ilex ornata	6-8' x 3'	shrub
7	Ilex verticillata 'Red Sprite'	2.5-3 x 3'	shrub
8	Physocarpus 'Little Devil'	4 x 3'	shrub
9	Chamaecyparis obtusa 'nana'	3-6' x 2-4'	shrub
10	Liriope spicata	15" x 18"	perennial
11	Hakonechloa 'All Gold'	18" x 24"	perennial
12	Hosta 'Halcyon'	15" x 24"	perennial
13	Heuchera 'Obsidian'	12" x 18"	perennial
14	Ajuga 'Catlin's Giant'	groundcover	perennial
15	European ginger	10" x 18"	perennial
16	Clematis (variety to be determined)		vine
17	Akebia quinata		vine
18	Hydrangea petiolaris		woody vine



1 PLANTING PLAN
1/4" = 1'-0"

NO.	REVISION	DATE

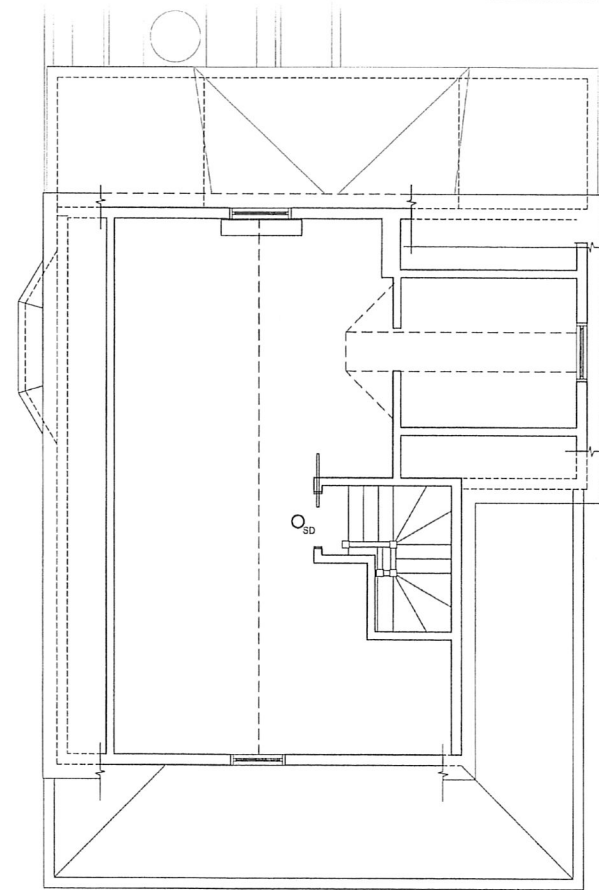


OLDENBURG ARCHITECTURE
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 781-852-2275

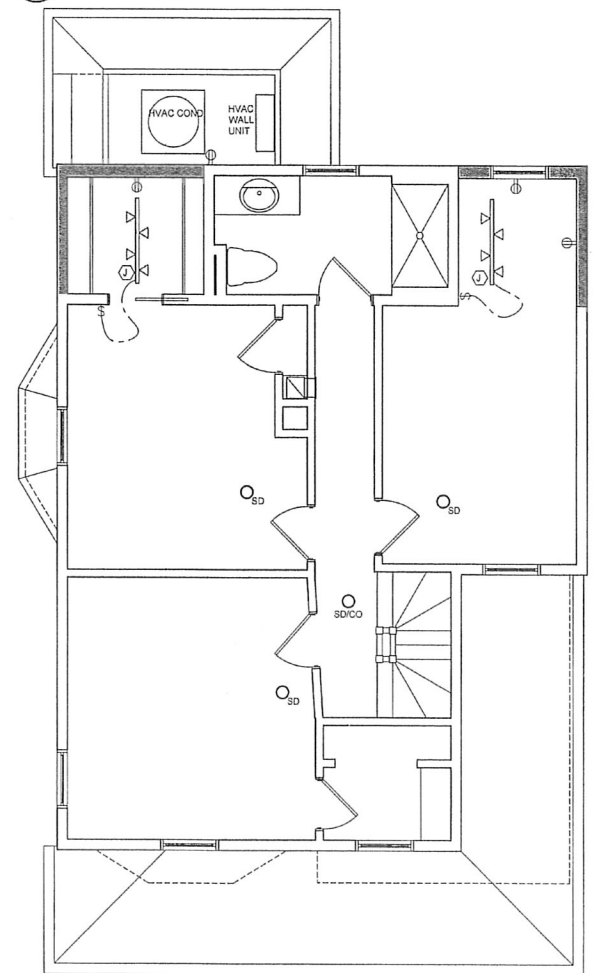
PROJECT
**HAILE RESIDENCE:
 ALTERATIONS**
 95 HUDSON STREET
 SOMERVILLE, MA 02144

TITLE
PLANTING PLAN

DATE 10/29/2013	SHEET NO. L-1
SCALE 1/4" = 1'-0"	
PROJECT NO. 1301	
SET	



4 THIRD FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



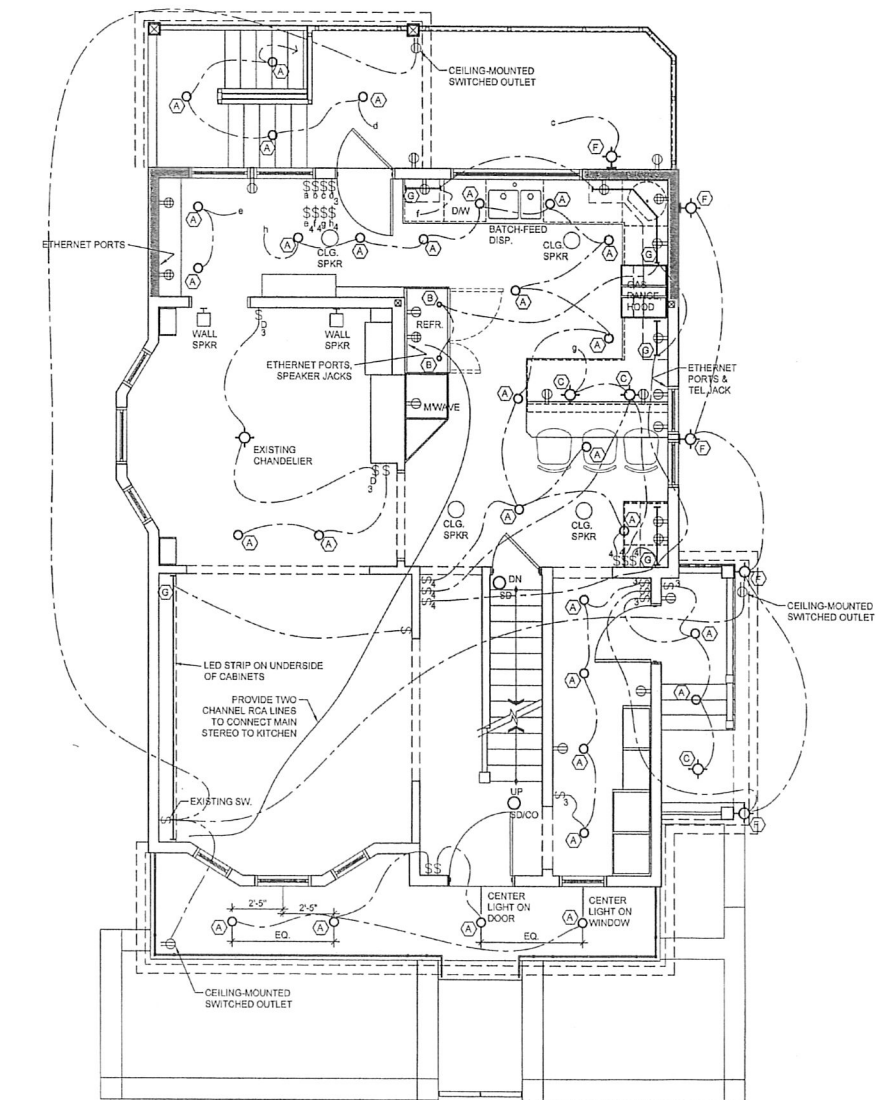
3 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

- ELECTRICAL LEGEND**

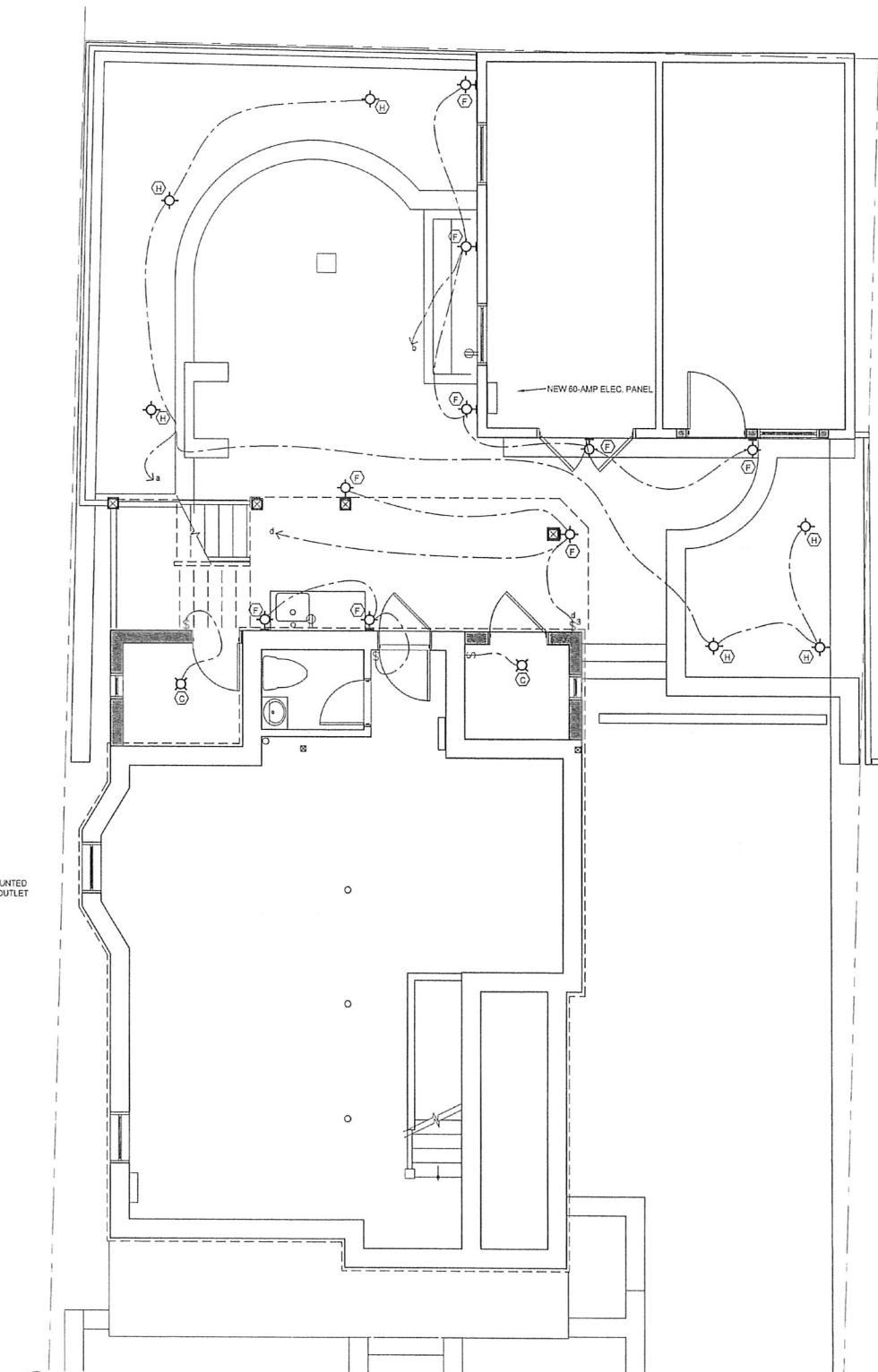
 - LIGHT FIXTURE (SEE LIGHT FIGURE SCHED.)
"A" DESIGNATES FIXTURE TYPE
 - SD SMOKE DETECTOR
 - CO CARBON MONOXIDE DETECTOR
 - CO/SD COMBINATION CO / SMOKE DETECTOR
 - ⚡ SWITCH
 - ⚡ 3-WAY SWITCH
 - ⚡ DIMMER SWITCH
 - ⚡ JAMB SWITCH
 - Ⓜ DUPLEX RECEPTACLE OUTLET
 - Ⓜ EX EXISTING DUPLEX RECEPTACLE OUTLET
 - Ⓜ DUPLEX RECEPTACLE OUTLET
@ HEIGHT A.F.F. INDICATED
 - Ⓜ 220-VOLT OUTLET
 - Ⓜ QUADRUPLUX RECEPTACLE OUTLET
 - Ⓜ TELEPHONE JACK
 - Ⓜ WALL MOUNTED TELEPHONE JACK
 - TV CATV JACK
 - Ⓜ DATA JACK
 - Ⓜ AUDIO SPEAKER CONNECTION
 - Ⓜ AUDIO SPEAKERS, FLUSH-MOUNTED IN CEILING
 - WIRING (DIAGRAMMATIC)

LIGHT FIXTURE LEGEND

 - RECESSED DOWNLIGHT, 6" APERTURE, LED LAMP
 - IN-CABINET LED PUCK LIGHT, LOW VOLTAGE
 - PENDANT OR SURFACE FIXTURE SUPPLIED BY OWNER, CONTR. TO INSTALL
 - WALL FIXTURE SUPPLIED BY OWNER, CONTR. TO INSTALL
 - EXTERIOR WALL FIXTURE SUPPLIED BY OWNER, CONTR. TO INSTALL
 - UNDER-CABINET LIGHTING: LED STRIP
 - LANDSCAPE LIGHTING: LOW-VOLTAGE FLOOD
 - TRACK LIGHTING
- NOTE: LOCATIONS OF LIGHTING FIXTURES AND ELECTRICAL DEVICES SHALL BE AS SHOWN ON ARCHITECTURAL DRAWINGS OR AS DIRECTED BY OWNER.

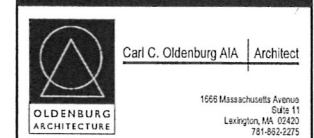
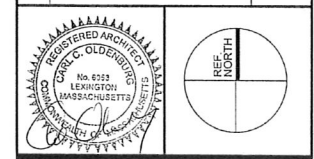


2 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



1 BASEMENT LEVEL ELECTRICAL PLAN
1/4" = 1'-0"

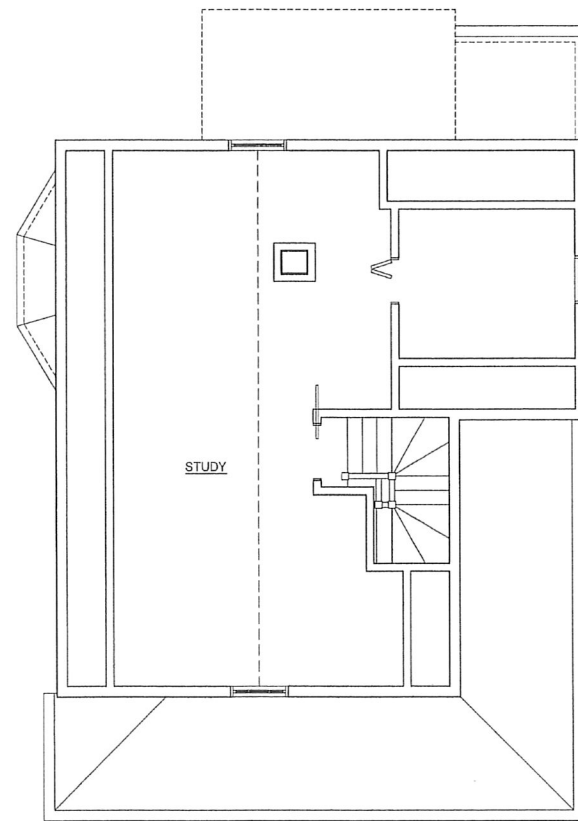
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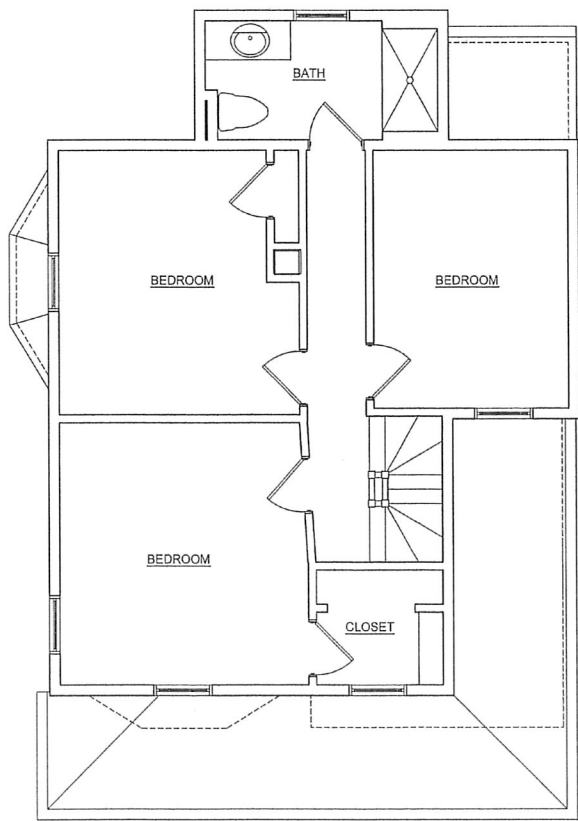
PROJECT
**HAILE RESIDENCE:
ALTERATIONS**
95 HUDSON STREET
SOMERVILLE, MA 02144

TITLE
ELECTRICAL PLANS

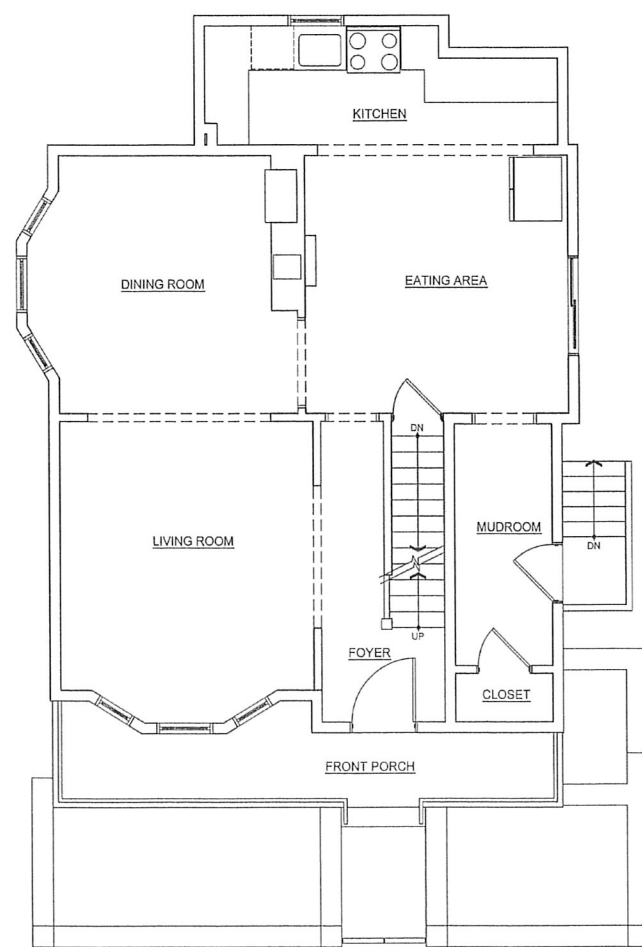
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PROJECT NO. 1301	
SET	



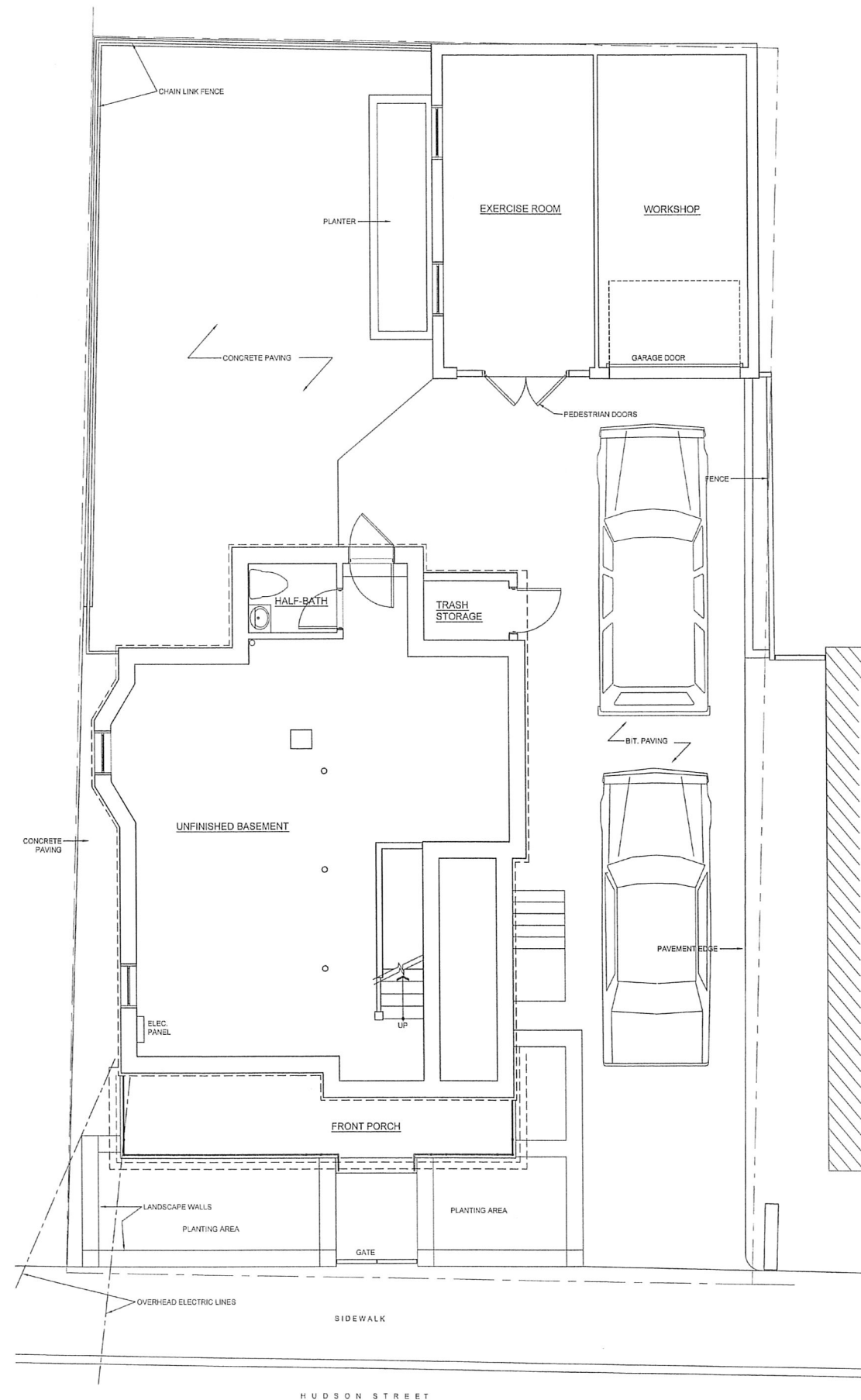
4 THIRD FLOOR PLAN
1/4" = 1'-0"



3 SECOND FLOOR PLAN
1/4" = 1'-0"

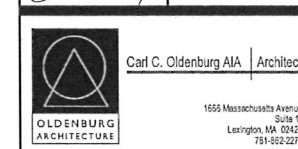
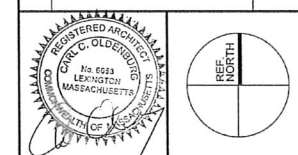


2 FIRST FLOOR PLAN
1/4" = 1'-0"



1 BASEMENT PLAN / SITE PLAN
1/4" = 1'-0"

NO.	REVISION	DATE



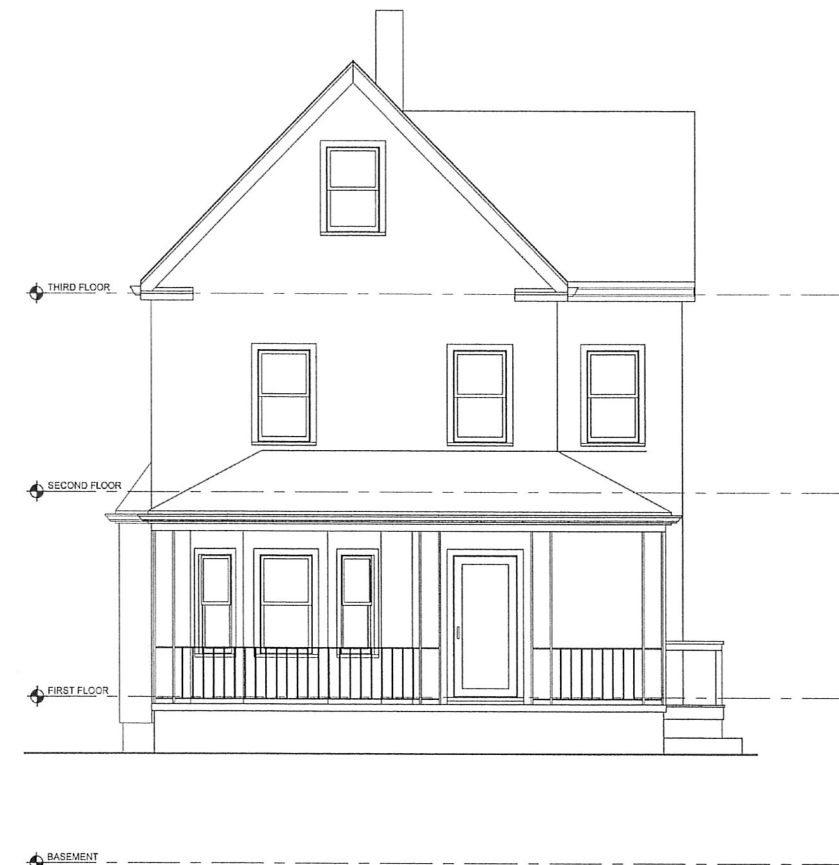
PROJECT
HAILE RESIDENCE:
ALTERATIONS
95 HUDSON STREET
SOMERVILLE, MA 02144

TITLE
EXISTING CONDITIONS
FLOOR PLANS

DATE 10/29/2013	SHEET NO. EX-1
SCALE 1/4" = 1'-0"	
PROJECT NO. 1301	
SET	



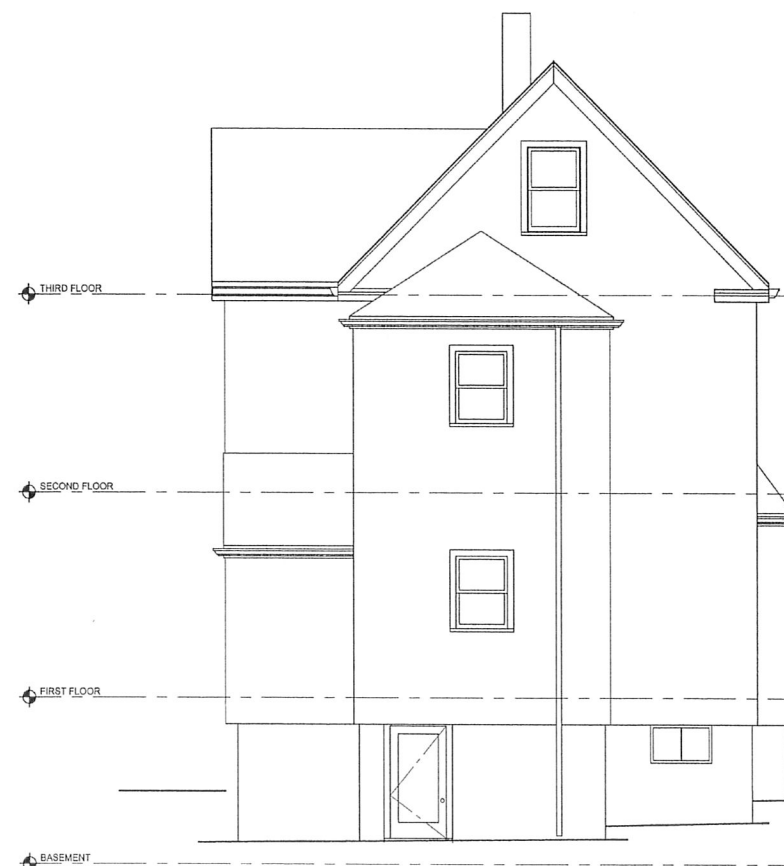
2 LEFT ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

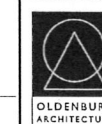
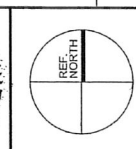
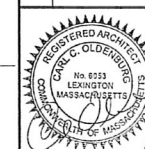


4 RIGHT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

NO.	REVISION	DATE



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PROJECT

HAILE RESIDENCE:
ALTERATIONS

95 HUDSON STREET
SOMERVILLE, MA 02144

TITLE

EXISTING ELEVATIONS

DATE

10/29/2013

SCALE

1/4" = 1'-0"

PROJECT NO.

1301

SET

SHEET NO.

EX-2