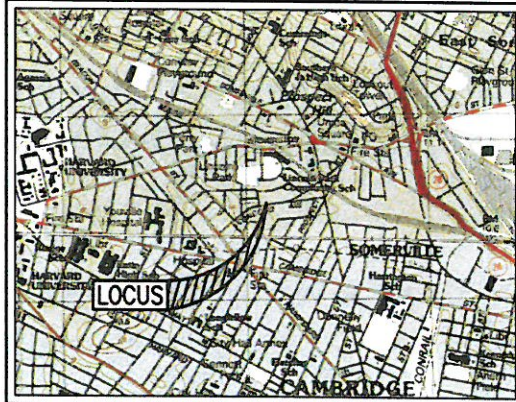


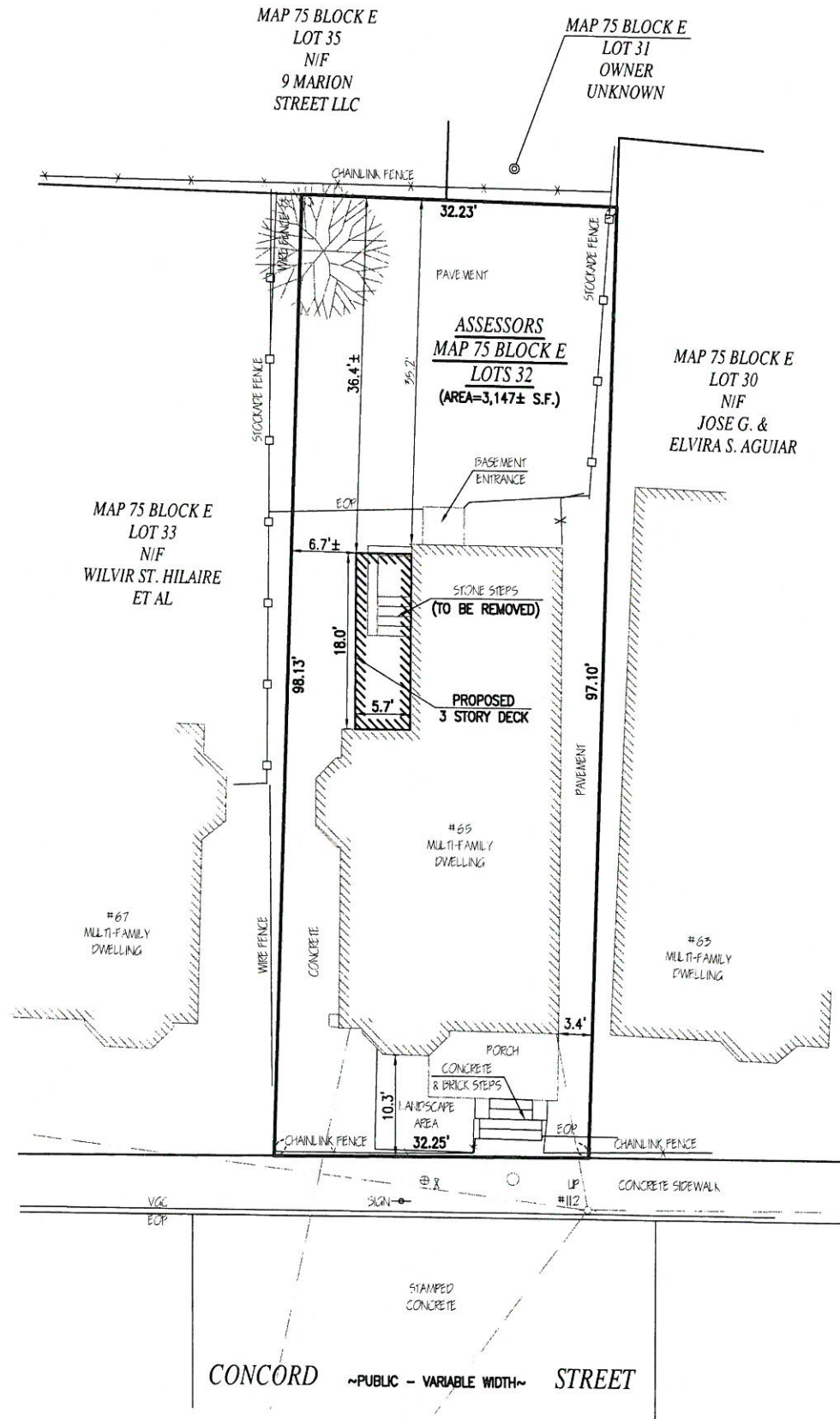


LOCUS MAP SCALE: 1"=2,000'±

- ZONING DATA -			
DISTRICT: RB - RESIDENCE DISTRICT			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED
FRONT SETBACK	15 FT	10.3' FT	N/A FT
SIDE SETBACK (3 STORY)	10 FT	3.4' FT	6.7'± FT
REAR SETBACK	20 FT	36.2' FT	36.4'± FT

RECORD OWNER:
ASSESSORS MAP 75 BLOCK E LOT 32
65 CONCORD AVENUE LLC
10 TOWER HILL CIRCLE
LYNN, MA 01905
DEED BOOK 66468 PAGE 591

NOTES:
1. PROPERTY LINE AND DETAIL SURVEY PERFORMED BY FARLAND CORP. IN JULY OF 2016.



REVISIONS

www.FarlandCorp.com

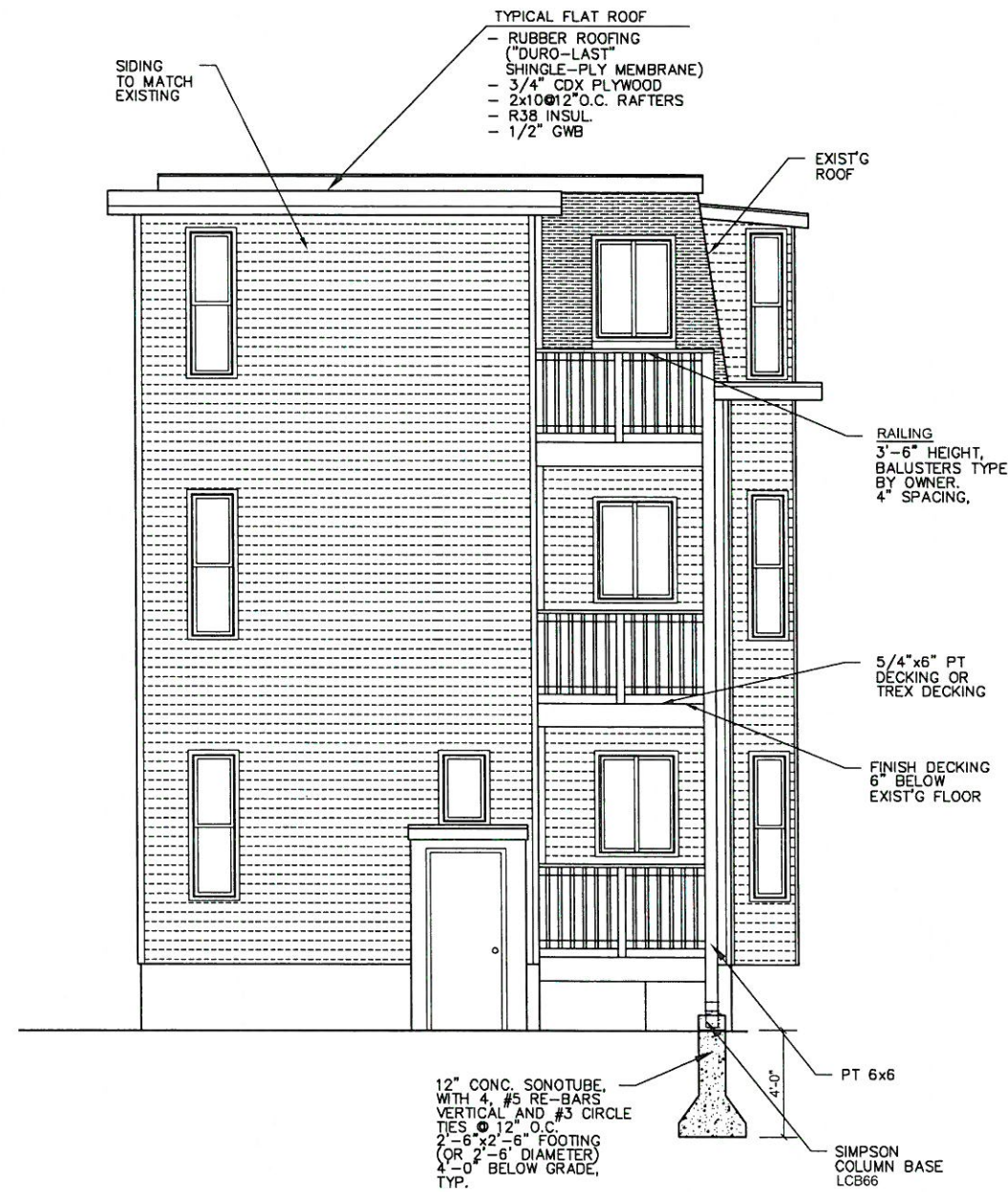
401 COUNTY STREET
NEW BEDFORD, MA 02740
P. 508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: CKG
DESIGNED BY: -
CHECKED BY: BJM

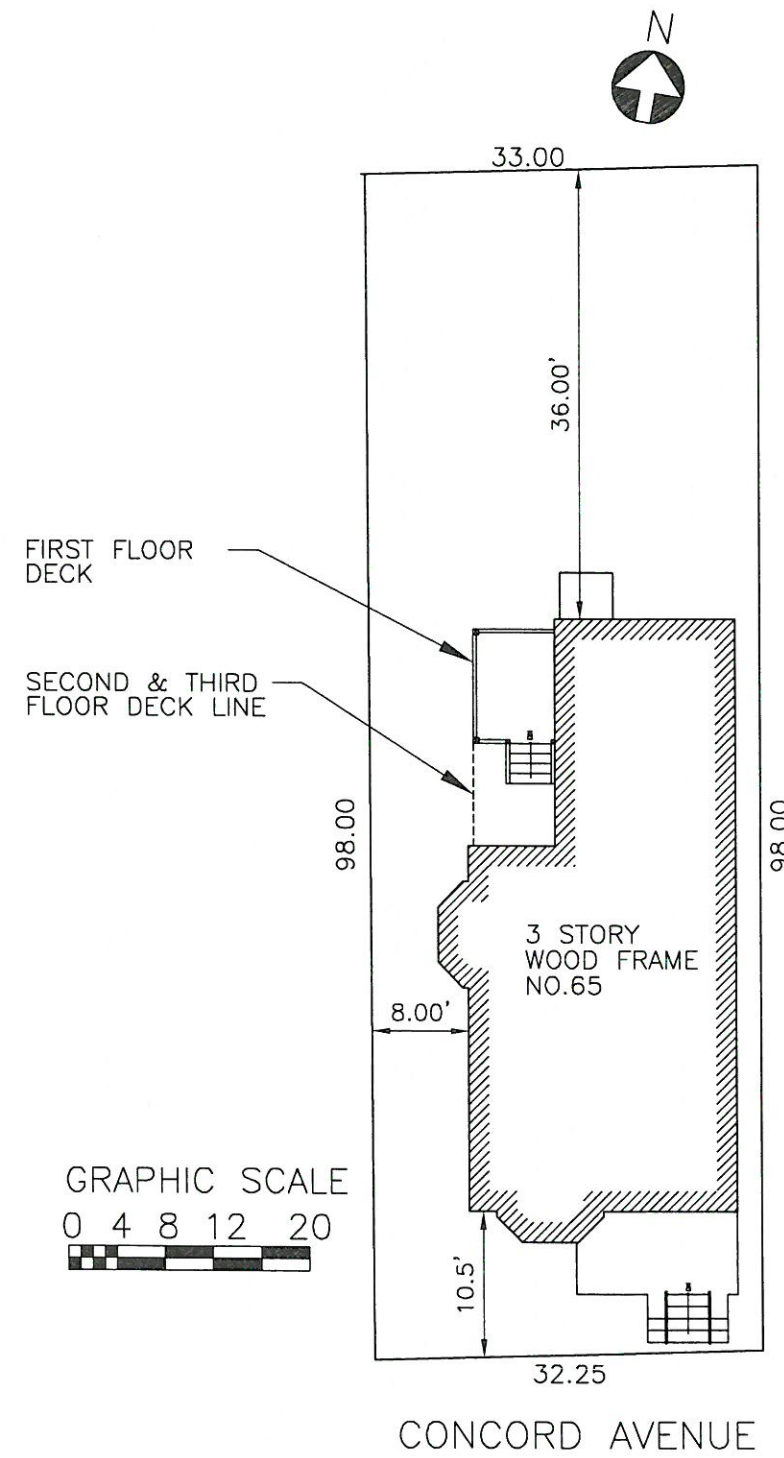
CERTIFIED PLOT PLAN
65 CONCORD AVENUE
ASSESSORS MAP 75 BLOCK E LOT 32
SOMERVILLE, MASSACHUSETTS
ANDRE WHITE
PREPARED FOR:
65 CONCORD AVENUE
SOMERVILLE, MA 02143

AUGUST 1, 2016
SCALE: 1"=10'
JOB NO. 16-792
LATEST REVISION:

SHEET 1 OF 1



1
A-11.1 REAR SIDE DECK ELEVATION
SCALE 1/4"=1'-0"



2
A-11.1 SITE PLAN



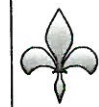
48 ALMONT STREET (508) 654-3300
MALDEN, MA FAX (781) 307-1398
ARCHITECTURE-PLANNING-INTERIOR DESIGN

NO.	REVISION	DATE

PROJECT: THREE-FAMILY HOUSE REMODELING
65 CONCORD AVENUE
SOMERVILLE, MA
OWNER: 65 CONCORD AVE. LLC

LEFT SIDE DECK
FLOOR PLANS/
FOUNDATION/
FRAMING

SCALE: 1/4"=1'-0"
DATE: 5/16/16
PROJECT # 20285
DRAWN BY: BR
CHECKED BY: JE
DRAWING #:
A-11.1



REBOSS
DESIGN

48 ALMONT STREET (508) 634-3300
MALDEN, MA FAX (781) 387-1398
ARCHITECTURE-PLANNING-INTERIOR DESIGN

NO.	REVISION:	DATE:

PROJECT:
THREE-FAMILY HOUSE REMODELING
65 CONCORD AVENUE
SOMERVILLE, MA
OWNER: 65 CONCORD AVE. LLC

THIRD FLOOR DECK/
TYP. FRAMING/
DECK ELEVATION

SCALE: 1/4"=1'-0"

DATE: 5/16/16

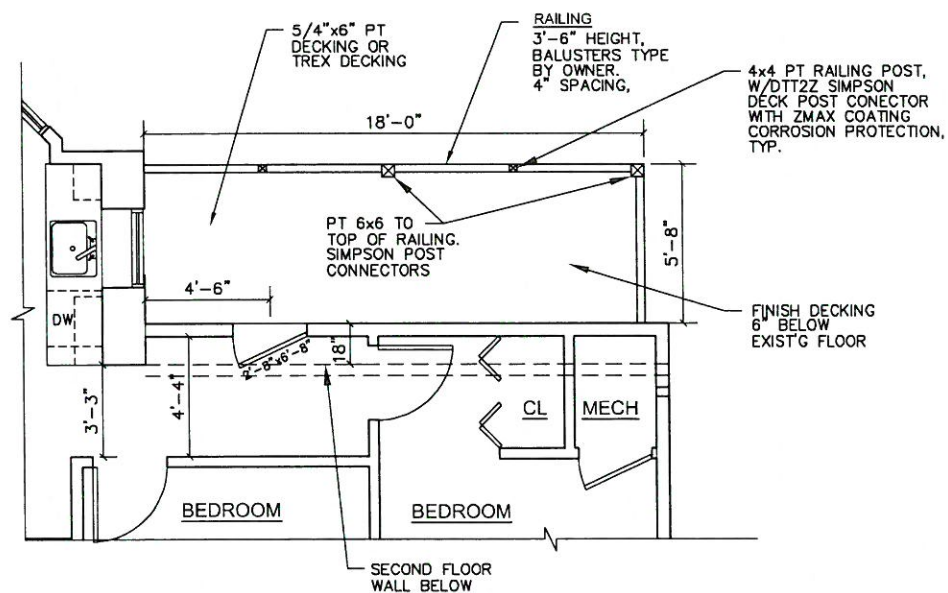
PROJECT # 20285

DRAWN BY: BR

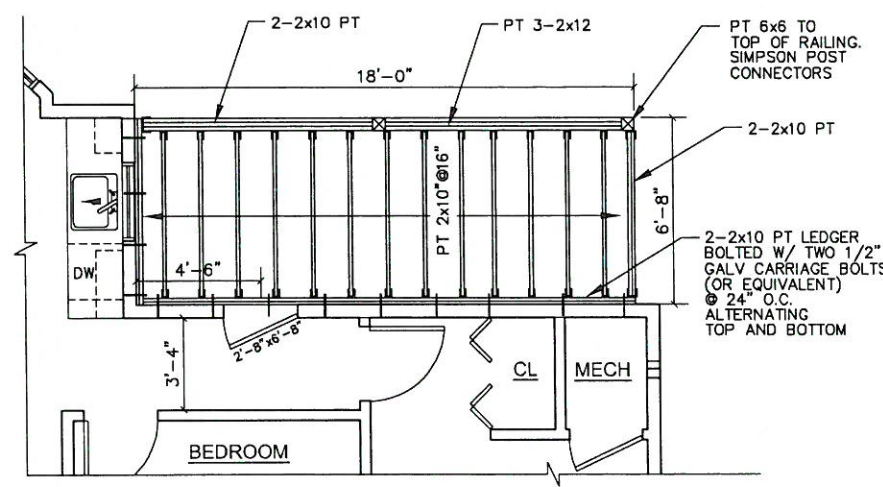
CHECKED BY: JE

DRAWING #:

A-11



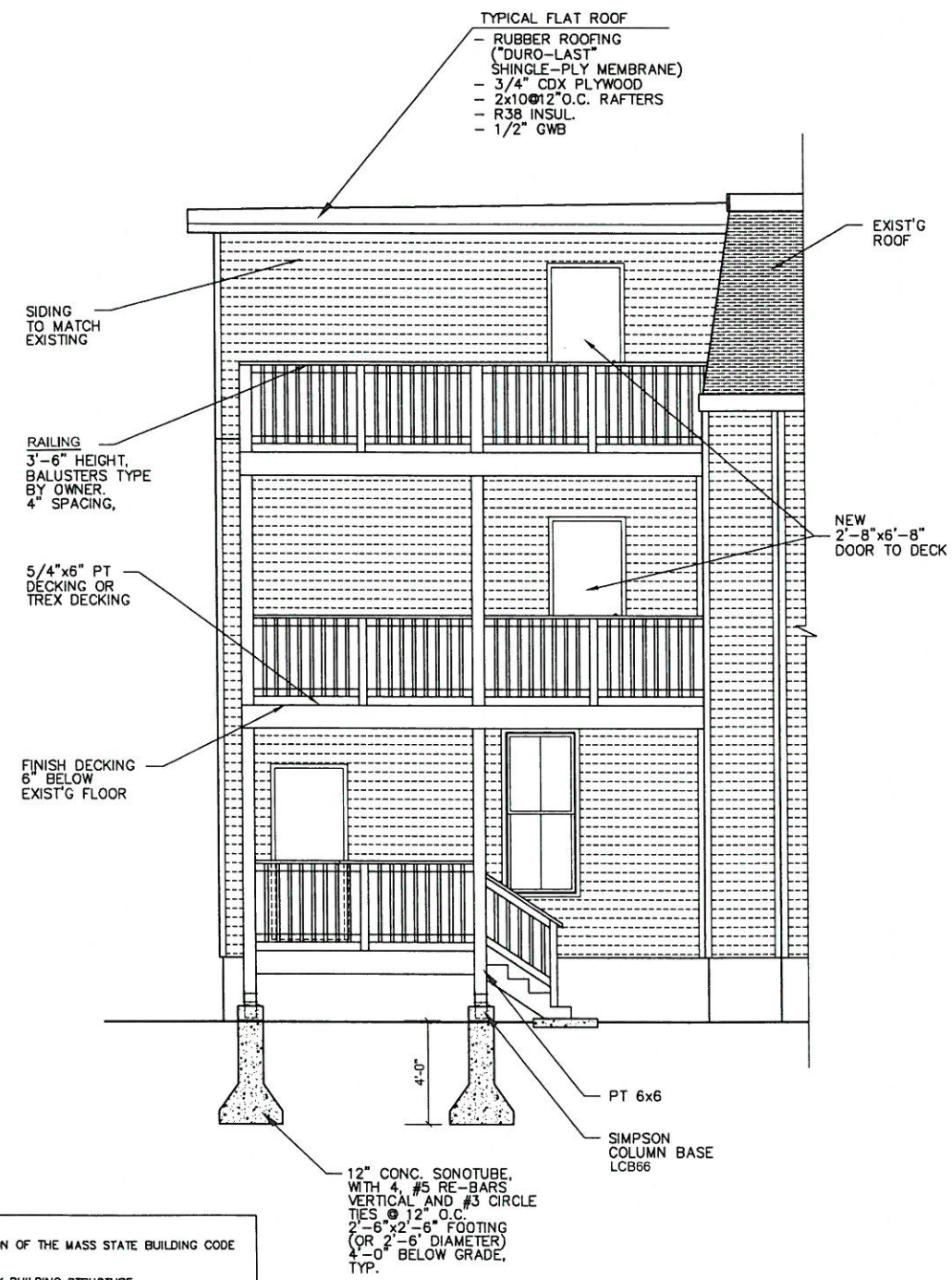
1
A-11
THIRD FLOOR
DECK PLAN
SCALE 1/4"=1'-0"



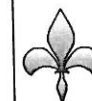
4
A-10
SECOND & THIRD FLOOR
DECK FRAMING
SCALE 1/4"=1'-0"

NOTES (SOME OF THE 8TH EDITION OF THE MASS STATE BUILDING CODE REQUIREMENTS)

- IF POSITIVE CONNECTION TO THE PRIMARY BUILDING STRUCTURE CANNOT BE VERIFIED DURING INSPECTION, DECK SHALL BE SELF SUPPORTING.
- THE DECK LEDGER MUST BE 2x8" MINIMUM.
- LEDGER BOARD FASTENERS MUST BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- LAG SCREWS OR BOLTS MUST BE STAGGERED AND LOCATED 2" FROM TOP AND BOTTOM AND BETWEEN 2-5" FROM END OF LEDGER.
- THE TIP OF THE LAG SCREW MUST EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST.
- FASTENERS MUST BE SPACED PER TABLE R502.2.2.1 (NOTE: FOR 12' DECK MAXIMUM SPACING OF LAG SCREW IS 13" O.C. CARRIAGE BOLT SPACING IS 29" O.C.
- GIRDERS ARE NOT PERMITTED TO BE SUPPORTED BY LEDGER.
- ALTERNATE DECK LEDGER CONNECTIONS LIKE LEDGER LOCK ARE PERMITTED IF INSTALLED PER MANUFACTURER'S INSTRUCTION. NOTES: THIS FASTENER MUST HAVE A MAXIMUM SPACING OF 5" O.C. FOR A 12'-0" DECK.
- CANTILEVERED DECK MUST BE PROVIDED WITH HOLD-DOWNS AT LEDGER OF HOUSE TO RESIST UPLIFT.
- CONSIDERATION FOR LATERAL FORCES (FORCES THAT COULD PULL THE DECK FROM THE HOUSE) MAKE REQUIRE HOLD-DOWN TENSION DEVICES.



2
A-11
DECK ELEVATION
SCALE 1/4"=1'-0"



REBOSS
DESIGN

48 ALMONT STREET (508) 654-3300
WALDEN, MA FAX (781) 367-1388
ARCHITECTURE-PLANNING-INTERIOR DESIGN

NO.	REVISION	DATE

PROJECT:
THREE-FAMILY HOUSE REMODELING

65 CONCORD AVENUE
SOMERVILLE, MA
OWNER: 65 CONCORD AVE. LLC

LEFT SIDE DECK
FLOOR PLANS/
FOUNDATION/
FRAMING

SCALE: 1/4"=1'-0"

DATE: 5/16/16

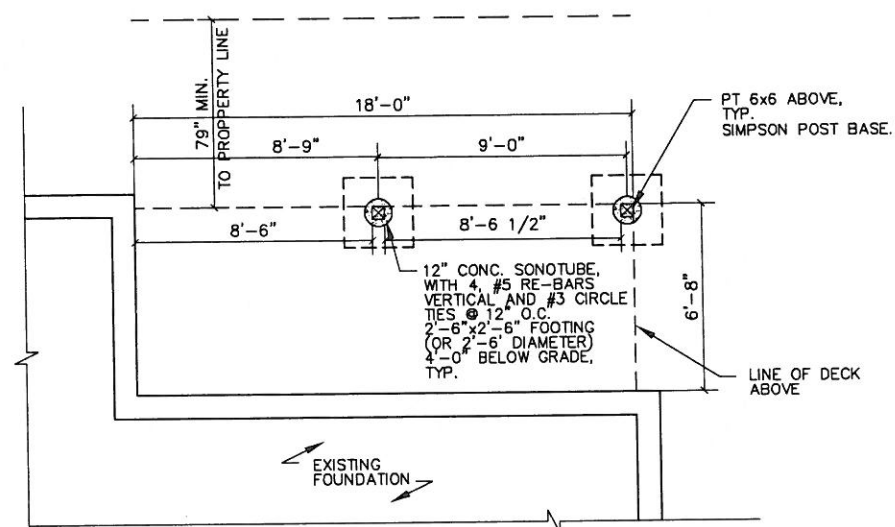
PROJECT # 20285

DRAWN BY: BR

CHECKED BY: JE

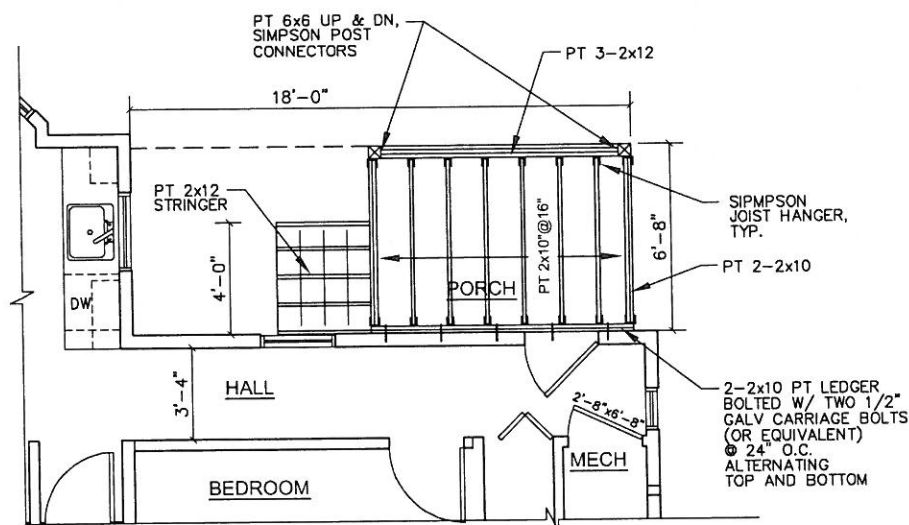
DRAWING #:

A-10

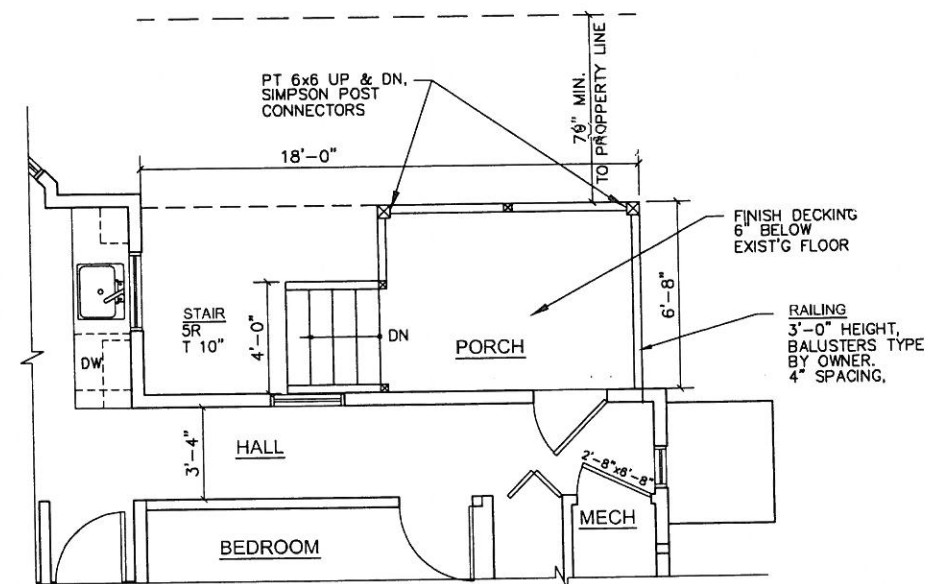


1
DECK
FOUNDATION PLAN
A-10 SCALE 1/4"=1'-0"

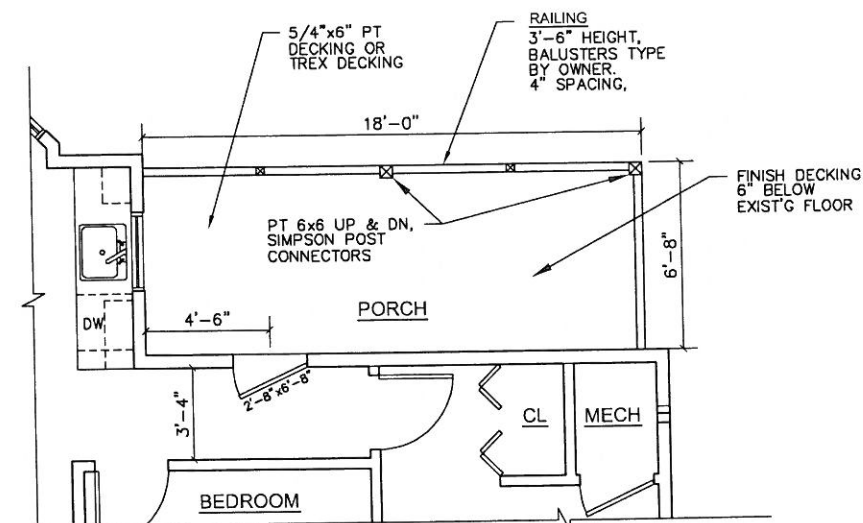
ALL FRAMING CONNECTORS-
SIMPSON STRONG-TIE



3
FIRST FLOOR
DECK FRAMING
A-10 SCALE 1/4"=1'-0"



2
FIRST FLOOR
DECK PLAN
A-10 SCALE 1/4"=1'-0"



4
SECOND FLOOR
DECK PLAN
A-10 SCALE 1/4"=1'-0"