

November 3, 2016

Mr. Kevin Prior, Chair
Somerville Planning Board
City Hall
93 Highland Avenue
Somerville, MA 02143

Via: Hand Delivery

Reference: Dawes Street Design and Site Plan Review
NorthPoint
Somerville, Massachusetts
B+T Project No. 2084.02

Dear Chairman Prior and Members of the Board:

On behalf of the Applicant, DW NP Property, LLC (an affiliate of DivcoWest), Beals and Thomas, Inc. respectfully submits this Design and Site Plan Review (DSP) Application for Dawes Street (the Site), which is part of the larger NorthPoint development partially located in Somerville, Massachusetts. The proposed development is the construction of an approximately 415-foot section of thoroughfare located in Somerville. Dawes Street will be a newly constructed thoroughfare as part of the larger NorthPoint roadway network.

The attached application is submitted in accordance with the City of Somerville requirements for Design and Site Plan Review, pursuant to Section 5.4 of the City of Somerville Zoning Ordinance (SZO).

As part of the DSP Application, we have submitted the following materials for review by the Somerville Planning Board:

- Completed Application for Design and Site Plan Submission;
- Legal Description of the Property;
- Property Title Report;
- Property Deed;
- Locus Map;
- Requested Waivers;
- Development Plan;
- Construction Management Program;
- Twenty-scale Site Plans and Details;
- Traffic Management Plans; and
- Utility and Slope Cross Sections.

CONTACT INFORMATION OF THE DEVELOPMENT TEAM

Owner/Applicant:

DivcoWest
One Kendall Square
Suite B3201
Cambridge, MA 02139
Mark Johnson, Director of Development
(617) 914-8600
mjohnson@divcowest.com

Development Advisor:

The HYM Investment Group, LLC
One Congress Street
11th Floor
Boston, MA 02114
Michael L. Barowsky, Vice President -
Development
(617) 248-8905
mbarowsky@hyminvestments.com

Traffic Engineer:

Vanasse Hangen Brustlin, Inc.
99 High Street, 10th Floor
Boston, MA 02110
Susan P. Sloan-Rossiter, Principal
(617) 607-2930
ssloanrossiter@vhb.com

Landscape Architect:

Michael Van Valkenburgh Associates, Inc.
231 Concord Avenue
Cambridge, MA 02138
Herb Sweeney, Senior Associate
(617) 864-2076
hsweeney@mrvainc.com

Civil Engineer:

Beals and Thomas, Inc.
144 Turnpike Road
Southborough, MA 01772
John P. Gelcich, Senior Planner
(508) 366-0560
jgelcich@bealsandthomas.com

Legal Counsel:

Goulston & Storrs, PC
400 Atlantic Avenue
Boston, MA 02110
Deborah S. Horwitz, Esquire
(617) 574-4123
dhorwitz@goulstonstorrs.com

Legal Counsel:

Galluccio & Watson, LLP
1498 Cambridge Street
Cambridge, MA 02139
Anthony D. Galluccio, Partner and Founder
(617) 945-2577
anthonygalluccio@comcast.net

LEGAL DESCRIPTION OF PROPERTY

Three certain parcels of land in the Commonwealth of Massachusetts, County of Middlesex, City of Somerville, situated on the southeasterly boundary of the City of Somerville common with the City of Cambridge and shown in part on a plan recorded at the Middlesex County Registry of Deeds as plan 937 of 2012. More particularly bounded and described as follows:

First Parcel

Beginning at a point at the most northeasterly corner of the parcel herein described, thence running;

Westerly 1026 feet more or less by the city boundary between the City of Somerville and City of Cambridge, said course being by the centerline of the former Millers River channel, to a point, thence turning and running;

S 81° 14' 38" E 488 feet more or less to a point, thence turning and running;

S 77° 22' 25" E 264 feet more or less to the point of beginning, said last two courses being by land now or formerly of MBTA.

Containing 3.46 acres, more or less.

Second Parcel

Beginning at a point at the most northeasterly corner of the parcel herein described, said point being N 81° 14' 38" W 327 feet more or less from the most westerly corner of the first parcel, thence running;

Westerly 579 feet more or less by the city boundary between the City of Somerville and City of Cambridge, said course being by the centerline of the former Millers River channel, to a point, thence turning and running;

S 81° 14' 38" E 521 feet more or less to the point of beginning, said last course being by land now or formerly of MBTA.

Containing 0.87 acres, more or less.

Third Parcel

Beginning at a point at the most northeasterly corner of the parcel herein described, said point being N 81° 14' 38" W 258 feet more or less from the most westerly corner of the second parcel, thence running;

Westerly 317 feet more or less by the city boundary between the City of Somerville and City of Cambridge, said course being by the centerline

of the former Millers River channel, to a point, thence turning and running;

N 02° 23' 37" W 28 feet more or less to a point, thence turning and running;

S 67° 40' 27" E 42.82 feet to a point, thence turning and running;

S 81° 14' 38" E 203 feet more or less to the point of beginning, said last three courses being by land now or formerly of MBTA.

Containing 0.37 acres, more or less.

ZONING CONFORMANCE REVIEW

The Site is located in the North Point Special District and is subject to the requirements of Section 6.6 – North Point Special District of the SZO. Dawes Street has been designed in conformance with Section 6.6.5 – Thoroughfares.

There are no legal judgments, action, covenants, conditions, or restrictions that control the proposed development.

REQUESTED WAIVERS OR VARIANCES

DivcoWest is seeking approval of a waiver from Section 6.6.5.C.4.c of the SZO, requiring street trees to be *“planted within the furnishing zone in a regularly-spaced allee pattern no greater than thirty (30) feet on center”* to Section 6.6.5.C.4.f of the SZO, allows for a waiver from street tree requirements to be granted by the Planning Board if the sidewalk is located in front of a terminated vista. The portion of sidewalk for which this waiver is requested is in front of North First Street, a terminated vista.

DEVELOPMENT PLAN

A development plan for construction is attached to this application.

A construction management program is included as part of this application.

We have included a check made out to the City of Somerville in the amount of \$2,080.00 as required for the filing fees associated with Design and Site Plan Review, as well as a check in the amount of \$350.00 for the legal advertisement fee and \$25.00 for the abutter notification fee. We understand that the Planning Director will provide the requisite notice to Parties in Interest advertising the public hearing associated with this request.

Mr. Kevin Prior, Chair
Somerville Planning Board
November 3, 2016
Page 5

We look forward to meeting with the Planning Board to review and discuss the proposed project.
Thank you for your consideration of this application.

Very truly yours,

BEALS AND THOMAS, INC.

John P. Gelcich, AICP
Senior Planner

Enclosures

JPG/mks/208402LT073



CITY OF SOMERVILLE MASSACHUSETTS

Joseph A. Curtatone, Mayor

Office of Strategic Planning and Community Development (OSPCD)
City Hall 3rd Floor, 93 Highland Avenue, Somerville, MA 02143
(617) 625-6600 ext. 2500

DESIGN AND SITE PLAN (DSP) SUBMITTAL • COVER PAGE

In accordance with Article 5 of the Somerville Zoning Ordinance, the undersigned hereby submits the attached design and site plan for review according to applicable procedures and provisions of the Somerville Zoning Ordinance. Submittal materials required by this form are included as part of this submittal package.

Project NorthPoint Dawes Street

Agent Name Mark Johnson Phone 617-914-8600 Email mjohnson@divcowest.com

OWNER

Name DW NP Property, LLC c/o DivcoWest Real Estate Services

Address One Kendall Square, Ste. B3201

Cambridge, MA 02139

Phone 617-720-7400

Email rmashaal@divcowest.com

APPLICANT

Name DW NP Property, LLC c/o DivcoWest Real Estate Services

Address One Kendall Square, Ste. B3201

Cambridge, MA 02139

Phone 617-720-7400

Email rmashaal@divcowest.com

As Owner, I make the following representations:

1. I hereby certify that I am the owner of the property identified on this application form.
2. I hereby certify that the applicant named on this application form has been authorized by me to apply to develop and/or use the property listed above for the purposes indicated in this application.
3. I hereby certify that the agent, engineer and/or architect listed on this application form have been authorized to represent this application before the Planning Staff, the Planning Board, and/or the Zoning Board of Appeals.
4. I will permit Planning Staff to conduct site visits on my property.
5. Should the ownership of this parcel change before the board(s) have acted on this application, I will provide updated information and new copies of this signature page.

DW NP Property, LLC by

Signature

Executive Vice President of its general partner

As Applicant, I make the following representations:

1. The information supplied on and with this application form is accurate to the best of my knowledge.
2. If the current use of the property is a nonconforming use, I will furnish proof to the satisfaction of the SPGA that the nonconforming use is legal.
3. I will make no changes to the approved project plans without the prior approval of the SPGA.
4. If the proposed project is subject to linkage (SZO Article 15), I will sign all documents required by the Planning Staff/SPGA governing the amount and the method of payment of the linkage fee.
5. I will return the notice sign or pay for its replacement.
6. I will pay the fees associated with this application, including but not limited to: advertising the case in the newspaper and mailing notices to abutters.
7. I hereby certify that the agent, engineer and/or architect listed on this application form have been authorized by me to represent me before the Planning Staff, the Planning Board and/or the Zoning Board of Appeals as it relates to the development and/or use of this property.

DW NP Property, LLC by

Signature

Executive Vice President of its general partner

CITY OF SOMERVILLE USE ONLY

CASE NUMBER _____

ZONING DISTRICT(S) _____ WARD/ALDERMAN _____

WAIVER(S)/SPECIAL PERMIT(S) REQUIRED? YES ☐ () NO ☐

VARIANCE REQUIRED? YES ☐ () NO ☐

FILING FEE _____ ADD FEE _____

PLANNING MEETING DATE _____ ENGINEERING MEETING DATE _____

DESIGN REVIEW DATE _____

HEARING DATE _____

CITY CLERK STAMP

Design and Site Plan Fee Schedule

	BASE FEE	ADDITIONAL FEE	MAX. FEE	AD FEE	ABUTTERS FEE
Review/Final Submittal	\$300	\$5.00 per linear foot of thoroughfare \$0.20 per square foot of civic or recreation space \$0.20 per gross square foot of non-commercial floor space \$100/dwelling unit	\$8,500	\$350	\$25
Revision, Major Amendment	\$225	\$5.00 per linear foot of thoroughfare \$0.20 per square foot of civic or recreation space \$0.20 per gross square foot of non-commercial floor space \$100/dwelling unit	\$8,500	\$350	\$25
Revision, Minor Amendment	\$150	n/a	n/a	n/a	n/a
Subdivision	\$400	\$100/lot	\$6,500	\$250	\$25
Lot Split, Lot Merger, or Lot Line Adjustment	\$400/action	n/a	\$400/action	n/a	n/a

OFFICE OF STRATEGIC PLANNING AND COMMUNITY DEVELOPMENT

City Hall 3rd Floor . 93 Highland Avenue . Somerville, MA 02143

617-625-6600 ext. 2500

M-W 8:30 AM - 4:30 PM, Th 8:30 AM - 7:30 PM, F 8:30 AM - 12:30 PM

DESIGN AND SITE PLAN (DSP) SUBMITTAL REQUIREMENTS

Applicants shall meet with the Office of Strategic Planning and Community Development and the Engineering Department prior to the submission of any design and site plan to ascertain applicable submittal requirements. A completed copy of this form shall be included with any design and site plan submittal package. All plans shall be prepared by a registered architect, landscape architect, land surveyor, or professional engineer, as applicable.

GENERAL DOCUMENT AND GRAPHIC STANDARDS

1. All required materials shall be submitted as follows:

	REVIEW SUBMITTAL	FINAL SUBMITTAL	FORMAT	DOCUMENT SIZE	PLAN SHEET SIZE
Physical Copies:	3	8	printed bound booklet	8.5x11	foldable 11"x 17" (plans not to scale)
Electronic Copies:	1	1	.pdf	8.5x11	24"x 36" min.
	1	1	.dwg	n/a	24"x 36" min.

2. Review copies of design and site plans shall be submitted to the City Clerk's office per §5.4.4.A of the Somerville Zoning Ordinance. Final copies shall be submitted to the Planning Division for distribution to the Planning Board no less than 20 days prior to the scheduled Public Hearing.
3. All plan drawings shall include a title block with the project name, plan issue date, sheet number, sheet title, registrant stamp, registrant contact information, scale, revision number and date, assessor's map-block-lot number(s), and 2"x 2" City Clerk stamp block.
4. All thoroughfares and other civic and recreation spaces shall be clearly labeled.
5. A north arrow and scale shall be provided on each map or plan.

REQUIRED FOR ALL DESIGN & SITE PLAN SUBMITTALS (in addition to Cover Page)

Written/Graphic Information

1. Contact information (company name, business address, telephone number, designated contact, & email address) for each member or firm of the development team, including legal representation and all project consultants
2. Legal description of property, including meets and bounds
3. Property title report including current ownership and purchase options of all parcels in the development site
4. Property deed
5. Identification of any existing legal judgments, actions, covenants, conditions, and/or restrictions that may control development, if applicable
6. A locus map

Required Supplied Received

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

REQUIRED FOR THE SUBDIVISION OF LAND, LOT SPLITS, LOT MERGERS, OR LOT LINE ADJUSTMENTS

Plan Drawings

1. A forty (1" to 40') scale or larger subdivision plan prepared in accordance with the Deed Indexing Standards of the Commonwealth of Massachusetts, latest edition, including but not limited to the following:
 - a. Municipal boundaries
 - b. Lot lines
 - c. Abutting properties including legal address, ownership information, and deed book number/page, plan, and map references
 - d. Existing buildings, fences, and retaining walls

Required Supplied Received

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

REQUIRED FOR THOROUGHFARE DESIGN & SITE PLAN SUBMITTALS

Written/Graphic Information

1. Written narrative describing the project, including but not limited to the following:
 - a. Zoning conformance review, including satisfaction of the purpose and provisions for the specific district(s) where the thoroughfare is located
 - b. Identification of any requested waivers or variances, as required
 - c. Conformance review of city policy and/or other plans deemed appropriate by the Planning Board, as applicable
 - d. A development plan, setting forth the anticipated timing of construction and opening of the thoroughfare
 - e. A construction management program including, but not limited to, plans for construction vehicle access routes, on-site construction worker parking, designation of material storage methods and locations, and designation of construction hours

Required Supplied Received

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Plan Drawings

	Required	Supplied	Received
1. Key plan, as necessary	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Plan legend	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Vehicular lane and sidewalk width cross sections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Twenty (1" to 20') scale or larger drawings including, but not limited to, the following:			
a. General plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Profile plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Utility & drainage plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Layout plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Grading plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Landscape/planting plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Traffic & street lighting plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Construction drawings including, but not limited to, the following:			
a. Pavement section detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Sidewalk detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Curb detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Wheel chair ramp detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Driveway/alley crossing detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Crosswalk detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Gutter inlet detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h. Water/sewer			
i. Trench detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Catch basin detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Connection & tie-in detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Manhole detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Hydrant detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i. Public furniture			
i. Bench detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Trash receptacle detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Light pole(s) detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Light pole foundation detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Bike rack detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi. Retaining wall/seat wall detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii. Bollard detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
j. Landscape			
i. Street tree detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Planting bed detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Shrub detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Ground cover detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Fence detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Traffic Management			
a. Signal plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Sign summary sheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Loop detector detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Lighting wire diagram	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Utility and slope cross sections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

REQUIRED FOR CIVIC SPACE DESIGN & SITE PLAN SUBMITTALS

Written/Graphic Information

Required Supplied Received

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Written narrative describing the project, including but not limited to the following: | | | |
| a. Identification of the proposed space by type | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Description of the intended built character guiding the design of the space | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Zoning conformance review, including satisfaction of the purpose and provisions for the specific district(s) where the civic or recreation space is located | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Identification of any requested special permits or variance, as required | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Conformance review of city policy and/or other plans deemed appropriate by the Planning Board, as applicable | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f. A development plan, setting forth the anticipated timing of construction and opening of the proposed space | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g. A construction management program including, but not limited to, plans for construction vehicle access routes, on-site construction worker parking, designation of material storage methods and location, and designation of construction hours | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. A shadow study illustrating shadows cast by surrounding buildings according to the City of Somerville's Illustrating Building Shadows requirements. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Plan Drawings

Required Supplied Received

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1. Neighborhood civic space plan, if applicable, identifying the subject space within the plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Twenty (1" to 20') scale or larger plan drawings including, but not limited to, the following: | | | |
| a. Existing conditions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Site preparation/demolition plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Materials plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Layout plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Paving plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f. Grading/drainage plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g. Utilities plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| h. Landscape/planting plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| i. Electrical & lighting plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| j. Irrigation plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Construction drawings including, but not limited to, the following: | | | |
| a. Paving surfaces detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Curb and edges detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Walls and fencing detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Public furniture | | | |
| i. Seating detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Trash receptacle detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. Light pole(s) detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iv. Light pole foundation detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| v. Bike rack detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vi. Bollard detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Landscape | | | |
| i. Tree planting detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Planting bed detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. Shrub detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iv. Ground cover detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Illustrated plant list | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

REQUIRED FOR LOT/BUILDING DESIGN & SITE PLAN SUBMITTALS

Written/Graphic Information

Required Supplied Received

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1. Project description including, but not limited to, the following: | | | |
| a. Identification of the proposed building(s) by type, as applicable | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Description of design intent guiding the character of the lot or building | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Zoning conformance review, including satisfaction of the purpose and provisions for the specific district(s) where the lot or building is located | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Zoning conformance statistical summary, including the following: | | | |
| i. Facade build out | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Floorplate of each floor (sq. ft.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. Building height (stories and feet) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iv. Ground floor occupation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| v. First floor fenestration percentage | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vi. Total floor area by use category | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vii. Total dwelling unit count | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| viii. Total dwelling unit count by number of bedrooms | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ix. Number of parking and loading spaces by type | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Identification of any requested special permits or variances, as required | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f. Conformance review of city policy and/or other plans deemed appropriate by the Planning Board, as applicable | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g. A development plan, setting forth the anticipated timing of construction and occupancy of the proposed development | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| h. A construction management program including, but not limited to, plans for construction vehicle access routes, on-site construction worker parking, designation of material storage methods and locations, and designation of construction hours | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Pedestrian level perspective renderings or illustrations depicting the interface between the proposed building(s) frontage and the public realm (one per front lot line; pedestrians not included). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Description of how the design of the building's base (generally) and first floor (specifically) creates a positive interface between the proposed building(s) frontage and the public realm. | | | |
| 4. Renderings or illustrations depicting the proposed building(s) in context with surrounding structures (existing and proposed). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Building material identification, including color and texture | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Site and Building Design

Plan Drawings

Required Supplied Received

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| 1. Twenty (1" to 20') scale or larger plan drawings including, but not limited to, the following: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| a. Existing site plan, illustrating: | | | |
| i. Topography (2 ft. contour lines) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Lot lines | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. Existing buildings and structures, as applicable, including area, stories, principal use, and actual setbacks | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iv. Location, caliper, and species of individual trees of 6-inch caliper or more, if applicable | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| v. Natural features and significant geologic formations | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Proposed site plan, illustrating: | | | |
| i. Lot lines, setback lines, and built-to lines | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Building footprint, including floor plate size | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. Continuous facade widths | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iv. Facade build out calculation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| v. Actual facade setback distances, at all differing points | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vi. Individual tenant spaces and lobbies, color differentiated by use | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vii. Frontage widths for tenant spaces and lobbies | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| viii. Primary pedestrian entrances/exits for individual tenant spaces and lobbies | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ix. Outdoor amenity areas, including size | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Floor plans, illustrating: | | | |
| i. Total floor plate size for each floor | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

	Required	Supplied	Received
ii. Individual uses/spaces, color differentiated by use, for each floor (residential units should be color differentiated by bedroom count)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Indoor and outdoor amenity areas, including size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Ground level landscape plan, including:			
i. Plant schedule	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Illustrated plant list	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Electrical and lighting plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Building sections (one per front lot line), illustrating:			
a. Individual floors, color differentiated by use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Height measurements, including the height of each story and building height in total	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Facade/elevation renderings (all sides), illustrating:			
a. Vertical and horizontal articulation of each facade (in full)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Fenestration pattern of each facade (in full), including solid to void analysis for each floor	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Close-up of the building's base (one per front lot line)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Construction drawings including, but not limited to, the following:			
a. Pavement section detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Sidewalk detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Curb detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Wheel chair ramp detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Driveway/alley crossing detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Furnishings			
i. Bench detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Trash receptacle detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Light pole(s) and light pole foundation detail(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Bike rack detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Retaining wall/seat wall detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi. Bollard detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Landscape			
i. Street tree detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Planting bed detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Shrub detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Ground cover detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Fence Detail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Transportation Analysis

Written/Graphic Information

	Required	Supplied	Received
1. Summary of the proposed development program for the lot or building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Identification of existing conditions:			
a. Site specific (including adjacent thoroughfares and building facades across the street from the site):			
i. Site access (pedestrian entrances to individual ground floor spaces and lobbies)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Primary pedestrian routes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Bicycling routes/lanes/paths, including all existing ground level bicycle parking	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Pavement markings including parking and loading areas, driveways, and circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. On-street motor vehicle parking inventory, by type (metered, handicapped, no-parking, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Within a quarter (1/4) mile study area:			
i. Public transportation including location, types, and service and ridership statistics for study area stations/stops	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Bicycling routes/lanes/paths	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Car and bicycle sharing locations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Off-street motor vehicle parking inventory, by type (surface lot, above ground structure, underground structure)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Proposed future conditions:			
a. Site specific (including adjacent thoroughfares and building facades across the street from the site):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i. Pedestrian, bicycle, and roadway infrastructure improvements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Site access (pedestrian entrances to individual ground floor spaces and lobbies)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Proposed curb cut or sidewalk changes, if applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Short and long term bicycle parking/storage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v. Vehicular circulation, maneuvering, and access to the site/building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi. Off-street motor vehicle parking inventory, including layout, access, count, and size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii. Car and bicycle sharing locations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
viii. On-street motor vehicle parking inventory, by type (metered, handicapped, no-parking, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ix. Loading docks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Within a quarter (1/4) mile study area			
i. Pedestrian, bicycle, and roadway infrastructure improvements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. A multi-modal transportation demand analysis of existing and proposed future conditions following procedures outlined in the 2010 Highway Capacity Manual. Analysis shall include study of demand, capacity, trip distribution, and circulation for sidewalks, bike facilities, public transportation, travel lanes, and intersections for appropriate modes. AM, PM, and daily trip generation rates and modal splits shall be based on regional comparables of similar principal uses provided by the Office of Strategic Planning and Community Development or other sources deemed appropriate by the Planning Board. In the absence of applicable comparables, ITE Trip Generation (latest edition) data may be substituted.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. A transportation demand management plan describing measures taken to encourage the reduction of single-occupancy vehicular trips including, but not limited to, the following:			
a. Ride-sharing incentives and information dissemination	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Set-asides for high-occupancy-vehicles, including number and location	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Mass transit information dissemination	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. MBTA pass sales and subsidies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Direct station links or pedestrian connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Encouragement of flexible work hours	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Restrictions on service and good deliveries	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. A transportation demand monitoring plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Infrastructure Analysis

Written/Graphic Information

- | | Required | Supplied | Received |
|--|--------------------------|--------------------------|--------------------------|
| 1. Estimated water and electricity consumption, sewage generation, and energy requirements for the building(s) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Analysis of the capacity and adequacy of existing water, storm water drainage, and sewer, energy (including gas), and electrical communications (including telephone, fire alarm, computer, cable, etc) utility systems, and identification of required system upgrades or connections to accommodate the proposed development. Impacts due to any required system upgrades or connections requiring a significant public or utility investment, creating a significant disruption in vehicular or pedestrian circulation, or affecting any civic or recreation space or streetscape improvements shall be described. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Plan Drawings

- | | Required | Supplied | Received |
|--|--------------------------|--------------------------|--------------------------|
| 1. Twenty (1" to 20') scale or larger utility plan drawing identifying all existing and proposed utilities including but not limited to water, sanitary sewer, storm drainage, electrical, telephone, data, CATV, and natural gas utilities. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Construction drawings including, but not limited to, the following: | | | |
| a. Water/sewer | | | |
| i. Trench detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Catch basin detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. Connection & tie-in detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iv. Manhole detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| v. Hydrant detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vi. Detention basin and outlet detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| vii. Infiltration device detail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Environmental Analysis

Written/Graphic Information

- | | Required | Supplied | Received |
|---|--------------------------|--------------------------|--------------------------|
| 1. Identification of existing M.G.L. Chapter 21E reports and/or other environmental assessments, analysis, clean-up studies, enforcement actions, or related documentation related to the site | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Shadow analysis illustrating both existing and net new shadows according to the City of Somerville's Illustrating Building Shadows requirements | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Wind analysis documenting potential pedestrian level winds (PLW's) adjacent to and in the vicinity of the project site according to the City of Somerville's Measuring Pedestrian Level Wind Impacts and identification of proposed mitigation for any uncomfortable winds generated at outdoor pedestrian areas | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Solar glare analysis ensuring that no visual impairment or discomfort is caused on nearby thoroughfares, civic and recreation spaces, or pedestrian areas and that no solar heat buildup is caused in any nearby buildings due to reflective spot glare | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Air quality analysis verifying that emissions from any parking facility and/or building heating and mechanical systems will not violate state or federal ambient air quality standards | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Construction impact analysis and management program including, but not limited to, the following: | | | |
| a. A study of and mitigation plan for impacts on public safety from noise, dust, pollutant emissions, waste generation and disposal, and | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. plans for construction vehicle access routes, on-site construction worker parking, designation of material storage methods and locations, and designation of construction hours | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. A plan for solid and hazardous waste removal identifying any known toxic or hazardous wastes on or buried in the development site, pursuant to the requirements of M.G.L. Chapter 21E | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Analysis of sub-soil conditions, the potential for ground movement and settlement during construction, and the impact on adjacent buildings and utility lines and a description of foundation construction methodology | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Analysis of the impact of construction on groundwater levels and resulting effects on surrounding structures and building foundations | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

BEALS AND THOMAS, INC.
RESERVOIR CORPORATE CENTER
144 TURNPIKE ROAD
SOUTHBOROUGH, MASSACHUSETTS 01772

Middlesex Savings Bank 22
SOUTHBOROUGH, MA 01772



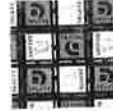
53-7122/2113

Two Thousand Eighty and no/100

DATE	AMOUNT
11/02/16	22898 \$2,080.00

PAY
TO THE
ORDER
OF

CITY OF SOMERVILLE
93 HIGHLAND AVENUE
SOMERVILLE MA 02143



Maya Dae
AUTHORIZED SIGNATURE

⑈022898⑈ ⑆211371227⑆ 800308165⑈

22899

BEALS AND THOMAS, INC.
RESERVOIR CORPORATE CENTER
144 TURNPIKE ROAD
SOUTHBOROUGH, MASSACHUSETTS 01772

Middlesex Savings Bank 22
SOUTHBOROUGH, MA 01772



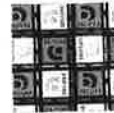
53-7122/2113

Three Hundred Fifty and no/100

DATE	AMOUNT
11/02/16	22899 \$350.00

PAY
TO THE
ORDER
OF

CITY OF SOMERVILLE
93 HIGHLAND AVENUE
SOMERVILLE MA 02143



Maya Dae
AUTHORIZED SIGNATURE

⑈022899⑈ ⑆211371227⑆ 800308165⑈

22900

BEALS AND THOMAS, INC.
RESERVOIR CORPORATE CENTER
144 TURNPIKE ROAD
SOUTHBOROUGH, MASSACHUSETTS 01772

Middlesex Savings Bank 22
SOUTHBOROUGH, MA 01772



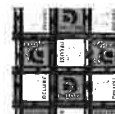
53-7122/2113

Twenty Five and no/100

DATE	AMOUNT
11/02/16	22900 \$25.00

PAY
TO THE
ORDER
OF

CITY OF SOMERVILLE
93 HIGHLAND AVENUE
SOMERVILLE MA 02143



Maya Dae
AUTHORIZED SIGNATURE

⑈022900⑈ ⑆211371227⑆ 800308165⑈

Security features. Details on back.

Security features. Details on back.

Security features. Details on back.



**COMMITMENT FOR TITLE INSURANCE
SCHEDULE A**

This commitment is subject to underwriting/rate approval if the proposed transaction exceeds
\$50,000,000.00

Case Number: C21292

Connection Number: 19263221

(Revised April 10, 2015)
(Revised April 13, 2015)
(Revised May 1, 2015)
(Revised June 29, 2015)
(Revised July 20, 2015)
(Revised July 23, 2015)
(Revised August 5, 2015)
(Revised August 7, 2015)
(Revised August 12, 2015)
(Revised August 18, 2015)

1. Effective Date: **August 18, 2015**

2. Policy or Policies to be issued:

(a) ALTA Owner's Policy - (6/17/06)

Amount: **\$291,040,268.46**

PROPOSED INSURED: **DW NP Property, LLC, a Delaware limited liability company**

(b) ALTA Loan Policy – (6/17/06)

Amount: **\$ NA**

PROPOSED INSURED: **NA**

3. Title to the fee simple estate or interest in the land described or referred to in this commitment is at the effective date hereof vested in:

CJUF III Northpoint LLC, by virtue of:

(a) Deed from Boston and Maine Corporation, dated as of August 19, 2010 and recorded in the Suffolk County Registry of Deeds in [Book 46807, Page 256](#) , and in the Middlesex South County Registry of Deeds in [Book 55212, Page 330](#) (PARCEL ONE)

(b) Deed from Boston and Maine Corporation dated June 11, 2014, and recorded in Middlesex South County Registry of Deeds in [Book 63899, Page 200](#) (PARCEL TWO)

(c) Quitclaim Deed from Boston and Maine Corporation, dated October 31, 2014 and recorded in the Suffolk County Registry of Deeds in Book 53735, Page 196, and recorded in the Middlesex South Registry of Deeds in Book 64544, Page 596. (PARCEL THREE)

4. The land referred to in this Commitment is described as follows:

All that certain parcel of land located in the cities of Cambridge, Somerville and Boston, Counties of Middlesex and Suffolk, Commonwealth of Massachusetts, all more particularly described in Exhibit "A" attached hereto and made a part hereof

NOTE: As hereinafter used, "recorded with Middlesex" shall mean "recorded with the Middlesex County Registry of Deeds (Southern District)" and "recorded with "Suffolk" shall mean "recorded with the Suffolk County Registry of Deeds".

Countersigned at Boston, Massachusetts

Schedule A – Part I

**Commonwealth Title Insurance Company
265 Franklin Street, 8th Floor
Boston, MA 02110-3113
(800) 621-0051**

Philip M. Saba
Vice President

NOTE: This Commitment is an offer to issue one or more title insurance policies. It is not a title insurance policy or an abstract of title, a report on the condition of title, legal opinion, opinion of title or similar representation of title. The Company shall have no liability other than that set forth in this Commitment. Any title search or examination that has been conducted for the preparation of this Commitment (i) has been conducted solely for the Company's determination of insurability under the terms of this Commitment and (ii) has not been conducted for any other person, including a Proposed Insured. Only a Proposed Insured, designated on Schedule A, may rely on this Commitment, and then only to acquire a title insurance policy from the Company in accordance with the terms and provisions of this Commitment. If the Company has not completed the Proposed Policy Amount on Schedule A, the offer of the Commitment is to issue a title insurance policy limited to an Amount of Insurance of no more than \$100,000.

EXHIBIT "A"

All those certain parcels of land located in the Cities of Cambridge and Somerville, Middlesex County and Boston, Suffolk County, Commonwealth of Massachusetts, and more particularly described as follows:

PARCEL ONE:

Parcel 1 on a plan entitled "North Point – "Central Park" Parcel Subdivision Plan of Land in Boston, Cambridge and Somerville, Massachusetts, Suffolk and Middlesex Counties", dated August 16, 2010, prepared by Gunther Engineering, a division of Digital Geographic Technologies, Inc., and recorded as [Plan 597 of 2010](#) (Middlesex) and [Plan Book 2010 Pages 270 and 271](#) (Suffolk).

Together with all right, title and interest in and to the private street known as Water Street as more particularly shown on the Plan, to the midline thereof and adjoining Parcel 1 described above, excepting therefrom so much of Water Street as may be owned in fee by the MBTA by virtue of the documents recorded with Middlesex at [Book 13117, Page 113](#) and at [Book 13156, Page 34](#).

Together with the right to use the "private" portion of Water Street as shown on the Plan.

Less and except the following described premises:

- (1) Parcel N set forth in a deed from CJUF III Northpoint LLC to NP Parcel N Owner LLC, dated December 12, 2012 and recorded with Middlesex in Book 60764, Page 223 and shown on Plan 937 of 2012; and
- (2) That certain parcel of land described in a deed from CJUF III Northpoint LLC to Massachusetts Bay Transportation Authority, dated as of November 20, 2013 and recorded with Middlesex in [Book 62977, Page 343](#)

PARCEL TWO (Central Park Parcel and Lot FP):

Parcel 1:

A certain parcel of land situated in the Commonwealth of Massachusetts, County of Middlesex, City of Cambridge, located on the northerly side of North Point Boulevard and being shown as "**CENTRAL PARK' PARCEL**" on a plan entitled "North Point – "Central Park Parcel", Subdivision Plan of Land in Boston, Cambridge and Somerville, Massachusetts, Suffolk and Middlesex Counties", dated August 16, 2010, prepared by Gunther Engineering, recorded in Middlesex County Registry of Deeds as [Plan 597 of 2010](#). Being more particularly bounded and described as follows:

Beginning at a point at the most southeasterly corner of the parcel, said point being on the northerly line of North Point Boulevard, thence running;

N 75° 22' 38" W	134.49 feet to a point, thence turning and running;
NORTHWESTERLY	by a curve to the right having a radius of 1979.00 feet a length of 48.78 feet to a point, thence turning and running;
N 73° 57' 53" W	632.12 feet to a point, thence turning and running;
NORTHWESTERLY	by a curve to the right having a radius of 224.00 feet and a length of 22.75 feet to a point, thence turning and running;
N 68° 08' 47" W	37.98 feet to a point, thence turning and running;
NORTHWESTERLY	by a curve to the right having a radius of 425.00 feet and a length of 94.54 feet to a point, said last six courses being by the northerly line of North Point Boulevard, thence turning and running;

N 57° 16' 47" W	256.98 feet to a point, thence turning and running;
N 11° 15' 41" E	91.06 feet to a point, thence turning and running;
S 81° 14' 36" E	200.13 feet to a point, thence turning and running;
S 73° 25' 09" E	14.60 feet to a point, thence turning and running;
S 81° 06' 44" E	67.29 feet to a point, thence turning and running;
S 74° 39' 04" E	33.61 feet to a point, thence turning and running;
S 81° 14' 36" E	178.52 feet to a point, thence turning and running;
S 85° 07' 47" E	40.27 feet to a point, thence turning and running;
NORTHEASTERLY	by a curve to the right having a radius of 319.00 feet and a length of 105.10 feet to a point, thence turning and running;
S 58° 22' 52" E	128.90 feet to a point, thence turning and running;
S 51° 45' 29" E	30.35 feet to a point, thence turning and running;
S 58° 22' 52" E	137.29 feet to a point, thence turning and running;
S 64° 25' 22" E	33.25 feet to a point, thence turning and running;
S 58° 22' 52" E	273.25 feet to a point, thence turning and running;
SOUTHEASTERLY	by a curve to the right having a radius of 30.08 feet and a length of 47.17 feet to a point, thence turning and running;
S 31° 28' 09" W	35.15 feet to a point, thence turning and running;
SOUTHWESTERLY	by a curve to the right having a radius of 4.00 feet and a length of 5.11 feet to the point of beginning. All of said courses being by Parcel 1.

Parcel 2:

A certain parcel of land situated in the City of Cambridge, County of Middlesex, Commonwealth of Massachusetts, being more particularly shown as "**Lot FP**" on a plan entitled "Condominium Site Plan of Sierra & Tango Condominium in Cambridge, Massachusetts, Middlesex County, Scale 1" = 30', 10 January 2008, Gunther Engineering", recorded with the Middlesex S. D. Registry of Deeds as [Plan No. 449 of 2008](#).

Together with the benefit of the following which are appurtenant to PARCEL ONE AND PARCEL TWO:

- a. Easements granted in Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC, Sierra Plus Tango LLC, as Trustee of Sierra + Tango Condominium Trust and Boston and Maine Corporation, dated April 1, 2011 and recorded with Middlesex in Book 56683, Page 375, and recorded with Suffolk in Book 47761, Page 232, as amended by First Amendment dated December 12, 2012 and recorded with Middlesex in Book 60764, Page 220, as affected by Assignment and Assumption of Northpoint Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC and DW NP Property, LLC dated as of August ___, 2015 and recorded with Middlesex in Book ___, Page ___ and with Suffolk in Book ___, Page ___.

PARCEL THREE:

A certain parcel of land situated partly in the City of Cambridge and partly in the City of Boston, Commonwealth of Massachusetts, Counties of Middlesex and Suffolk, located on Charlestown Avenue and

This Commitment is invalid unless the Insuring Provisions and Schedules A and B are attached.

being shown as **Parcel 2** on a plan entitled "North Point – "Central Park" Parcel, Subdivision Plan of Land in Boston, Cambridge and Somerville, Massachusetts, Suffolk and Middlesex Counties", dated August 16, 2010, prepared by Gunther Engineering, recorded in Middlesex County Registry of Deeds as [Plan 597 of 2010](#) and recorded in Suffolk County Registry of Deeds in [Plan Book 2010 Pages 270](#) and [271](#).

Together with the benefit of the following, as appurtenant to PARCEL ONE, PARCEL TWO and PARCEL THREE:

- A. Easements reserved by Grantor in paragraph 2 of that certain Release Deed and Grant of Easement from The Boston and Maine Corporation to Massachusetts Bay Transportation Authority, dated July 1, 1992, and recorded with the Suffolk County Registry of Deeds in [Book 17577, Page 179](#) and with Middlesex in [Book 22186, Page 479](#), as affected by Confirmatory Release Deed and Grant of Easement dated July 20, 1993 and recorded with Suffolk in [Book 19013, Page 1](#) and with Middlesex in [Book 24467, Page 562](#), which easement rights are in the property shown as "B&M Access Easement" on a plan recorded with the Suffolk County Registry of Deeds as Plan 17577, Page 179 and Middlesex County Southern District Registry of Deeds as Plan 546 of 1992.
- B. Easements to use and access the "Developer Crossover Easement Area", granted in the Northpoint Parking Easement Agreement between CJUF III, Northpoint LLC and Massachusetts Bay Transportation Authority, dated February 23, 2015, and recorded in Middlesex in Book 65048, Page 251.
- C. Easements set forth in that certain Easement Agreement by and between North Point Apartments Limited Partnership, Archstone North Point II LLC, AVB Maple Leaf Apartments Limited Partnership and CJUF III Northpoint LLC, dated July 31, 2015, and recorded in Suffolk in Book 54872, Page 23, and in Middlesex in Book 65856, Page 233.
- D. Easements set forth in Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC, NP Parcel N Owner LLC and the Boston and Maine Corporation, dated April 12, 2013 and recorded with Middlesex in Book 61625, Page 397 and recorded with Suffolk in Book 51306, Page 54, as affected by Northpoint Parcel N Deed Covenants by and between CJUF III Northpoint LLC and NP Parcel N Owner LLC dated April 11, 2013 and recorded with Middlesex in Book 61625, Page 496, affected by First Amendment to Northpoint Agreement of Covenants, Easements and Restrictions dated August 21, 2014, recorded with Suffolk in Book 53465 Page 37 and with Middlesex in Book 64210 Page 280, as affected by Second Amendment to Northpoint Agreement of Covenants, Easements and Restrictions dated June 12, 2015, recorded with Suffolk in Book 54628, Page 334, and recorded with Middlesex in Book 65567, Page 343, as affected by Assignment and Assumption of Northpoint Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC and DW NP Property, LLC dated as of August ____, 2015 and recorded with Middlesex in Book ____, Page ____ and with Suffolk in Book ____, Page ____.

NOTE: Acreage is not insured.



**COMMITMENT FOR TITLE INSURANCE
SCHEDULE B - SECTION 1**

REQUIREMENTS

Case Number: C21292

The following are the requirements to be complied with:

1. Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.
 2. Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record to-wit:
 - (a) Duly authorized and executed deed from the party identified in Schedule A, Item 3, vesting fee title in the proposed insured owner; and
- Note: Section 6 of Notices of Activity and Use Limitations referenced in Schedule B, Section 2 below should be reviewed when drafting any conveyance documents.
3. Intentionally omitted.
 4. If Survey coverage is requested, prior to closing the company must be in receipt of a satisfactory survey and surveyor's report. The Survey exceptions set forth in Schedule B, Section 2, standard exception 2 will be eliminated or amended in accordance with the facts disclosed thereby.
 5. Receipt of properly executed Parties in Possession and Mechanic's Lien Affidavit in order to delete or modify exceptions set forth in Schedule B, Section 2, Standard Exceptions 1 and 3.
 6. If the insured premises have undergone construction or repair in the past 93 days, satisfactory evidence should be provided at or prior to closing that said improvements and/or repairs or alterations are complete and; that the contractor, subcontractors, labor and material men are all paid in full.
 7. In the event that the Company will be responsible for recording the closing documents,
 - (a) at least 24 hours before closing, provide this office with a copy of the form of deed, mortgage, and all other documents to be recorded; and
 - (b) along with the original documents for recording, provide this office with two copy sets of all documents to be recorded.
 8. Issuance of a final title insurance policy is conditioned upon payment of all title premium(s) due in connection with said policy(ies) at the present applicable rates as well as all examination and counsel fees and recording costs and charges incurred by the Company relative to this transaction.

(Continued)

**Schedule B – Section 1
Page 1**

**Schedule B – Section 1
Requirements Continued**

Case No: C21292

9. If the title to be vested in, or documents are to be executed by a **LIMITED PARTNERSHIP**, a current Certificate of limited partnership naming the General Partners ("Long Legal with General Partners") from the Secretary of State's of the Commonwealth of Massachusetts must be recorded/filed.
10. If title to be vested in or documents to be executed by a **LIMITED LIABILITY COMPANY**, provide a current Certificate of Good Standing for the LLC from the Massachusetts Secretary of State identifying:
 - (a) the managers of the limited liability company, if any;
 - (b) those persons who are authorized to act with respect to real estate instruments; and
 - (c) In the event that nobody is so authorized to execute real estate documents, obtain and record/file a certificate executed by the manager of the limited liability company stating that the persons executing the deed/mortgage in the name of the limited liability company are the incumbent members or managers and that such persons are empowered by the Operating Agreement to convey/mortgage the insured premises.
 - (d) There may be circumstances in which an LLC does not have managers and the identity of persons authorized to execute real estate documents is not disclosed in the Secretary of State filing. In those circumstances, the statute provides that a good faith third party purchaser may rely upon a certificate executed by a person identified at the Secretary of State's Office as a manager or as a person authorized to execute documents to be filed with the Secretary of State certifying as to (i) the incumbency of any manager or member and (ii) the authority of any persons to act on behalf of the LLC whether or not such person is identified in the Secretary of State filing. M.G.L. c. 156C, s. 67. Such a certificate shall be binding upon the LLC in favor of a person relying in good faith thereon notwithstanding inconsistent provisions in the operating agreement. M.G.L. c. 156C, s. 67. The protection afforded by the statute applies equally to domestic LLC's and foreign LLC's, which have registered with the Secretary of State.
11. With respect to **CJUF III Northpoint LLC (Seller)**, provide a current original Certificate of Good Standing for the LLC from the Massachusetts Secretary of State identifying:
 - (a) the managers of the limited liability company, if any;
 - (b) those persons who are authorized to act with respect to real estate instruments; and
 - (c) In the event that nobody is so authorized to execute real estate documents, obtain and record/file a certificate executed by the manager of the limited liability company stating that the persons executing the deed/mortgage in the name of the limited liability company are the incumbent members or managers and that such persons are empowered by the Operating Agreement to convey/mortgage the insured premises.
 - (d) There may be circumstances in which an LLC does not have managers and the identity of persons authorized to execute real estate documents is not disclosed in the Secretary of State filing. In those circumstances, the statute provides that a good faith third party purchaser may rely upon a certificate executed by a person identified at the Secretary of State's Office as a manager or as a person authorized to execute documents to be filed with the Secretary of State certifying as to (i) the incumbency of any manager or member and (ii) the authority of any persons to act on behalf of the LLC whether or not such person is identified in the Secretary of State filing. M.G.L. c. 156C, s. 67. Such a certificate shall be binding upon the LLC in favor of a person relying in good faith thereon notwithstanding inconsistent provisions in the operating agreement. M.G.L. c. 156C, s. 67. The protection afforded by the statute applies equally to domestic LLC's and foreign LLC's, which have registered with the Secretary of State.

Note: In the event the Seller is classified for the taxable year as a corporation for federal income tax purposes, the Company must be in receipt of a Commonwealth of Massachusetts, Department of Revenue, Waivers of Excise Tax Lien if the parcel described in Schedule A constitutes all or substantially all of the assets of the seller. If

the seller will NOT be conveying all or substantially all of their assets in Massachusetts, the Deed should contain statement to that effect. If the seller is not classified for the taxable year as a corporation for federal income tax purposes, then the Deed should contain a statement to that effect. (Mass. St. 2008, c. 173, s. 27, amending M.G.L. c. 62C, s. 51).

12. Upon full disclosure to the Company of the nature and scope of this transaction and our review and approval of the closing documents, including updated certifications of title, the Company reserves the right to raise such other and further exceptions and requirements as it deems appropriate.
13. Duly authorized and executed Discharge/Termination of the following items: **NONE**



**COMMITMENT FOR TITLE INSURANCE
SCHEDULE B - SECTION 2**

EXCEPTIONS FROM COVERAGE

Case Number: C21292

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company:

1. Rights of the following parties as tenants or licensees only, with no right or option to purchase any portion of the land (schedule of tenants to be provided to Company).
2. Intentionally omitted.
3. Intentionally omitted.
4. Intentionally omitted.
5. Liens for taxes and municipal charges which become due and payable subsequent to the date of said policy.
6. Right of others legally entitled thereto to use the "private" portion of Water Street as shown on the Plan referred to in Exhibit A above (affects the portion of PARCEL ONE within Water Street as shown on the ALTA Survey (defined below).
7. Electric Utility Easement from Ogden Realty Limited Partnership to Cambridge Electric Light Company dated June 22, 1989 and recorded with Middlesex in [Book 19905, Page 539](#). (Affects PARCEL ONE and Parcel 1 of PARCEL TWO only)

This Policy insures that this Easement is located as shown on the ALTA Survey and affects only East Street and a portion of the property adjacent thereto, as shown on the Exhibit A sketch attached to the easement set forth above.

8. Report and Findings of the Superior Court Commission on the Abolition of Grade Crossing recorded August 4, 1900 with Suffolk in [Book 2700, Page 243](#), affecting the location of Austin Street and the draw bridge over the Millers River at the Prison Point Bridge and Report and Findings of the Special Commission on the Alterations of the Grade Crossing of Prison Point Street in Cambridge dated March 29, 1899 and recorded May 2, 1900 with Middlesex in [Book 2815, Page 145](#), establishing the layout of Prison Point Street in Cambridge to Austin Street in Boston over a viaduct 50 feet wide.

This Policy insures that the documents referred to in this Item affect only the land located under the "Prison Point Bridge" a/k/a Gilmore Bridge as shown on the ALTA Survey.

9. Prison Point Bridge Taking dated September 25, 1972 by the Commonwealth of Massachusetts, Metropolitan District Commission, and recorded with Suffolk in Book 8540, Page 651 and recorded with Middlesex in [Book 12222, Page 250](#).

This Policy insures that this Taking affects only the land located under the "Prison Point Bridge" a/k/a Gilmore Bridge and a strip of land adjacent thereto, as shown on the ALTA Survey.

10. Agreement regarding drainage set forth in Paragraph 6 of the Release Deed and Grant of Easement between the Boston and Maine Corporation and the Massachusetts Bay Transportation Authority dated July 1, 1992 and recorded with Suffolk in [Book 17577, Page 179](#) and with Middlesex in [Book 22186, Page 479](#), as affected by Confirmatory Release Deed and Grant of Easement dated July 20, 1993 and recorded with Suffolk in [Book 19013, Page 1](#) and with Middlesex in [Book 24467, Page 562](#)
11. Easements for access set forth in Deed from the Boston and Maine Railroad to Keith Fulton & Sons, Inc. dated September 14, 1961 and recorded with Middlesex in [Book 9891, Page 128](#), as affected by the City of Cambridge Taking for public parking and transportation dated November 10, 1980 and recorded with Middlesex in [Book 14151, Page 141](#).

This Policy insures that the rights and easements referred to in this Item affect East Street and the 40' wide Access Drive as shown on the ALTA Survey. This policy further insures that the rights to use East Street do not extend into any portion of the Central Park Parcel.

12. Easement set forth in Deed from the Boston and Maine Railroad to Leo Pistorino dated December 24, 1964 and recorded with Middlesex in [Book 10721, Page 201](#), conveying the area shown on the plan recorded with Middlesex in [Book 10699, Page End](#), as is affected by rights granted by Leo M. Pistorino, et al, Trustees to P.W. Rounsevell, Inc. by deed dated August 22, 1966 and recorded with Middlesex in [Book 11193, Page 436](#), as further affected by rights granted by Leo M. Pistorino et al, Trustees to Pappas industrial Properties, Inc. by deed dated October 13, 1977 and recorded with Middlesex in [Book 13309, Page 047](#), as further affected by rights granted by Leo M. Pistorino, et al, Trustees to Bornstein & Fisher, Inc. by deed dated January 16, 1978 and recorded with Middlesex in [Book 13375, Page 339](#).

This Policy insures that the rights and easements in No. 12 above affect only that portion of East Street shown on the ALTA Survey.

13. Taking of Utility Easement by the Commonwealth of Massachusetts by its Division of Capital Planning and Operations dated March 27, 1987 and recorded with Middlesex in [Book 17987, Page 054](#), as affected by Assignment dated March 27, 1987 to Cambridge Electric Light Company recorded with Middlesex in [Book 17987, Page 057](#), which utility easements are located as shown on the ALTA Survey.
14. Terms and provisions of M.G.L. Chapter 40, Section 54A.
15. Ownership of Prison Point (Gilmore) Bridge by the Commonwealth of Massachusetts, which is located as shown on the ALTA Survey.
16. Easement for utility purposes from Boston and Maine Corporation et al to Verizon New England Inc. dated December 29, 2006 and recorded with Middlesex in [Book 49883, Page 423](#), as affected by Consent and Joinder recorded with Middlesex in [Book 49883, Page 433](#), and as further affected by First Amendment to Easement, dated July 17, 2015, and recorded in Suffolk in Book 54808, Page 257, and in Middlesex in Book 65780, Page 442, located as shown on the ALTA Survey.
17. Easement for utility purposes from Boston and Maine Corporation et al to NStar Gas Company dated December 29, 2006 and recorded with Middlesex in [Book 49883, Page 437](#), as affected by Consent and Joinder recorded in [Book 49883, Page 445](#), located as shown on the ALTA Survey and affects only the private ways shown on the ALTA Survey.
18. Easement for utility purposes from Boston and Maine Corporation et al to Comcast of Massachusetts I, LLC dated December 29, 2006 and recorded with Middlesex in [Book 49883, Page 447](#), as affected by Consent and Joinder recorded with Middlesex in [Book 49883, Page 454](#), located as shown on the ALTA Survey and affects only the private ways as shown on the ALTA Survey.
19. Easement for utility purposes from Boston and Maine Corporation et al to Cambridge Electric Light Company dated December 29, 2006 and recorded with Middlesex in [Book 49883, Page 474](#), as affected by Consent and Joinder recorded in [Book 49883, Page 485](#), located as shown on the ALTA Survey and affects only the private ways as shown on the ALTA Survey.as shown on the Survey.

This Commitment is invalid unless the Insuring Provisions and Schedules A and B are attached.

20. Intentionally omitted.
21. Rights of Clear Channel Outdoor Inc., pursuant to a license dated May 1, 2012 relative to the Billboard located on PARCEL ONE, as shown on the ALTA Survey, and any and all claims arising thereunder.
22. Intentionally omitted.
23. Intentionally omitted.
24. Intentionally omitted.
25. Easements, covenants, conditions and restrictions, including but not limited to common area assessments and charges set forth in Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC, Sierra Plus Tango LLC, as Trustee of Sierra + Tango Condominium Trust, and Boston and Maine Corporation, dated April 1, 2011 and recorded in [Book 56683, Page 375](#) (Middlesex) and Book 47761, Page 232 (Suffolk), as affected by First Amendment dated December 12, 2012 and recorded with Middlesex in [Book 60764, Page 220](#).
26. Easements, covenants, conditions and restrictions, including but not limited to common area assessments and charges set forth in Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC, NP Parcel N Owner LLC and the Boston and Maine Corporation, dated April 12, 2013 and recorded with Middlesex in [Book 61625, Page 397](#) and recorded with Suffolk in [Book 51306, Page 54](#), as affected by Northpoint Parcel N Deed Covenants by and between CJUF III Northpoint LLC and NP Parcel N Owner LLC dated April 11, 2013 and recorded with Middlesex in [Book 61625, Page 496](#), affected by First Amendment To Northpoint Agreement of Covenants, Easements and Restrictions recorded In Suffolk Book 53465 Page 37 and in Middlesex in Book 64210 Page 280, as affected by Second Amendment to Northpoint Agreement of Covenants, Easements and Restrictions, recorded with Suffolk in Book 54628, Page 334, and recorded in Middlesex in Book 65567, Page 343.
27. Notice of Activity and Use Limitation by Boston and Maine Corporation dated June 13, 2013 and recorded in [Book 62072, Page 281](#) (affects Parcel 2 of PARCEL TWO), as shown on the ALTA Survey.
28. Notice of Activity and Use Limitation by Boston and Maine Corporation dated June 13, 2013 and recorded with Middlesex in [Book 62072, Page 314](#) (affects Parcel 1 of PARCEL TWO), as shown on the ALTA Survey.
29. Rights of others to use a private way delineated as the "50' Wide Access Drive (formerly East Street) on the Subdivision Plan of Land recorded as [Plan 597 of 2010](#)) for all purposes for which streets or ways are used in the City of Cambridge, however, said rights of others do not extend to any portion of the land located within the bounds of Central Park Parcel, as shown on the ALTA Survey.
30. Easement for Electric Service by and between NP Parcel Owner LLC, CJUF III Northpoint LLC and Boston and Maine Corporation to NStar Electric Company, dated December 11, 2013 and recorded in [Book 63310, Page 347](#) (affects Parcel One), which easement is located as shown on the ALTA Survey, as affected by First Amended to Easement for Electric Service, dated June 16, 2015, and recorded in Middlesex in Book 65660, Page 84.
31. Sewer and Drainage Taking for sewer and drainage easements dated July 10, 1975 by the Commonwealth of Massachusetts, Metropolitan District Commission, and recorded with Suffolk in [Book 8801, Page 515](#) and recorded with Middlesex in Book 12828, Page 392, which easements are located as shown on the ALTA Survey (Affects Parcel Three only).
32. Intentionally omitted.

33. Development Regulatory Agreement between Boston Redevelopment Authority and CJUF III Northpoint LLC dated July 29, 2014 and recorded with Suffolk in [Book 53319, Page 90 \(Affects Parcel One and Parcel Three only\)](#).
34. Terms and provisions of a Lease by and CJUF III Northpoint LLC (Landlord) and Sierra Plus Tango LLC (Tenant) dated April 1, 2012, a Notice of which is recorded with Middlesex in [Book 60222, Page 132](#).
35. Intentionally omitted.
36. Planning Board Decision issued by the City of Somerville October 16, 2014, and recorded in Middlesex in Book 64661, Page 25.
37. Notice of Activity and Use Limitation recorded with Middlesex in [Book 62072, Page 351](#). (Affects a portion of PARCEL ONE as shown on the ALTA Survey)
38. Intentionally omitted.

NOTE: Although specifically excluded from the coverage of this policy, the following matters a and b, which are recorded with the Middlesex South District Registry of Deeds, are provided for informational purposes only:

- a. Order of Conditions dated June 29, 1992 issued by the Somerville Conservation Commission in favor of Massachusetts Bay Transportation Authority and Boston and Maine Railroad and recorded November 4, 1992 in Book 22580, Page 215.
- b. MA DEP Permit for Sewer System Extension recorded with Middlesex in [Book 58497, Page 1](#).
39. Intentionally omitted.
40. Intentionally omitted.
41. Intentionally omitted.
42. Intentionally omitted.
43. Intentionally omitted.
44. Intentionally omitted.
45. Intentionally omitted.
46. Zoning Decision, City of Cambridge Planning Board Case No. 179, Notice of which is recorded with Middlesex in [Book 44824, Page 370](#), as affected by Minor Amendment No. 1, recorded in [Book 62918, Page 289](#), as further affected by Minor Amendment No. 2, recorded in [Book 62918, Page 306](#), as further affected by Amendment No. 3 (Major), recorded in [Book 62918, Page 308](#), as affected by City of Cambridge Planning Board Notice of Decision, dated February 13, 2015 and recorded in the Suffolk County Registry of Deeds in Book 54166, Page 121, and in the Middlesex South County Registry of Deeds in Book 65040, Page 490, as affected by Decision by the City of Cambridge Planning Board, dated recorded in [Book 65040, Page 490](#).
47. Intentionally omitted.
48. Intentionally omitted.
49. Survey entitled "ALTA/ACSM Land Title Survey, Northpoint in Cambridge and Somerville, MA (Middlesex County), and Boston, MA (Suffolk County), dated April 10, 2015, last revised August --, 2015, prepared by Beals and Thomas, Inc, (the "ALTA Survey") discloses the following matters:

- a. There is an underground oil pipe crossing the property line;

This Commitment is invalid unless the Insuring Provisions and Schedules A and B are attached.

- b. There are various drain lines crossing the property line;
- c. There are overhead wires crossing the property line;
- d. There is a guardrail crossing the property line;
- e. There is a fence encroaching onto land now or formerly of MBTA;
- f. There are concrete blocks encroaching onto land now or formerly of MBTA;
- g. There are various water lines crossing the property line;
- h. Intentionally omitted;
- i. There is a fence and gate crossing the property line;
- j. Intentionally omitted;
- k. There are gravel roadways crossing the property line;
- l. The BIT. Conc. Drive is located outside of the access easement;
- m. There are three (3) 48" steel pipes that enter the premises;
- n. Intentionally omitted;
- o. There is a concrete footing below grade that extends over the property line approximately 0.7 feet;
- p. Intentionally omitted;
- q. There is a jersey barrier wall encroaching onto land now or formerly of AVB Maple Leaf Apartments L.P. by approx. 0.2';
- r. There is a utility pole located on land now or formerly of MBTA and overhead wires crossing the property line;
- s. There is an edge of pavement and parking stripes encroaching onto the premises from land now or formerly of MBTA;
- t. There is a sewer line crossing onto land now or formerly of MBTA;
- u. There is an electric line crossing onto land now or formerly of MBTA;
- v. There is access and parking stripes crossing the property line between land now or formerly of MBTA and CJUF III Northpoint LLC;
- w. Intentionally omitted;
- x. Intentionally omitted;
- y. There is a wood and metal pile straddling the property line between land now or formerly CJUF III Northpoint LLC and MBTA;
- z. There is debris located on the premises and crossing the property line between land now or formerly of CJUF III Northpoint LLC and MBTA;
- aa. Intentionally omitted;

- bb. The concrete wall with cap extends over the property line by 0.02’;
 - cc. The concrete wall with cap extends over the property line by 0.10’; and
 - dd. The building façade extends over the property line by 0.07’.
- 50. Intentionally omitted.
 - 51. Northpoint Parking Easement Agreement, dated February 23, 2015, by and between CJUF III Northpoint LLC and the Massachusetts Bay Transportation Authority, recorded with the Middlesex South County Registry of Deeds in Book 65048, Page 251.
 - 52. Easement Agreement (Drainage Infrastructure) by and between CJUF III Northpoint LLC and the Massachusetts Bay Transportation Authority, dated May 12, 2015, and recorded in Middlesex in Book 65383 Page 1 and recorded in Suffolk in Book 54469, Page 275
 - 53. [Notice](#) of Activity and Use Limitation, dated July 20, 2015, and recorded in Middlesex in Book 65752, Page 408.
 - 54. Easement Agreement by and between North Point Apartments Limited Partnership, Archstone North Point II LLC, AVB Maple Leaf Apartments Limited Partnership and CJUF III Northpoint LLC, dated July 31, 2015 and recorded in Suffolk in Book 54872, Page 23, and in Middlesex in Book 65856, Page 233.

NOTE: If policy is to be issued in support of a mortgage loan, attention is directed to the fact that the Company can assume no liability under its policy, the closing instructions, or Insured Closing Service for compliance with the requirements of any consumer credit protection or truth in lending law in connection with said mortgage loan.

NOTE: This commitment omits any covenant, condition or restriction referred to above which is based on race, color, religion, sex, handicap, familial status or national origin, unless and only to the extent that the restriction is not in violation of state or federal law, or relates to a handicap, but does not discriminate against handicapped people.

Fidelity National Financial, Inc.
Privacy Statement

Fidelity National Financial, Inc. and its subsidiaries ("FNF") respect the privacy and security of your non-public personal information ("Personal Information") and protecting your Personal Information is one of our top priorities. This Privacy Statement explains FNF's privacy practices, including how we use the Personal Information we receive from you and from other specified sources, and to whom it may be disclosed. FNF follows the privacy practices described in this Privacy Statement and, depending on the business performed, FNF companies may share information as described herein.

Personal Information Collected

We may collect Personal Information about you from the following sources:

- Information we receive from you on applications or other forms, such as your name, address, social security number, tax identification number, asset information, and income information;
- Information we receive from you through our Internet websites, such as your name, address, email address, Internet Protocol address, the website links you used to get to our websites, and your activity while using or reviewing our websites;
- Information about your transactions with or services performed by us, our affiliates, or others, such as information concerning your policy, premiums, payment history, information about your home or other real property, information from lenders and other third parties involved in such transaction, account balances, and credit card information; and
- Information we receive from consumer or other reporting agencies and publicly recorded documents.

Disclosure of Personal Information

We may provide your Personal Information (excluding information we receive from consumer or other credit reporting agencies) to various individuals and companies, as permitted by law, without obtaining your prior authorization. Such laws do not allow consumers to restrict these disclosures. Disclosures may include, without limitation, the following:

- To insurance agents, brokers, representatives, support organizations, or others to provide you with services you have requested, and to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure in connection with an insurance transaction;
- To third-party contractors or service providers for the purpose of determining your eligibility for an insurance benefit or payment and/or providing you with services you have requested;
- To an insurance regulatory authority, or a law enforcement or other governmental authority, in a civil action, in connection with a subpoena or a governmental investigation;
- To companies that perform marketing services on our behalf or to other financial institutions with which we have joint marketing agreements and/or
- To lenders, lien holders, judgment creditors, or other parties claiming an encumbrance or an interest in title whose claim or interest must be determined, settled, paid or released prior to a title or escrow closing.

We may also disclose your Personal Information to others when we believe, in good faith, that such disclosure is reasonably necessary to comply with the law or to protect the safety of our customers, employees, or property and/or to comply with a judicial proceeding, court order or legal process.

Effective Date: 5/1/2008

Disclosure to Affiliated Companies – We are permitted by law to share your name, address and facts about your transaction with other FNF companies, such as insurance companies, agents, and other real estate service providers to provide you with services you have requested, for marketing or product development research, or to market products or services to you. We do not, however, disclose information we collect from consumer or credit reporting agencies with our affiliates or others without your consent, in conformity with applicable law, unless such disclosure is otherwise permitted by law.

Disclosure to Nonaffiliated Third Parties – We do not disclose Personal Information about our customers or former customers to nonaffiliated third parties, except as outlined herein or as otherwise permitted by law.

Confidentiality and Security of Personal Information

We restrict access to Personal Information about you to those employees who need to know that information to provide products or services to you. We maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard Personal Information.

Access to Personal Information/

Requests for Correction, Amendment, or Deletion of Personal Information

As required by applicable law, we will afford you the right to access your Personal Information, under certain circumstances to find out to whom your Personal Information has been disclosed, and request correction or deletion of your Personal Information. However, FNF's current policy is to maintain customers' Personal Information for no less than your state's required record retention requirements for the purpose of handling future coverage claims.

For your protection, all requests made under this section must be in writing and must include your notarized signature to establish your identity. Where permitted by law, we may charge a reasonable fee to cover the costs incurred in responding to such requests. Please send requests to:

Chief Privacy Officer
Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, FL 32204

Changes to this Privacy Statement

This Privacy Statement may be amended from time to time consistent with applicable privacy laws. When we amend this Privacy Statement, we will post a notice of such changes on our website. The effective date of this Privacy Statement, as stated above, indicates the last time this Privacy Statement was revised or materially changed.

COMMITMENT FOR TITLE INSURANCE

Issued by **Commonwealth Land Title Insurance Company**



COMMONWEALTH LAND TITLE INSURANCE COMPANY, a Nebraska corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.


This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate Six (6) months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

IN WITNESS WHEREOF, the Company has caused this Commitment to be signed with the facsimile signatures of its President and Secretary and sealed as required by its By-Laws.

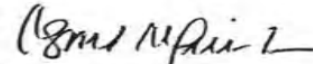
Attest:


Secretary



COMMONWEALTH LAND TITLE INSURANCE COMPANY

By:


President

CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.

COMMITMENT FOR TITLE INSURANCE

American Land Title Association (2006)

Issued By

**Commonwealth Land Title
Insurance Company**

Commonwealth Land Title Insurance Company



P.O. Box 45023
Jacksonville, Florida 32232-5023

Form B 1004-319



2015 00141138

Bk: 65949 Pg: 156 Doc: DEED
Page: 1 of 9 08/21/2015 10:59 AM**DEED**

CJUF III NORTHPOINT LLC, Delaware limited liability company, with an address of 2000 Avenue of the Stars, 11th Floor, Los Angeles, California 90067 ("**Grantor**"), for consideration paid and full consideration of Two Hundred Ninety One Million Forty Thousand Two Hundred Sixty Eight and 46/100 Dollars (\$291,040,268.46), and other good and adequate consideration, the receipt and adequacy of which are acknowledged, hereby grants **DW NP PROPERTY, LLC**, a Delaware limited liability company, with an address c/o DivcoWest Real Estate Services, LLC, 575 Market Street, 35th Floor, San Francisco, CA 94105 ("**Grantee**"), with **QUITCLAIM COVENANTS**, the land, together with any improvements thereon, located in the Cities of Cambridge and Somerville, Middlesex County, Massachusetts, and the City of Boston, Suffolk County, Massachusetts, as more particularly described in EXHIBIT A attached hereto and made a part hereof (the "**Real Property**").

The conveyance is made together with and subject to all recorded easements, conditions, restrictions and agreements and all other matters of record that lawfully apply to the property hereby conveyed.

The Real Property is subject to Notices of Activity and Use Limitation dated June 13, 2013 and recorded with the Middlesex County, Southern District Registry of Deeds (the "Middlesex Registry") in Book 62072, Page 351, in Book 62072, Page 281, and in Book 62072, Page 314, and the Notice of Activity and Use Limitation dated July 20, 2015 and recorded with the Middlesex Registry in Book 65752, Page 408.

Grantor has not elected to be treated as a corporation for Federal Income Tax purposes.

For Grantor's title, see (i) Deed of Boston and Maine Corporation dated as of August 19, 2010, recorded in the Suffolk County Registry of Deeds (the "Suffolk Registry") at Book 46807, Page 256 and in the Middlesex Registry in Book 55212, Page 330, (ii) Deed of Boston and Maine Corporation, dated June 11, 2014 and recorded in the Middlesex Registry in Book 63899, Page 200, and (iii) Deed of Boston and Maine Corporation dated October 31, 2014, recorded in the Suffolk Registry in Book 53735, Page 196, and recorded in the Middlesex Registry in Book 64544, Page 596.

Property: Land in Cambridge, Somerville and Boston, Massachusetts located on
Charlestown Avenue, North Point Boulevard, East Street and Water Street, and Dawes St

This Deed is for the conveyance of the Real Property, which is located in both Middlesex County and Suffolk County, Massachusetts. Deed Excise Stamps based upon the total consideration in the amount of ~~\$291,000,000~~ have been affixed to the duplicate original of this deed recorded this day in Suffolk County. 291,040,268.46

[Balance of page intentionally left blank]

Witness our hand and seal as of the 14th day of August, 2015.

CJUF III NORTHPOINT LLC,
a Delaware limited liability company

By: _____

Name:

Jonathan M. Kaplan

Title:

Authorized Signatory

Legal	Acq/AM
<u>12</u>	<u>WKS</u>

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

ACKNOWLEDGEMENT

STATE OF CALIFORNIA
COUNTY OF Los Angeles

ss:

On 8/14/2015 before me, Rachel E Benitez, a Notary Public,

(insert name and title of the officer)

personally appeared Jonathan Kaplan

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he she/they executed the same in his her/their authorized capacity(ies), and that by his her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Rachel E. Benitez

(Seal)

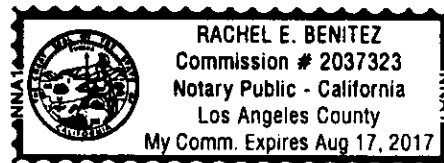


EXHIBIT A

PARCEL ONE:

Parcel 1 on a plan entitled "North Point – 'Central Park' Parcel Subdivision Plan of Land in Boston, Cambridge and Somerville, Massachusetts, Suffolk and Middlesex Counties", dated August 16, 2010, prepared by Gunther Engineering, a division of Digital Geographic Technologies, Inc., and recorded as Plan 597 of 2010 (Middlesex) and Plan Book 2010 Pages 270 and 271 (Suffolk).

Together with all right, title and interest in and to the private street known as Water Street as more particularly shown on the Plan, to the midline thereof and adjoining Parcel 1 described above, excepting therefrom so much of Water Street as may be owned in fee by the MBTA by virtue of the documents recorded in Middlesex South District Registry of Deeds at Book 13117, Page 113 and at Book 13156, Page 34.

Together with the right to use the "private" portion of Water Street as shown on the Plan.

Less and except the following described premises:

- (1) Parcel N set forth in a deed from CJUF III Northpoint LLC to NP Parcel N Owner LLC, dated December 12, 2012 and recorded with Middlesex South District Registry of Deeds in Book 60764, Page 223 and shown on Plan 937 of 2012; and
- (2) That certain parcel of land described in a deed from CJUF III Northpoint LLC to Massachusetts Bay Transportation Authority, dated as of November 20, 2013 and recorded with Middlesex South District Registry of Deeds in Book 62977, Page 343.

PARCEL TWO (Central Park Parcel and Lot FP):**Parcel 1:**

A certain parcel of land situated in the Commonwealth of Massachusetts, County of Middlesex, City of Cambridge, located on the northerly side of North Point Boulevard and being shown as "CENTRAL PARK PARCEL" on a plan entitled "North Point – 'Central Park Parcel', Subdivision Plan of Land in Boston, Cambridge and Somerville, Massachusetts, Suffolk and Middlesex Counties" dated August 16, 2010, prepared by Gunther Engineering, recorded in Middlesex County Registry of Deeds as Plan 597 of 2010. Being more particularly bounded and described as follows:

Beginning at a point at the most southeasterly corner of the parcel, said point being on the northerly line of North Point Boulevard, thence running;

N 75° 22' 38" W 134.49 feet to a point, thence turning and running;

NORTHWESTERLY by a curve to the right having a radius of 1979.00 feet a length of

	48.78 feet to a point, thence turning and running;
N 73° 57' 53" W	632.12 feet to a point, thence turning and running;
NORTHWESTERLY	by a curve to the right having a radius of 224.00 feet and a length of 22.75 feet to a point, thence turning and running;
N 68° 08' 47" W	37.98 feet to a point, thence turning and running;
NORTHWESTERLY	by a curve to the right having a radius of 425.00 feet and a length of 94.54 feet to a point, said last six courses being by the northerly line of North Point Boulevard, thence turning and running;
N 57° 16' 47" W	256.98 feet to a point, thence turning and running;
N 11° 15' 41" E	91.06 feet to a point, thence turning and running;
S 81° 14' 36" E	200.13 feet to a point, thence turning and running;
S 73° 25' 09" E	14.60 feet to a point, thence turning and running;
S 81° 06' 44" E	67.29 feet to a point, thence turning and running;
S 74° 39' 04" E	33.61 feet to a point, thence turning and running;
S 81° 14' 36" E	178.52 feet to a point, thence turning and running;
S 85° 07' 47" E	40.27 feet to a point, thence turning and running;
NORTHEASTERLY	by a curve to the right having a radius of 319.00 feet and a length of 105.10 feet to a point, thence turning and running;
S 58° 22' 52" E	128.90 feet to a point, thence turning and running;
S 51° 45' 29" E	30.35 feet to a point, thence turning and running;
S 58° 22' 52" E	137.29 feet to a point, thence turning and running;
S 64° 25' 22" E	33.25 feet to a point, thence turning and running;
S 58° 22' 52" E	273.25 feet to a point, thence turning and running;
SOUTHEASTERLY	by a curve to the right having a radius of 30.08 feet and a length of 47.17 feet to a point, thence turning and running;
S 31° 28' 09" W	35.15 feet to a point, thence turning and running;

SOUTHWESTERLY by a curve to the right having a radius of 4.00 feet and a length of 5.11 feet to the point of beginning. All of said courses being by Parcel 1.

Parcel 2:

A certain parcel of land situated in the City of Cambridge, County of Middlesex, Commonwealth of Massachusetts, being more particularly shown as "Lot FP" on a plan entitled "Condominium Site Plan of Sierra & Tango Condominium in Cambridge, Massachusetts, Middlesex County, Scale 1" = 30', 10 January 2008, Gunther Engineering", recorded with the Middlesex S. D. Registry of Deeds as Plan No. 449 of 2008.

PARCEL THREE:

A certain parcel of land situated partly in the City of Cambridge and partly in the City of Boston Commonwealth of Massachusetts, Counties of Middlesex and Suffolk, located on Charlestown Avenue and being shown as Parcel 2 on a plan entitled "North Point – 'Central Park' Parcel, Subdivision Plan of Land in Boston, Cambridge and Somerville, Massachusetts, Suffolk and Middlesex Counties" dated August 16, 2010, prepared by Gunther Engineering, recorded in Middlesex County Registry of Deeds as Plan 597 of 2010 and recorded in Suffolk County Registry of Deeds in Plan Book 2010 Pages 270 and 271.

The foregoing parcels are conveyed together with the benefit (subject to the terms and provisions of the documents referenced below) of the following:

- A. Easement rights that are appurtenant to the above-described PARCEL THREE and that were reserved by Boston and Maine Corporation in paragraph 2 of that certain Release Deed and Grant of Easement from Boston and Maine Corporation to Massachusetts Bay Transportation Authority, dated July 1, 1992, and recorded with the Suffolk County Registry of Deeds in Book 17577, Page 179 and with Middlesex South District Registry of Deeds in Book 22186, Page 479, as affected by Confirmatory Release Deed and Grant of Easement dated July 20, 1993 and recorded with Suffolk Registry of Deeds in Book 19013, Page 1 and with Middlesex South District Registry of Deeds in Book 24467, Page 562, which easement rights are in the property shown as "B&M Access Easement" on a plan recorded with the Suffolk County Registry of Deeds as Plan 17577, Page 179 and Middlesex County Southern District Registry of Deeds as Plan 546 of 1992.
- B. Easements to use and access the "Developer Crossover Easement Area", granted in and subject to the terms and provisions of that certain Northpoint Parking Easement Agreement by and between CJUF III Northpoint LLC and the Massachusetts Bay Transportation Authority, dated as of February 23, 2015, and recorded in Middlesex South District Registry of Deeds in Book 65048, Page 251.

- C. Easements set forth in that certain Easement Agreement by and between North Point Apartments Limited Partnership, Archstone North Point II LLC, AVB Maple Leaf Apartments Limited Partnership, and CJUF III Northpoint LLC, dated as of July 31, 2015, and recorded in Suffolk in Book 54872, Page 23, and in Middlesex South District Registry of Deeds in Book 65856, Page 233.
- D. Easements covenants, conditions and restrictions set forth in that certain Northpoint Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC, NP Parcel N Owner LLC, and the Boston and Maine Corporation, dated April 12, 2013 and recorded with Middlesex South District Registry of Deeds in Book 61625, Page 397 and recorded with Suffolk County Registry of Deeds in Book 51306, Page 54, as affected by that certain Northpoint Parcel N Deed Covenants by and between CJUF III Northpoint LLC and NP Parcel N Owner LLC dated as of April 12, 2013 and recorded with Middlesex South District Registry of Deeds in Book 61625, Page 496, as affected by that certain First Amendment to Northpoint Agreement of Covenants, Easements and Restrictions dated as of August 21, 2014, recorded in Suffolk County Registry of Deeds in Book 53465 Page 37 and in Middlesex South District Registry of Deeds in Book 64210 Page 280, as affected by that certain Second Amendment to Northpoint Agreement of Covenants, Easements and Restrictions dated as of June 12, 2015, recorded with Suffolk County Registry of Deeds in Book 54628, Page 334, and recorded in Middlesex South District Registry of Deeds in Book 65567, Page 343.
- E. Easements covenants, conditions and restrictions set forth in that certain Agreement of Covenants, Easements and Restrictions by and between CJUF III Northpoint LLC, Sierra Plus Tango LLC, as Trustee of Sierra + Tango Condominium Trust, and Boston and Maine Corporation, dated as of April 1, 2011 and recorded with Middlesex South District Registry of Deeds in Book 56683, Page 375 and with Suffolk County Registry of Deeds in Book 47761, Page 232, as amended by First Amendment dated as of December 12, 2012 and recorded with Middlesex South District Registry of Deeds in Book 60764, Page 220.

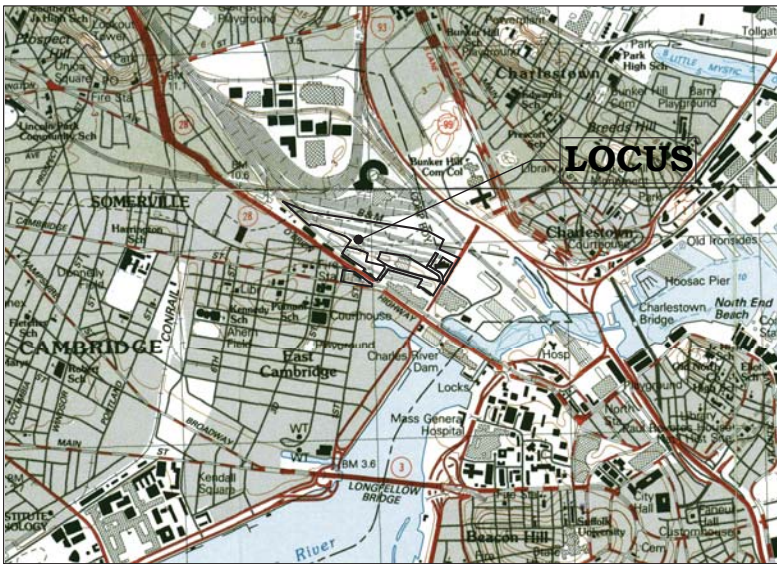
NORTHPOINT THOROUGHFARE DAWES STREET IN SOMERVILLE, MASSACHUSETTS (Middlesex County)

OWNER/APPLICANT

DW NP Property, LLC
One Kendall Square
Suite B3201
Cambridge, MA 02139

CIVIL ENGINEER AND SURVEYOR

Beals and Thomas, Inc.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772



Locus Map
Scale: 1" = 2083'



SHEET INDEX

	Cover Sheet
1.0	Notes, References and Legend
2.0	Index Plan
3.0	Layout and Materials
4.0	Pavement Marking and Signage
5.0	Grading and Drainage
6.0	Utilities
7.0	Roadway Plan and Profile
8.0-8.1	Roadway Details

VEHICLE AND THERE SHALL BE NO DELAY FOR MORE THAN 5 MINUTES.

PROTECT EXISTING MONITORING WELLS, UNLESS OTHERWISE APPROVED BY THE OWNER.

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS

CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE

DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT.

SILT SAKS SHALL BE INSTALLED IN ALL EXISTING DOWNSTREAM DRAIN INLETS PRIOR TO CONSTRUCTION

CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO

ENSURE ITS CONTINUED FUNCTIONALITY,

INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY AND DPW STANDARDS

FINISHED GRADE.

ALL WATER WORKS SHALL CONFORM TO CAMBRIDGE WATER DEPARTMENT SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET OF MINIMUM COVER. GAS, ELECTRIC, TELEPHONE AND FIRE

ALL WATER UTILITY IMPROVEMENTS SHALL COMPLY WITH THE AMERICAN WATERWORKS ASSOCIATION

CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY

RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE

SEE TOPOGRAPHIC PLAN FOR ADDITIONAL EXISTING CONDITIONS LEGEND
SEE SHEET C3.0 FOR SITE PREPARATION LEGEND
SEE SHEET C5.0 FOR PAVEMENT MARKING AND TRAFFIC SIGN LEGEND.

NOTE:
ALL CROSSWALKS SHALL BE 10' WIDE UNLESS OTHERWISE NOTED.

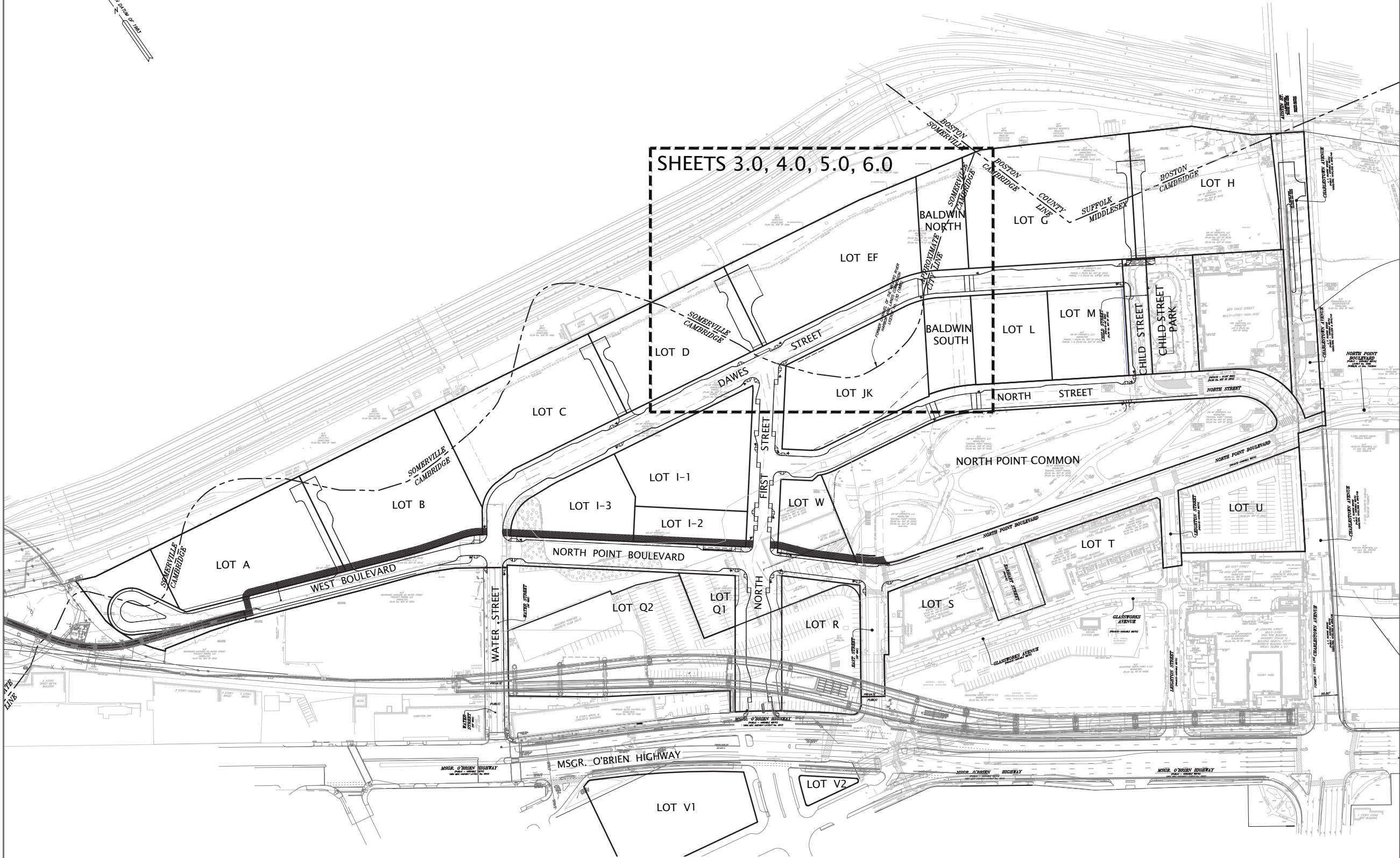
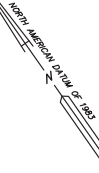
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

1.0

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



PREPARED FOR:

**DW NP
PROPERTY, LLC**

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS+THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5				
4				
3				
2				
1				
0	11/03/2016	DESIGN AND SITE PLAN		
ISSUE DATE		DESCRIPTION		
DES	DWN	CHK'D	APP'D	

PROJECT:

**NORTHPOINT
THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016

METERS
0 5 10 15 20 30 40 50 60

FEET
0 10 20 30 40 50 60

INDEX PLAN

B+T JOB NO. 2084.02
B+T PLAN NO. 208402P126C-002

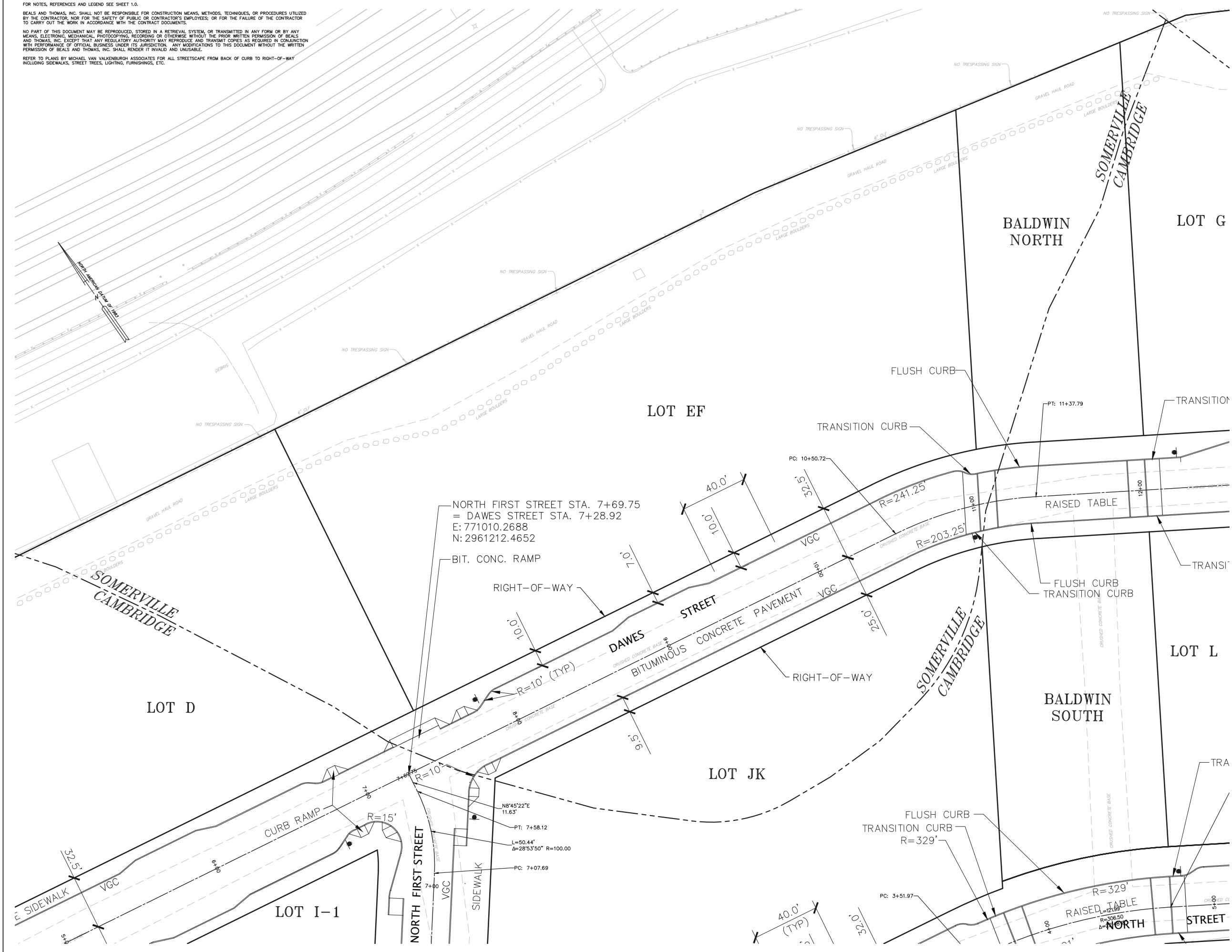
2.0

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

REFER TO PLANS BY MICHAEL VAN VALKENBURGH ASSOCIATES FOR ALL STREETSCAPE FROM BACK OF CURB TO RIGHT-OF-WAY INCLUDING SIDEWALKS, STREET TREES, LIGHTING, FURNISHINGS, ETC.



PREPARED FOR:

**DW NP
PROPERTY, LLC**

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5		
4		
3		
2		
1		
0	11/03/2016	DESIGN AND SITE PLAN
ISSUE DATE		DESCRIPTION
DES	DWN	CHK'D APP'D

PROJECT:

**NORTHPOINT
THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016

METERS
0 5 10 15 20
FEET
0 10 20 40 60

**LAYOUT AND
MATERIALS**

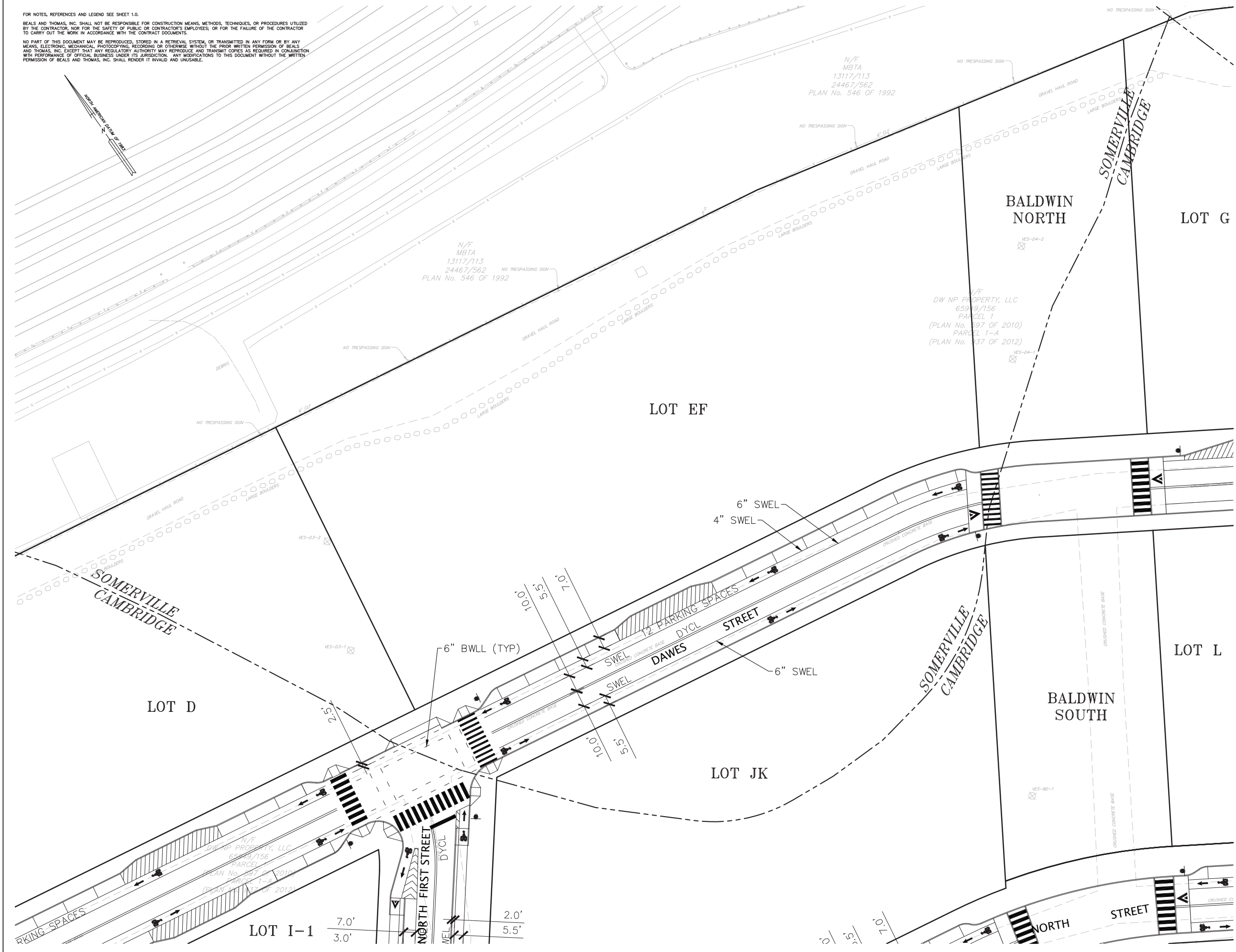
B+T JOB NO. 2084.02
B+T PLAN NO.
208402P129C-005

3.0

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



PREPARED FOR:

DW NP PROPERTY, LLC

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5		
4		
3		
2		
1		
0	11/03/2016	DESIGN AND SITE PLAN
ISSUE DATE		DESCRIPTION
DES	DWN	CHK'D
		APP'D

PROJECT:

**NORTHPOINT THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016

METERS
0 5 10 15 20 30 40 50 60
FEET

**PAVEMENT MARKING
AND SIGNAGE**

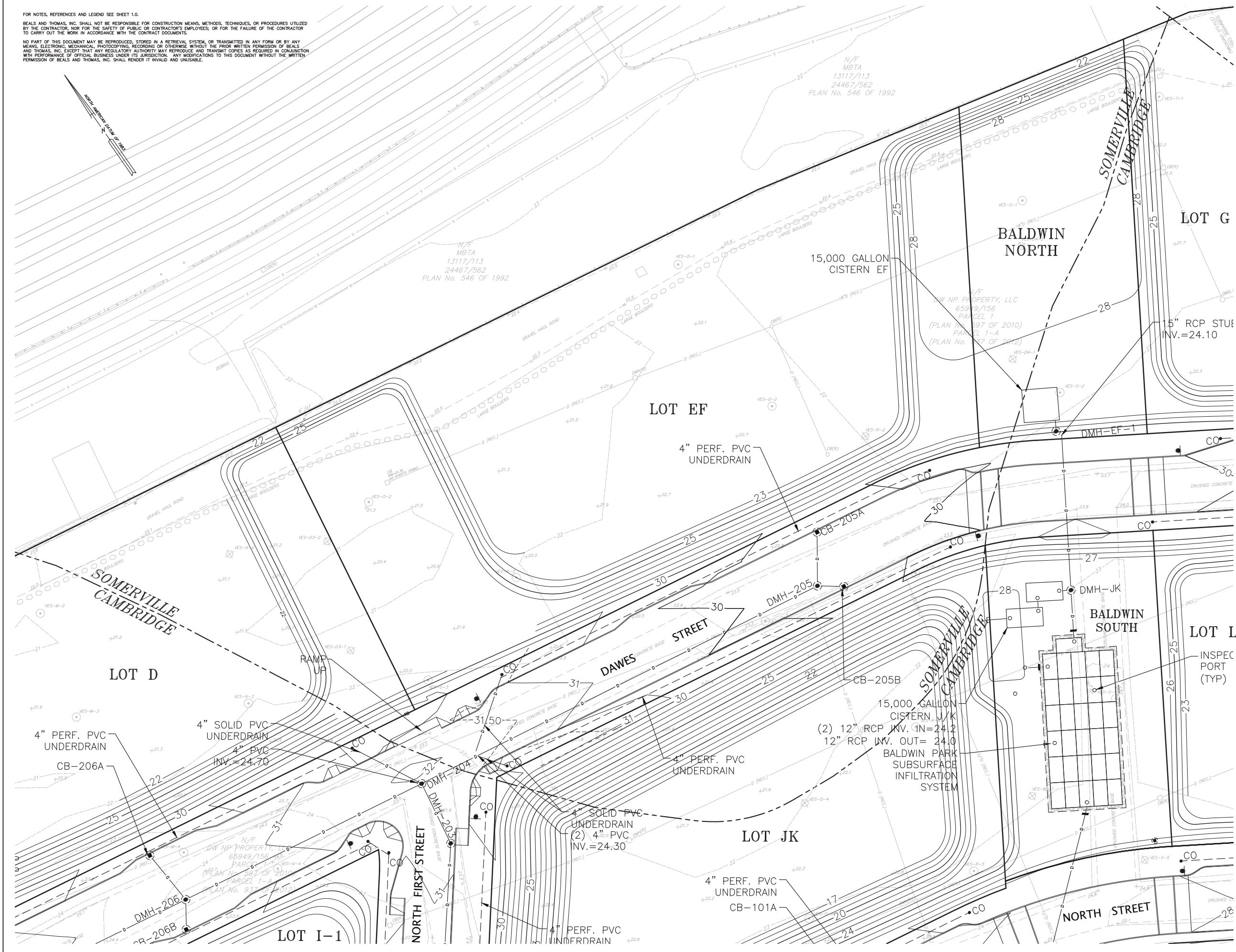
B+T JOB NO. 2084.02
B+T PLAN NO. 208402P140C-005

4.0

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



PREPARED FOR:

DW NP PROPERTY, LLC

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS+THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5	
4	
3	
2	
1	
0	11/03/2016 DESIGN AND SITE PLAN
ISSUE DATE DESCRIPTION	
DES	DWN
CHK'D	APP'D

PROJECT:

**NORTHPOINT THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016

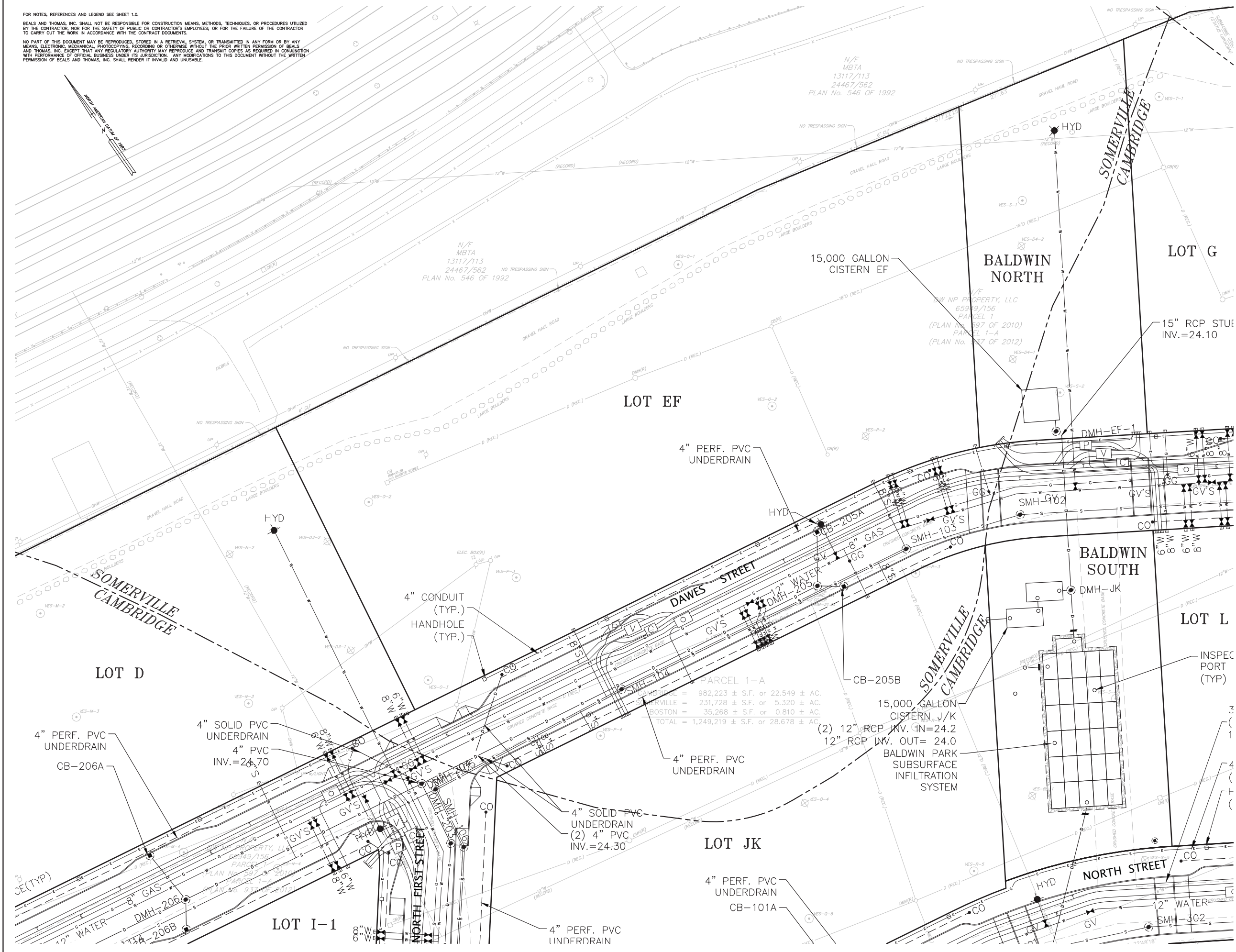


**GRADING AND
DRAINAGE**

B+T JOB NO. 2084.02
B+T PLAN NO. 208402P130C-005

5.0

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.
BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



PREPARED FOR:
DW NP PROPERTY, LLC
One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS+THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

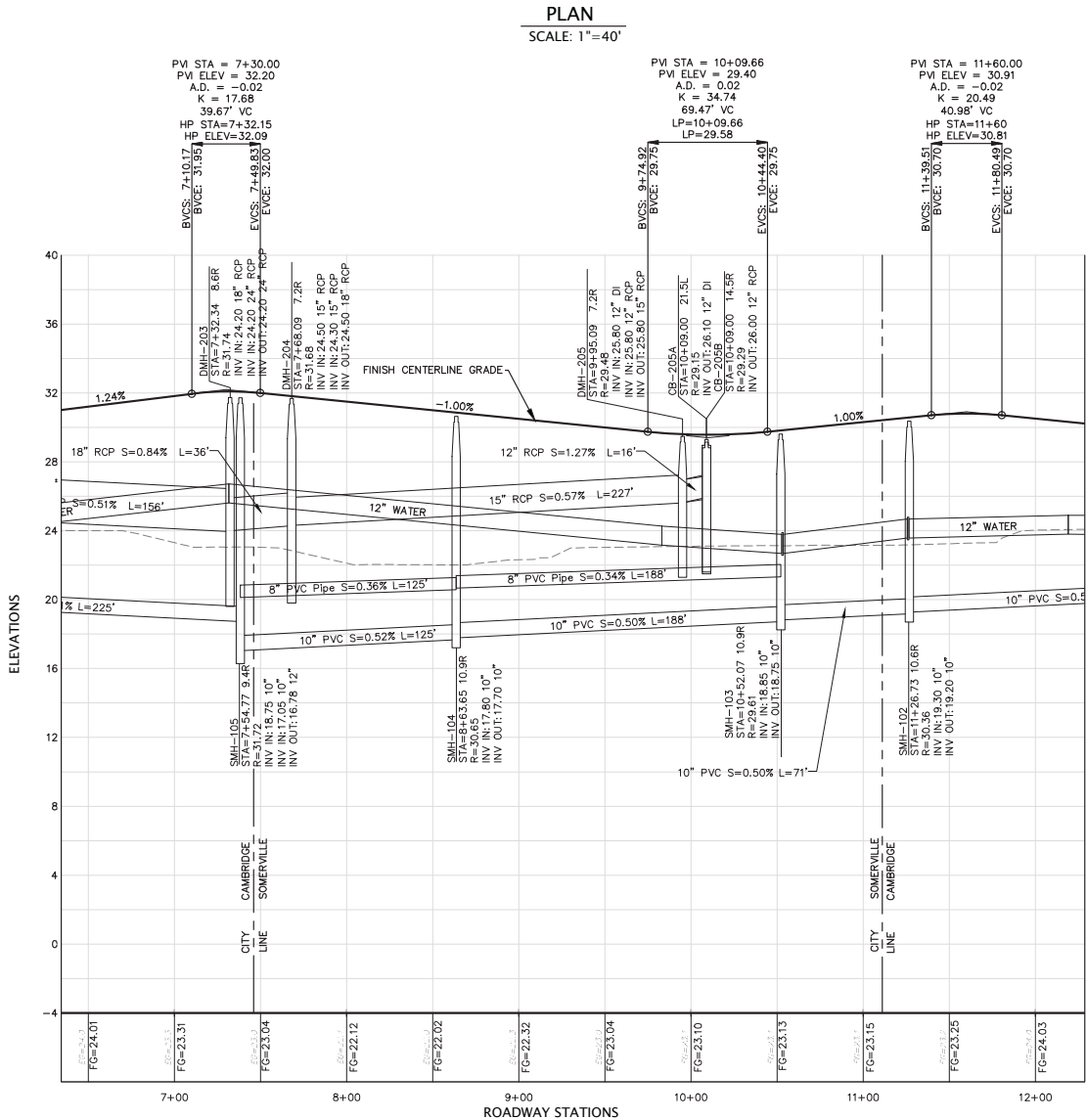
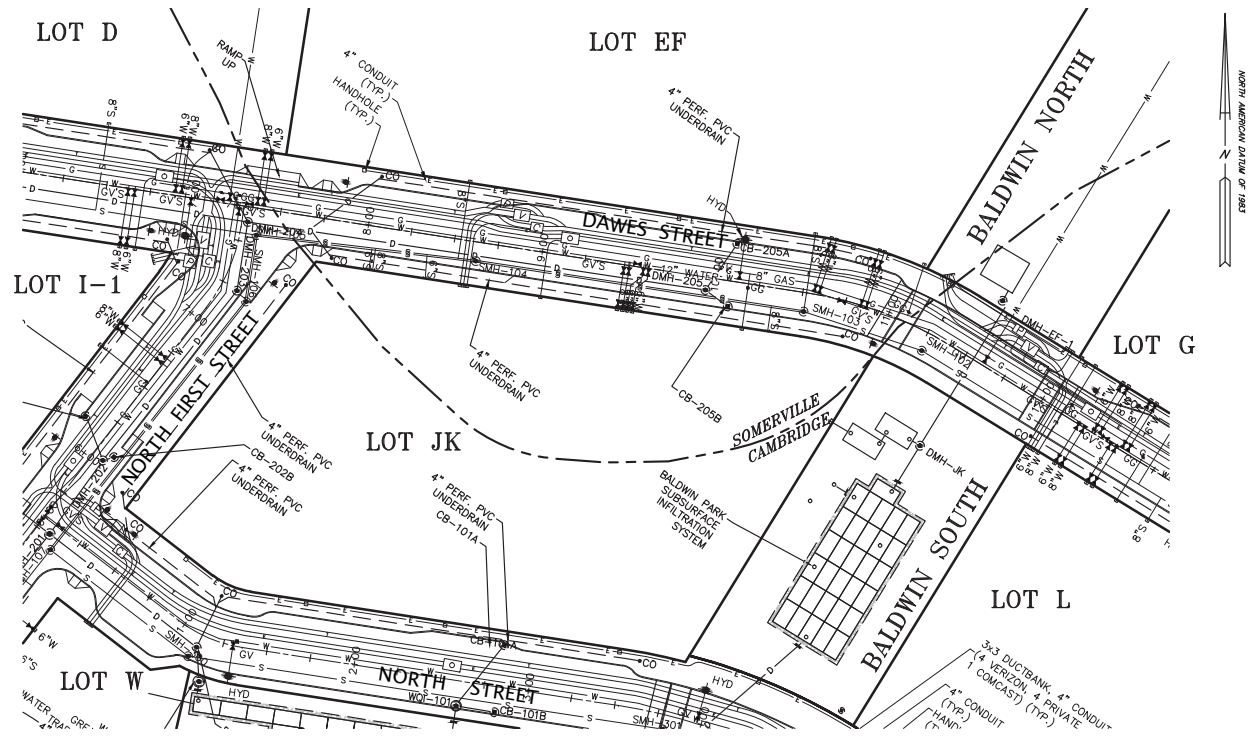
5		
4		
3		
2		
1		
0	11/03/2016	DESIGN AND SITE PLAN
ISSUE DATE		DESCRIPTION
DES	DWN	CHK'D APP'D

PROJECT:
**NORTHPOINT THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016
METERS
0 5 10 15 20 30 40 50 60
FEET

UTILITIES

B+T JOB NO. 2084.02
B+T PLAN NO. 208402P131C-006
6.0



PROFILE
SCALE: 1"=40' (HOR.) 1"=4' (VER.)

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.
BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

PREPARED FOR:

**DW NP
PROPERTY, LLC**

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5	
4	
3	
2	
1	
0	11/03/2016 DESIGN AND SITE PLAN
ISSUE DATE	DESCRIPTION
DES	DWN
CHK'D	APP'D

PROJECT:

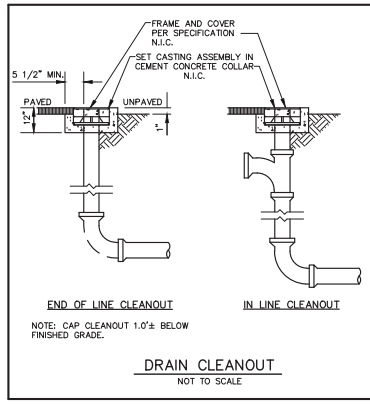
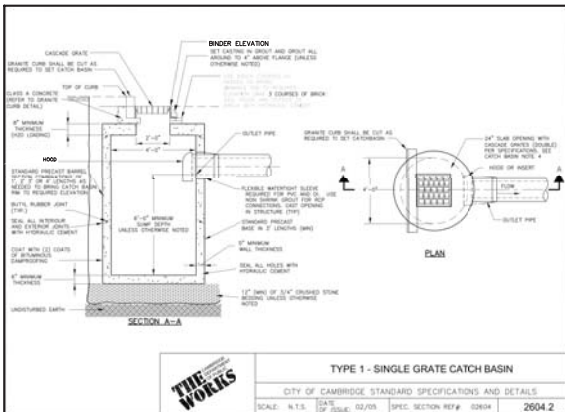
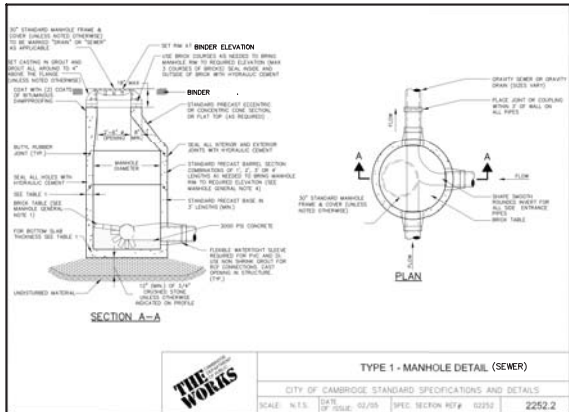
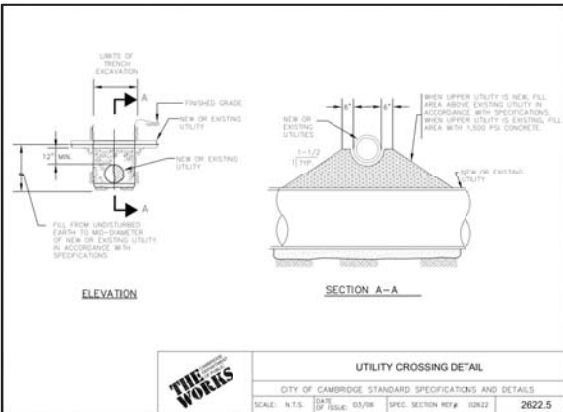
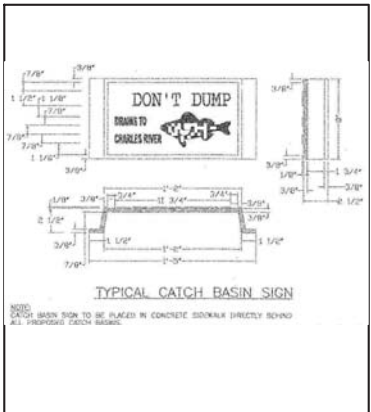
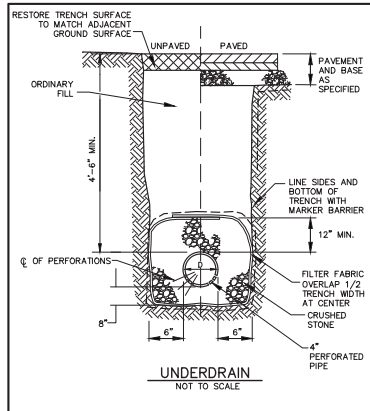
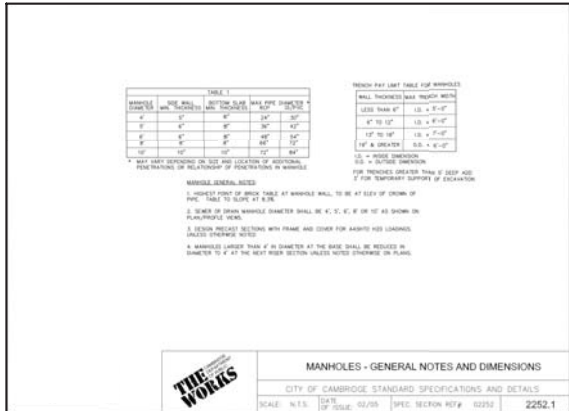
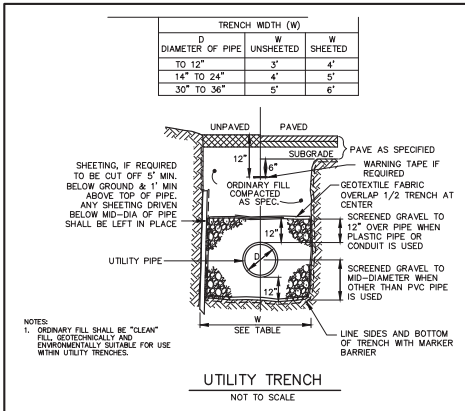
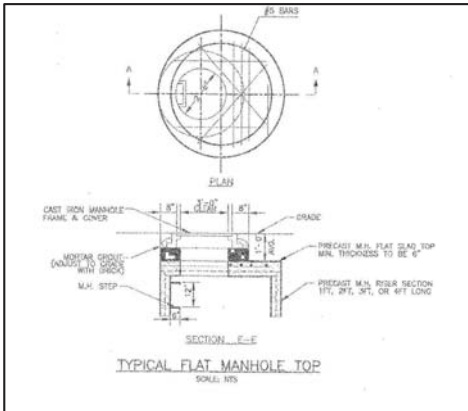
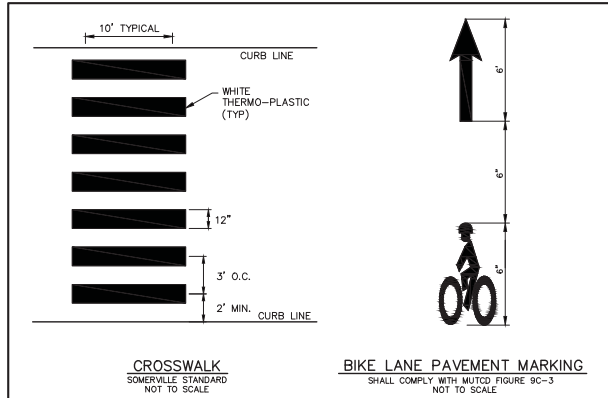
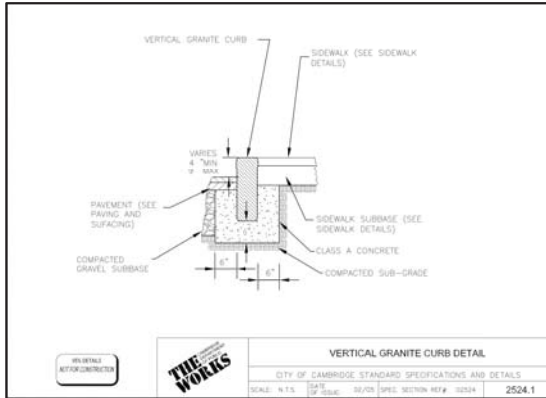
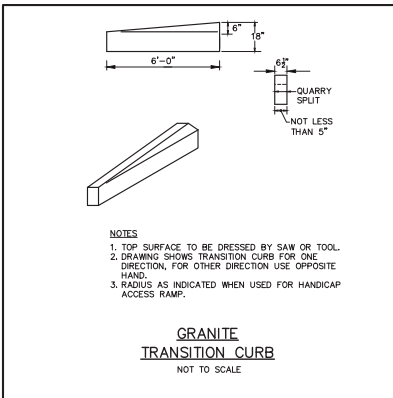
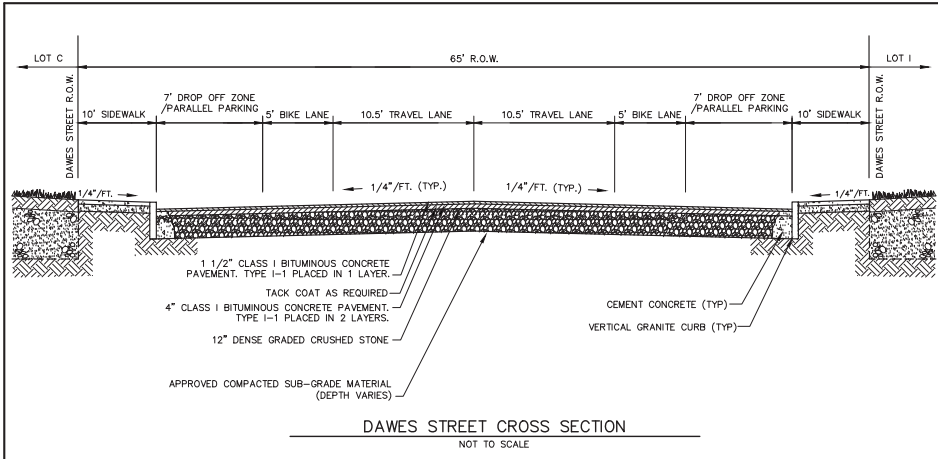
**NORTHPOINT
THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 40' DATE: NOVEMBER 3, 2016

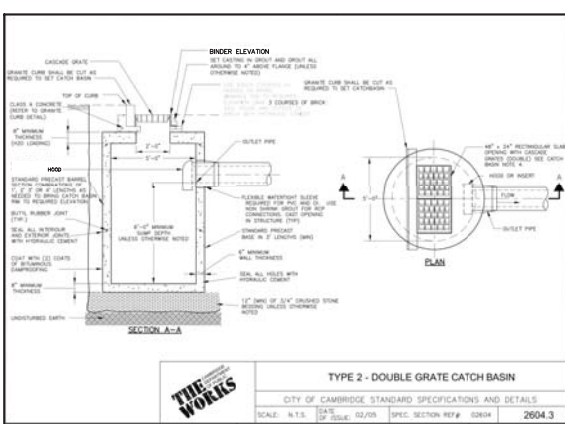
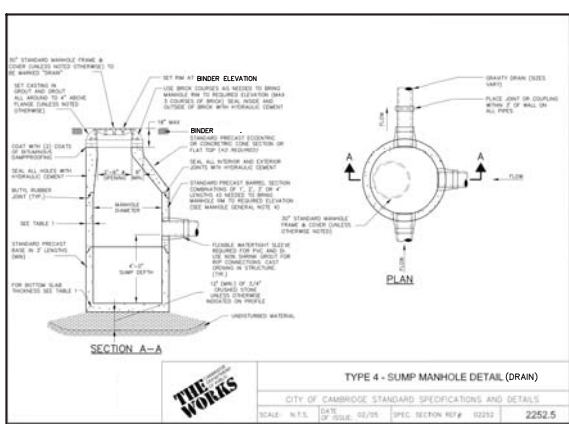
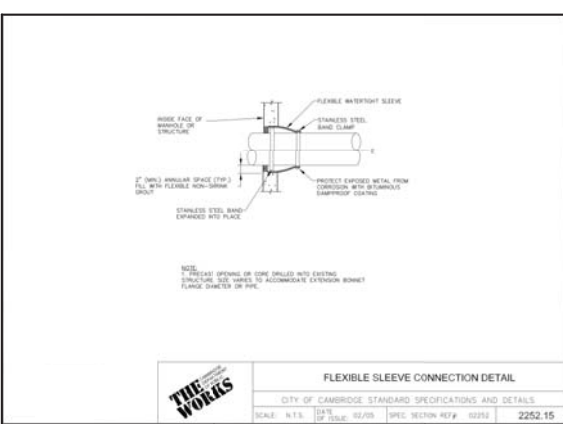
METERS
0 5 10 25
FEET
0 20 40 80 120

**PLAN AND PROFILE
DAWES STREET
SOMERVILLE**

B+T JOB NO. 2084.02
B+T PLAN NO.
208402P133C--007
7.0



- GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF THE EXISTING FEATURES AND STRUCTURES WITHIN AND ADJACENT TO THE WORK IN THE CASE OF DAMAGE, THE REPAIRS OR REPLACEMENT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
 2. THE CONTRACTOR SHALL FURNISH ALL PROTECTIVE AND/OR WARNING DEVICES AS REQUIRED TO CONTROL AND PROTECT THE PUBLIC IN ALL WORK AREAS.
 3. PIPE BEDDING, SCREENED CORAGEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67:
100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-50% PASSING 3/8 INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #6 SIEVE
 4. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
 5. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE.
 6. CONCRETE FOR ENCASEMENT, IF REQUIRED, SHALL CONFORM TO THE REQUIREMENTS FOR 3,000 PSI CONCRETE.



PREPARED FOR:

**DW NP
PROPERTY, LLC**

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5			
4			
3			
2			
1			
0	11/03/2016 DESIGN AND SITE PLAN		
ISSUE DATE	DESCRIPTION		
DES	DWN	CHK'D	APP'D

PROJECT:

**NORTHPOINT
THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016

METERS
0 5 10 15 20 30 40 50 60
FEET

ROADWAY DETAILS

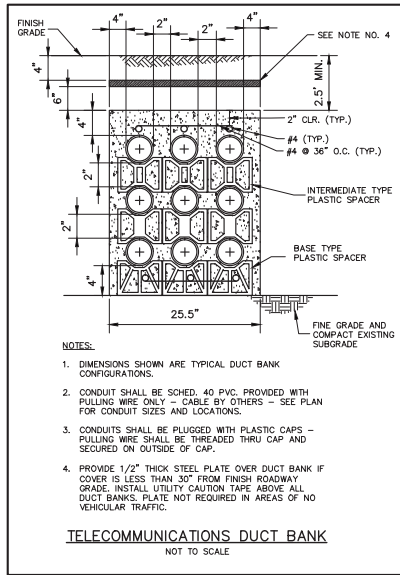
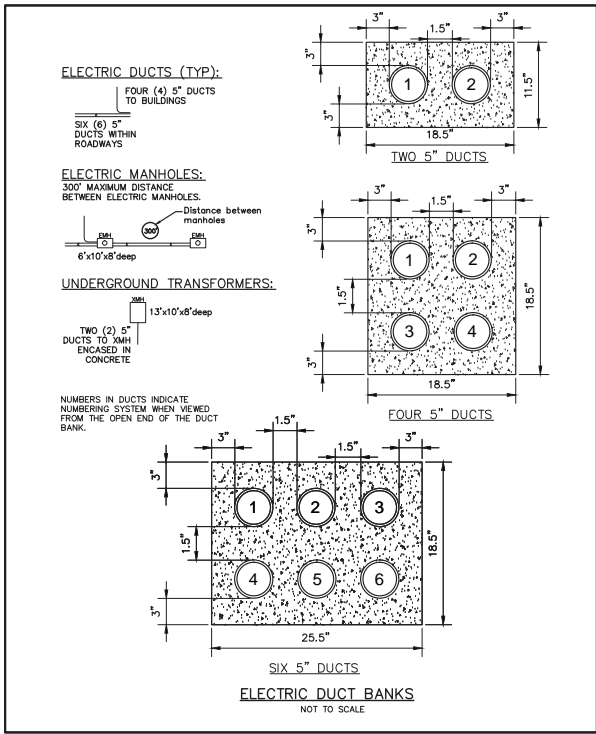
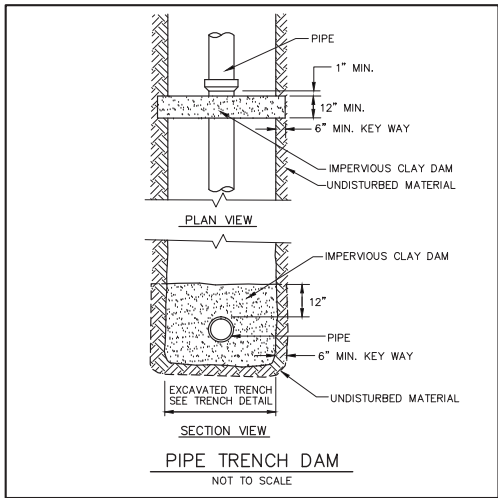
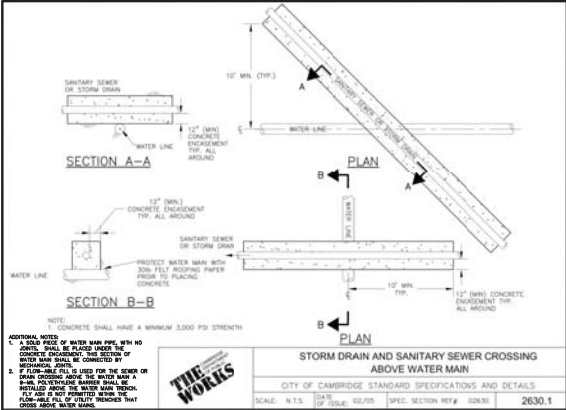
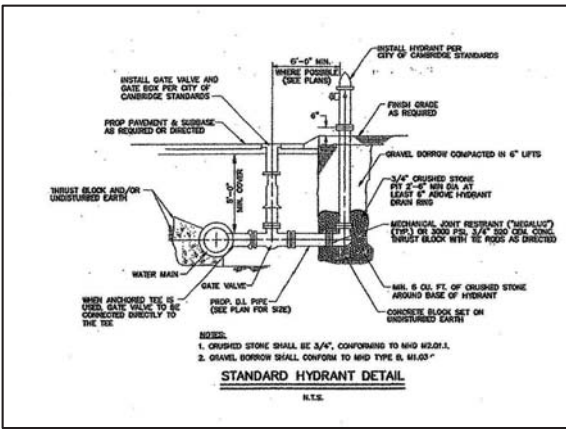
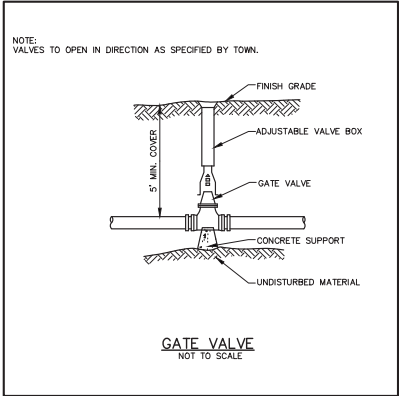
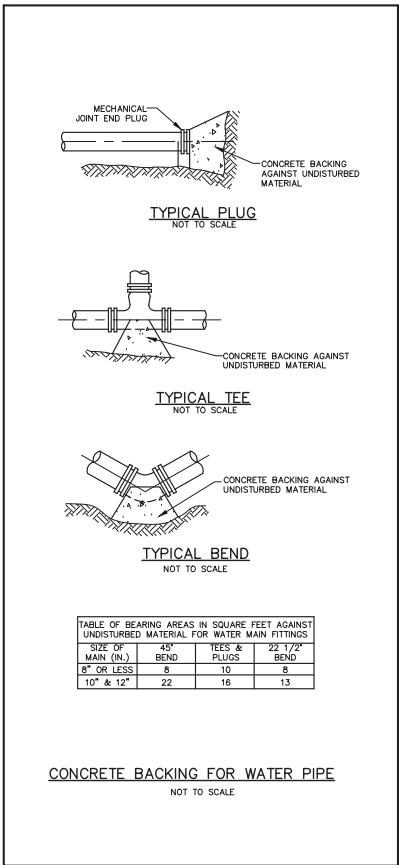
B+T JOB NO. 2084.02
B+T PLAN NO. 208402P135C-008

8.0

FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.



FOR NOTES, REFERENCES AND LEGEND SEE SHEET 1.0.

BEALS AND THOMAS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF BEALS AND THOMAS, INC. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND TRANSMIT COPIES AS REQUIRED IN CONJUNCTION WITH PERFORMANCE OF OFFICIAL BUSINESS UNDER ITS JURISDICTION. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BEALS AND THOMAS, INC. SHALL RENDER IT INVALID AND UNUSABLE.

PREPARED FOR:

**DW NP
PROPERTY, LLC**

One Kendall Square
Suite B3201
Cambridge, MA 02139

COPYRIGHT (C) BY BEALS AND THOMAS, INC.
ALL RIGHTS RESERVED

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5				
4				
3				
2				
1				
0	11/03/2016	DESIGN AND SITE PLAN		
ISSUE DATE		DESCRIPTION		
DES	DWN	CHK'D	APP'D	

PROJECT:

**NORTHPOINT
THOROUGHFARE
DAWES STREET
IN SOMERVILLE, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: NOVEMBER 3, 2016



ROADWAY DETAILS

B+T JOB NO. 2084.02

B+T PLAN NO.
208402P135C-009

8.1

NORTHPOINT
THOROUGHFARE
DAWES STREET

PROJECT CLIENT

DW NP Property, LLC
24 East Street
Cambridge, MA 02141



DESIGN TEAM

LANDSCAPE ARCHITECT
Michael Van Valkenburgh Associates, Inc.
231 Concord Avenue
Cambridge, MA 02138
Tel: 617.864.2076
Fax: 617.492.3128

This document is preliminary and describes the general scope of the project, and design concept. These documents do not necessarily indicate or describe all of the work required for the full performance and completion of the requirements of the contract. On the basis of the scope indicated, described or inferred, the Contractor shall determine and include in the proposals all items necessary to provide the proper execution and completion of the work.

KEY PLAN



0 10' 20' 40'
Scale: 1" = 20'

STATUS

Design and Site Plan

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

Landscape Layout, Grading,
Lighting, and Planting Plan

JOB NUMBER 15039.04 SHEET NO.

DATE 11.03.16

SCALE As Noted

DRAWN BY MVVA

CHECKED BY MVVA

L1.01

LANDSCAPE ARCHITECTURAL LEGEND

P.L.	Property Line
-	Bike Rack
Bench	Bench
LP-S	Street Light Pole
21	Proposed Contour Line
400.00	Proposed Spot Elevation
TD	Trench Drain
Accessible Curb Cut	Accessible Curb Cut
Street Signage, Refer to Civil Dwgs	Street Signage, Refer to Civil Dwgs

MATERIALS LEGEND

1.01	Concrete Pavement - Pedestrian	1	12.01
1.02	Concrete Pavement - Vehicular	2	12.01
1.03	Decomposed Granite Pavement	4	12.01
1.04	Stone Setts Pavement	5	12.01
1.05	Street Curb, Refer to Civil Dwgs		
1.06	Roadway Pavement, Refer to Civil Dwgs		

2.00 SITE FURNITURE AND SEATING

2.01	Bike Rack	1	12.02
2.02	Bench	3	12.02
2.03	Street Light Pole	2	12.02

3.00 MISCELLANEOUS

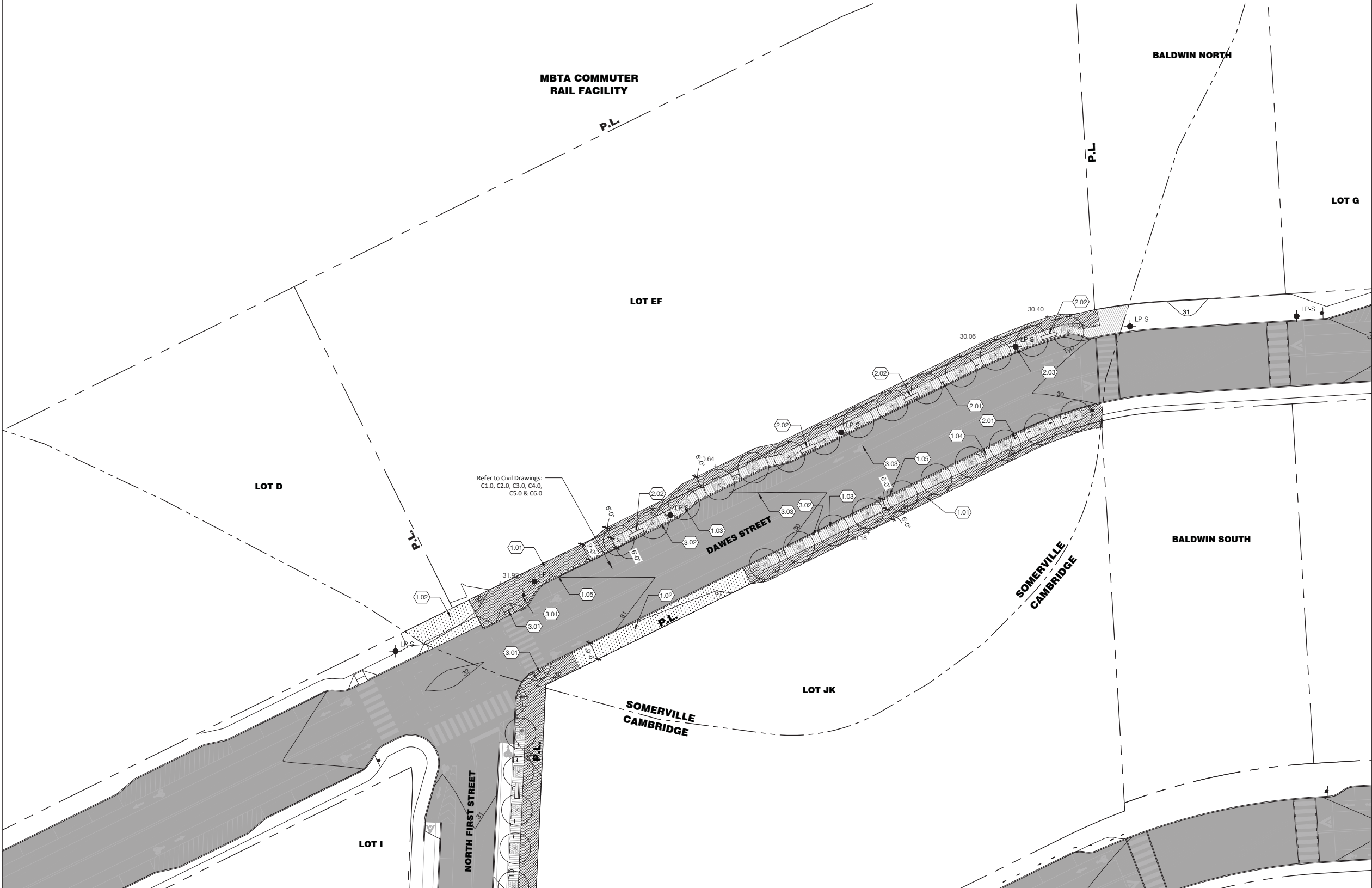
3.01	Accessible Curb Cut	6	12.01
3.02	Trench Drain	8	12.01
3.03	Roadway Striping, Refer to Civil Dwgs		

PLANTING LEGEND



PLANTING SCHEDULE

KEY	TYPE	QTY.	SIZE	ROOT	NOTES
CANOPY TREES					
	Gleditsia triacanthos 'Skyline'	5	4-4 1/2' CAL.	B&B	Lowest Limb @ 7'
	Platanus x acerifolia	5	4-4 1/2' CAL.	B&B	Lowest Limb @ 7'
	Celtis occidentalis 'Magnifica'	5	4-4 1/2' CAL.	B&B	Lowest Limb @ 7'
	Acer saccharum 'Green Mountain'	5	4-4 1/2' CAL.	B&B	Lowest Limb @ 7'
	Gymnocladus dioica	4	4-4 1/2' CAL.	B&B	Lowest Limb @ 7'



**NORTHPOINT
THOROUGHFARE
DAWES STREET**

PROJECT CLIENT

DW NP Property, LLC

24 East Street
Cambridge, MA 02141



DESIGN TEAM

LANDSCAPE ARCHITECT

Michael Van Valkenburgh Associates, Inc.
231 Concord Avenue
Cambridge, MA 02138
Tel: 617.864.2076
Fax: 617.492.3128

This document is preliminary and describes the general scope of the project, and design concept. These documents do not necessarily indicate or describe all of the work required for the full performance and completion of the requirements of the contract. On the basis of the scope indicated, described or inferred, the Contractor shall determine and include in the proposals all items necessary to provide the proper execution and completion of the work.

KEY PLAN

STATUS

Design and Site Plan

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

Site Details

JOB NUMBER 15039.04 SHEET NO.

DATE 11.03.16

SCALE As Noted

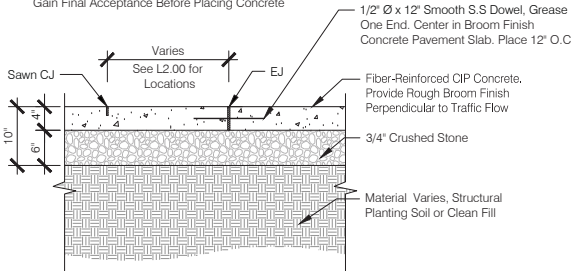
DRAWN BY MVVA

CHECKED BY MVVA

L2.01

NOTES:

1. Provide $\frac{3}{8}$ " Expansion Joint, Recess $\frac{3}{8}$ " and fill with Backer Rod and Sealant.
2. Sawcut Control Joints to be 1/4 Depth of Entire Slab Depth.
3. Contractor Shall Strictly Follow Control and Expansion Joint Pattern Shown on the Dwg. Review Layout with Landscape Architect and Gain Final Acceptance Before Placing Concrete



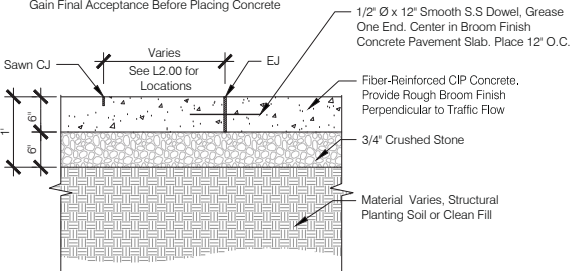
1 Concrete Pavement - Pedestrian

Section

Scale: 1"= 1'-0"

NOTES:

1. Provide $\frac{3}{8}$ " Expansion Joint, Recess $\frac{3}{8}$ " and fill with Backer Rod and Sealant.
2. Sawcut Control Joints to be 1/4 Depth of Entire Slab Depth.
3. Contractor Shall Strictly Follow Control and Expansion Joint Pattern Shown on the Dwg. Review Layout with Landscape Architect and Gain Final Acceptance Before Placing Concrete



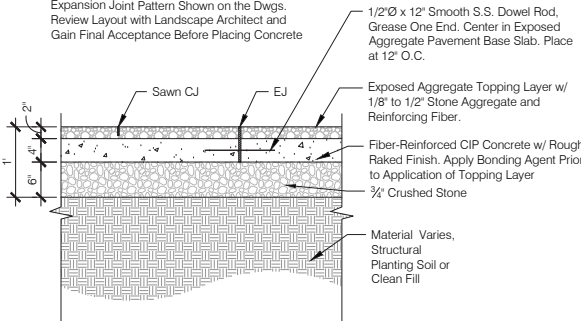
2 Concrete Pavement - Vehicular

Section

Scale: 1"= 1'-0"

NOTES:

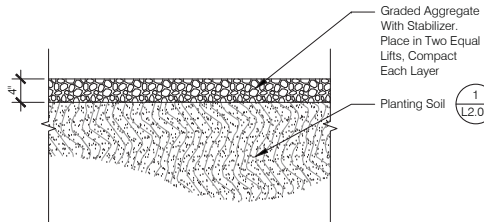
1. Provide $\frac{3}{8}$ " Expansion Joint, Recess $\frac{3}{8}$ " and fill with Backer Rod and Sealant.
2. Sawcut Control Joints to be 1/4 Depth of Entire Slab Depth.
3. Contractor Shall Strictly Follow Control and Expansion Joint Pattern Shown on the Dwg. Review Layout with Landscape Architect and Gain Final Acceptance Before Placing Concrete



3 Exposed Aggregate Concrete Pavement

Section

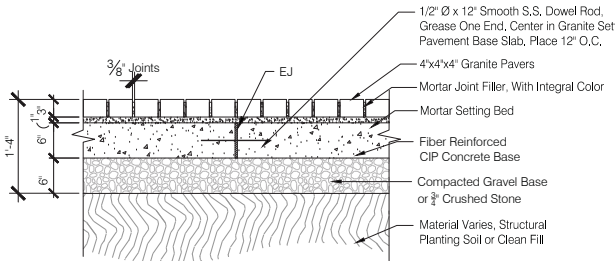
Scale: 1"= 1'-0"



4 Decomposed Granite Pavement

Section

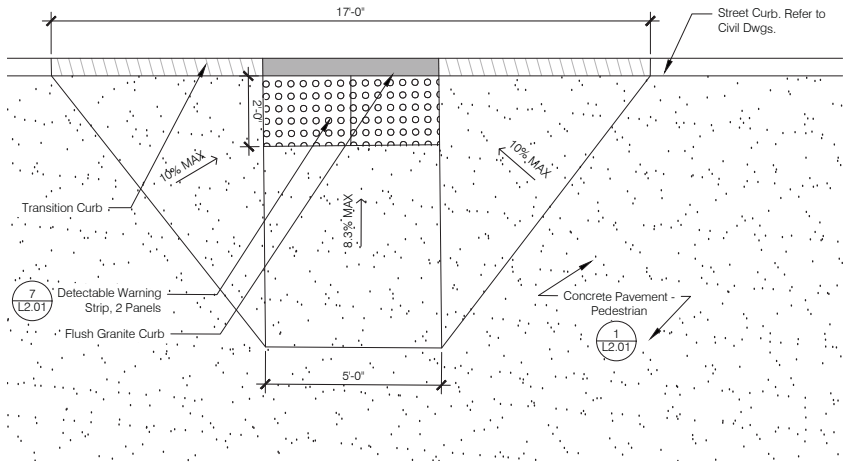
Scale: 1"= 1'-0"



5 Stone Sett Pavement

Section

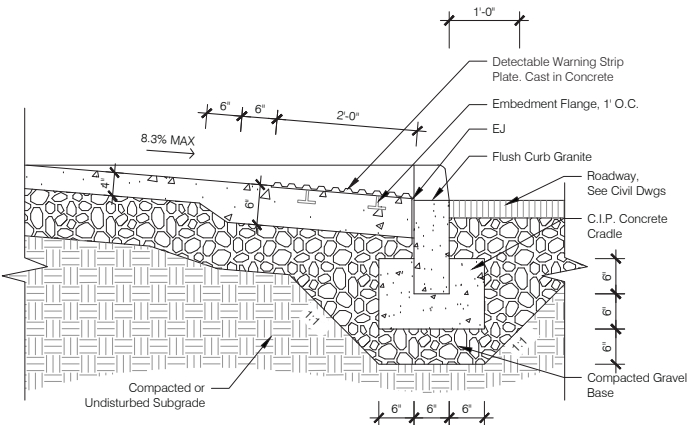
Scale: 1"= 1'-0"



6 Accessible Curb Cut

Plan

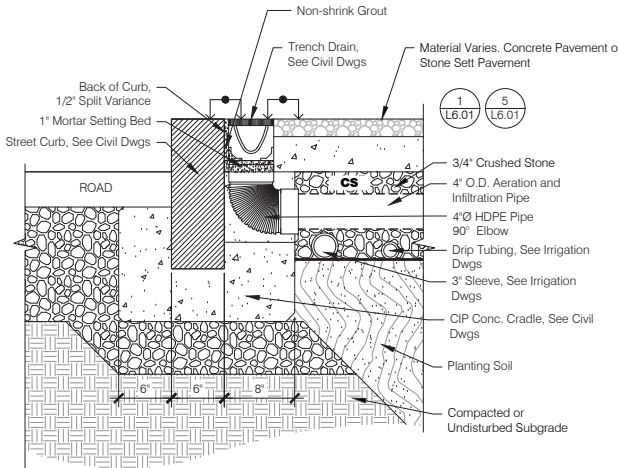
Scale: 1/2"= 1'-0"



7 Detectable Warning Strip

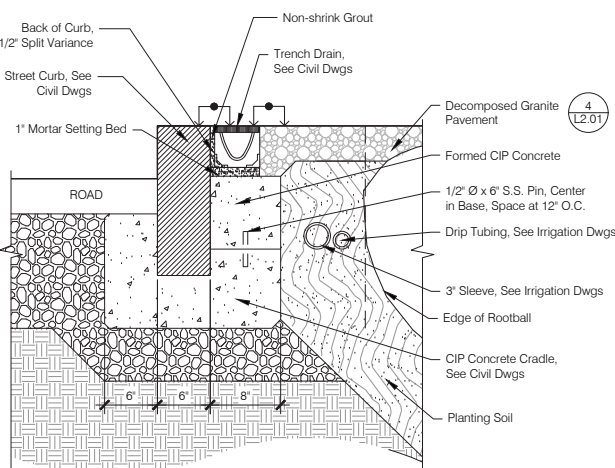
Section

Scale: 1"= 1'-0"



A Trench Drain at Pavement

Scale: 1 1/2"= 1'-0"



B Trench Drain at Tree Planting

Scale: 1 1/2"= 1'-0"

Section

**NORTHPOINT
THOROUGHFARE
DAWES STREET**

PROJECT CLIENT

DW NP Property, LLC
24 East Street
Cambridge, MA 02141



DESIGN TEAM

LANDSCAPE ARCHITECT
Michael Van Valkenburgh Associates, Inc.
231 Concord Avenue
Cambridge, MA 02138
Tel: 617.864.2076
Fax: 617.492.3128

This document is preliminary and describes the general scope of the project, and design concept. These documents do not necessarily indicate or describe all of the work required for the full performance and completion of the requirements of the contract. On the basis of the scope indicated, described or inferred, the Contractor shall determine and include in the proposals all items necessary to provide the proper execution and completion of the work.

KEY PLAN

STATUS

Design and Site Plan

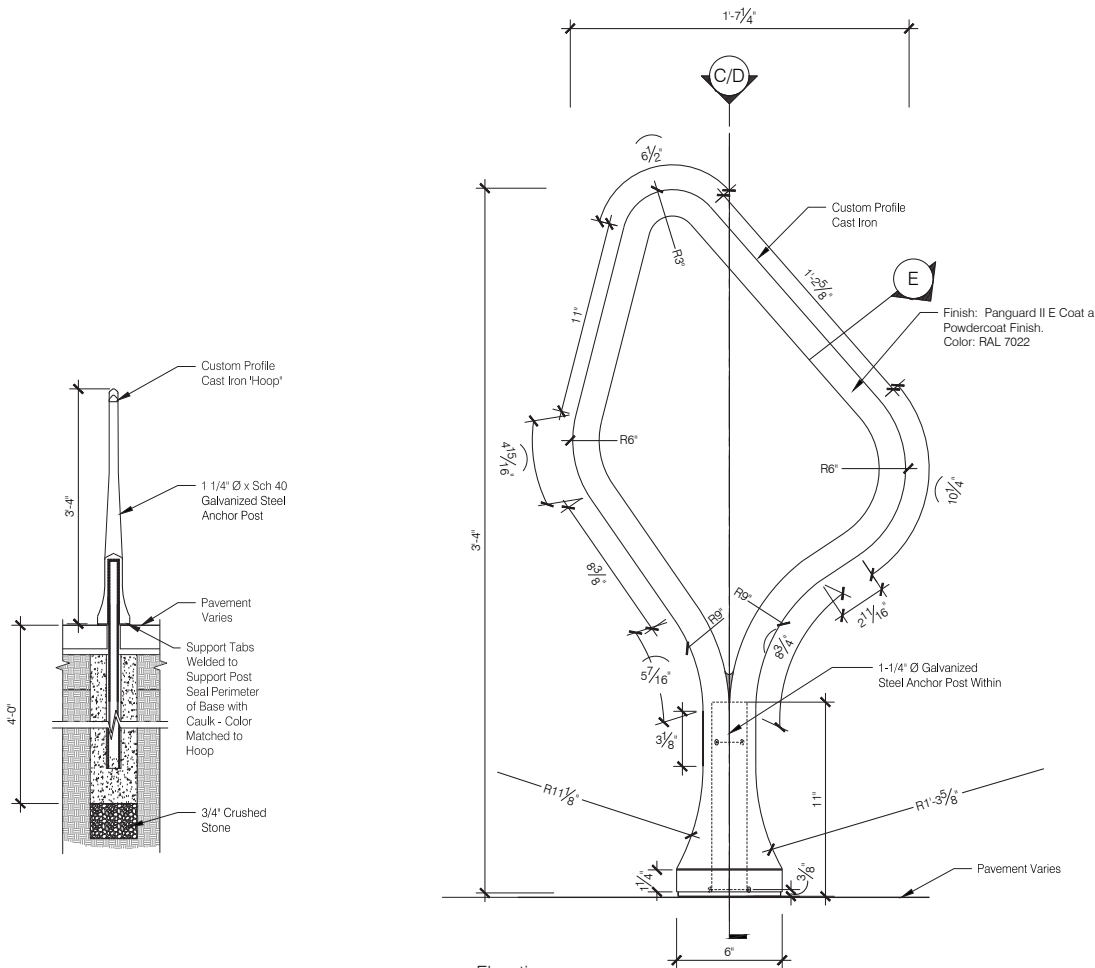
REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

Site Details

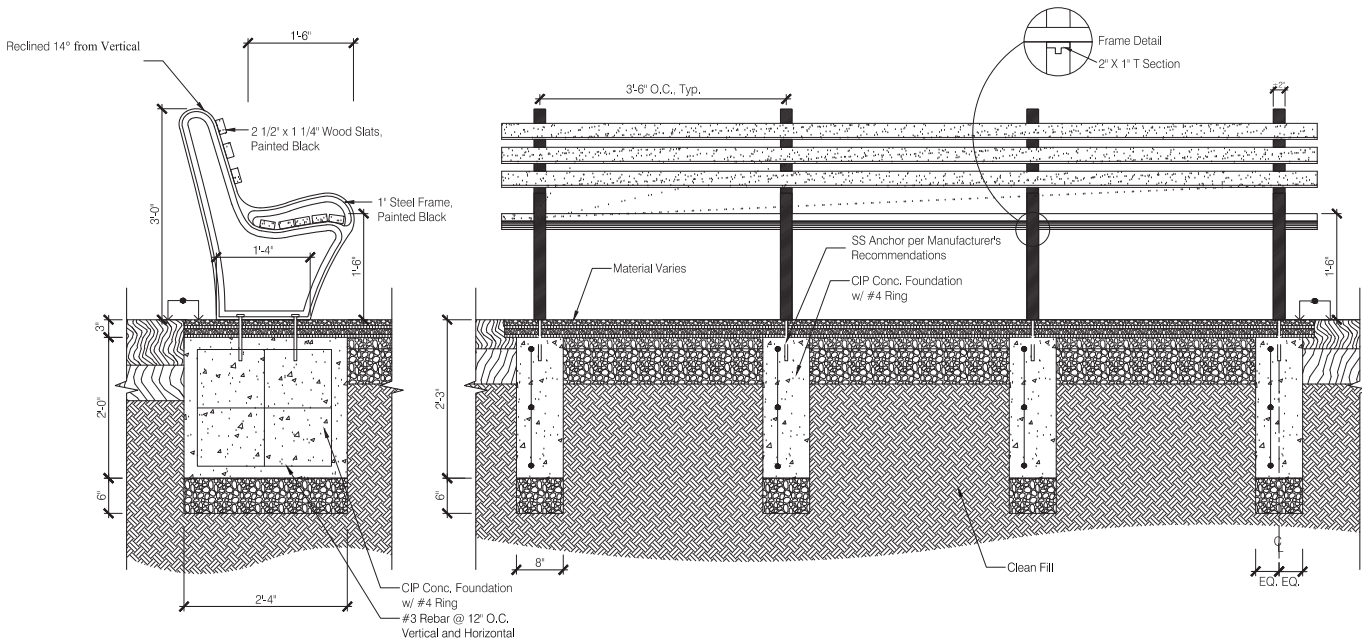
JOB NUMBER 15039.04 SHEET NO.
DATE 11.03.16
SCALE As Noted **L2.02**
DRAWN BY MVVA
CHECKED BY MVVA



A Section
Scale: 1"= 1'-0"

B Elevation
Scale: 3"= 1'-0"

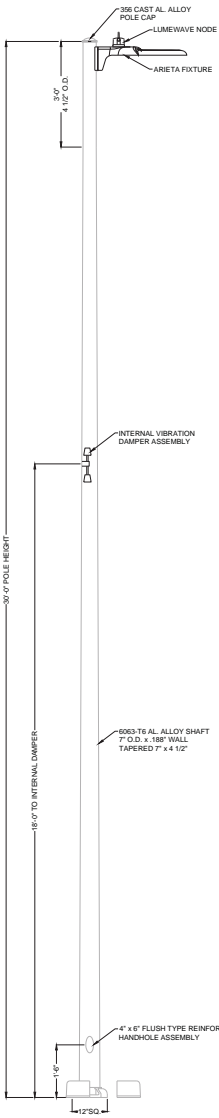
1 Bike Rack



A Section
Scale: 1"= 1'-0"

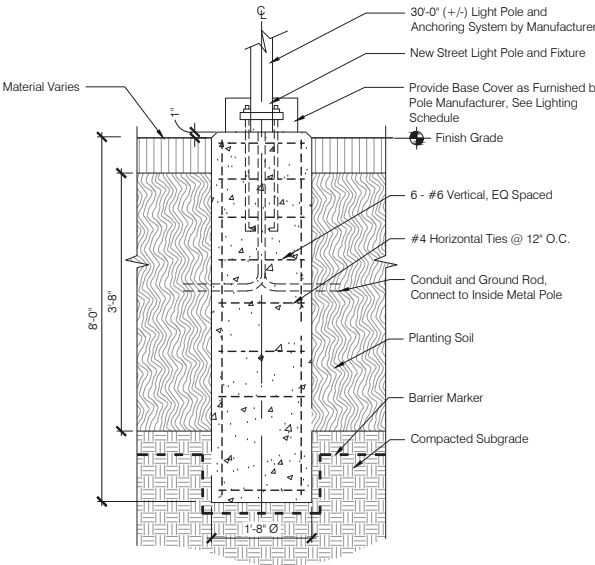
B Elevation
Scale: 1"= 1'-0"

3 Bench

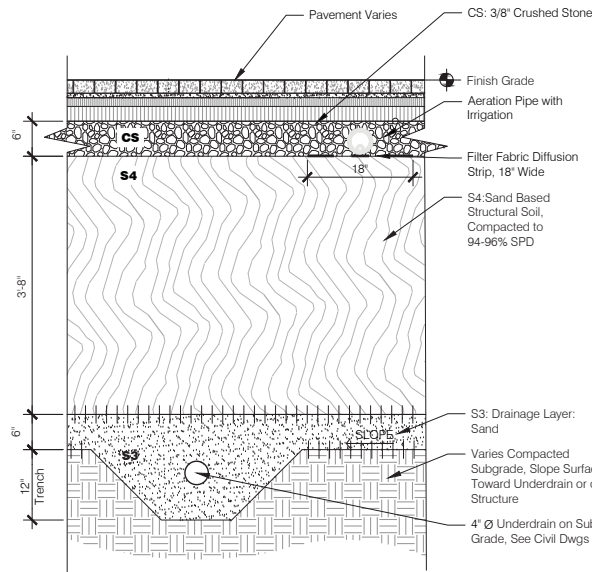


A Image
NTS
Section

2 Street Light Pole - (LP - S)

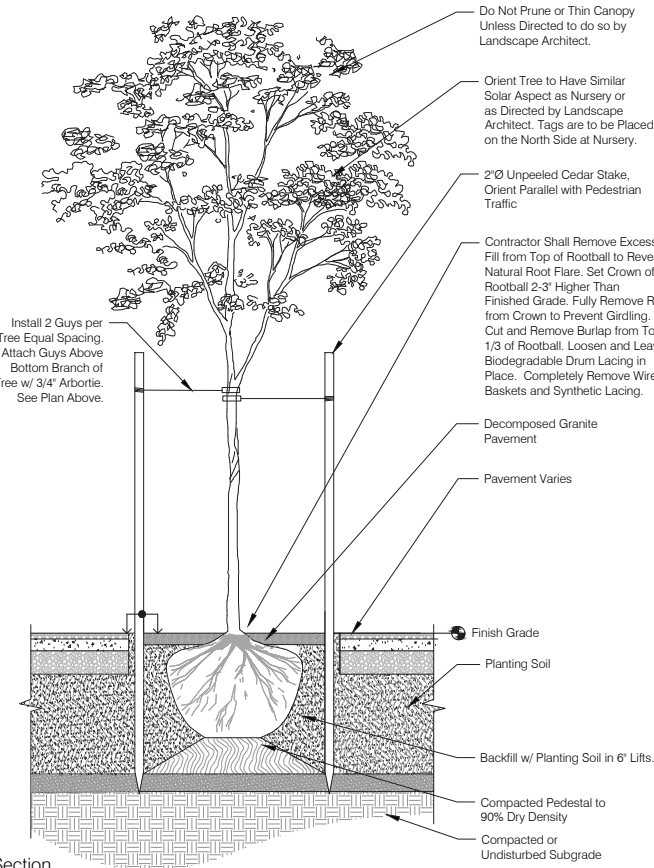


B Light Pole Foundation
Scale: 1"= 1'-0"
Section



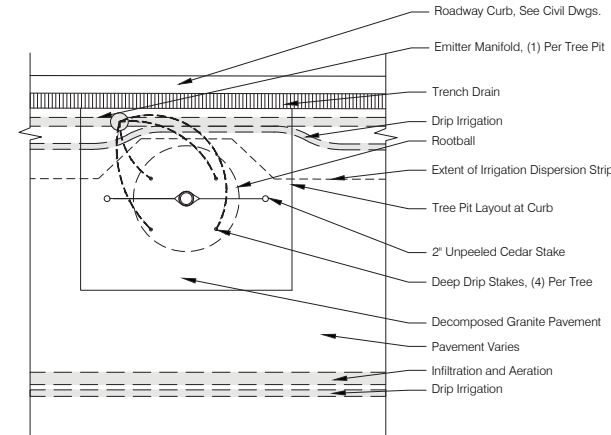
1 Planting Soil
Scale: 1"= 1'-0"

Section



A Section

2 Plant Bed
Scale: 1/2"= 1'-0"



B Plan

NORTHPOINT THOROUGHFARE DAWES STREET

PROJECT CLIENT

DW NP Property, LLC
24 East Street
Cambridge, MA 02141



DESIGN TEAM

LANDSCAPE ARCHITECT
Michael Van Valkenburgh Associates, Inc.
231 Concord Avenue
Cambridge, MA 02138
Tel: 617.864.2076
Fax: 617.492.3128

This document is preliminary and describes the general scope of the project, and design concept. These documents do not necessarily indicate or describe all of the work required for the full performance and completion of the requirements of the contract. On the basis of the scope indicated, described or inferred, the Contractor shall determine and include in the proposals all items necessary to provide the proper execution and completion of the work.

KEY PLAN

STATUS

Design and Site Plan

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

Site Details

JOB NUMBER 15039.04 SHEET NO.
DATE 11.03.16
SCALE As Noted
DRAWN BY MVVA
CHECKED BY MVVA

L2.03

