

Sheet List					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
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A-000	Cover Sheet	02/11/2016	1	2-25-16	Revised Windows
2-LANDSCAPE					
L-100	Landscape Plan	01/27/2016			
3-ARCHITECTURAL					
A-010	Zoning & Survey Plans	02/11/2016			
EX-100	Existing Floor Plans & Elevations	02/11/2016			
D-100	Demo Plans & Elevations	02/11/2016			
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A-101	Unit 2- 2nd & 3rd Floor Plans	02/11/2016	1	2-25-16	Revised Windows
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AV-1	Streetscape	02/11/2016			
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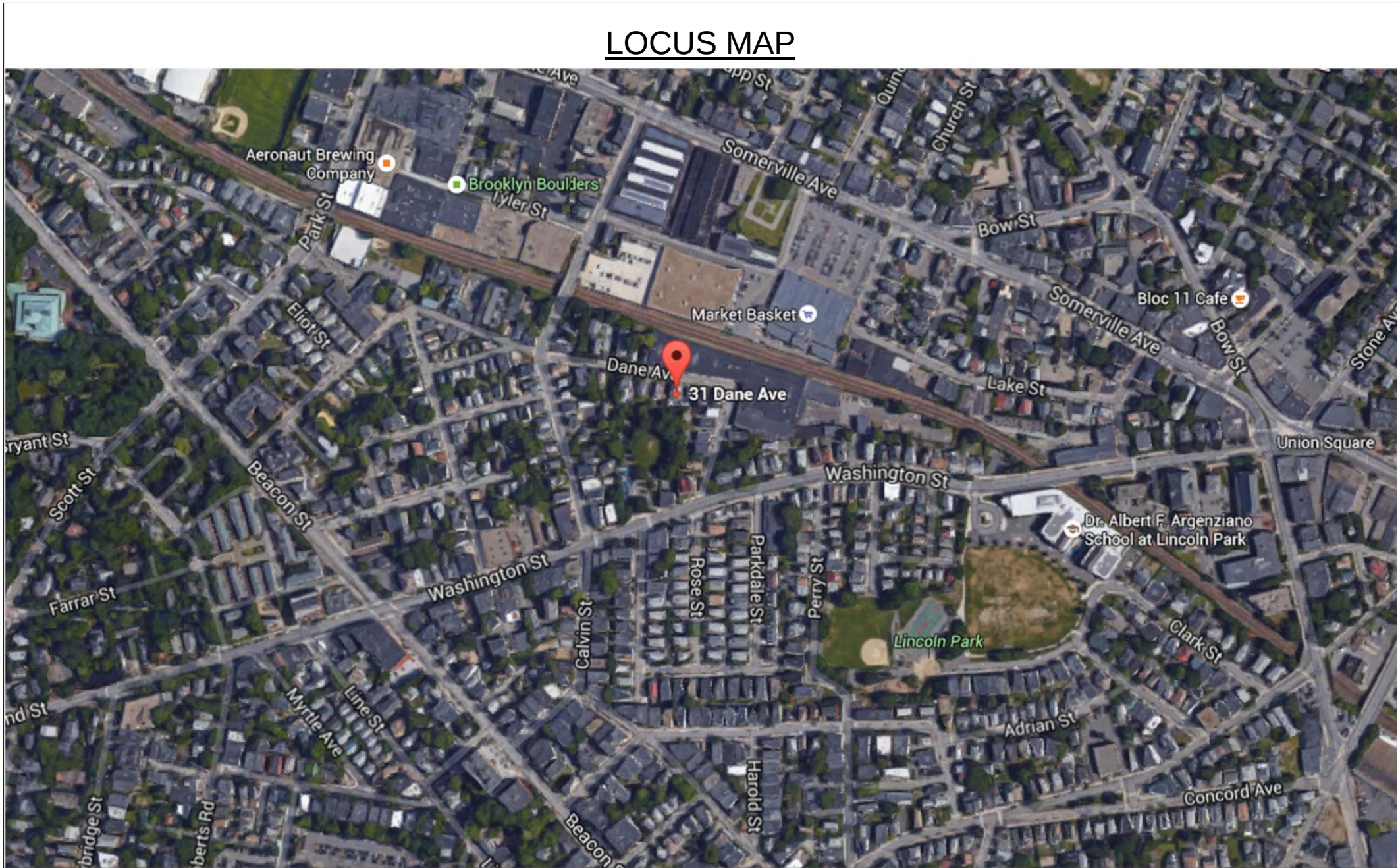
PROPOSED 31 DANE AVE
RESIDENCES

SPECIAL PERMIT SET
02-11-2016

ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

CLIENT
ANTHONY FAVA AND RYAN HUNT
11 Elkins Street, #250
SOUTH BOSTON, MA 02127
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Landscape
BLAIR HINES DESIGN ASSOCIATES
318 HARVARD ST. #25
Brookline, MA 02446
T: (617)-735-1180



PROJECT NAME

31 Dane Ave
Residences

PROJECT ADDRESS

31 Dane Ave,
Somerville, MA

CLIENT

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Hunt

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	15069
Date	02-11-2016
Drawn by	ERS/ CMH
Checked by	JSK
Scale	

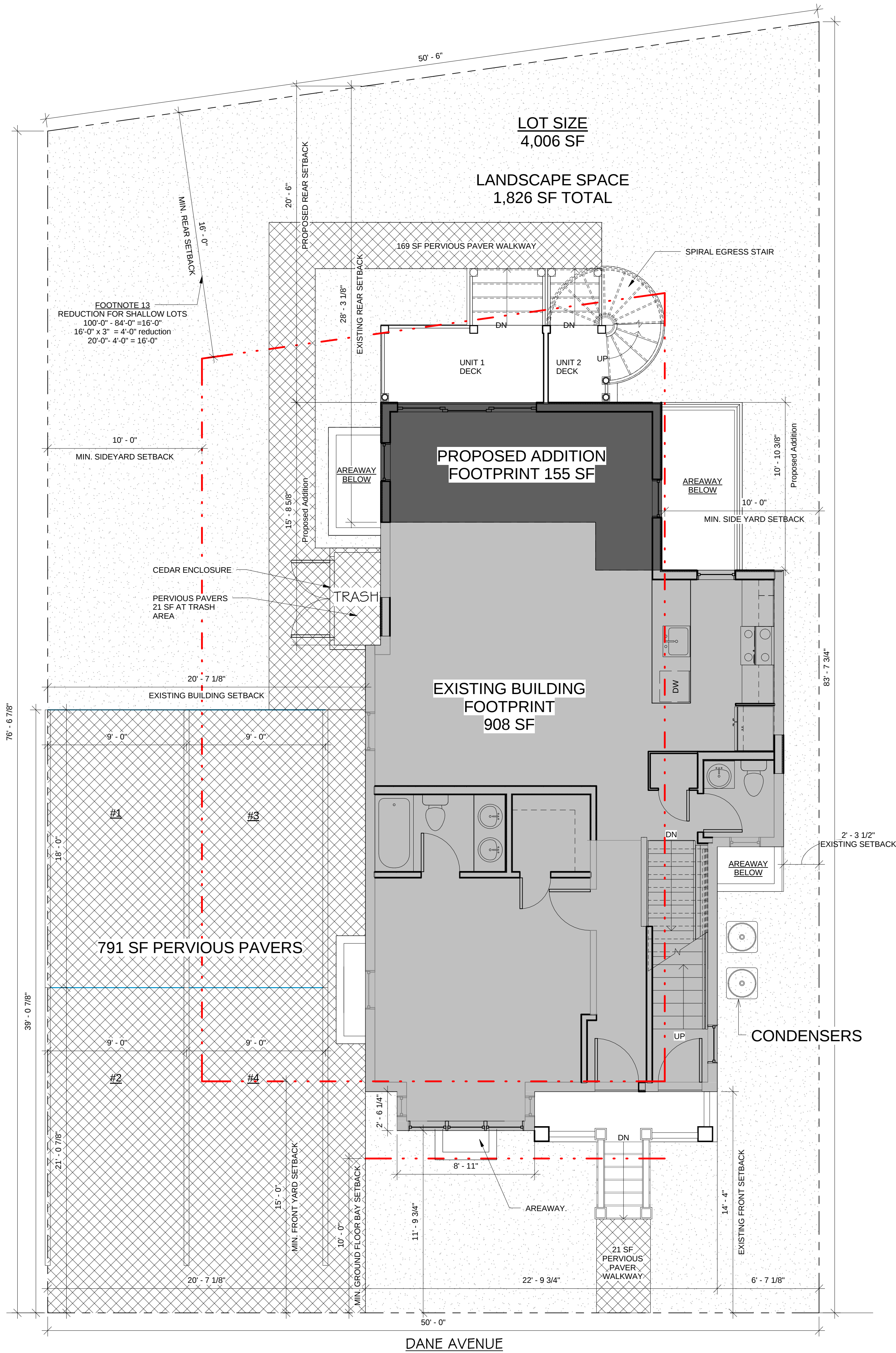
REVISIONS

No.	Description	Date
1	Revised Windows	2-25-16

Cover Sheet

A-000

31 Dane Ave Residences



KEY	
	USEABLE OPEN SPACE
	EXISTING BUILDING FOOTPRINT
	PROPOSED BUILDING FOOTPRINT
	PERVIOUS AREA
	PROPERTY LINE

ZONING CHART

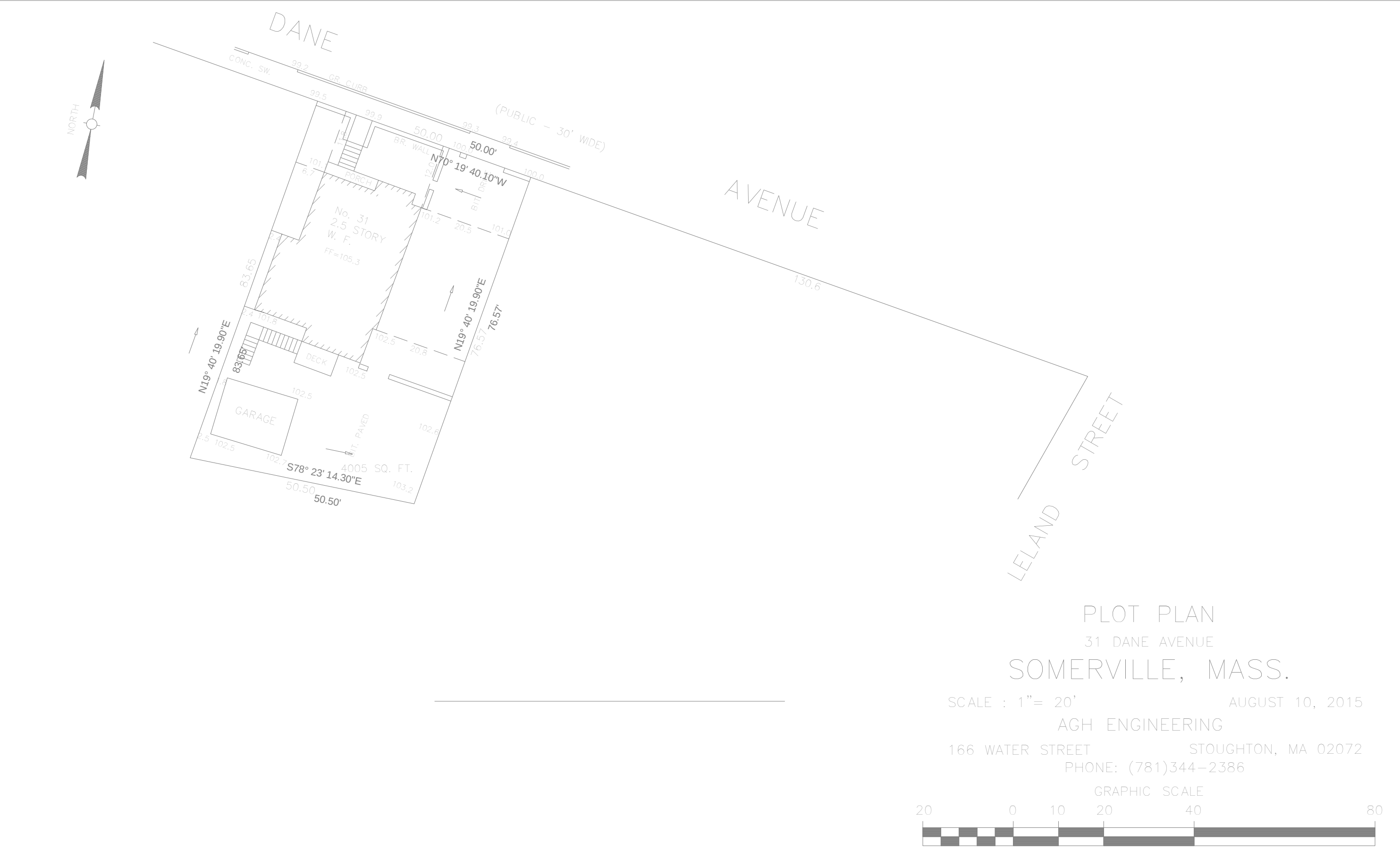
RB ZONE	REQUIRED	EXISTING	PROPOSED	REMARKS
MIN. LOT SIZE	7,500 SF	4,005 SF	4,005 SF	PRE-EXISTING/ NO CHANGE
LOT AREA/DU 1-9 DU	1,500 SF/DU	2,002.5 SF/DU	2,002.5 SF/DU	COMPLIES
FAR	1.0 (4,005 SF)	0.53/ 2,131 SF	0.94 / 3,800 SF	COMPLIES
MAX GROUND COVER	50% (2,002.5 SF)	25% / 989 SF	29% / 1,178 SF	COMPLIES
LANDSCAPE AREA	25% (1,001 SF)	12% (488 SF)	45% / 1,826 SF	COMPLIES
PERMEABLE AREA	35% (1,402 SF)	12% (488 SF)	65% / 2,638 SF	COMPLIES
MAX HEIGHT	40'-0" / 3ST	29'-10 1/2" / 3 ST	29'-10 1/2" / 3 ST	COMPLIES / NO CHANGE
FRONT SETBACK	15' OR STREET AVERAGE= 14'-4"	14'-4"	14'-4" (EXISTING BLDG.)	COMPLIES/ NO CHANGE
LEFT SIDE SETBACK	MIN SIDE SB=10'	20'-7"	20'-7"	COMPLIES/ NO CHANGE
RIGHT SIDE SETBACK	MIN LSB+RSB=20'	2'-3 1/2"	2'-3 1/2"(EXISTING BLDG)	PRE-EXISTING/ NO CHANGE
REAR SETBACK	16'-0" (FOOTNOTE 13) REDUCTION FOR SHALLOW LOTS: 100'-84= 16' X 3'= 4'-0" 20'-0" - 4'-0"= 16'-0"	28'-3"	20'-6"	COMPLIES
FRONTAGE	50'	50'	50'	COMPLIES/ NO CHANGE
PARKING	1.5 PER DU W/ 1-2 BEDROOMS 2 PER DU W/ 3+ BEDROOMS EXISTING- 3.5 REQUIRED PROPOSED- 4 REQUIRED	4 SPACES (TANDEM)	4 SPACES (TANDEM)	COMPLIES

Area (F.A.R.)			
Name	Level	Area	Existing Area
UNIT 1	Basement	975 SF	0 SF
UNIT 1	First Floor Level	1010 SF	863 SF
UNIT 2	Second Floor Level	1016 SF	803 SF
UNIT 2	Third Floor Level	799 SF	465 SF
TOTAL		3800 SF	2131 SF

EXISTING GROSS FLOOR AREA		PROPOSED GROSS FLOOR AREA	
Basement:	789 SF	Basement:	1,051 SF
First Floor:	908 SF	First Floor:	1,063 SF
Second Floor:	886 SF	Second Floor:	1,063 SF
Third Floor:	660 SF	Third Floor:	1,022 SF
Total:	3,243 SF	Total:	4,199 SF

4,199 PROPOSED GSF - 3,243 EXISTING GSF= 956 GSF INCREASE
956 GSF INCREASE / 3,243 EXISTING GSF= 29.4% GSF INCREASE

Section 4.4 - Nonconforming Structures.
4.4.1. Alteration, Reconstruction, Extension, or Structural Change to a Nonconforming Structure.
As provided in M.G.L. c.40A, § 6, as amended, the alteration, reconstruction, extension or structural change to a nonconforming single or two-family residential structure shall not be considered an increase in the nonconforming nature of the structure and shall be permitted as a matter of right upon a determination by the building inspector or the Zoning Administrator under the following circumstances:
(i) Alteration, reconstruction, extension, or structural change to a one- or two-family structure that complies with the dimensional requirements of the zoning ordinance in effect at the time of the application, but is located on a lot with insufficient area, and provided any such alteration, reconstruction, extension or structural change remains in compliance with all current dimensional requirements and does not increase the Gross Floor Area (GFA) of the dwelling by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance.
(ii) Alteration, reconstruction, extension or structural change to a nonconforming one- or two-family structure not affecting the nonconforming aspect of the one- or two-family structure and where the alteration, reconstruction, extension, or structural change will comply with all current dimensional requirements of the zoning ordinance, and provided any such alteration, reconstruction, extension or structural change does not increase the Gross Floor Area of the dwelling by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance.
Lawfully existing one- and two-family dwellings which are used only as residences, which are nonconforming with respect to dimensional requirements, may be enlarged, expanded, renovated, or altered by special permit granted by the SPGA in accordance with the procedures of Article 5, when any such enlargement, extension, renovation or alteration increases the nonconforming nature of the structure or the Gross Floor Area of the dwelling is increased by more than twenty-five percent (25%). For the purposes of this definition all percentages of increase shall be cumulative and calculated from square footages existing on the effective date of this ordinance. The SPGA, as a condition of granting a special permit under this Section must find that such extension, enlargement, renovation or alteration is not substantially more detrimental to the neighborhood than the existing nonconforming structure.



3 Survey Plan
1" = 20'-0"

PROJECT NAME
31 Dane Ave Residences

PROJECT ADDRESS
**31 Dane Ave,
Somerville, MA**

CLIENT
**Anthony Fava & Ryan
Hunt**

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number	15069
Date	02-11-2016
Drawn by	CMH / ERS/ TMC
Checked by	JSK
Scale	As indicated

REVISIONS		
No.	Description	Date

Zoning & Survey
Plans

A-010
31 Dane Ave Residences

PROPOSED PLANT LIST					
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AG	1	Acer griseum	Paperbark Maple	2.5"-3" cal.	B&B
AL	1	Amelanchier laevis	Serviceberry	6-7' ht.	B&B
LT	1	Liriodendron tulipifera	Tuliptree	2.5"-3" cal.	B&B
TS	1	Thuja occidentalis 'Smargd'	Emerald Green Arborvitae	6-7' ht.	B&B
SHRUBS					
HA	4	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	
IG	4	Ilex glabra	Inkberry	5 gal.	
SJ	8	Spirea japonica	Japanese Spirea	5 gal.	
SP	5	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	B&B
VD	1	Viburnum denatum 'Blue Muffin'	Blue Muffin Viburnum	5 gal.	
PERENNIALS/GRASSES					
AM	7	Achillea millefoloum 'Apple Blossom'	Yarrow	2 gal.	Pots
CA	3	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal.	Pots
HE	7	Hemerocallis 'Stella D'Oro'	Everblooming Daylily	2 gal.	Pots
NF	10	Nepeta faassenii	Catmint	2 gal.	Pots
PA	6	Penniseum alopecuroides 'Little Bunny'	Dwarf Fountain Grass	1 gal.	Pots
VM	65	Vinca minor 'Sterling Silver'	Variegated Myrtle	1 gal.	Pots,

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the approval of the Landscape Architect.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



1' Sq. Pervious Pavers

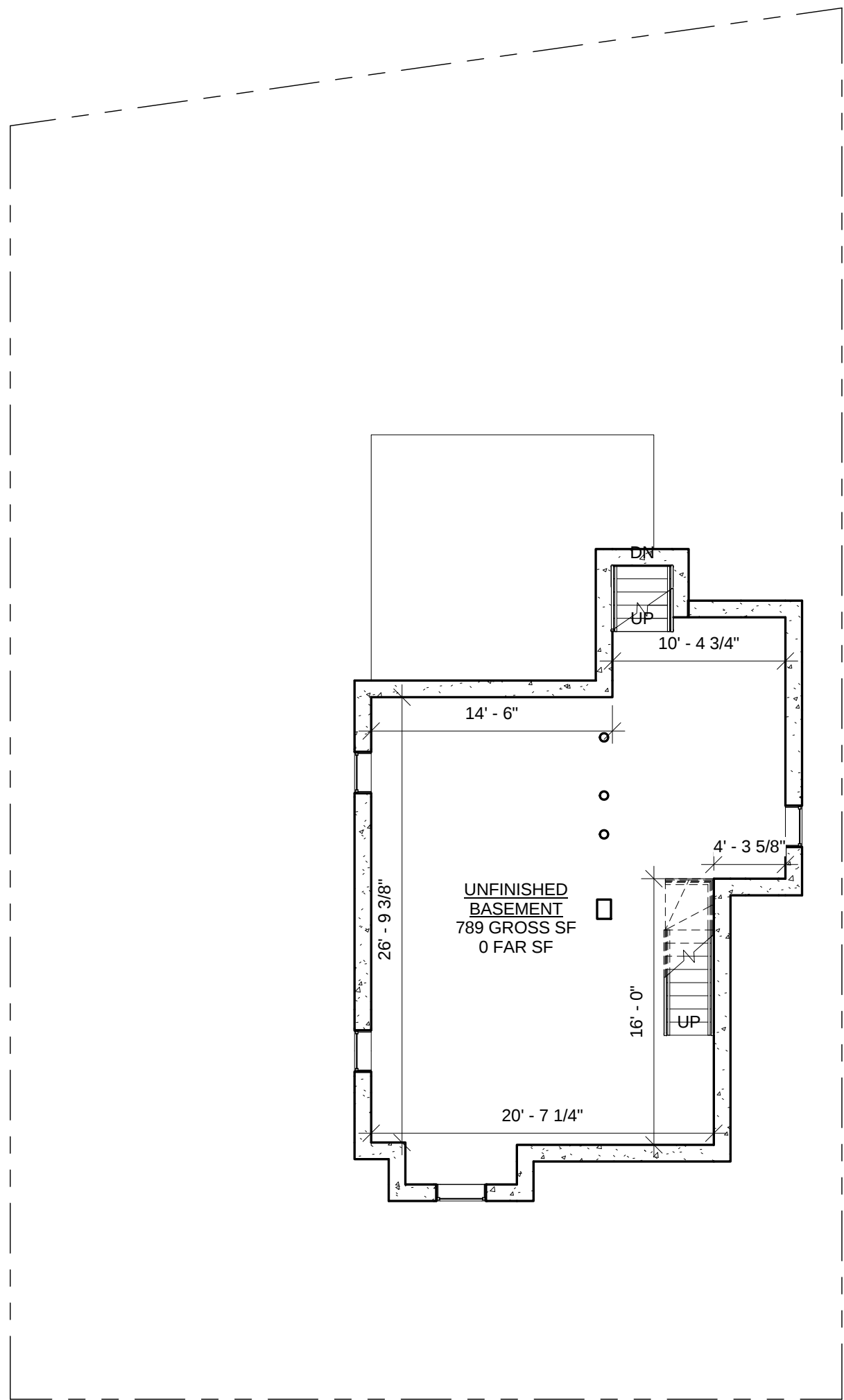


Vertical Fence with Arbor + Gate

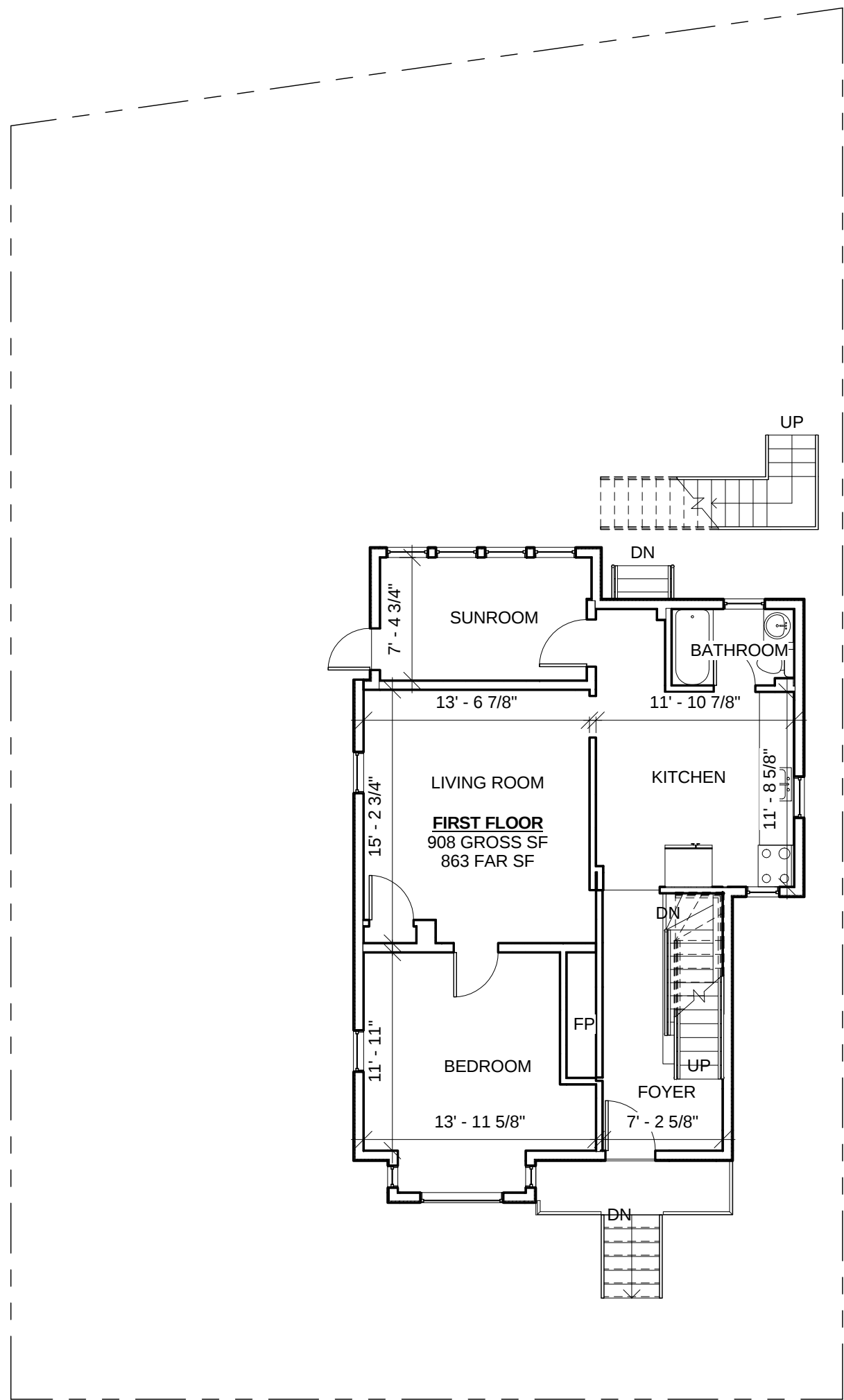


Wood Picket Fence

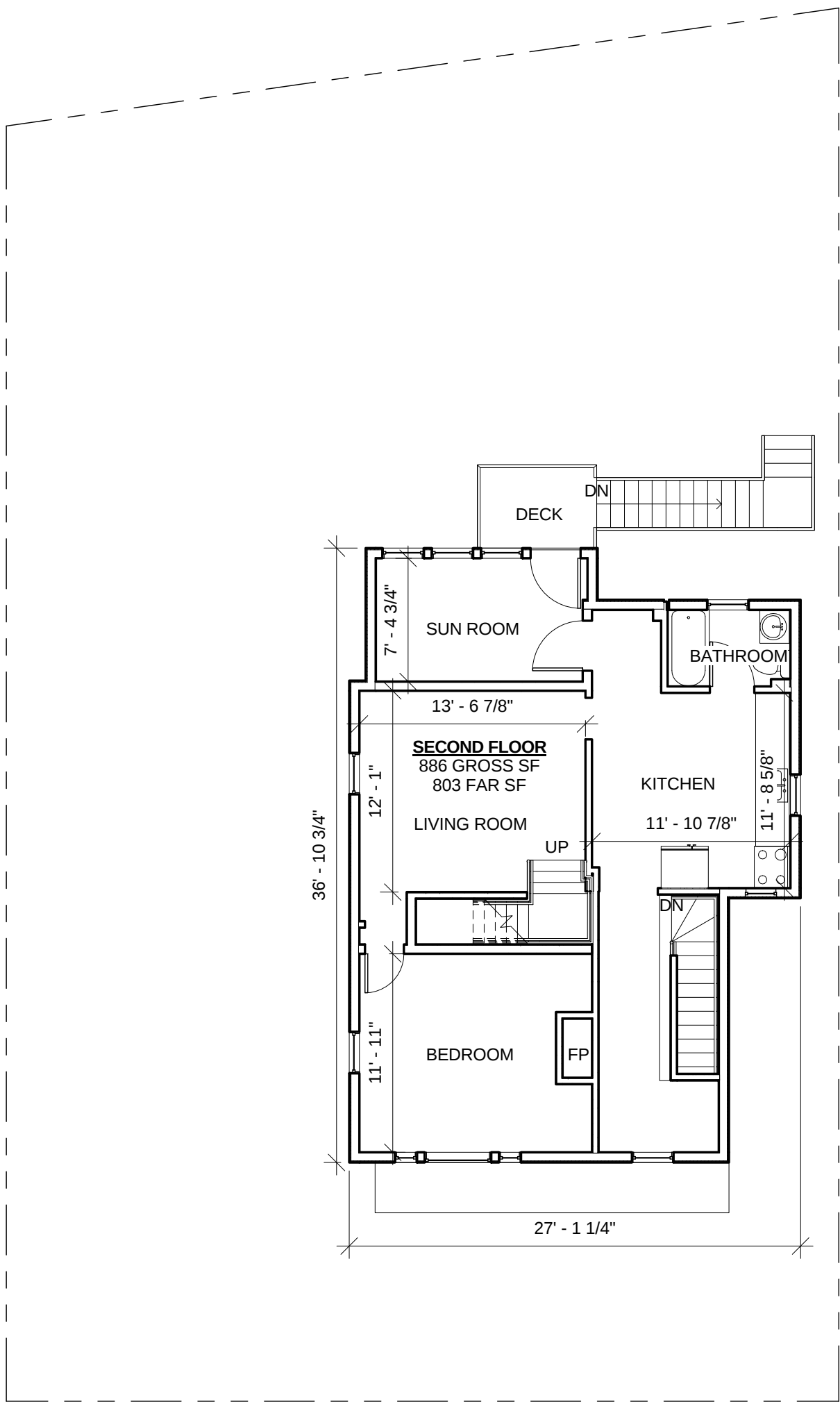




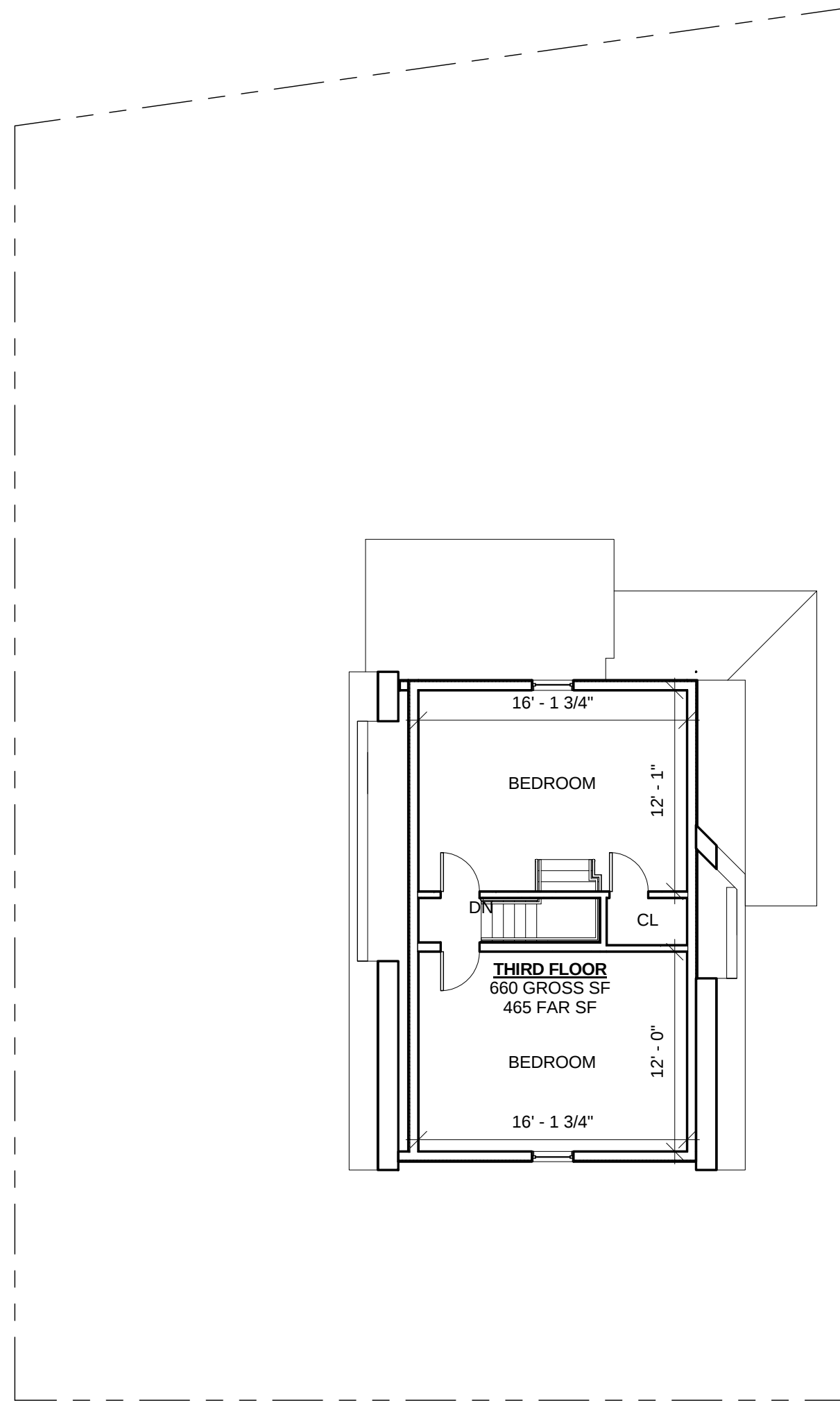
① Existing Basement
1/8" = 1'-0"



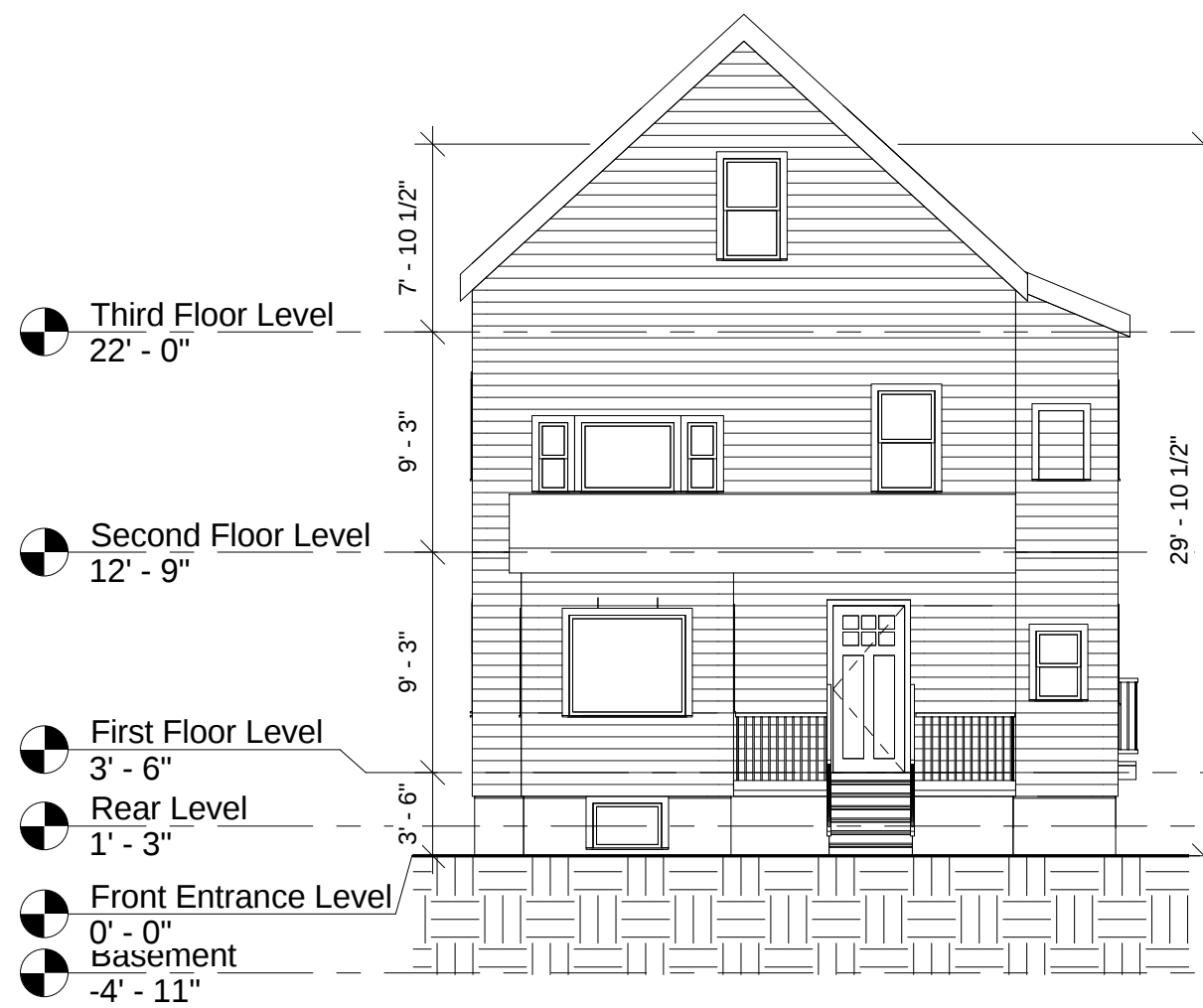
② Existing First Floor Level
1/8" = 1'-0"



③ Existing Second Floor Level
1/8" = 1'-0"



④ Existing Third Floor Level
1/8" = 1'-0"



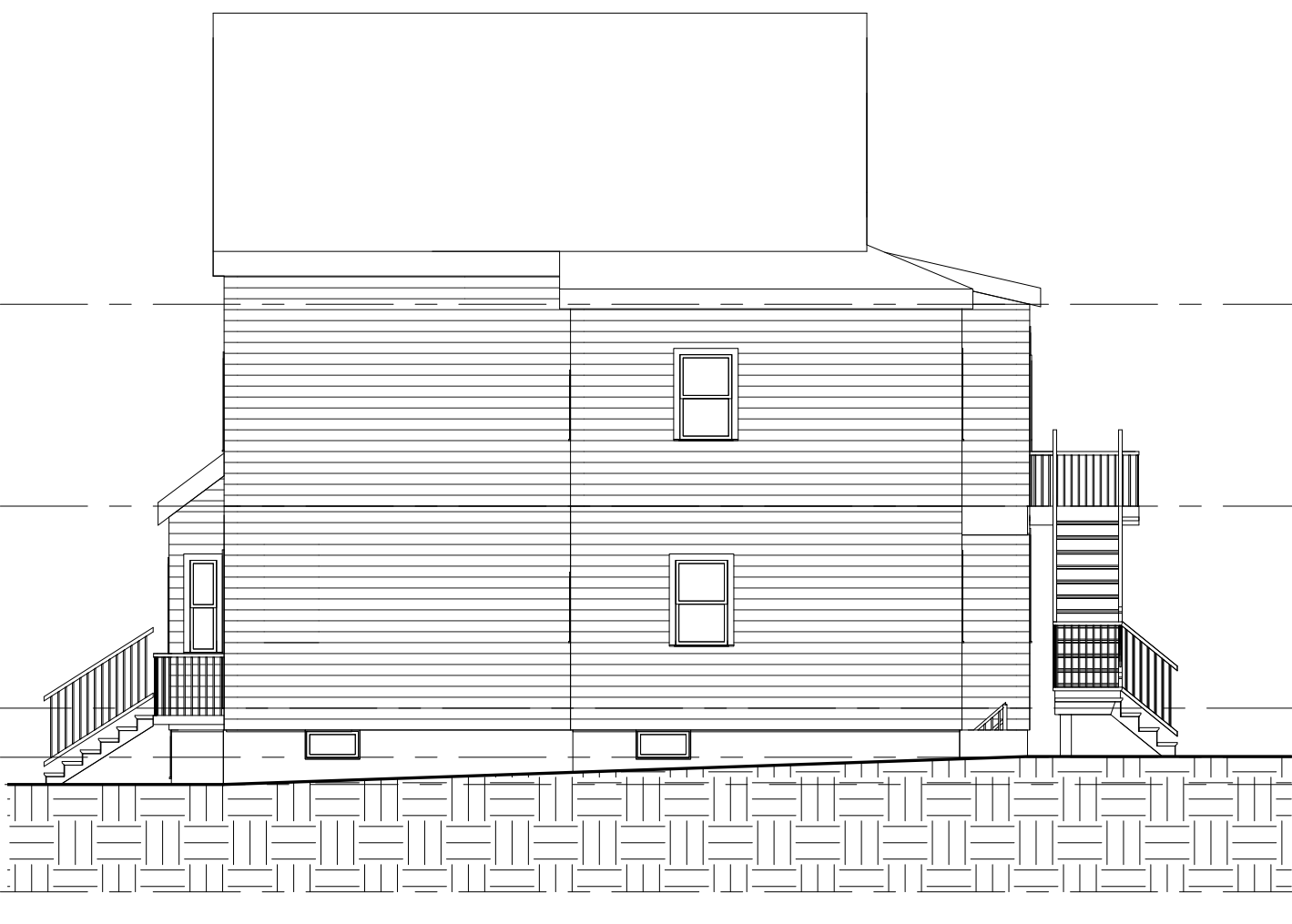
⑤ Existing North Elevation
1/8" = 1'-0"



⑥ Existing East Elevation
1/8" = 1'-0"



⑦ Existing South Elevation
1/8" = 1'-0"



⑧ Existing West Elevation
1/8" = 1'-0"

WALL LEGEND

	NEW
	EXISTING
	DEMOLISHED

PROJECT NAME

31 Dane Ave
Residences

PROJECT ADDRESS

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CLIENT

Anthony Fava & Ryan
Hunt

ARCHITECT

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CONSULTANTS:

REGISTRATION



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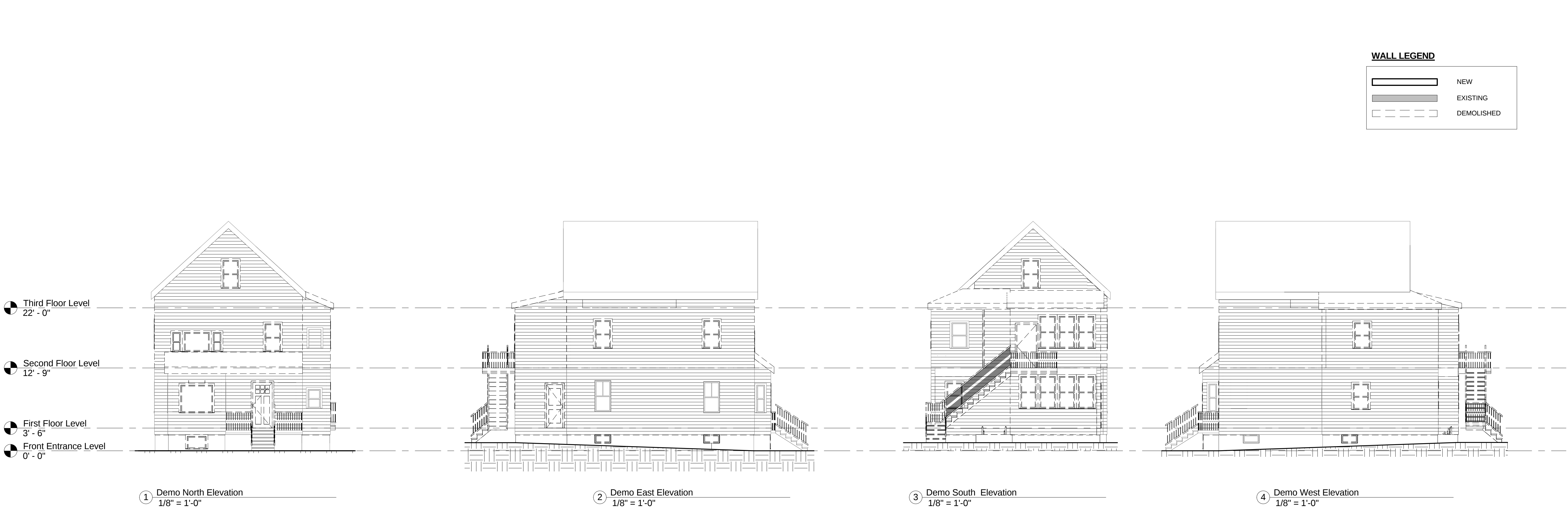
REVISIONS

No.	Description	Date

Existing Floor
Plans & Elevations

EX-100

31 Dane Ave Residences



PROJECT NAME

**31 Dane Ave
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Hunt**

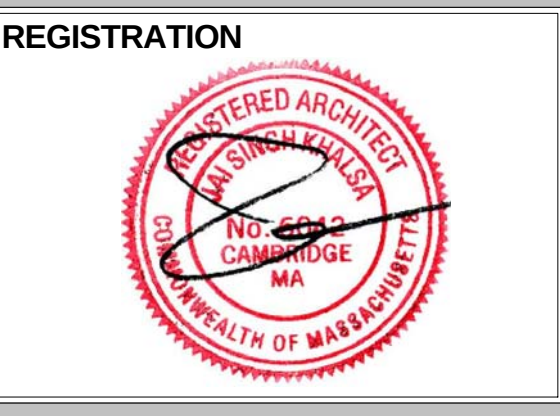
ARCHITECT

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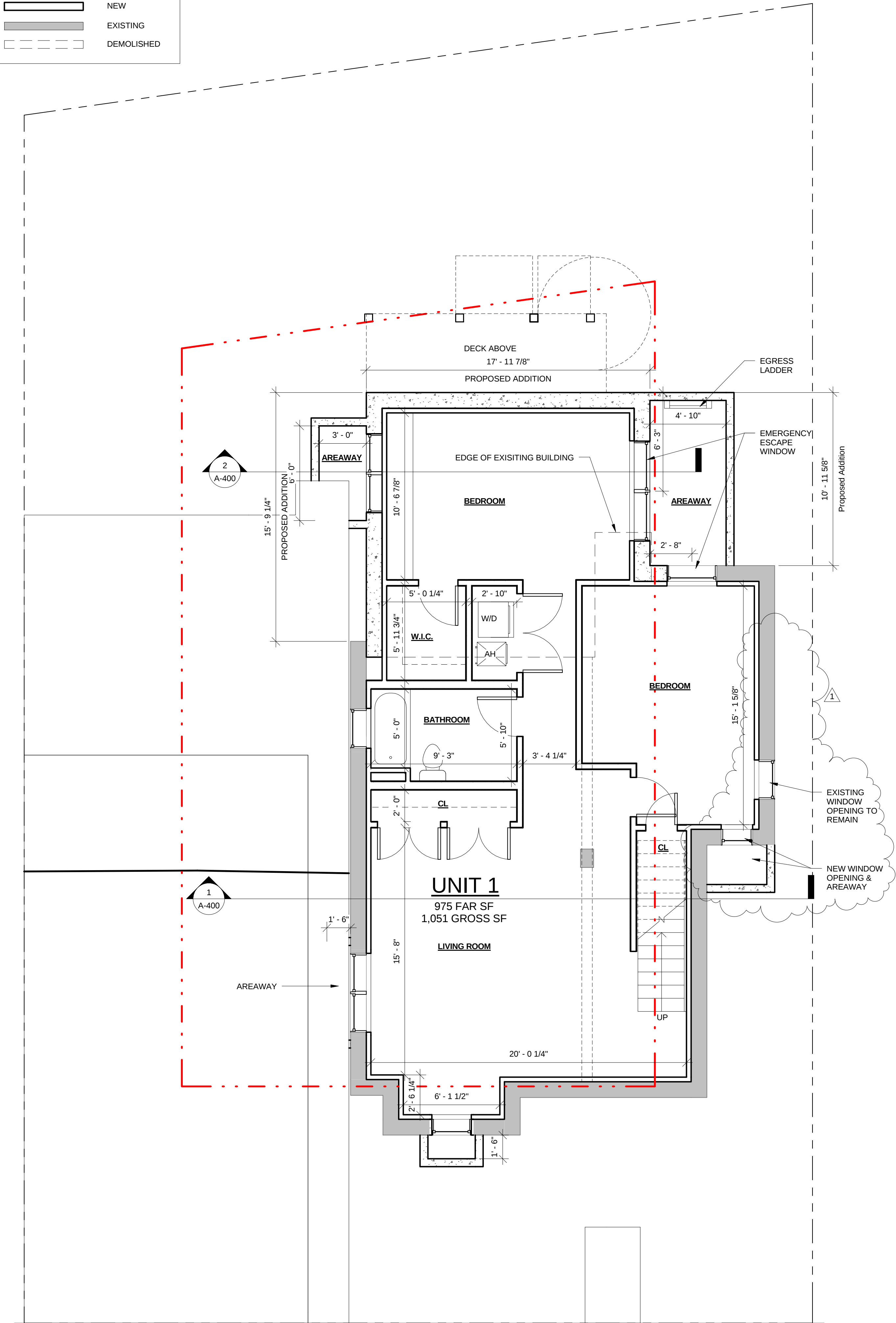
**Demo Plans &
Elevations**

D-100

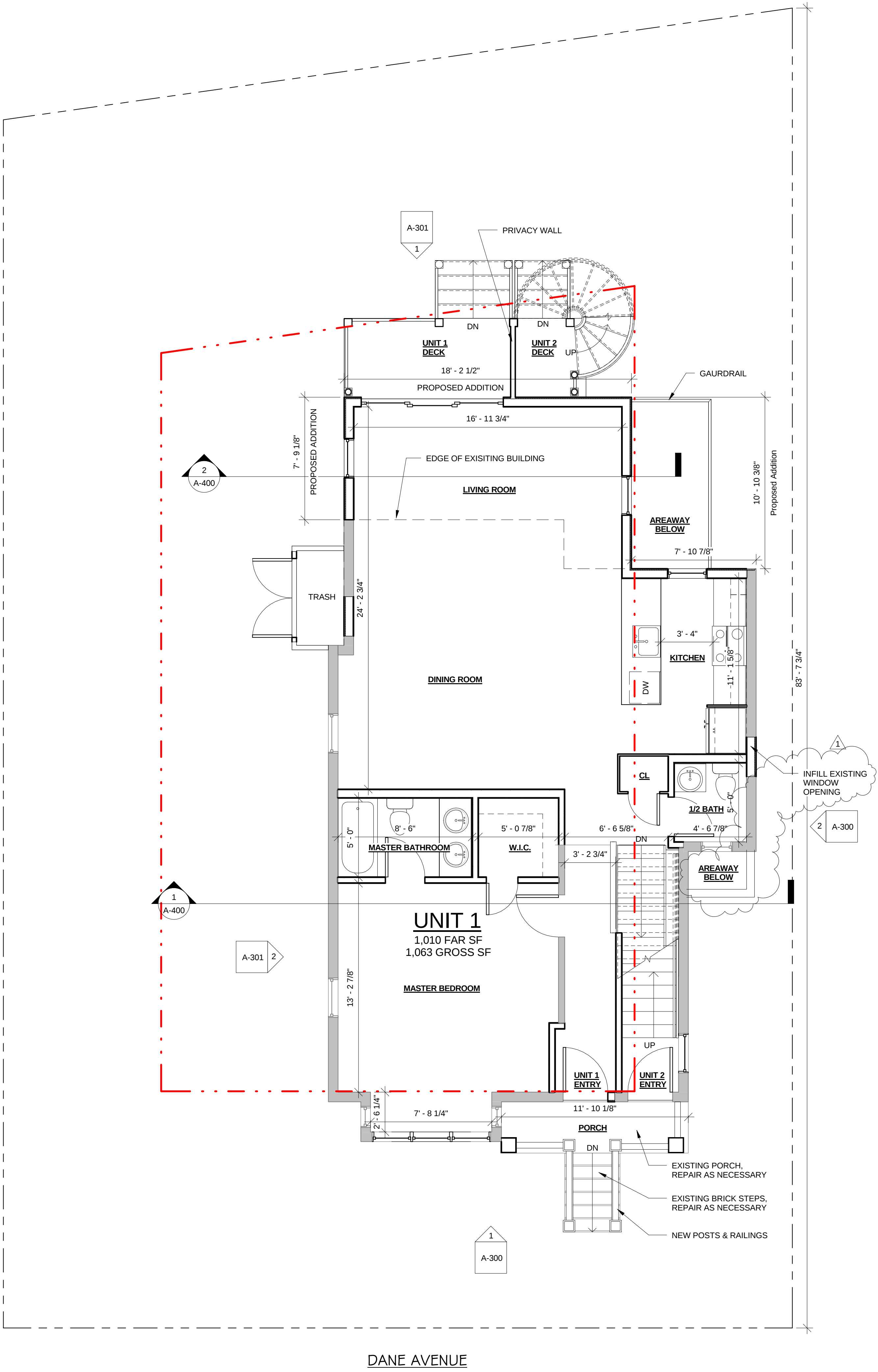
31 Dane Ave Residences

WALL LEGEND

	NEW
	EXISTING
	DEMOLISHED



② Basement
1/4" = 1'-0"



① First Floor Level
1/4" = 1'-0"

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Scale	1/4" = 1'-0"

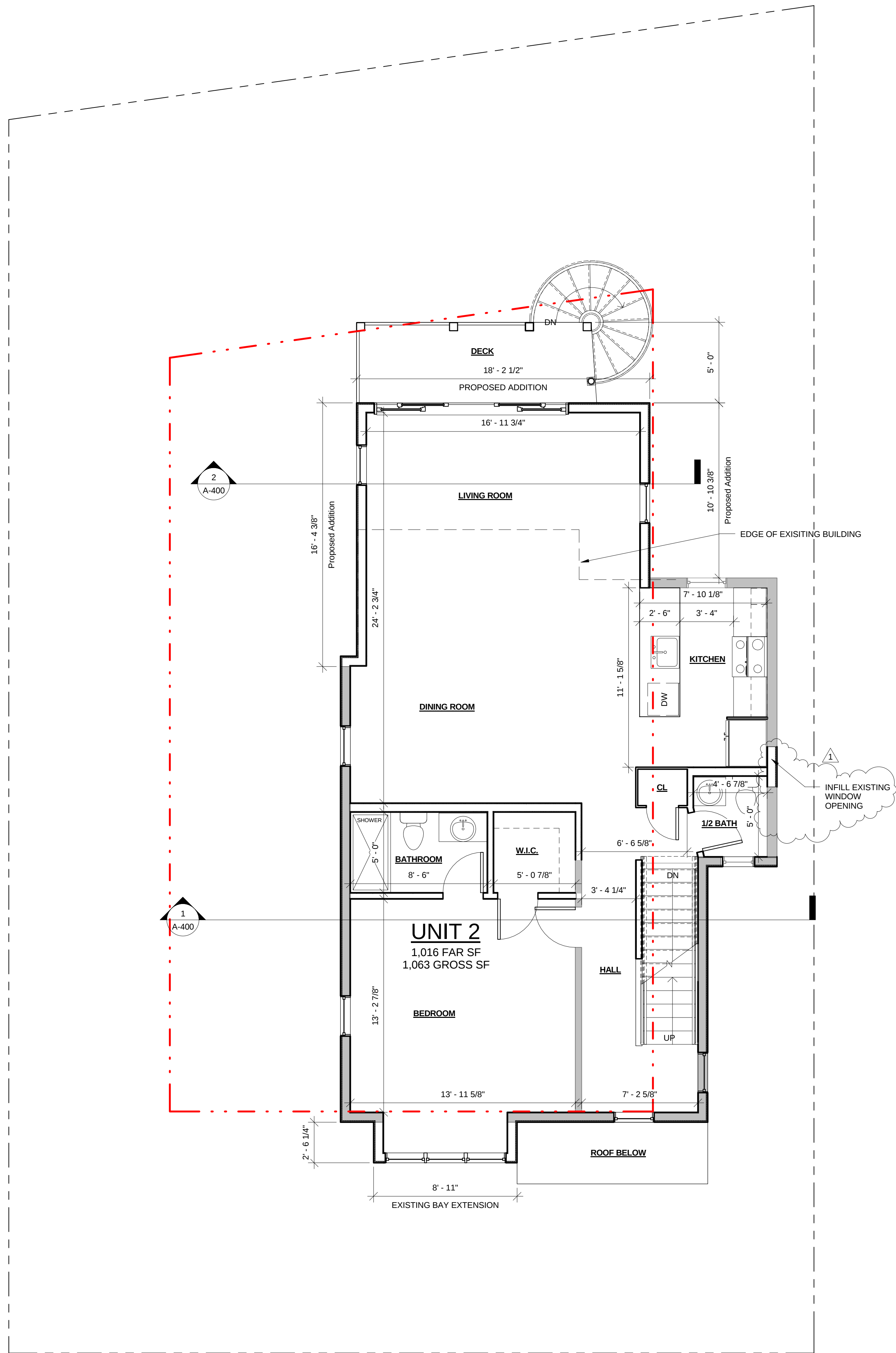
REVISIONS

No.	Description	Date
1	Revised Windows	2-25-16

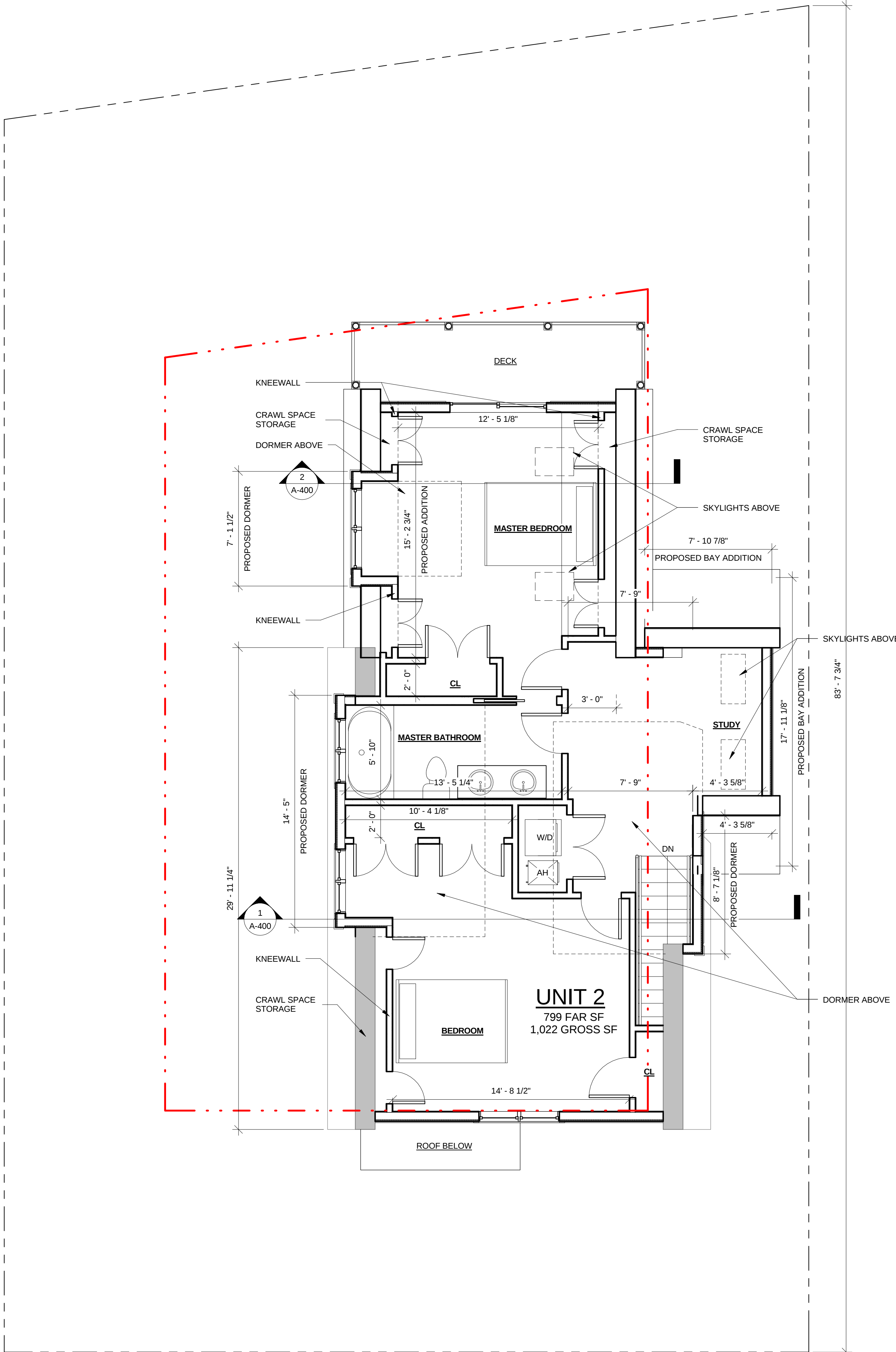
Unit 1- Basement
& 1st Floor Plans

A-100

31 Dane Ave Residences



② Second Floor Level
1/4" = 1'-0"



① Third Floor Level
1/4" = 1'-0"

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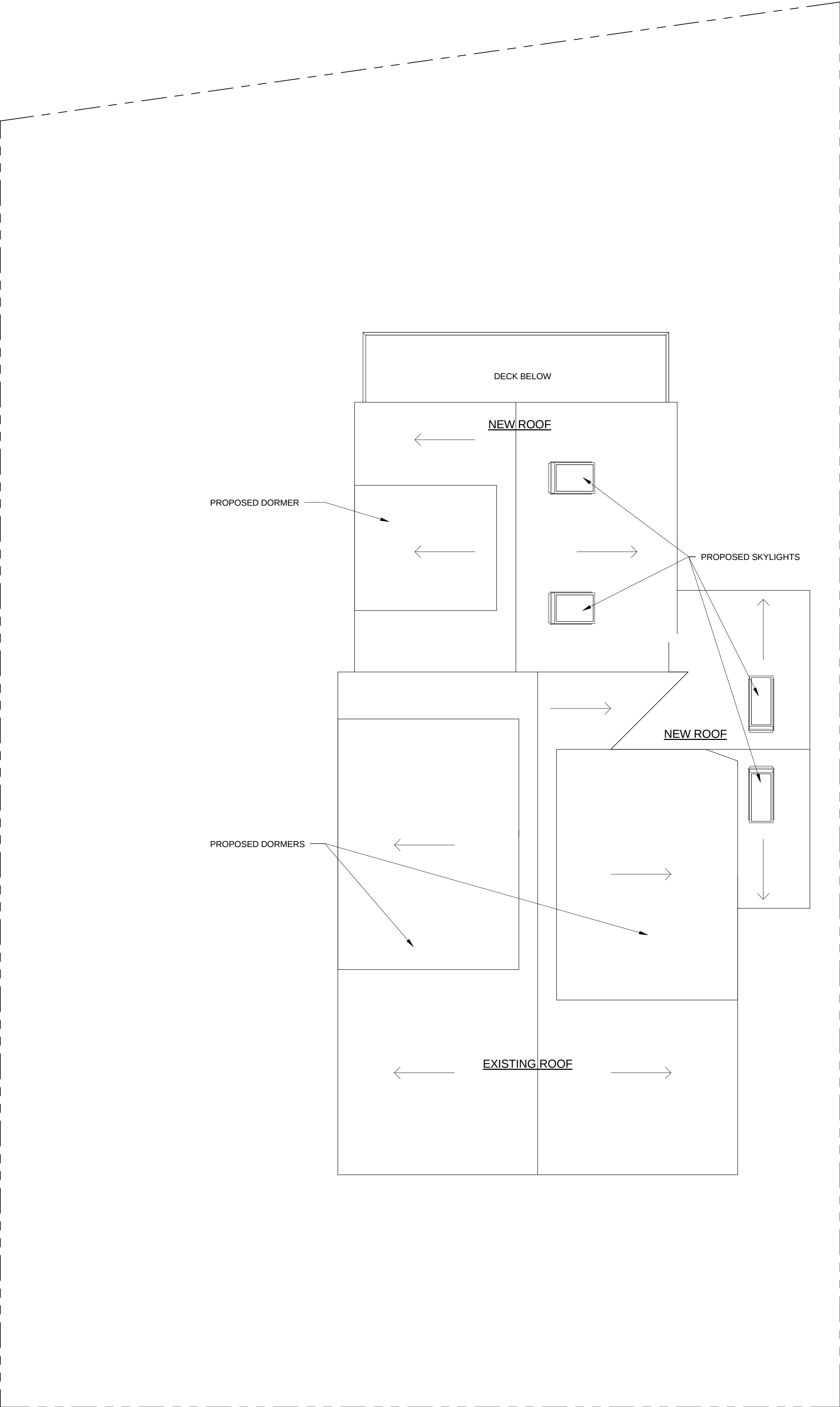
REVISIONS

No.	Description	Date
1	Revised Windows	2-25-16

**Unit 2- 2nd & 3rd
Floor Plans**

A-101

31 Dane Ave Residences



1 Proposed Roof
1/4" = 1'-0"

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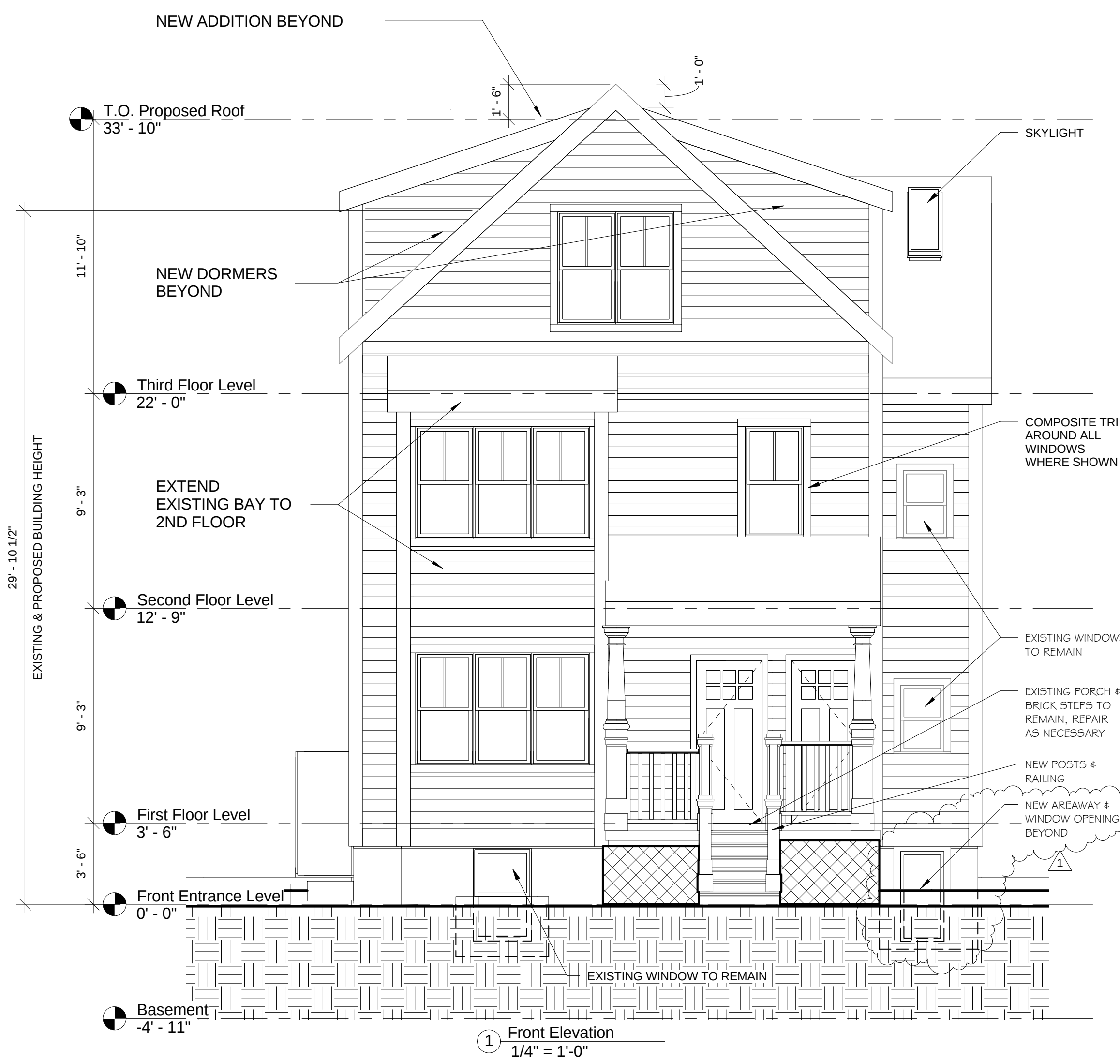
REVISIONS

No.	Description	Date

Roof Plan

A-102

31 Dane Ave Residences



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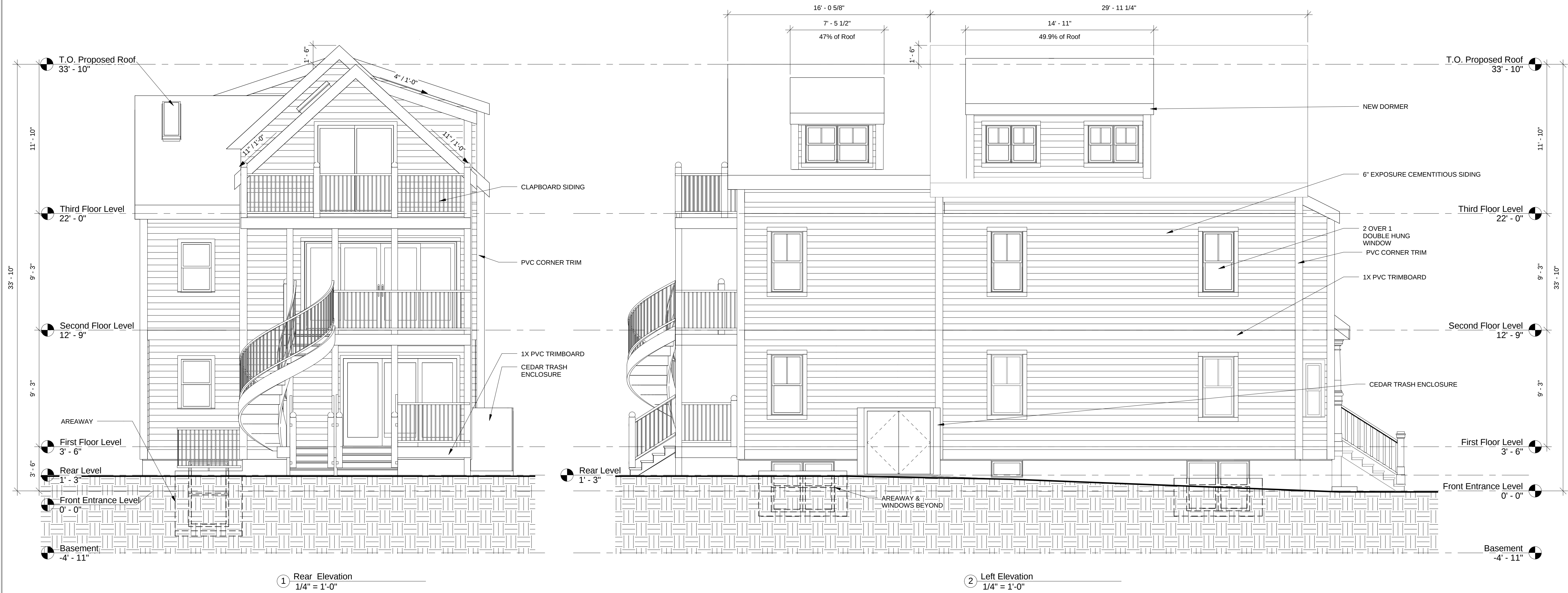
REVISIONS

No.	Description	Date
1	Revised Windows	2-25-16

North & West
Exterior Elevations

A-300

31 Dane Ave Residences



① Rear Elevation
1/4" = 1'-0"

② Left Elevation
1/4" = 1'-0"

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Scale	1/4" = 1'-0"

REVISIONS

No.	Description	Date

South & East
Exterior Elevations

A-301

31 Dane Ave Residences

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31 Dane Ave
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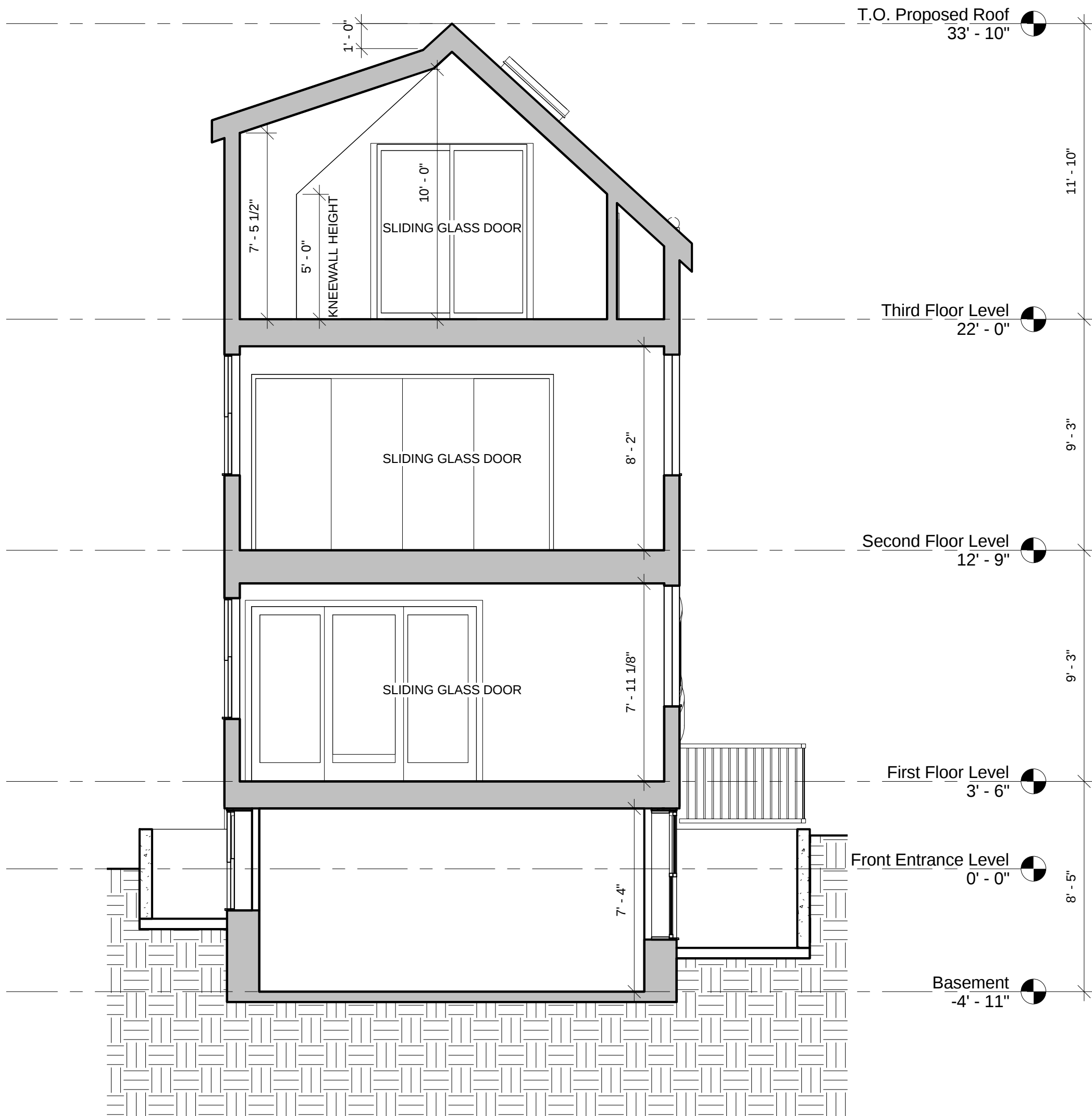
Building Sections

A-400

31 Dane Ave Residences



1 Front Section
1/4" = 1'-0"



2 Rear Section
1/4" = 1'-0"



① Northwest Corner



② Northeast Corner



③ Southeast Corner



④ Southwest Corner

WINDOWS REVISED

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Perspectives

AV-0

31 Dane Ave Residences



#31

DANE AVEUNE



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REVISIONS

No.	Description	Date

Streetscape

AV-1

31 Dane Ave Residences



Existing



Proposed

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Somerville, MA

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CMH

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Rendering

AV-2

31 Dane Ave Residences