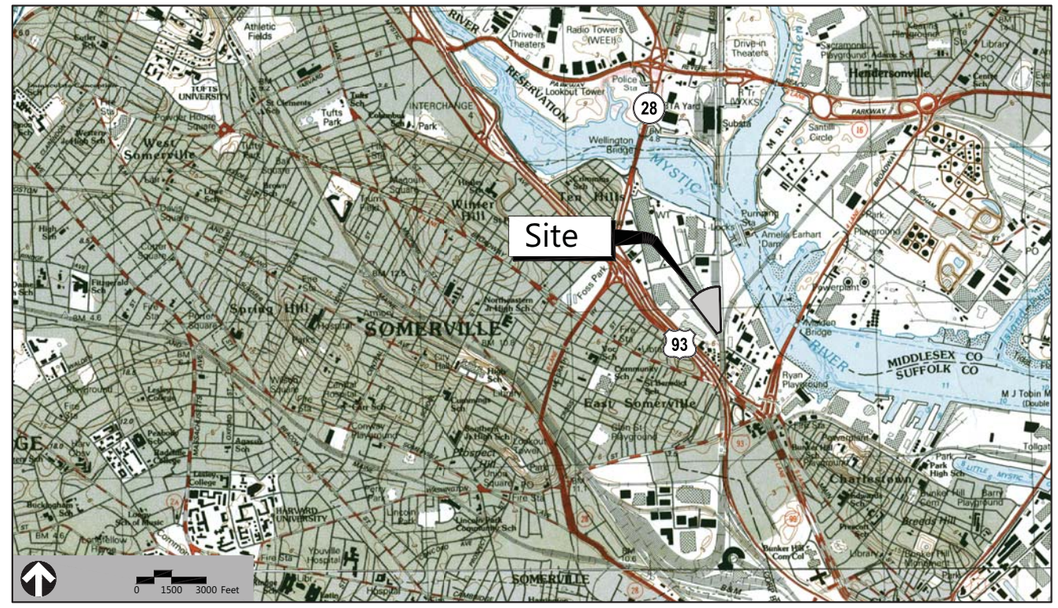
Site Plans

Issued for	Special Permit
Date Issued	January 15, 2016
Latest Issue	February 8, 2016

Partners Health Care Child Care Center

251 Grand Union Boulevard
Somerville, Massachusetts



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Reference Drawings

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VHB Project : 08518.05 PHC Child Care Center
Issued for : Special Permit - January 15, 2016 - Revised February 8, 2016

Legend

Exist.	Prop.	
		PROPERTY LINE
		PROJECT LIMIT LINE
		RIGHT-OF-WAY/PROPERTY LINE
		EASEMENT
		BUILDING SETBACK
		PARKING SETBACK
10+00	10+00	BASELINE
		CONSTRUCTION LAYOUT
		ZONING LINE
		TOWN LINE
		LIMIT OF DISTURBANCE
		WETLAND LINE WITH FLAG
		FLOODPLAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING
BZ		WETLAND BUFFER ZONE
NDZ		NO DISTURB ZONE
200'RA		200' RIVERFRONT AREA
		GRAVEL ROAD
EDP		EDGE OF PAVEMENT
BB	BB	BITUMINOUS BERM
BC	BC	BITUMINOUS CURB
CC	CC	CONCRETE CURB
	CG	CURB AND GUTTER
ECC	ECC	EXTRUDED CONCRETE CURB
MCC	MCC	MONOLITHIC CONCRETE CURB
PCC	PCC	PRECAST CONC. CURB
SGE	SGE	SLOPED GRAN. EDGING
VGC	VGC	VERT. GRAN. CURB
		LIMIT OF CURB TYPE
		SAWCUT
		BUILDING
	BE	BUILDING ENTRANCE
	LD	LOADING DOCK
		BOLLARD
D	D	DUMPSTER PAD
		SIGN
DBS	DBS	DOUBLE SIGN
		STEEL GUARDRAIL
		WOOD GUARDRAIL
		PATH
		TREE LINE
		WIRE FENCE
		FENCE
		STOCKADE FENCE
		STONE WALL
		RETAINING WALL
		STREAM / POND / WATER COURSE
		DETENTION BASIN
		STRAW BALES
		SILT FENCE
4	4	MINOR CONTOUR
20	20	MAJOR CONTOUR
10	10	PARKING COUNT
	010	COMPACT PARKING STALLS
DYL	DYL	DOUBLE YELLOW LINE
SL	SL	STOP LINE
		CROSSWALK
		ACCESSIBLE CURB RAMP
		ACCESSIBLE PARKING
		VAN-ACCESSIBLE PARKING

Exist.	Prop.	
		CONCRETE
		HEAVY DUTY PAVEMENT
		RIPRAP
		CONSTRUCTION ENTRANCE
27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
132.75 ×	132.75 ×	SPOT ELEVATION
45.0 TW 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		BORING LOCATION
		TEST PIT LOCATION
MW	MW	MONITORING WELL
UD	UD	UNDERDRAIN
12"D	12"D	DRAIN
6"RD	6"RD	ROOF DRAIN
12"S	12"S	SEWER
FM	FM	FORCE MAIN
OHW	OHW	OVERHEAD WIRE
6"W	6"W	WATER
4"FP	4"FP	FIRE PROTECTION
	2"DW	DOMESTIC WATER
3"G	G	GAS
E	E	ELECTRIC
STM	STM	STEAM
T	T	TELEPHONE
FA	FA	FIRE ALARM
CATV	CATV	CABLE TV
		CATCH BASIN
		DOUBLE CATCH BASIN
		GUTTER INLET
		DRAIN MANHOLE
		TRENCH DRAIN
		PLUG OR CAP
CO	CO	CLEANOUT
		FLARED END SECTION
		HEADWALL
		SEWER MANHOLE
CS	CS	CURB STOP & BOX
WV	WV	WATER VALVE & BOX
TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		SIAMESE CONNECTION
HYD	HYD	FIRE HYDRANT
WM	WM	WATER METER
PIV	PIV	POST INDICATOR VALVE
		WATER WELL
GG	GG	GAS GATE
GM	GM	GAS METER
	DMH	ELECTRIC MANHOLE
EM	EM	ELECTRIC METER
		LIGHT POLE
	TMH	TELEPHONE MANHOLE
T	T	TRANSFORMER PAD
		UTILITY POLE
		GUY POLE
		GUY WIRE & ANCHOR
HH	HH	HAND HOLE
PB	PB	PULL BOX
Matchline		MATCHLINE

Abbreviations

General

ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL

Utility

CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes:

General

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.
5. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
7. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
8. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
9. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
10. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
11. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
13. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. A MAJORITY OF THE UTILITY IMPROVEMENTS WITHIN THE EXISTING AND FUTURE ASSEMBLY SQUARE DRIVE ROADWAY LIMITS HAVE BEEN CONSTRUCTED BY OTHERS IN 2009. THIS WORK WAS PROPOSED UNDER THE "ASSEMBLY SQUARE UTILITY IMPROVEMENTS" PLANS DATED JULY 3, 2009, REVISED THROUGH AUGUST 1, 2009. AVAILABLE AS-BUILT INFORMATION IS SHOWN ON THESE PLANS BUT SHALL BE VERIFIED BY THE CONTRACTOR. COMPLETE AS-BUILT PLANS WILL BE FURNISHED UPON REQUEST.
4. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS. RIM ELEVATIONS ON THE GRADING AND UTILITY PLANS ARE FOR AN INTERIM GRADING CONDITION. CONTRACTOR TO ALLOW FOR SIX INCHES OF ADJUSTMENT OF RIM ELEVATIONS TO MATCH FUTURE PROPOSED ROADWAY ELEVATIONS.
5. LOCATE UTILITY STRUCTURES INCLUDING CATCH BASINS, VALVES, MANHOLES AND HYDRANTS IN ACCORDANCE WITH COORDINATES ON THE UTILITY PLANS. COORDINATES ON THE GRADING PLANS ARE REFERENCED TO THE CENTER POINT OF THE SUBSURFACE STRUCTURE.
6. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:

   A. PAVEMENTS AND CONCRETE SURFACES: FLUSH

   B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH

   C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
7. HYDRANT ELEVATIONS REPRESENT THE FUTURE SIDEWALK GRADE BENEATH HYDRANT GRATE
8. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
9. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
10. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:

    A. WATER PIPES SHALL BE POLYETHYLENE ENCASED, CEMENT LINED, DUCTILE IRON, CLASS 52. WATER JOINTS SHALL BE MEGALUG OR EQUIVALENT.
    B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE- SDR35
    C. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). STORM DRAINAGE PIPES 18 INCHES AND SMALLER SHALL BE CLASS V. LARGER PIPES SHALL BE CLASS III UNLESS OTHERWISE NOTED. DUCTILE IRON PIPE SHALL BE POLYETHYLENE ENCASED.
    D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
12. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
13. THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING (DRAINAGE, SEWER, FIRE ALARM, ETC.) STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
14. ALL LATERAL DRAIN PIPES SHALL BE INSTALLED WITH A PITCH OF 0.01 FOOT PER FOOT (MINIMUM) UNLESS NOTED OTHERWISE ON THE DRAWINGS.

Layout and Materials

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE VERTICAL GRANITE CURBING (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1. THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. BETWEEN APRIL 2004 AND MARCH OF 2006 AND FROM DEEDS AND PLANS OF RECORD.

   THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL OF 2004, UPDATED IN MARCH OF 2006, UPDATED IN MARCH OF 2010, UPDATED IN MARCH OF 2012 AS WELL AS A PLAN ENTITLED "AS BUILT PLAN OF LAND ASSEMBLY SQUARE MALL, SOMERVILLE, MA" BY DANA PERKINS, DATED SEPTEMBER 12, 1997, REVISED NOVEMBER 1, 1999, SUPPLEMENTED BY AS BUILT INFORMATION FROM THE ASSEMBLY SQUARE DRIVE UTILITY INFRASTRUCTURE CONSTRUCTION.

   UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
2. ELEVATIONS SHOWN ARE BASED UPON USCGS, NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND WERE INITIATED AT BENCHMARK #11000, A MASSACHUSETTS GEODETIC SURVEY DISC.
3. THE PROJECT AREA IS PRIMARILY WITHIN ZONE C, AREA OF MINIMAL FLOODING, AND INCLUDES AREA WITHIN ZONE A2, AREAS OF 100 YEAR FLOOD (BELOW ELEVATION 10), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY SOMERVILLE, MASSACHUSETTS COMMUNITY PANEL NUMBER 250214 0001 B, EFFECTIVE DATE JULY 17, 1986.
4. MEAN HIGH WATER (MHW), MEAN SEA LEVEL (MSL) AND MEAN LOW WATER (MLW) ELEVATIONS WERE OBTAINED FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) TIDES AND CURRENTS WEBSITE; BOSTON HARBOR TIDE GAUGING STATION 8443970 AND CONVERTED TO NGVD 1929 DATUM AT THE AMELIA EARHART DAM.

Document Use

1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

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Partners Health Care Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Appvd.

Designed by: PTM
Checked by: DH
Issued for: Special Permit
Date: January 15, 2016

Not Approved for Construction

Drawing Title
Legend and General Notes

COMMONWEALTH OF MASSACHUSETTS
HUGH G HAHN
CIVIL
No. 42679
REGISTERED PROFESSIONAL ENGINEER
01/15/16

Drawing Number
C-1

Sheet 1 of 10

Project Number
08518.05

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Partners Health Care Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

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Drawing Title
Neighborhood Context Map 1

COMMONWEALTH OF MASSACHUSETTS
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01/15/16

Drawing Number
C-2

Sheet 2 of 10

Project Number
08518.05

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Partners Health Care
Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Appvd.

Designed by PTM
Checked by DH

Issued for: Special Permit
Date: January 15, 2016

Not Approved for Construction

Drawing Title
Neighborhood Context Map 2

Drawing Number
C-3

Sheet 3 of 10

Project Number
08518.05

COMMONWEALTH OF MASSACHUSETTS
HUGH G. HAHN
CIVIL
No. 42679
REGISTERED PROFESSIONAL ENGINEER
01/15/16

\\vhb\proj\Wat-LD\08518.05\cad\d\Planset\Partners\Child Care Center Special Permit\08518.05_11A_CCC-OSP.dwg

Parking Summary Chart

Description	Size Required	Size Provided	Office Required	Retail Required	Restaurant Required	Residential Required	Hotel Required	Cinema Required	Health Club Required	Mall Required	Mall Provided
STANDARD SPACES	9' x 18'	9' x 18'	2,763	367	289	1,814	81	57	96	1,038	1,072
STANDARD ACCESSIBLE SPACES*	13' x 18'	14' x 18'	32	6	5	24	3	2	3	17	17
VAN ACCESSIBLE SPACES*	16' x 18'	17' x 18'	7	2	2	5	1	1	1	4	6
TOTAL SPACES			2,802	375	296	1,843	85	60	100	1,059	1,095

* ADA/STATE/LOCAL REQUIREMENTS (MINIMUM)

Mixed Use Area Loading Requirements:

OFFICE:	0 – 10,000 SF	(0)	= 19
	10,001 – 100,000 SF	(1)	
	EACH ADDL. 150,000 SF	(1)	
RETAIL:	0 – 5,000 SF	(0)	= 10
	5,001 – 20,000 SF	(1)	
	20,001 – 35,000 SF	(2)	
	35,001 – 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 – 4,000 SF	(0)	= 6
	4,001 – 6,000 SF	(1)	
	6,001 – 16,000 SF	(2)	
	16,001 – 40,000 SF	(3)	
	EACH ADDL. 40,000 SF	(1)	
HOTEL:	AS NEEDED		= 1
CINEMA:	AS NEEDED		= 1
HEALTH CLUB:	AS NEEDED		= 1

TOTAL LOADING REQUIRED = 38
TOTAL LOADING PROVIDED = 38

Mixed Use Area Parking Requirements:*

OFFICE	2,801,033 SF x 1 SPACE / 1,000 SF = 2,802
RETAIL	374,707 SF x 1 SPACE / 1,000 SF = 375
RESTAURANT	147,817 SF x 1 SPACE / 500 SF = 296
CINEMA	60,000 SF x 1 SPACE / 1,000 SF = 60
HEALTH CLUB	50,000 SF x 1 SPACE / 500 SF = 100
RESIDENTIAL	1,843 UNITS x 1 SPACE / UNIT = 1,843
HOTEL	170 GUEST ROOMS x 0.5 SPACES/GUEST ROOM = 85

TOTAL PARKING REQUIRED = 5,561
TOTAL PARKING PROVIDED = 8,971

*RETAIL AREA MAY BE RE-ALLOCATED TO OFFICE OR RESIDENTIAL USES AT ANY TIME, SO LONG AS ALSO PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS; NO OTHER USE MAY BE CONVERTED.

RESIDENTIAL AREA MAY BE RE-ALLOCATED TO OFFICE USE AT ANY TIME, SO LONG AS PERMITTED BY NEW OR MODIFIED ENTITLEMENTS; AND

UP TO 400,000 SQUARE FEET OF THE NON-RESIDENTIAL USES (I.E., OFFICE, RETAIL, AND HOSPITALITY) MAY BE RE-ALLOCATED TO RESIDENTIAL USE, BUT NO SOONER THAN 10 YEARS FROM THE DATE THE PUD PLAN IS APPROVED, SO LONG AS PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS.

Mall Parking Requirements:

RETAIL (ZONING)	328,806 SF x 1 SPACE / 1000 SF = 329
BLOCK 10 (MAX. ZONING)	4,500 SF x 1 SPACE / 500 SF = 9
RETAIL (LEASE)	328,806 SF x 3.22 SPACE / 1000 SF = 1,059

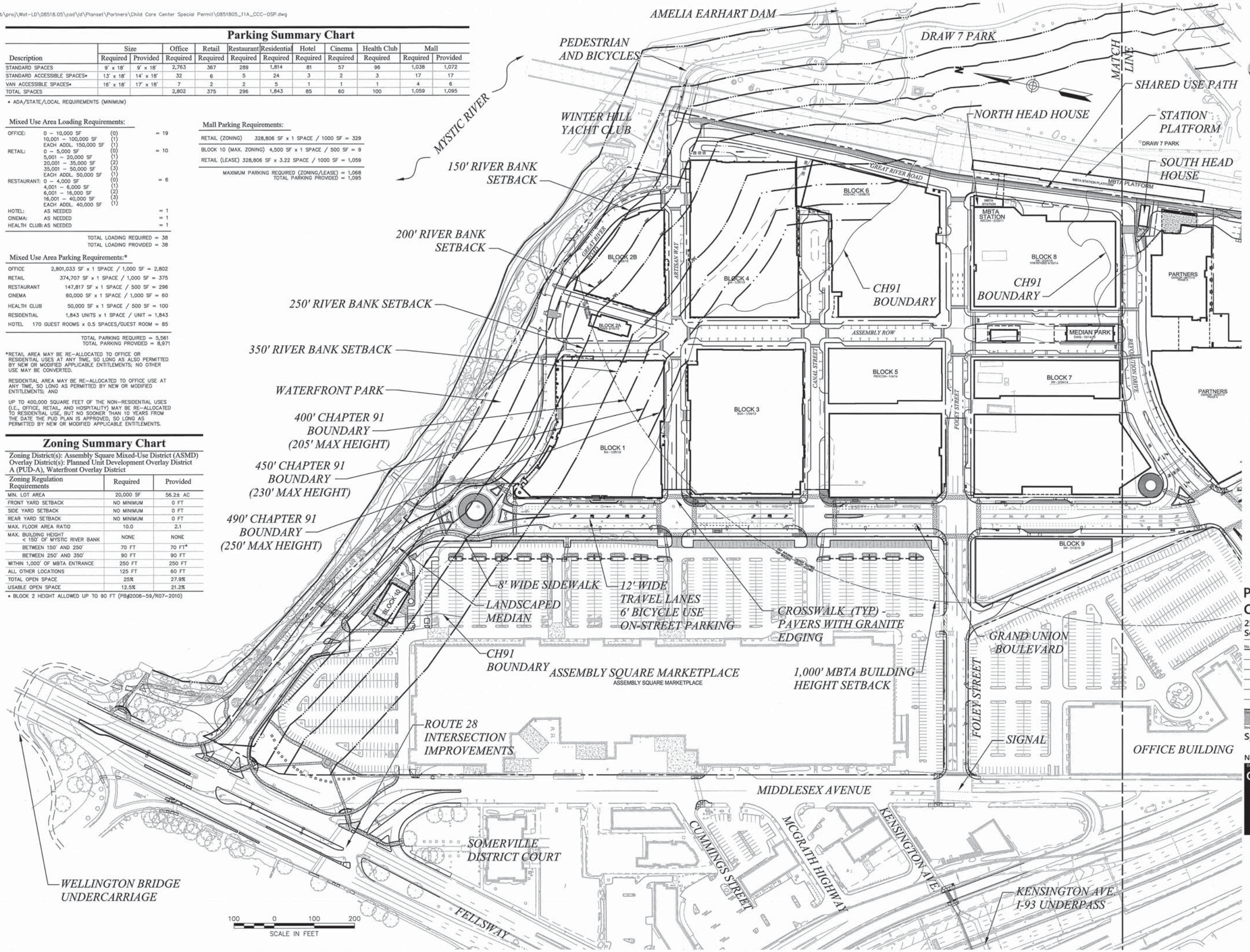
MAXIMUM PARKING REQUIRED (ZONING/LEASE) = 1,068
TOTAL PARKING PROVIDED = 1,095

Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASMD) Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	20,000 SF	56.2± AC
FRONT YARD SETBACK	NO MINIMUM	0 FT
SIDE YARD SETBACK	NO MINIMUM	0 FT
REAR YARD SETBACK	NO MINIMUM	0 FT
MAX. FLOOR AREA RATIO	10.0	2.1
MAX. BUILDING HEIGHT < 150' OF MYSTIC RIVER BANK	NONE	NONE
BETWEEN 150' AND 250'	70 FT	70 FT*
BETWEEN 250' AND 350'	90 FT	90 FT
WITHIN 1,000' OF MBTA ENTRANCE	250 FT	250 FT
ALL OTHER LOCATIONS	125 FT	60 FT
TOTAL OPEN SPACE	25%	27.9%
USABLE OPEN SPACE	12.5%	21.2%

* BLOCK 2 HEIGHT ALLOWED UP TO 90 FT (PB#2006-59/R07-2010)



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Partners Health Care Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Appvd.

Designed by | Checked by

Issued for: Special Permit
Date: January 15, 2016

Not Approved for Construction

Drawing Title: Overall Site Plan 1

Drawing Number: C-4

Sheet 4 of 10

Project Number: 08518.05

Saved: Wednesday, January 13, 2016 4:36:28 PM PMARA Plotted: Wednesday, January 13, 2016 4:45:22 PM Mario, Peter

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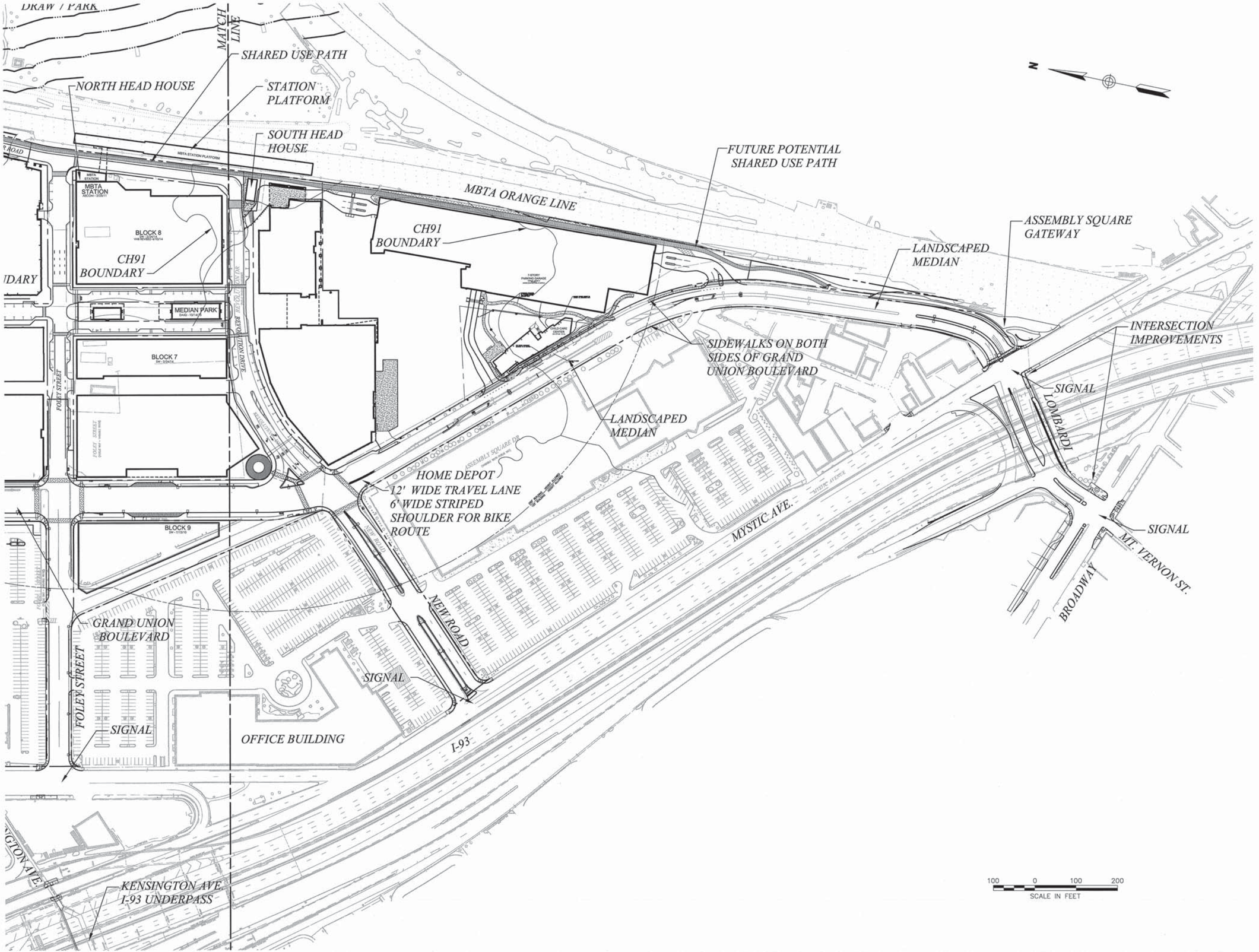

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Partners Health Care Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

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Issued for: Special Permit
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Not Approved for Construction

Drawing Title
Overall Site Plan 2

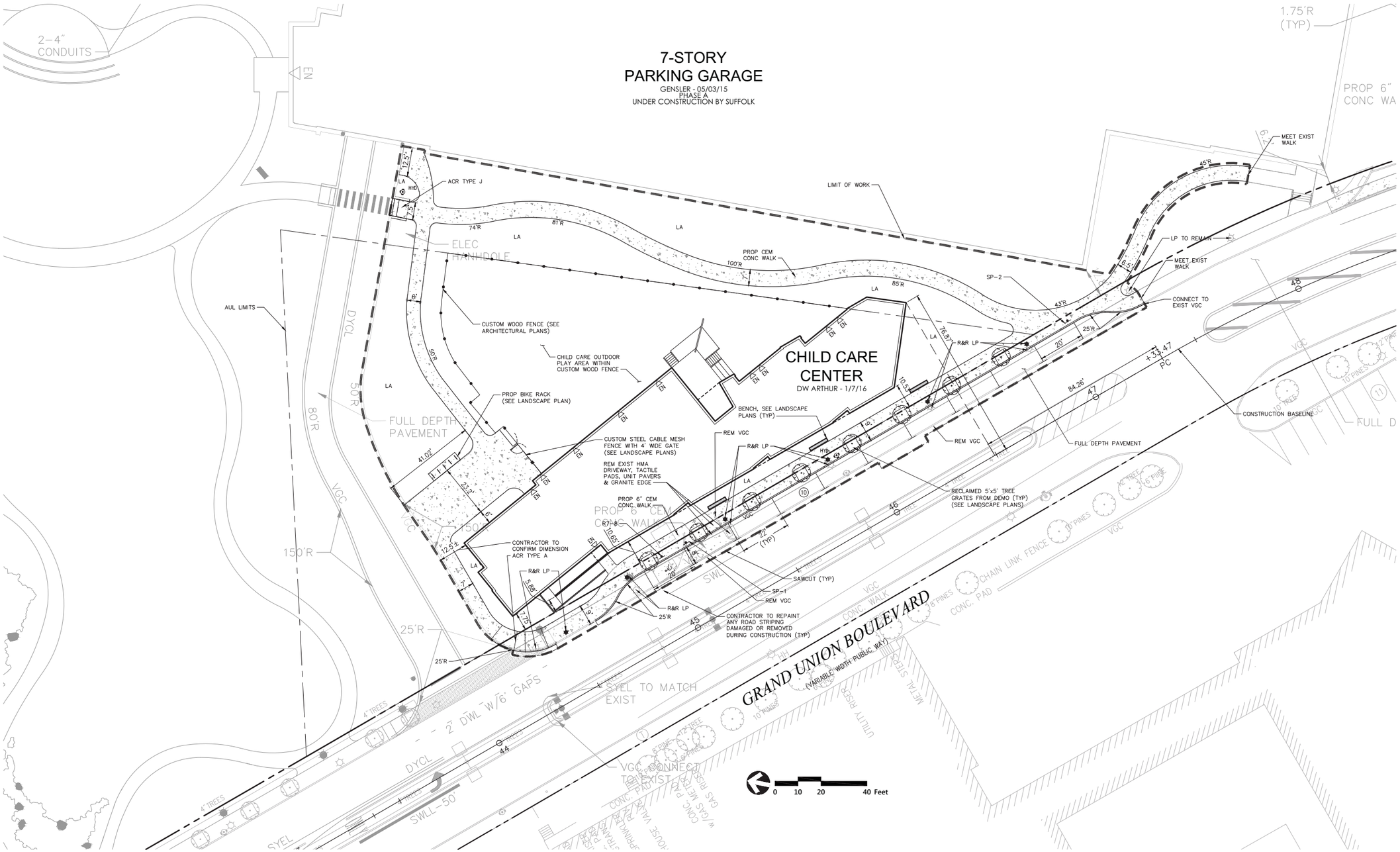
Drawing Number
C-5

Sheet 5 of 10

Project Number
08518.05

COMMONWEALTH OF MASSACHUSETTS
HUGH G. HAHN
CIVIL
No. 42879
REGISTERED PROFESSIONAL ENGINEER
01/15/16

Saved Wednesday, January 13, 2016 4:36:28 PM PMARA Plotted Wednesday, January 13, 2016 4:45:37 PM Moro, Peter



PAVEMENT NOTES

PROPOSED FULL DEPTH PAVEMENT – HEAVY DUTY

SURFACE: 7" HOT MIX ASPHALT (3½" MODIFIED TOP COURSE MATERIAL OVER 3½" INTERMEDIATE (BINDER) COURSE MATERIAL).

SUBBASE: 12" DENSE GRADED CRUSHED STONE OVER FILTER FABRIC

Sign Summary

M.U.T.C.D NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	DESCRIPTION
R7-8	12"	18"	RESERVED PARKING
SP-1	24"	30"	SHORT TERM CHILD CARE PICKUP AND DROP OFF
SP-2	24"	30"	SHORT TERM CHILD CARE PICKUP AND DROP OFF

Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASMD)
Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	20,000 SF	322,181 SF
FRONT YARD SETBACK	NO MINIMUM	5.9 FT
SIDE YARD SETBACK	NO MINIMUM	116.8*
REAR YARD SETBACK	NO MINIMUM	10.4*
MAX. FLOOR AREA RATIO	10.0	2.4
MAX. BUILDING HEIGHT < 150' OF MYSTIC RIVER BANK	NONE	NONE
BETWEEN 150' AND 250'	70 FT	NONE
BETWEEN 250' AND 350'	90 FT	NONE
WITHIN 1,000' OF MBTA ENTRANCE	250 FT	80.2 FT*
ALL OTHER LOCATIONS	125 FT	0 FT
TOTAL OPEN SPACE	25%	62.7%**
USABLE OPEN SPACE	12.5%	54.8%**

* SETBACKS MEASURED FROM EXISTING GARAGE.
** OPEN SPACE AREA CALCULATIONS ARE TOTALS OF THE ENTIRE PARTNERS BLOCK INCLUDING (PARCEL 11D, 11E, 11F, 11G AND ASSOCIATED RIGHT OF WAY AREAS).

Parking Summary Chart

Description	Size Required	Size Provided	PHC CCC Spaces Required	PHC CCC Spaces Provided
STANDARD SPACES	9'x18'	9'x18'	14	27
COMPACT SPACES (20% ALLOWED)	8'x16'	–	–	–
STANDARD ACCESSIBLE SPACES *	13'x18'	14'x18'	–	–
VAN ACCESSIBLE SPACES *	16'x18'	18'x18'	–	–
TOTAL SPACES			14	27
LOADING BAYS **	12'x30'x14'	12'x35'x14'	1	0**
TEMPORARY PARALLEL PARKING SPACES ***	8'x18'	8'x20'	–	10***

* ADA/STATE/LOCAL REQUIREMENTS.
** WAIVER REQUESTED (SEE SECTION B.1 REQUESTED WAIVERS FOR SPSR-A). LOADING FOR CHILD CARE CENTER PROVIDED BY THE WEST LOADING DOCK AS PART OF THE PREVIOUSLY APPROVED PARTNERS ADMINISTRATIVE BUILDING
*** TIME-RESTRICTED PARKING SPACES ARE NOT INCLUDED IN OVERALL PARKING COUNTS REQUIRED PER ZONING REGULATIONS. THE PROPOSED TIME-RESTRICTED PARKING SPACES ARE PROVIDED IN ADDITION TO THE REQUIRED PARKING REQUIREMENTS TO ACCOMMODATE STUDENT DROP-OFF AND PICK-UP TO THE CHILD CARE CENTER.

Partners Child Care Center Parking Requirements:

INSTITUTIONAL/CHILD CARE FACILITY	13,624 SF x 1 SPACE / 1000 SF = 14
	TOTAL PARKING REQUIRED = 14
	TOTAL PARKING PROVIDED = 27

Bicycle Parking Requirements

NON-RESIDENTIAL	1 SPACE FOR EVERY 10 PARKING SPACES = 3
	TOTAL BICYCLE PARKING REQUIRED = 3
	TOTAL BICYCLE PARKING PROVIDED = 10

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Partners Health Care
Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Appvd.
1	REVISED UTILITIES AND BENCH LOCATIONS	02/08/2016	HGH

Designed by PTM
Checked by DH
Issued for **Special Permit**
Date **January 15, 2016**

Not Approved for Construction

Drawing Title
Layout and Materials Plan

Drawing Number
C-6

Sheet 6 of 10

Project Number
08518.05

Saved Friday, February 05, 2016 4:00:14 PM PMARA Plotted Monday, February 08, 2016 11:23:53 AM Mora, Peter

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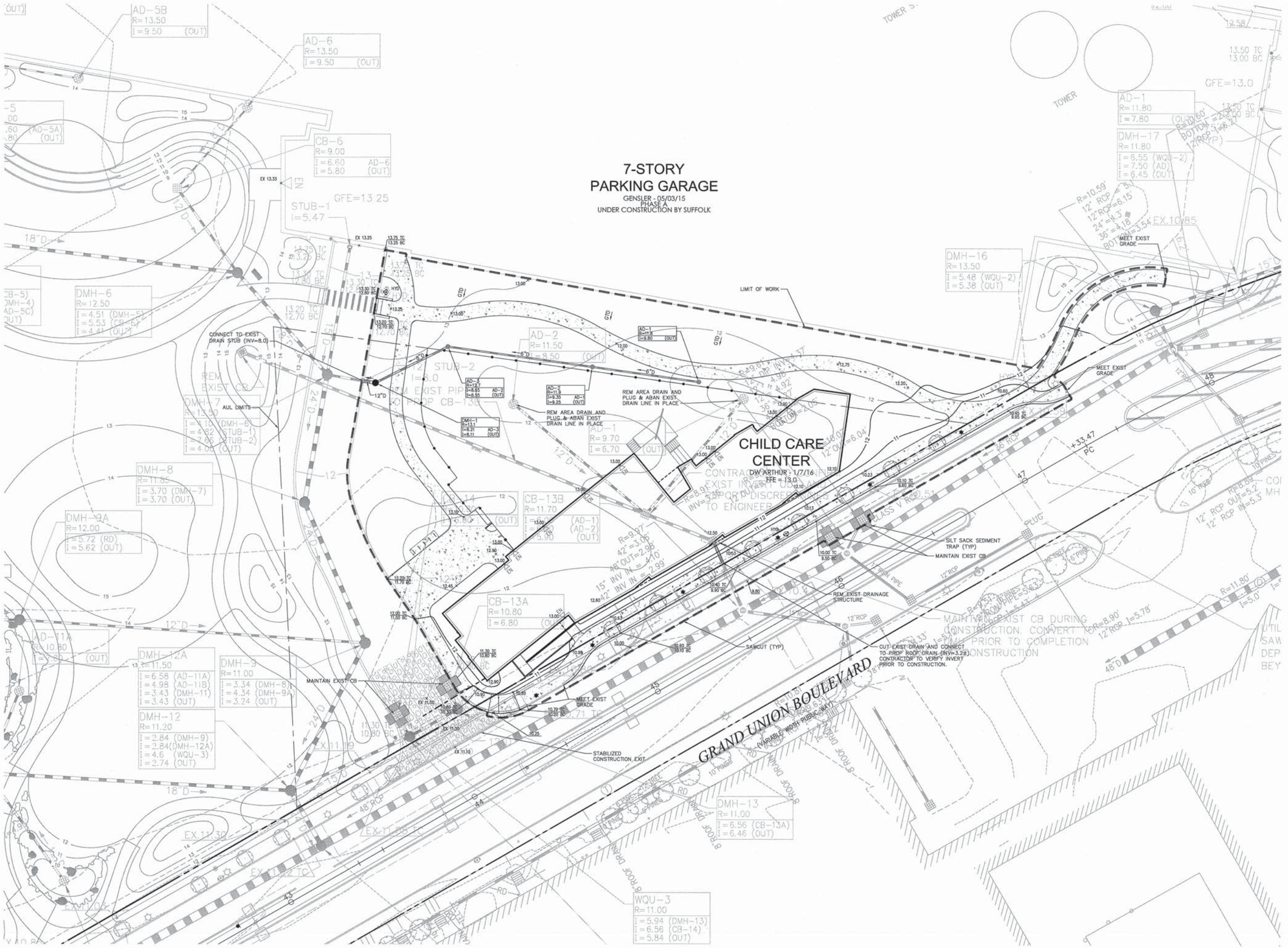

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Partners Health Care
Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Apprvd.

Designed by PTM
Checked by DH

Issued for **Special Permit**
Date **January 15, 2016**

Not Approved for Construction

Drawing Title
Grading, Erosion Control and Drainage Plan

COMMONWEALTH OF MASSACHUSETTS
HUGH G. HAHN
CIVIL
NO. 42679
REGISTERED PROFESSIONAL ENGINEER
01/15/16

Drawing Number
C-7

Sheet 7 of 10

Project Number
08518.05

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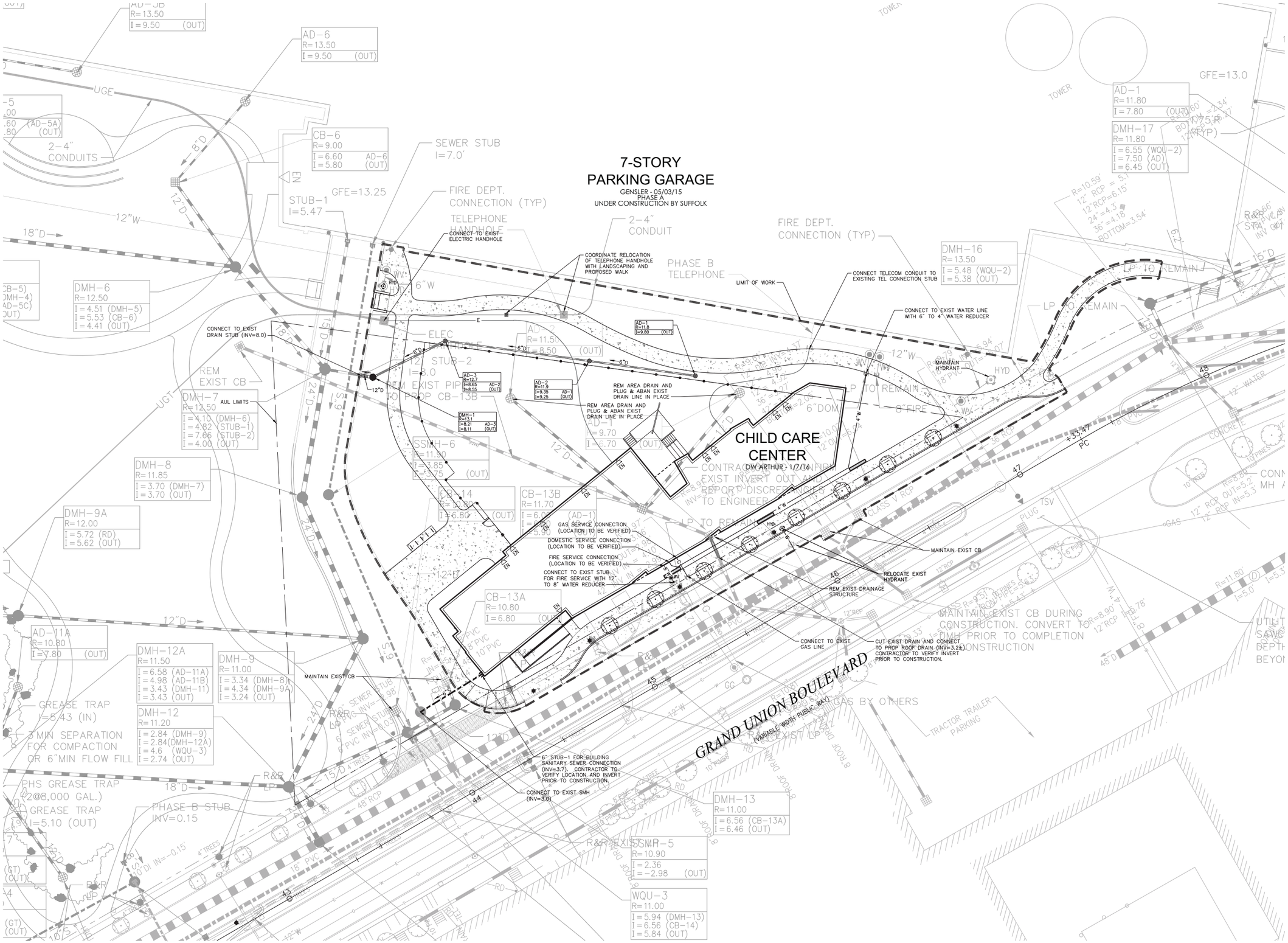

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Partners Health Care
Child Care Center
251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Appvd.
1	REVISED UTILITIES AND BENCH LOCATIONS	02/08/2016	HGH

Designed by PTM
Checked by DH

Issued for
Special Permit

Date
January 15, 2016

Not Approved for Construction

Drawing Title
Utility Plan

Drawing Number
C-8

Sheet 8 of 10

Project Number
08518.05

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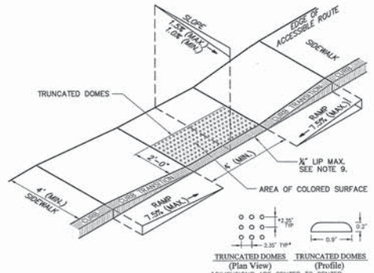
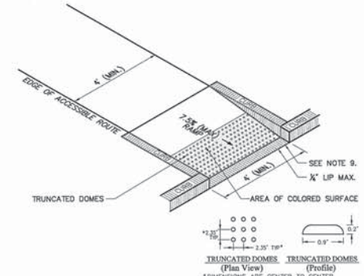


Notes:

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'A-D'

N.T.S. Source: VHB LD_500 3/11

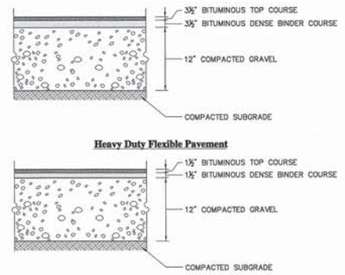


Notes:

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'J-D'

N.T.S. Source: VHB LD_509 11/10



Heavy Duty Flexible Pavement

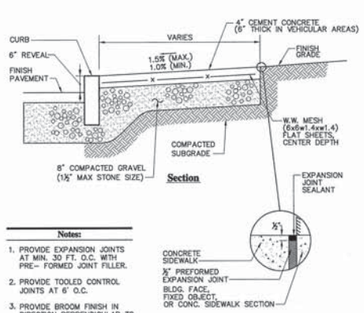
Standard Duty Flexible Pavement

Note:

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Bituminous Concrete Pavement Sections

N.T.S. Source: VHB LD_430 12/11



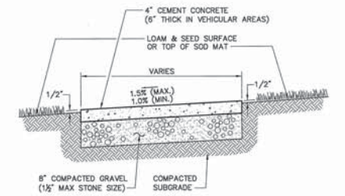
Notes:

1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- FORMED JOINT FILLER.
2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II.

Concrete Sidewalk

N.T.S. Source: VHB LD_420 6/08

NOTE:
CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5±) AIR ENTRAINED.

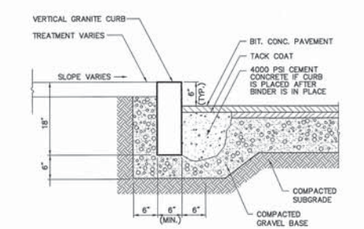


Notes:

1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- FORMED JOINT FILLER.
2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO SIDEWALK DIRECTION.

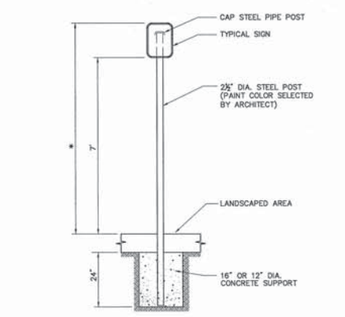
Concrete Sidewalk in Landscape Area

N.T.S. Source: VHB LD_426 11/12



Vertical Granite Curb (VGC)

N.T.S. Source: VHB LD_402 6/12



* THIS DIMENSION SHALL BE A MINIMUM OF 5' AND A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE IN THE COMMONWEALTH OF MASSACHUSETTS.

Sign Post - Type 'A'

N.T.S. Source: VHB LD_701 6/08

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COMMONWEALTH OF MASSACHUSETTS
HUGH G. HAHN
CIVIL
No. 42679
REGISTERED PROFESSIONAL ENGINEER
01/15/16

Drawing Number
C-9

Sheet 9 of 10

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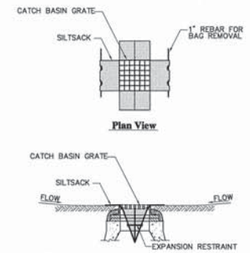


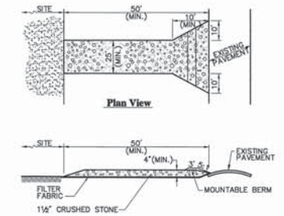
Notes:

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsack Sediment Trap

6/08

N.T.S. Source: VHB LD_674



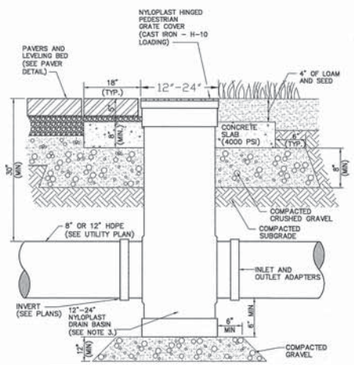
Notes:

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

6/08

N.T.S. Source: VHB LD_682

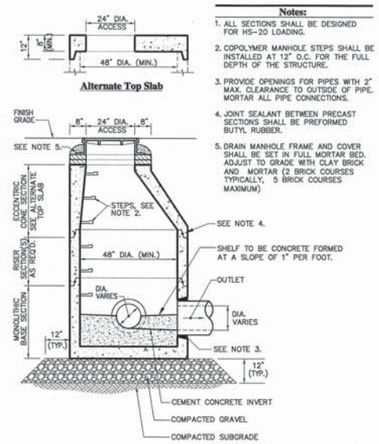


Notes:

1. USE NYLOPLAST GRATE & BASIN OR APPROVED EQUAL.
2. GRATE DIAMETER SHALL MATCH BASIN DIAMETER.
3. BASIN DIAMETER AS REQUIRED.

Landscape Area Drain (AD)

N.T.S. Source: VHB REV



Notes:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

Drain Manhole (DMH)

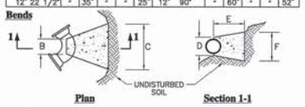
6/08

N.T.S. Source: VHB LD_115

Table Of Dimensions

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/4"	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 22 1/2"	-	18"	-	-	13"	6" 90°	-	30"	-	-	27"
8" 11 1/4"	-	20"	-	-	12"	8" 45°	-	30"	-	-	34"
8" 22 1/2"	-	22"	-	-	17"	8" 90°	-	38"	-	-	36"
12" 11 1/4"	-	30"	-	-	15"	12" 45°	-	40"	-	-	40"
12" 22 1/2"	-	35"	-	-	25"	12" 90°	-	60"	-	-	52"

Bends

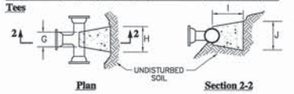


Plan Section 1-1

Table Of Dimensions

TEES	G	H	I	J	TEES	G	H	I	J
6"x 6"x 6"	12"	24"	24"	18"	12"x 12"x 6"	12"	24"	24"	18"
8"x 8"x 6"	-	-	-	-	12"x 12"x 8"	-	-	-	24"
8"x 8"x 8"	-	-	-	24"	12"x 12"x 12"	-	36"	-	36"

Tees



Plan Section 2-2

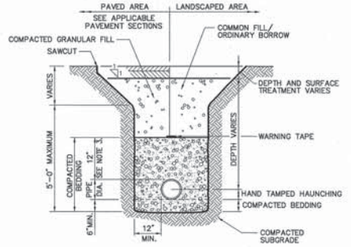
Notes:

1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
3. CONCRETE SHALL BE 3000 PSI-TYPE I.

Concrete Thrust Block

10/10

N.T.S. Source: VHB LD_260



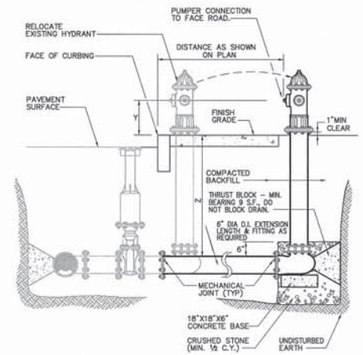
Notes:

1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
3. FOR HDPE PIPE, DIMENSION IS 24 INCHES.

Utility Trench

6/08

N.T.S. Source: VHB LD_300



Notes:

1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
2. DIMENSIONS Y AND Z SHALL MEET MUNICIPAL REQUIREMENTS.

Hydrant Relocation Detail

6/08

N.T.S. Source: VHB LD_251

vhb.com

vhb

Partners Health Care Child Care Center

251 Grand Union Boulevard
Somerville, Massachusetts

No.	Revision	Date	Apprvd.

Designed by PTM Checked by DH

Issued for Special Permit Date January 15, 2016

Not Approved for Construction

Drawing Title
Site Details

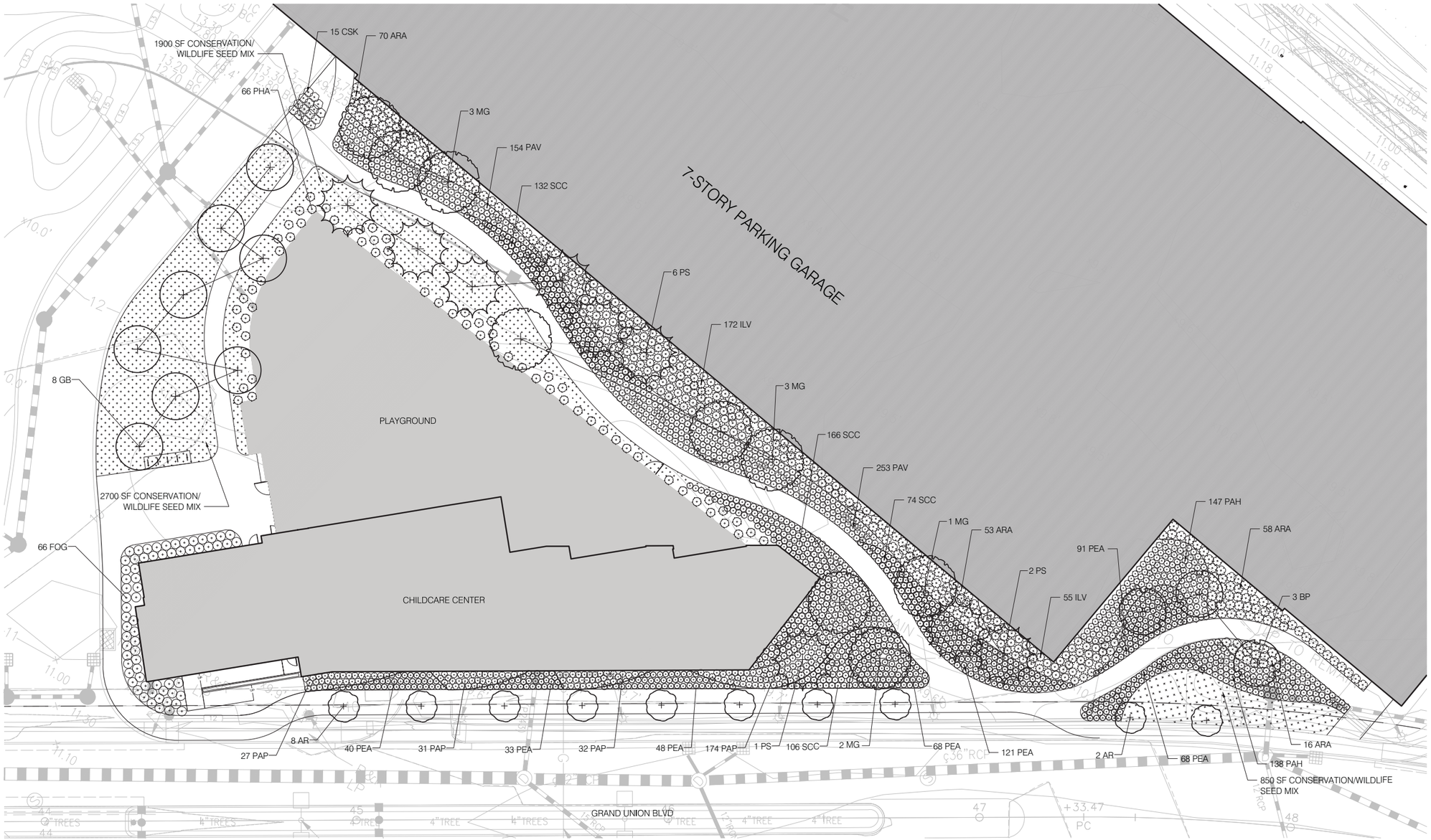
COMMONWEALTH OF MASSACHUSETTS
HUGH G. HAHN
No. 40879
REGISTERED PROFESSIONAL ENGINEER
01/15/16

Drawing Number
C-10

Sheet 10 of 10

Project Number
08518.05

Saved: Wednesday, January 13, 2016 4:41:33 PM PMARA Plotted Wednesday, January 13, 2016 4:49:21 PM Mario, Peter



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS
AR	10	Acer rubrum `Red Sunset`	Red Sunset Maple	6" cal. B&B		
BP	3	Betula papyrifera	Paper Birch	14`-16` B&B		mult-istem
GB	8	Ginkgo biloba	Maidenhair Tree	6" cal. B&B		
MG	9	Metasequoia glyptostroboides	Dawn Redwood	6" cal. B&B		
PS	9	Pinus strobus	White Pine	6" cal. B&B		

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS
ARA	197	Aronia arbutifolia	Red Chokeberry	5 gal		36" O.C.
CSK	15	Cornus sericea 'Kelseyi'	Red Twig Dogwood	5 gal		36" O.C.
FOG	66	Fothergilla gardenii	Dwarf Fothergilla	5 gal		36" O.C.
ILV	227	Ilex verticilata	Winterberry Holly	5 gal		36" O.C.
PHA	66	Phyllostachys aureosulcata `Aureocaulis`	Yellow-grove Bamboo	#5 pot		3-5` O.C.

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS
PAH	285	Pennisetum alopecuroides 'Hamelin'	Fountain Grass	1 gal		24" O.C.
PAP	264	Panicum virgatum `Prairie Sky`	Prairie Sky Switch Grass	1 gal		24" O.C.
PAV	407	Panicum virgatum 'Cloud Nine'	Cloud Nine Switch Grass	1 gal		24" O.C.
PEA	469	Perovskia atriplicifolia `Little Spire`	Little Spire Russian Sage	1 gal		24" O.C.
SCC	456	Schizachyrium scoparium	Little Bluestem Grass	1 gal		24" O.C.

SEED MIX	QTY	BOTANICAL NAME
Conservation/Wildlife Seed Mix	5450 SF	Festuca rubra, Elymus virginicus, Schizachyrium scoparium, Andropogon gerardii, Chamaecrista fasciculata, Panicum clandestinum, Panicum virgatum, Sorghastrum nutans, Helenium autumnale, Heliopsis helianthoides, Verbena hastata, Asclepias syriaca, Aster umbellatus, Solidago juncea, Zizia aurea

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150 STANFORD STREET, SUITE 5
BOSTON, MA 02114
V 857.233.5171 | F 858.793.6905
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□ot for Construction

Assembly Ro□ Child Care Center
Partners HealthCare
Assembly Ro□
Somerville, MA

DRAW□□ □□□□
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P□A□

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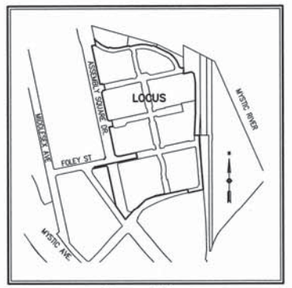
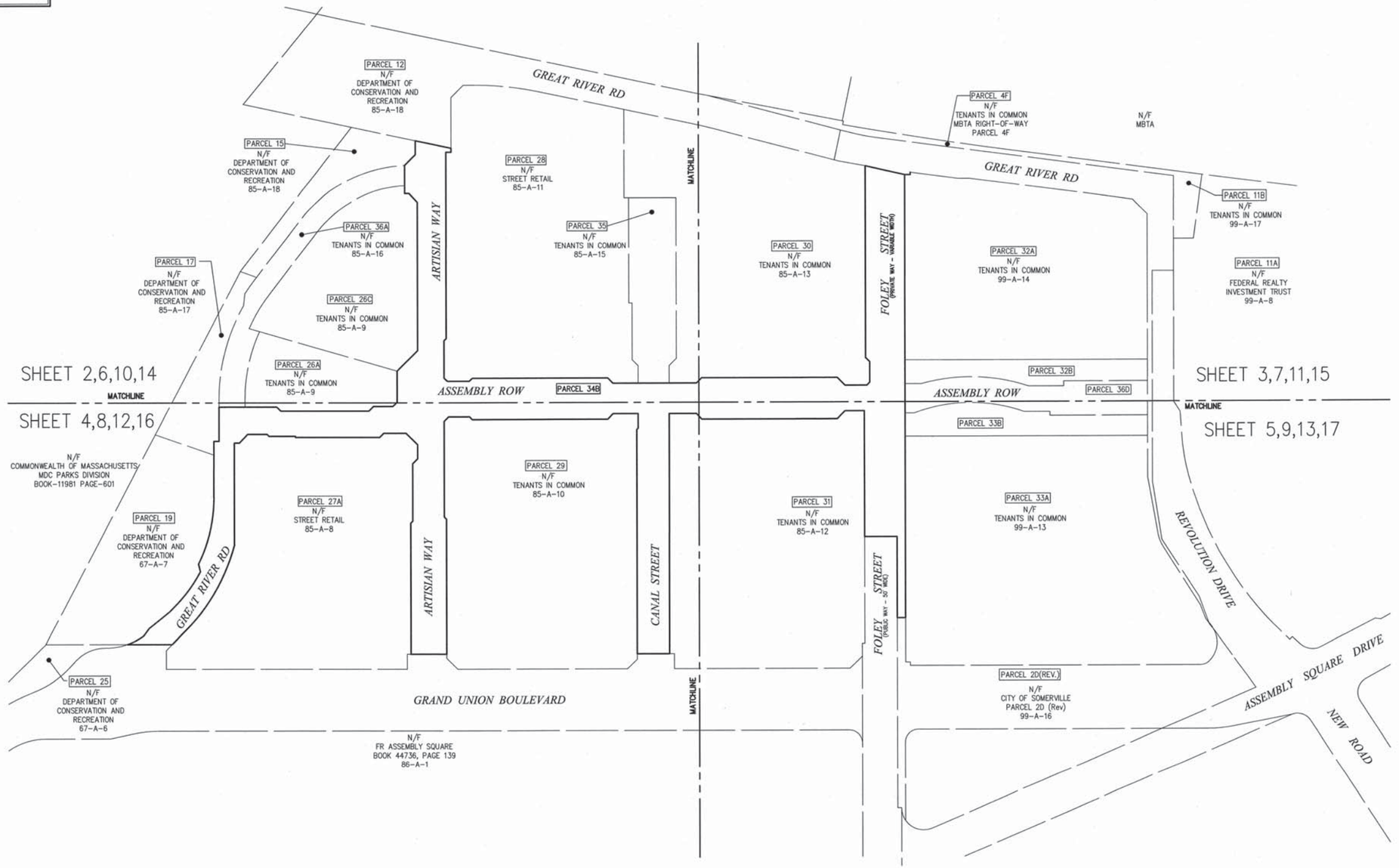


Locus Map
(NOT TO SCALE)



VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
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- 32'LT-100 LIMIT MEAN ANNUAL HIGH WATER
- 8'RT-100 LIMIT OF BANK
- WT1-100 VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date November 6, 2014

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
As Built

Drawing Title
Key Sheet

Drawing Number
Sv-1

Sheet 1 of 17

Project Number
11763.04

11/10

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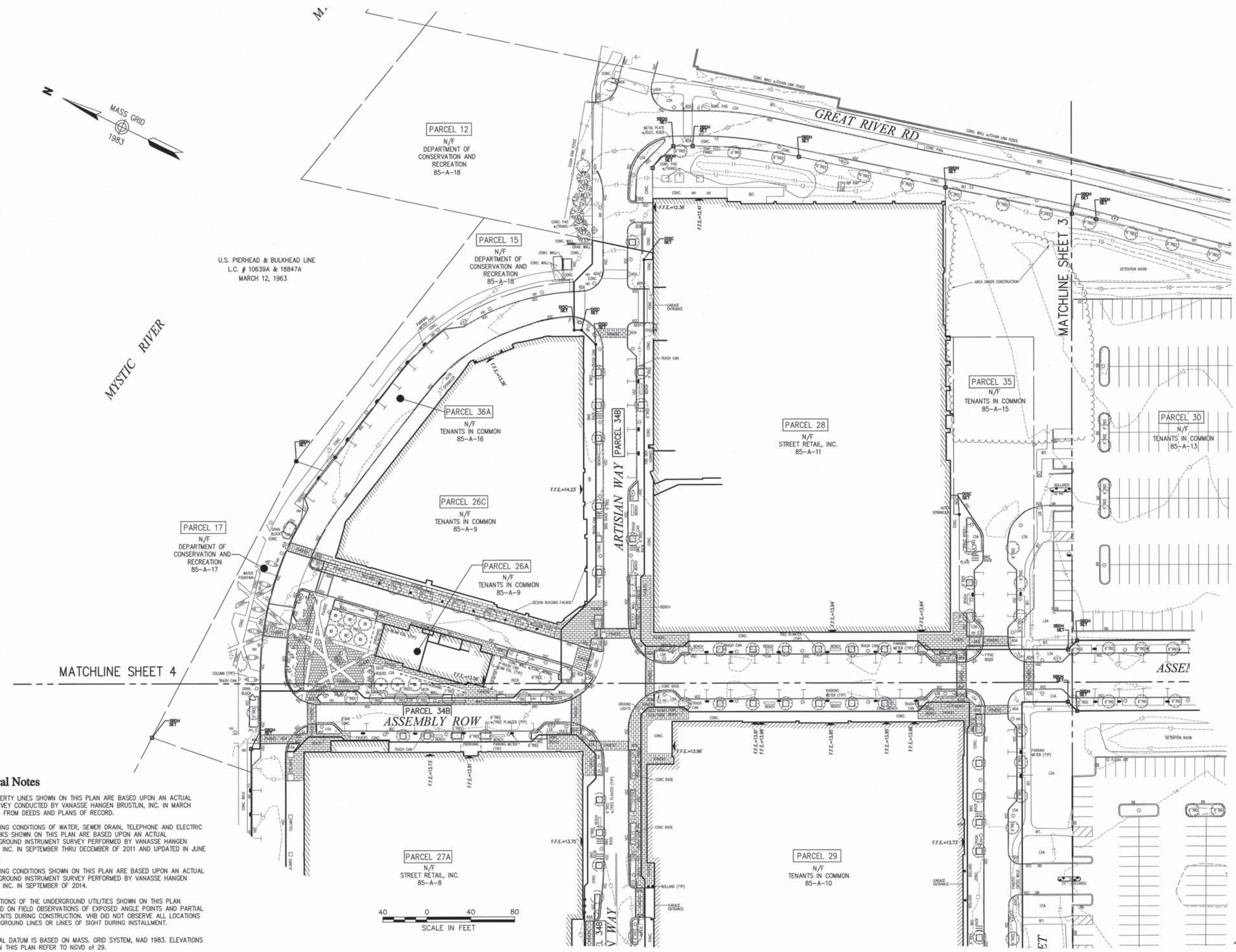

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Watertown, Massachusetts 02471-9151
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Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

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As Built

Drawing Title

Roadway As Built

Drawing Number

Sv-2

Sheet 2 of 17

Project Number
11763.04

General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011 AND UPDATED IN JUNE OF 2014.
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5. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NGVD of 29.

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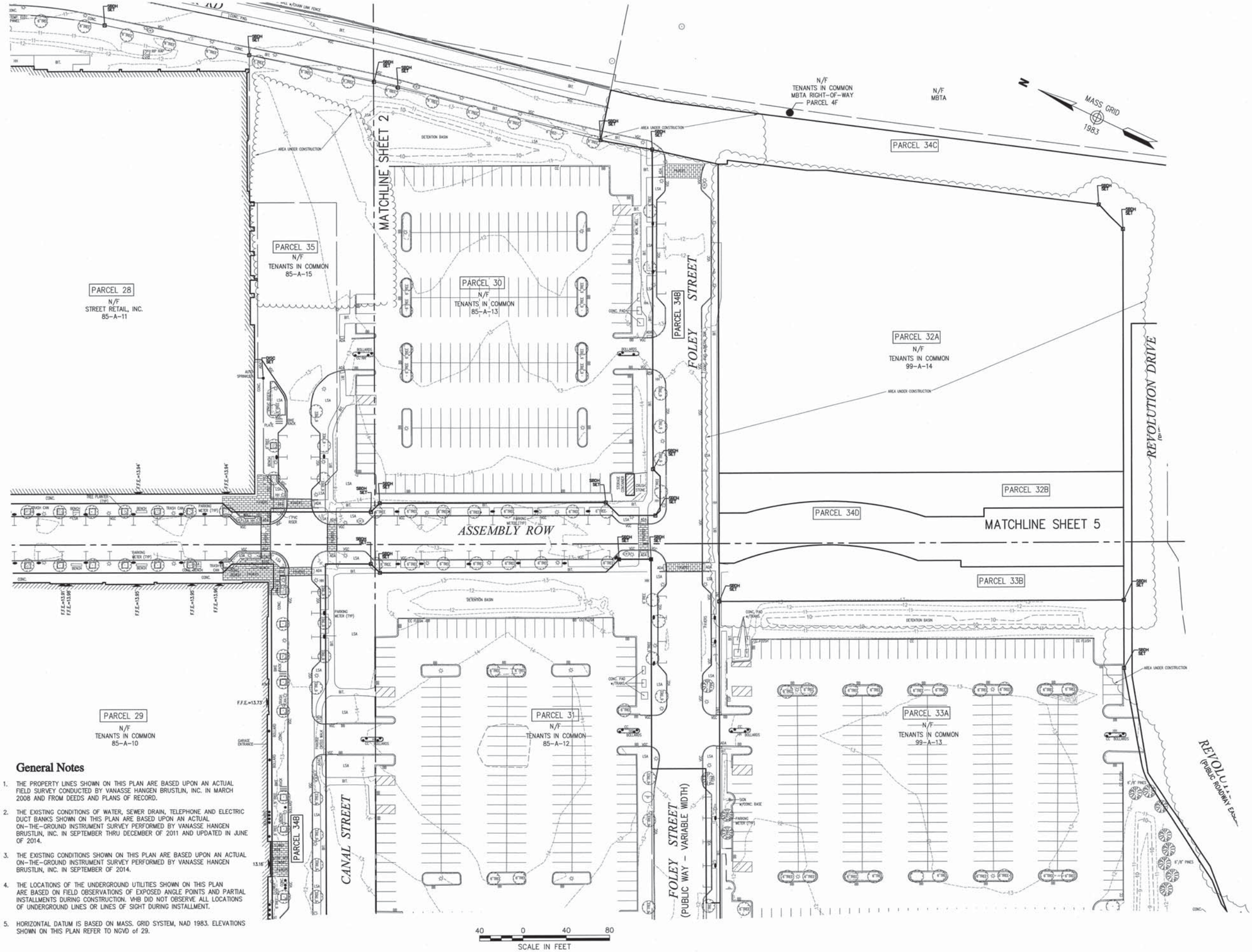

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VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

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No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date November 6, 2014

Project Title

Assembly Row
Assembly Square
PUD

Somerville, Massachusetts

Issued for

As Built

Drawing Title

Existing Conditions Plan of Land

Drawing Number

Sv-3

Sheet 3 of 17

Project Number 11763.04

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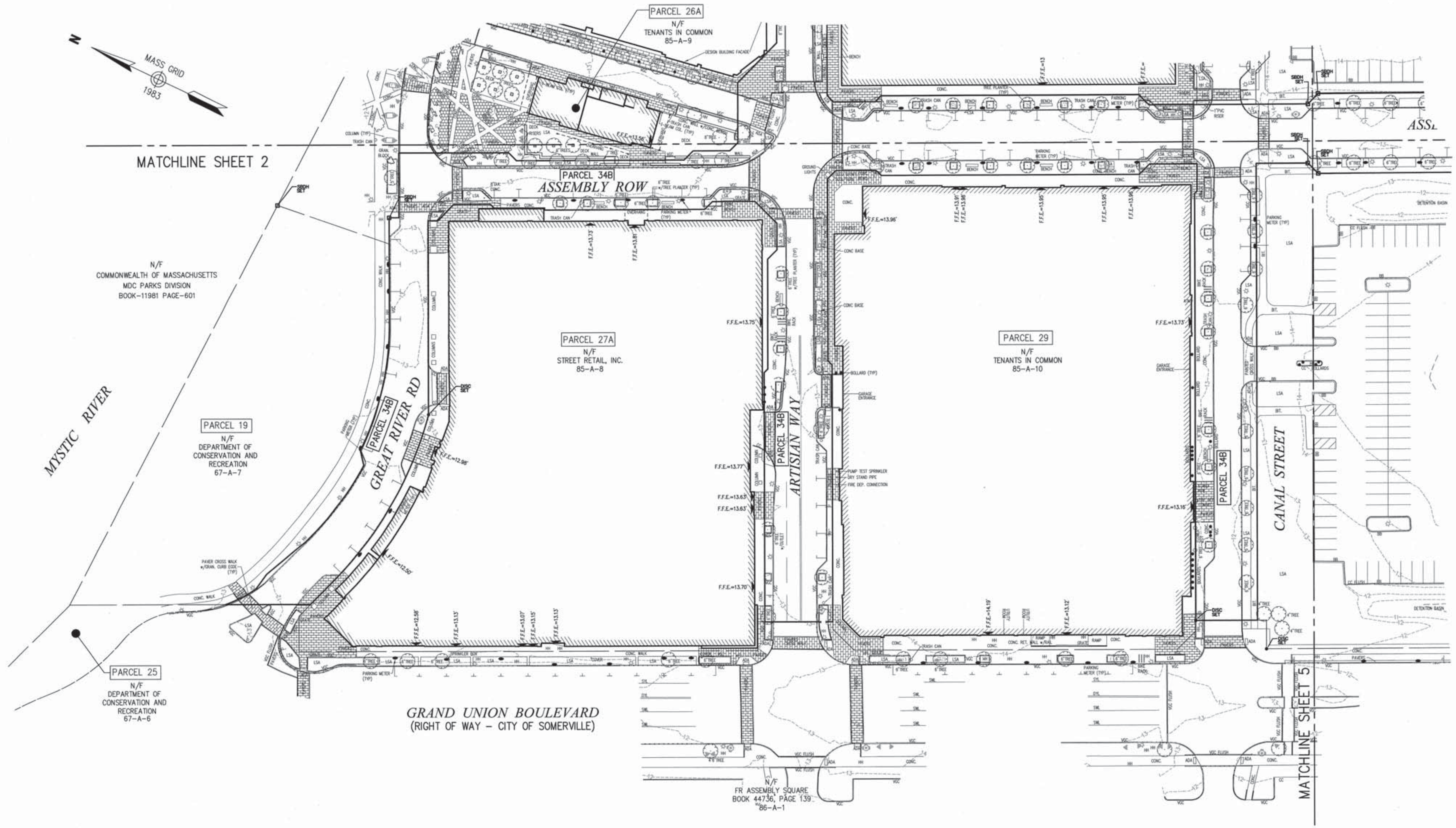

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40 0 40 80
SCALE IN FEET

VHB
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Transportation
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101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

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No.	Revision	Date	Appvd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date November 6, 2014	

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
As Built

Drawing Title
Existing Conditions
Plan of Land

Drawing Number
Sv-4

Sheet 4 of 17

Project Number
11763.04

COMMONWEALTH OF MASSACHUSETTS SELBY TURNER III No. 40230 PROFESSIONAL LAND SURVEYOR
11/10/2014

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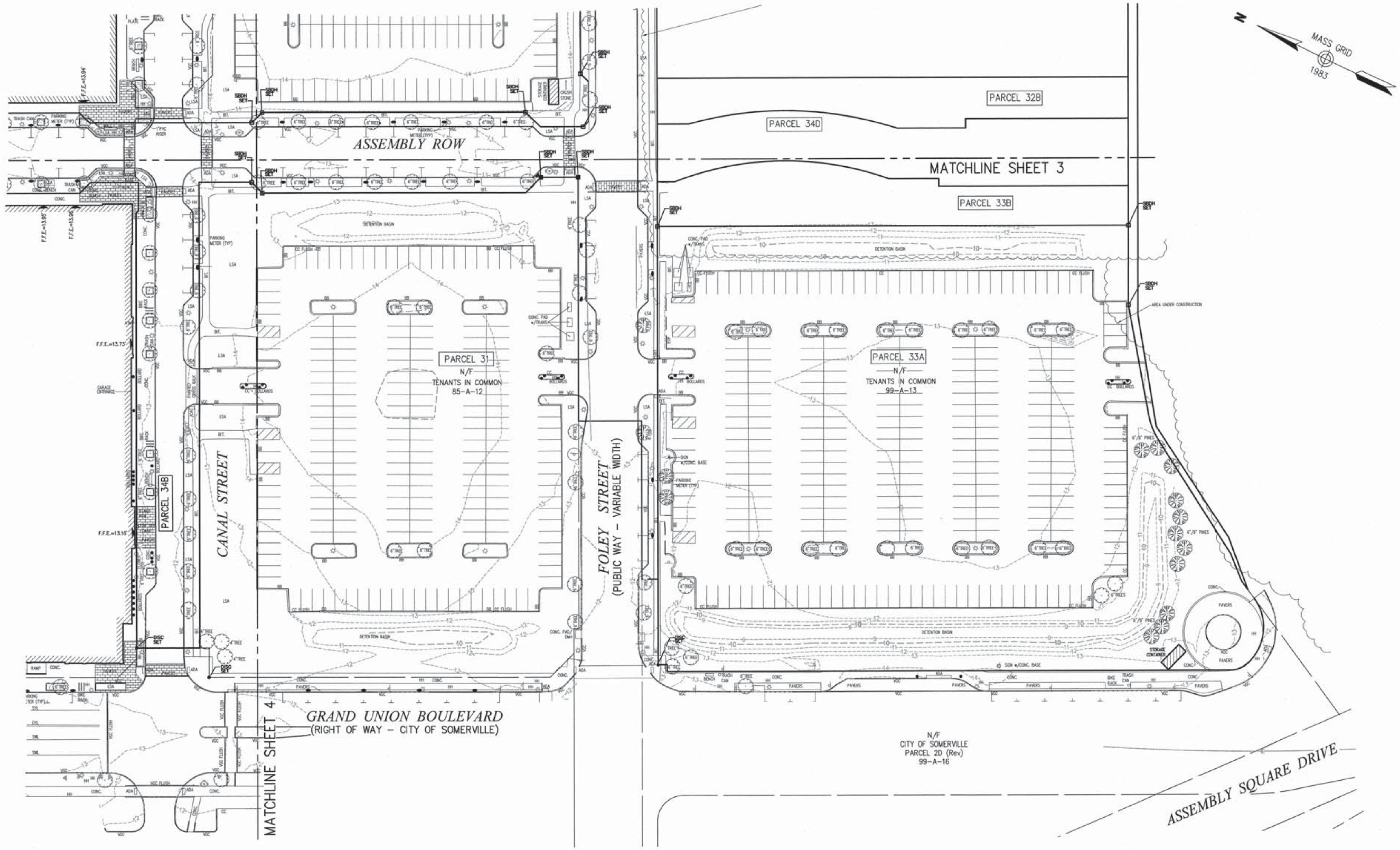

40 0 40 80
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Watertown, Massachusetts 02471-9151
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Legend

Symbol	Description
	DRAIN MANHOLE
	CATCH BASIN
	SEWER MANHOLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	MANHOLE
HH	HAND HOLE
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	UTILITY POLE
	GUY POLE
	GUY WIRE
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	WELL
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F.F.E.=45.27'	FINISHED FLOOR ELEVATION
EOP	EDGE OF PAVEMENT
CC	CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGE	SLOPED GRANITE EDGE
BB	BITUMINOUS BERM
BC	BITUMINOUS CURB
	GUARD RAIL
	CHAIN LINK FENCE
	DRAINAGE LINE
	SEWER LINE
OHW	OVERHEAD WIRE
E	UNDERGROUND ELECTRIC
T	TELEPHONE LINE
G	GAS LINE
W	WATER LINE
	STONE WALL
	TREE LINE
100'BZ	100-FT BUFFER ZONE
100'RA	100-FT RIVER FRONT AREA
200'RA	200-FT RIVER FRONT AREA
	LIMIT MEAN ANNUAL HIGH WATER
	LIMIT OF BANK
WFT-100	VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by
Scale 1"=40'	Date November 6, 2014

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

As Built

Drawing Title

Existing Condition
Plan of Land

Drawing Number

Sv-5

Sheet 5 of 17

Project Number
11763.04

COMMONWEALTH OF MASSACHUSETTS SELBY L. TURNER III No. 40230 LAND SURVEYOR

11/6/2014

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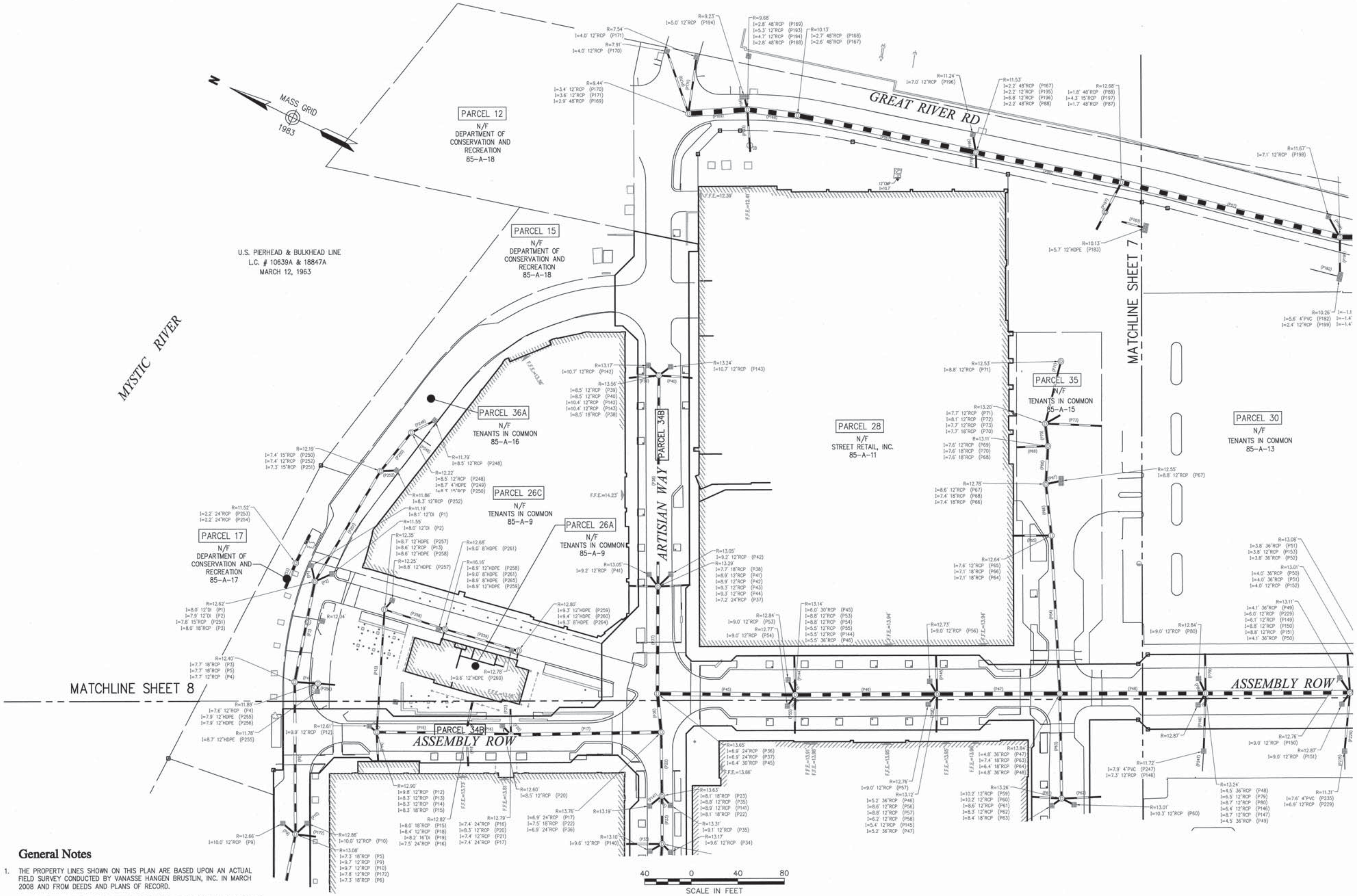

General Notes

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VHB
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- SBDH STONE BOUND DRILL HOLE
- ADA DETECTABLE WARNING PAD
- LSA LANDSCAPE AREA
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- MHW LIMIT MEAN ANNUAL HIGH WATER
- BFI LIMIT OF BANK
- WFI VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

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Scale 1"=40'	Date November 6, 2014

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
As Built

Drawing Title
Drain Asbuilt

Drawing Number
Sv-6

Sheet 6 of 17

Project Number
11763.04

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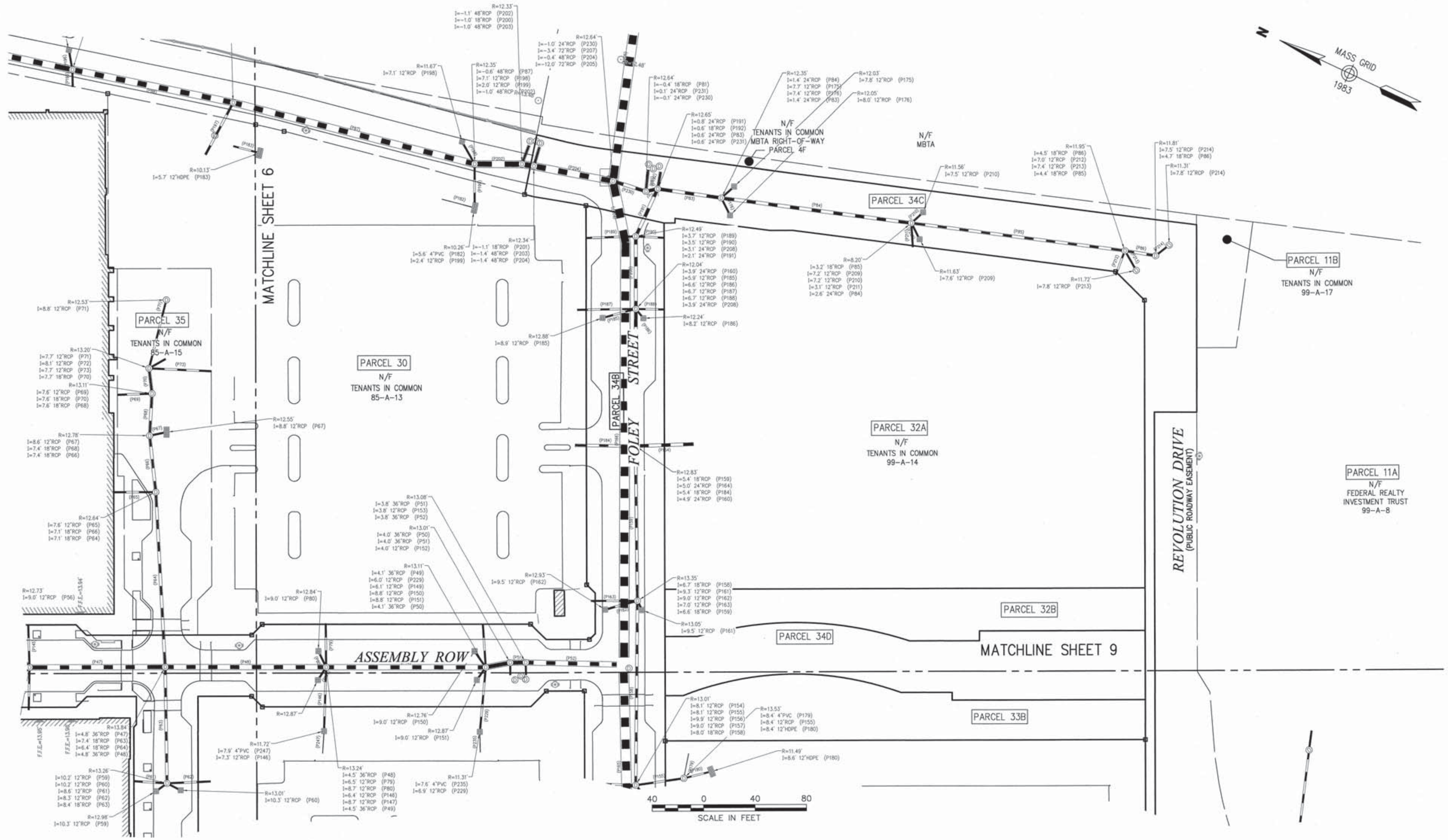

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Transportation
Land Development
Environmental Services

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Watertown, Massachusetts 02471-9151
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Legend

- DRAIN MANHOLE
- CATCH BASIN
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- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

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Project Title

Assembly Row
Assembly Square
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Somerville, Massachusetts

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Drawing Title
Drain Asbuilt

Drawing Number
Sv-7

Sheet 7 of 17

Project Number
11763.04

General Notes

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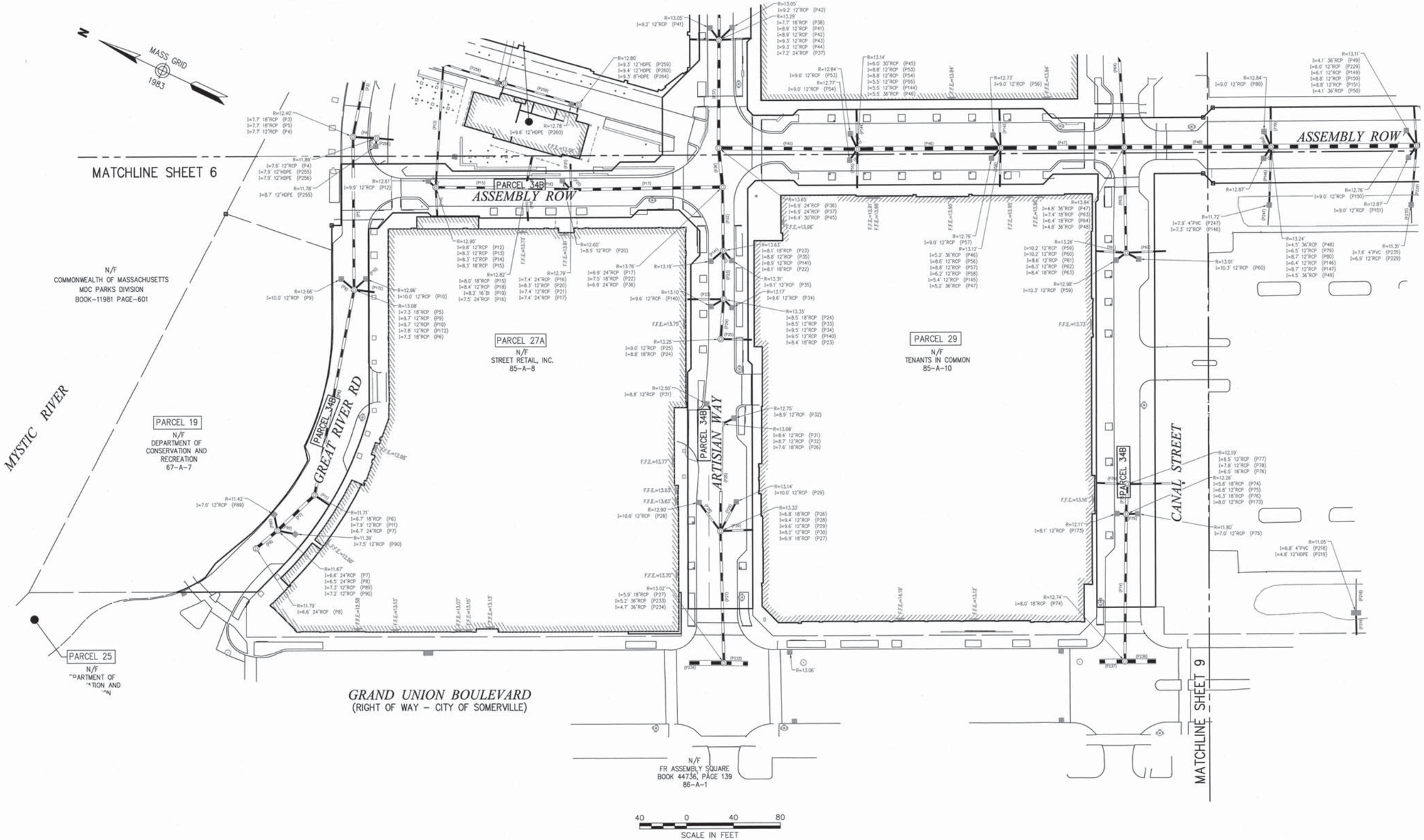

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Transportation
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Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
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Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
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- LSA LANDSCAPE AREA
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
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- MHW=100' LIMIT MEAN ANNUAL HIGH WATER
- BF1=100' LIMIT OF BANK
- WF1=100' VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Approved

Designed by | Drawn by | Checked by
CAD checked by | Approved by
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Project Title

Assembly Row
Assembly Square
PUD

Somerville, Massachusetts

Issued for

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Drawing Title

Drain Asbuilt

Drawing Number

Sv-8

Sheet 8 of 17

Project Number 11763.04

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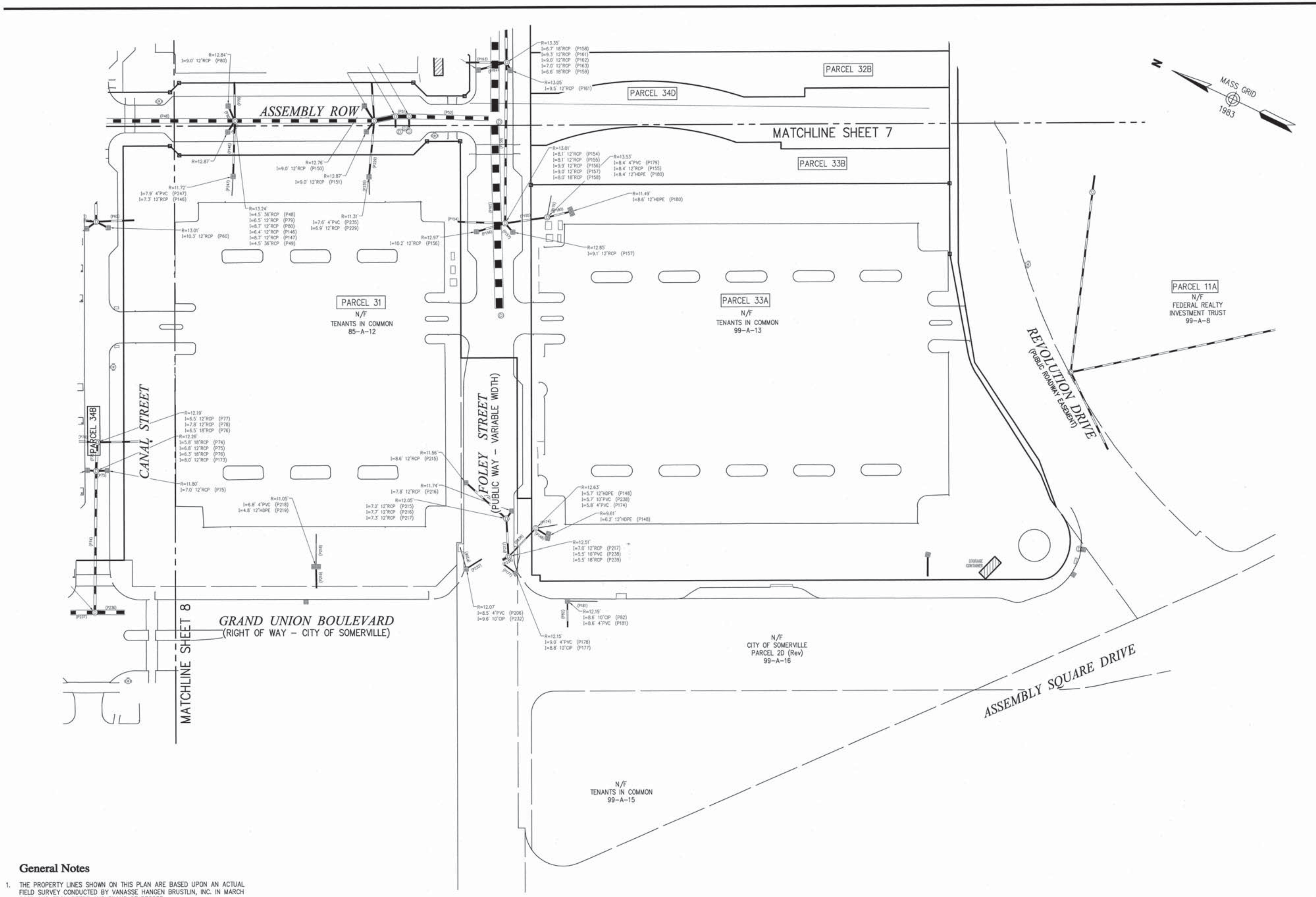

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Transportation
Land Development
Environmental Services
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Watertown, Massachusetts 02471-9151
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Legend

DRAIN MANHOLE
CATCH BASIN
SEWER MANHOLE
ELECTRIC MANHOLE
TELEPHONE MANHOLE
MANHOLE
HAND HOLE
WATER GATE
FIRE HYDRANT
GAS GATE
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LSA LANDSCAPE AREA
F.F.E.=45.27' FINISHED FLOOR ELEVATION
EDGE OF PAVEMENT
CONCRETE CURB
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SLOPED GRANITE EDGE
BITUMINOUS BERM
BITUMINOUS CURB
GUARD RAIL
CHAIN LINK FENCE
DRAINAGE LINE
SEWER LINE
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TREE LINE
100-FT BUFFER ZONE
100-FT RIVER FRONT AREA
200-FT RIVER FRONT AREA
LIMIT MEAN ANNUAL HIGH WATER
LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by	Drawn by / Checked by
CAD checked by	Approved by
Scale 1"=40'	Date November 6, 2014

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
As Built

Drawing Title
Drain Asbuilt

Drawing Number
Sv-9

Sheet 9 of 17

Project Number
11763.04

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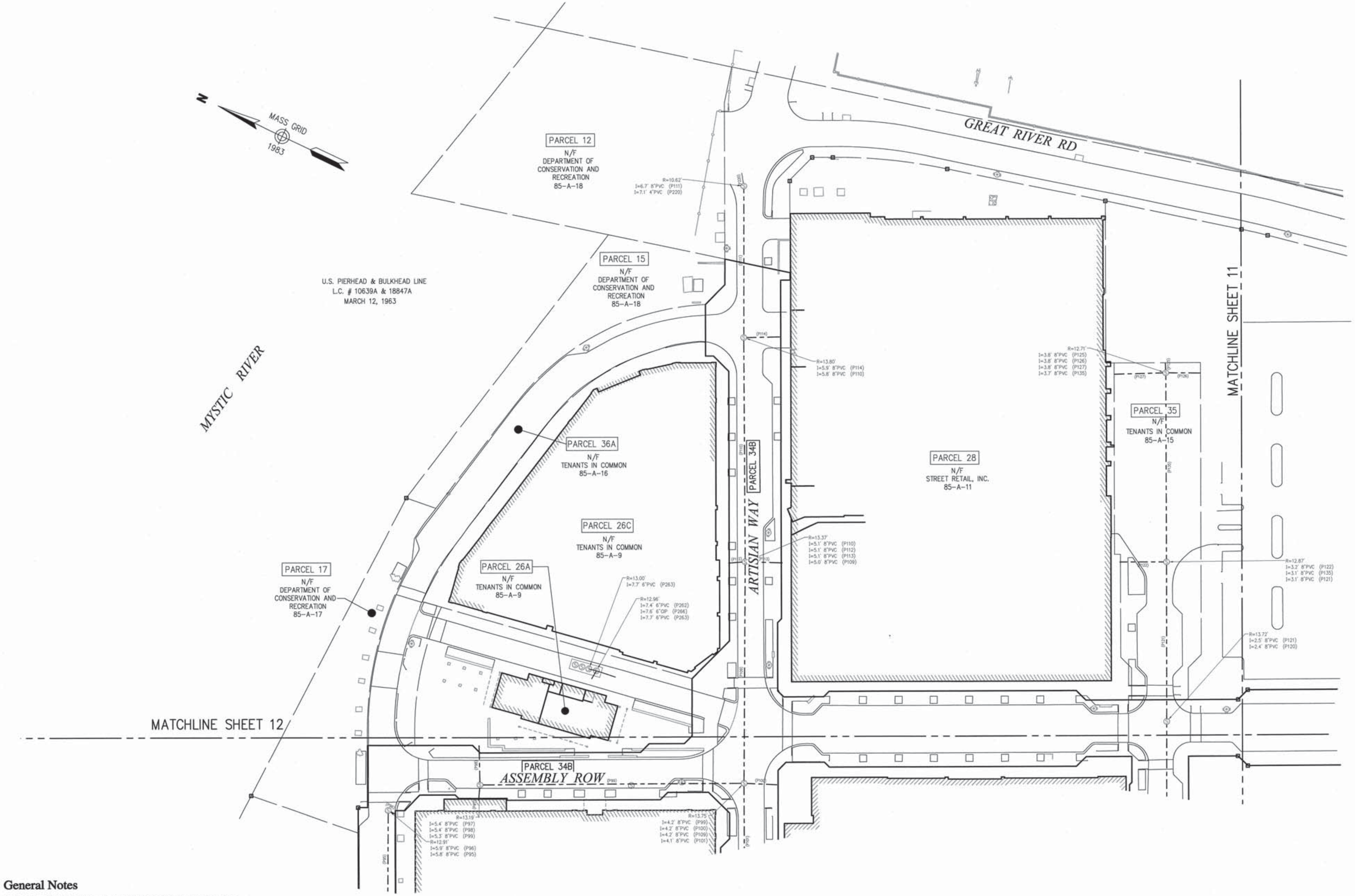

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SCALE IN FEET

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Transportation
Land Development
Environmental Services
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

DRAIN MANHOLE
CATCH BASIN
SEWER MANHOLE
ELECTRIC MANHOLE
TELEPHONE MANHOLE
MANHOLE
HH HAND HOLE
WATER GATE
FIRE HYDRANT
GAS GATE
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100-FT BUFFER ZONE
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200-FT RIVER FRONT AREA
LIMIT MEAN ANNUAL HIGH WATER
LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

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Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

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Drawing Title
Sewer Asbuilt

Drawing Number
Sv-10

Sheet 10 of 17

Project Number
11763.04

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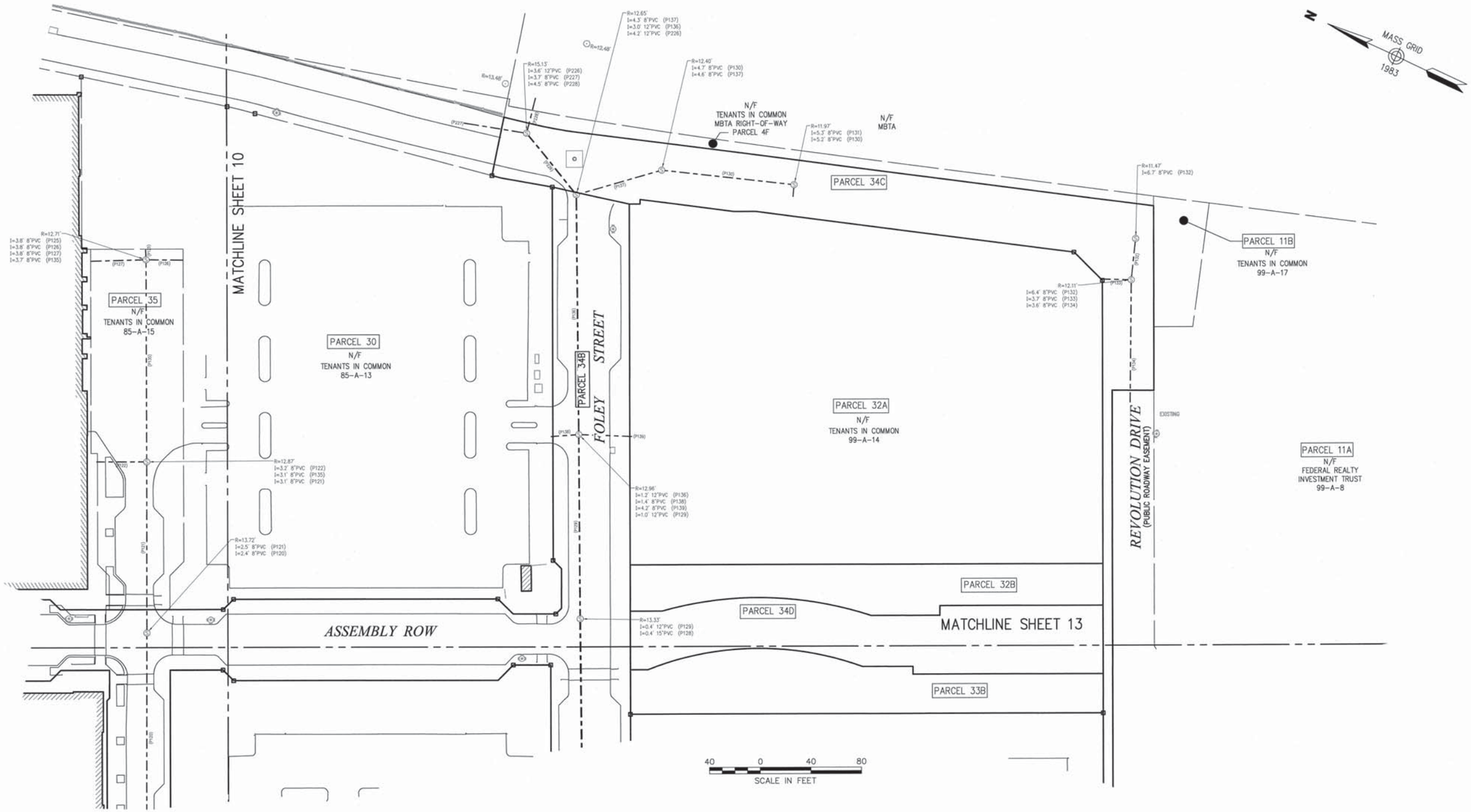

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VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

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Watertown, Massachusetts 02471-9151
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Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
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- LSA LANDSCAPE AREA
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
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No.	Revision	Date	Appvd

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Project Title
Assembly Row
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Drawing Title
Sewer Asbuilt

Drawing Number
Sv-11

Sheet 11 of 17

Project Number
11763.04

11/10/2014

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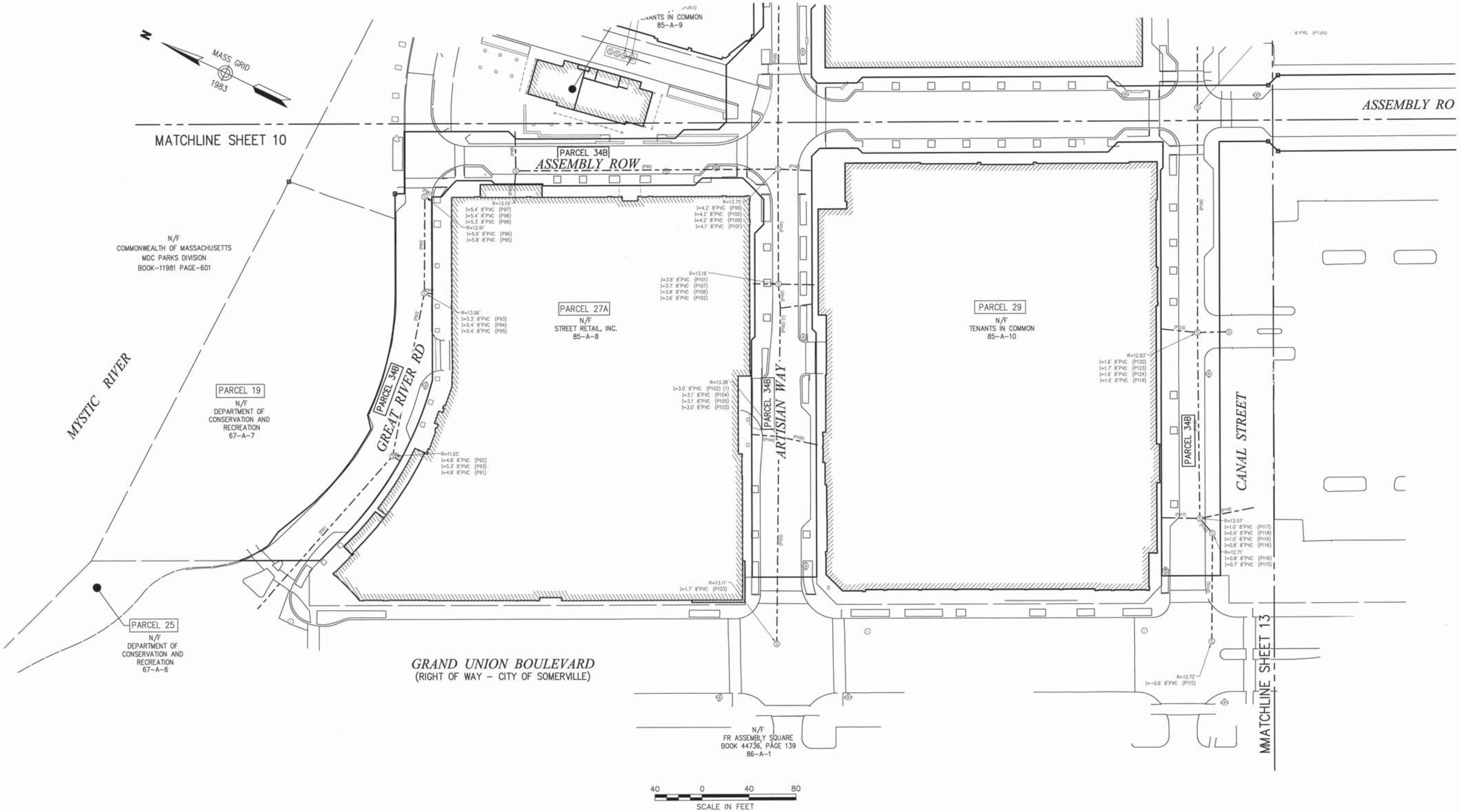

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Land Development
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Legend

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Scale 1"=40'	Date November 6, 2014	

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

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As Built

Drawing Title
Sewer Asbuilt

Drawing Number
Sv-12

Sheet 12 of 17

Project Number
11763.04

COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
No. 40230
PROFESSIONAL LAND SURVEYOR

General Notes

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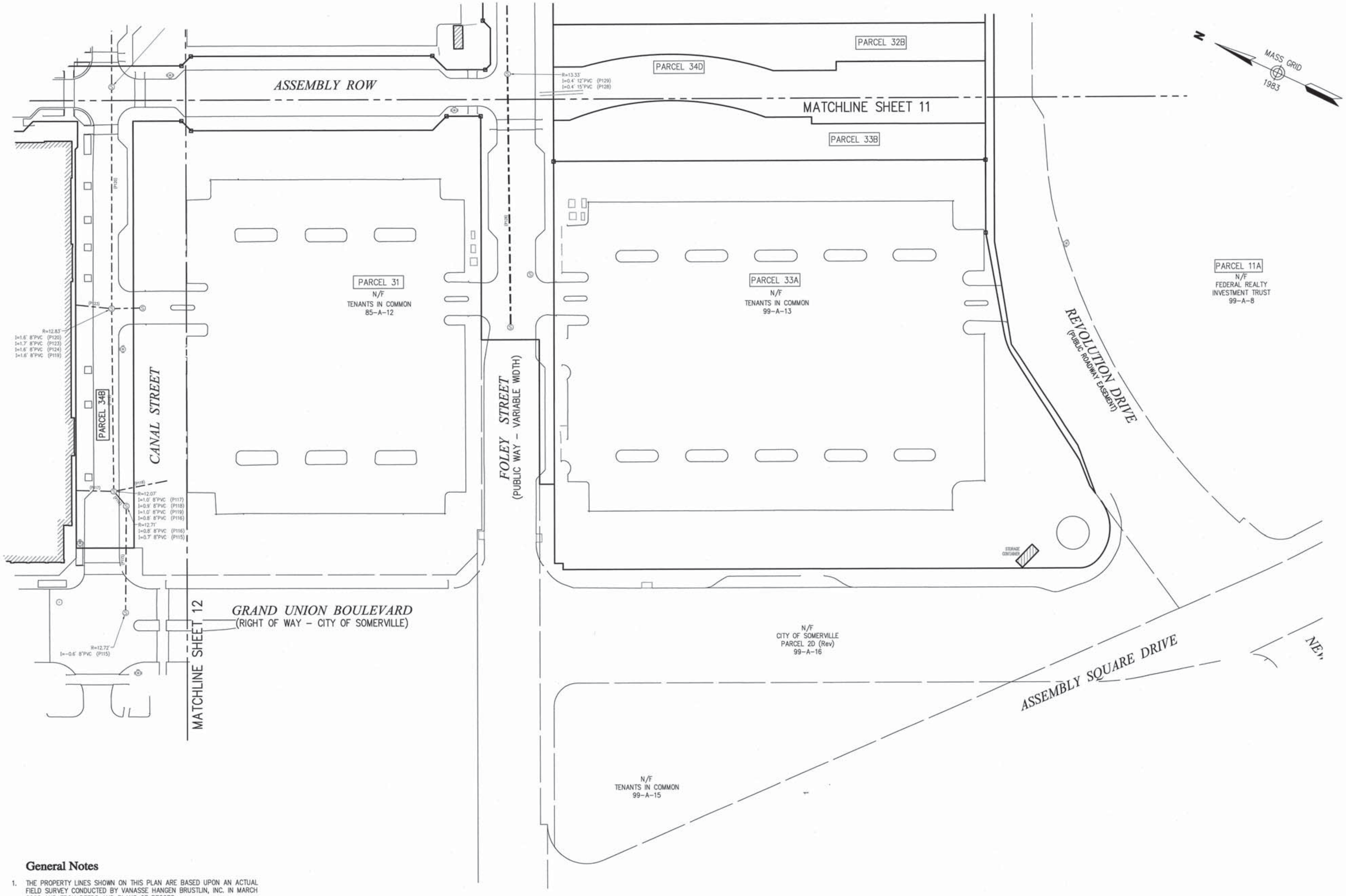

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SCALE IN FEET

VHB
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

DRAIN MANHOLE
CATCH BASIN
SEWER MANHOLE
ELECTRIC MANHOLE
TELEPHONE MANHOLE
MANHOLE
HAND HOLE
WATER GATE
FIRE HYDRANT
GAS GATE
STREET SIGN
LIGHT POLE
UTILITY POLE
GUY POLE
GUY WIRE
MONITORING WELL
FLOOD LIGHT
WELL
CNO COULD NOT OPEN
NPV NO PIPES VISIBLE
SBDH STONE BOUND DRILL HOLE
ADA DETECTABLE WARNING PAD
LSA LANDSCAPE AREA
F.F.E.=45.27' FINISHED FLOOR ELEVATION
EDGE OF PAVEMENT
CONCRETE CURB
VERTICAL GRANITE CURB
SLOPED GRANITE EDGE
BITUMINOUS BERM
BITUMINOUS CURB
GUARD RAIL
CHAIN LINK FENCE
DRAINAGE LINE
SEWER LINE
OVERHEAD WIRE
UNDERGROUND ELECTRIC
TELEPHONE LINE
GAS LINE
WATER LINE
STONE WALL
TREE LINE
100-FT BUFFER ZONE
100-FT RIVER FRONT AREA
200-FT RIVER FRONT AREA
LIMIT MEAN ANNUAL HIGH WATER
LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

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Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

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Drawing Title
Sewer Asbuilt

Drawing Number
Sv-13

Sheet 13 of 17

Project Number
11763.04

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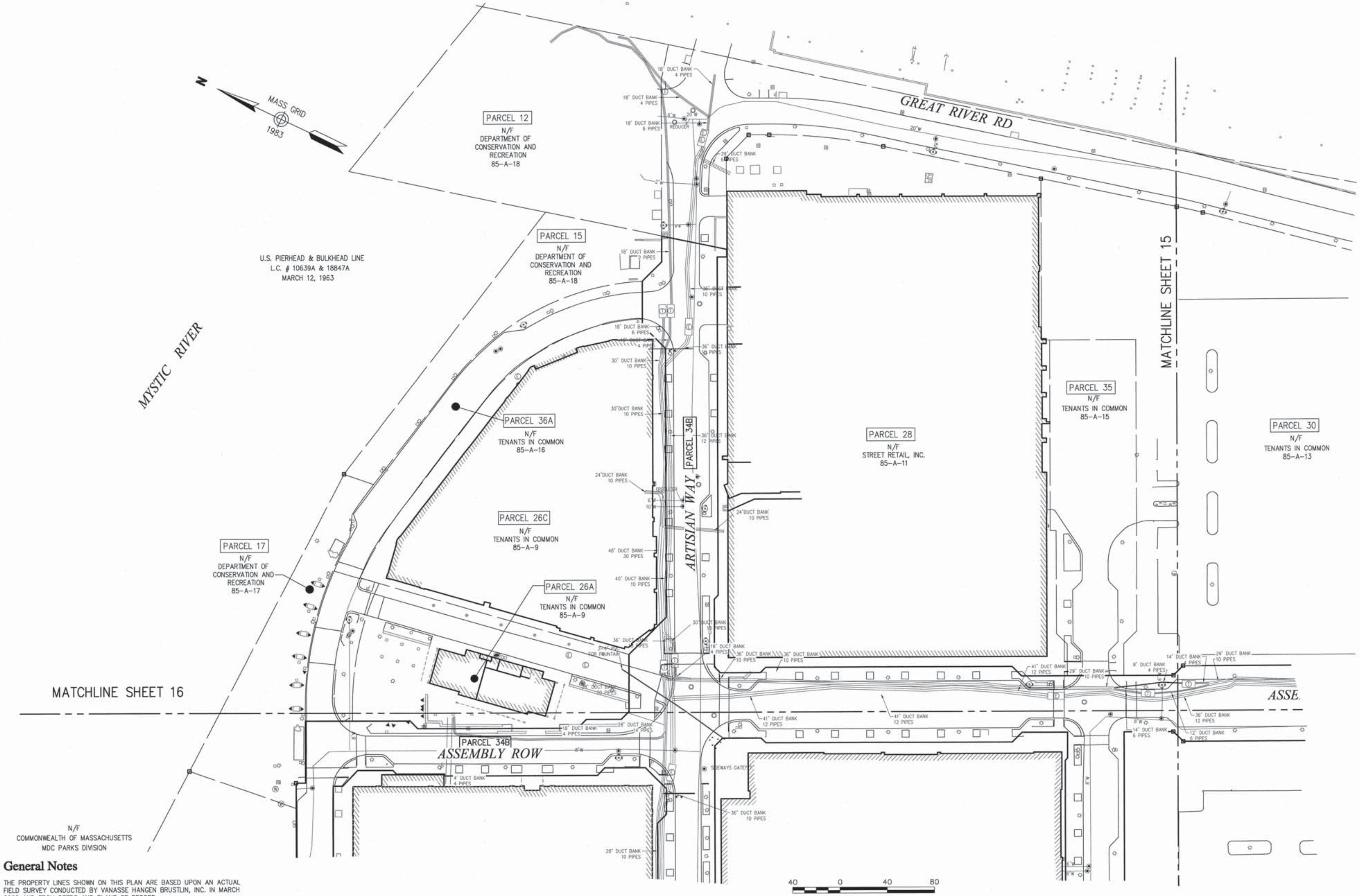

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Transportation
Land Development
Environmental Services

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Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- SBDH STONE BOUND DRILL HOLE
- ADA DETECTABLE WARNING PAD
- LSA LANDSCAPE AREA
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
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- SEWER LINE
- OHW OVERHEAD WIRE
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- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- MHW LIMIT MEAN ANNUAL HIGH WATER
- BF1-100 LIMIT OF BANK
- WF1-100 VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

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Project Title
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PUD
Somerville, Massachusetts

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Utility Asbuilt

Drawing Number
Sv-14

Sheet 15 of 17

Project Number
11763.04

COMMONWEALTH OF MASSACHUSETTS
SELBY ... TURNER ... No. 46230
PROFESSIONAL LAND SURVEYOR
11/10/2014

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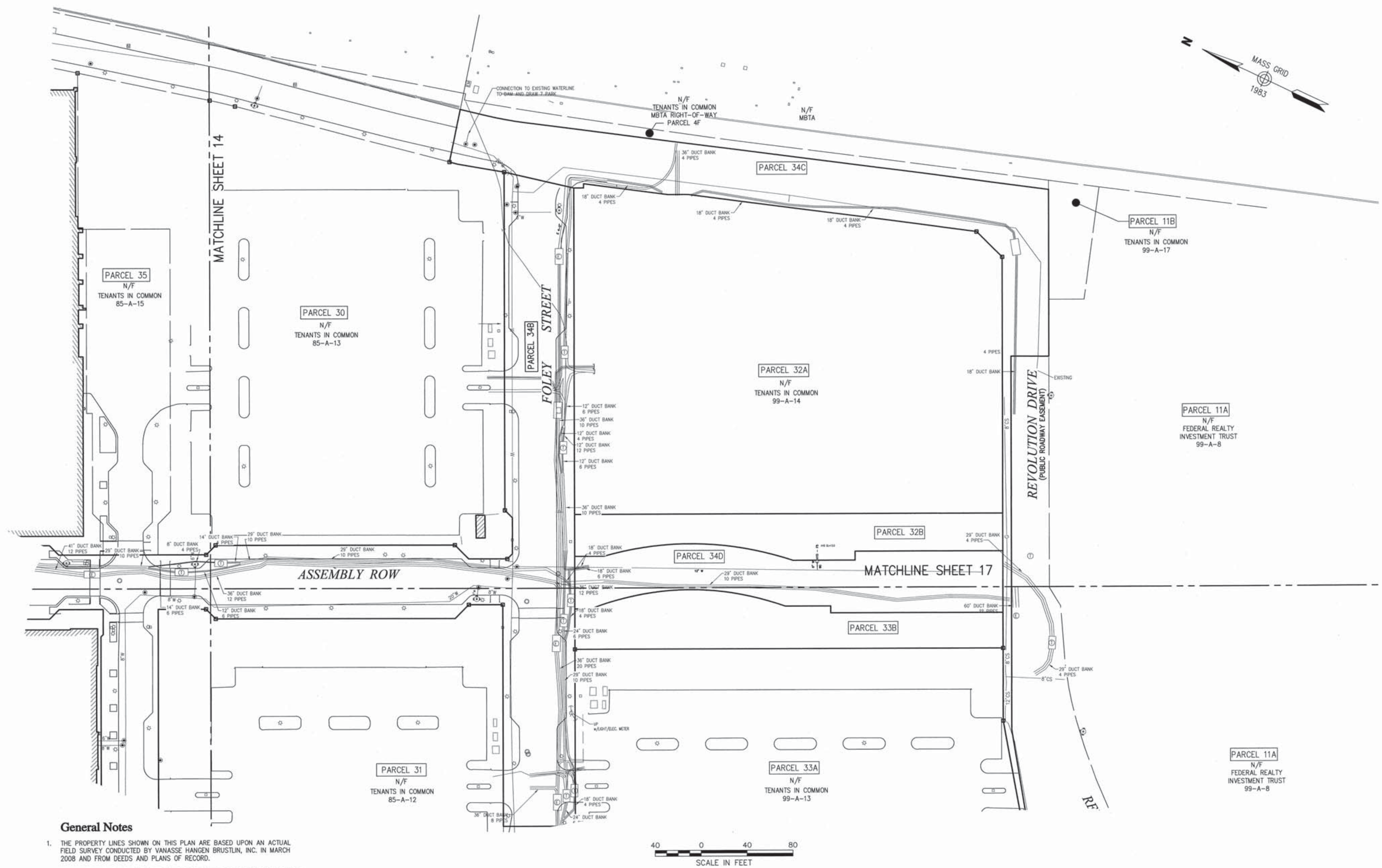

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No.	Revision	Date	Appvd.
1	ADDED NSTAR GAS LOCATIONS	4-2-2012	

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COMMONWEALTH OF MASSACHUSETTS
BEILEY TURNER No. LAND SURVEYOR

11/10/2014

Drawing Number

Sv-15

Sheet 14 of 17

Project Number 11763.04

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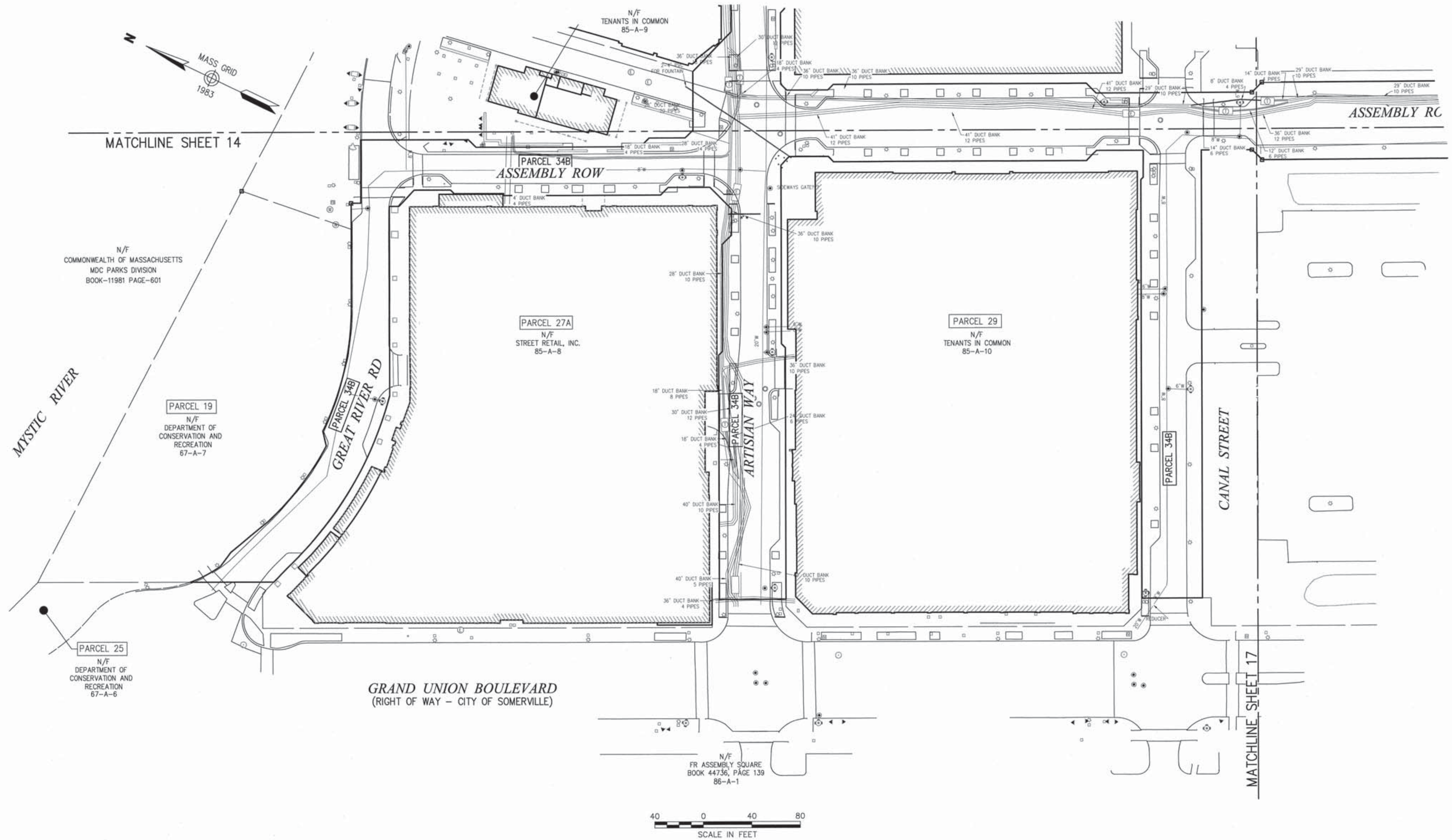

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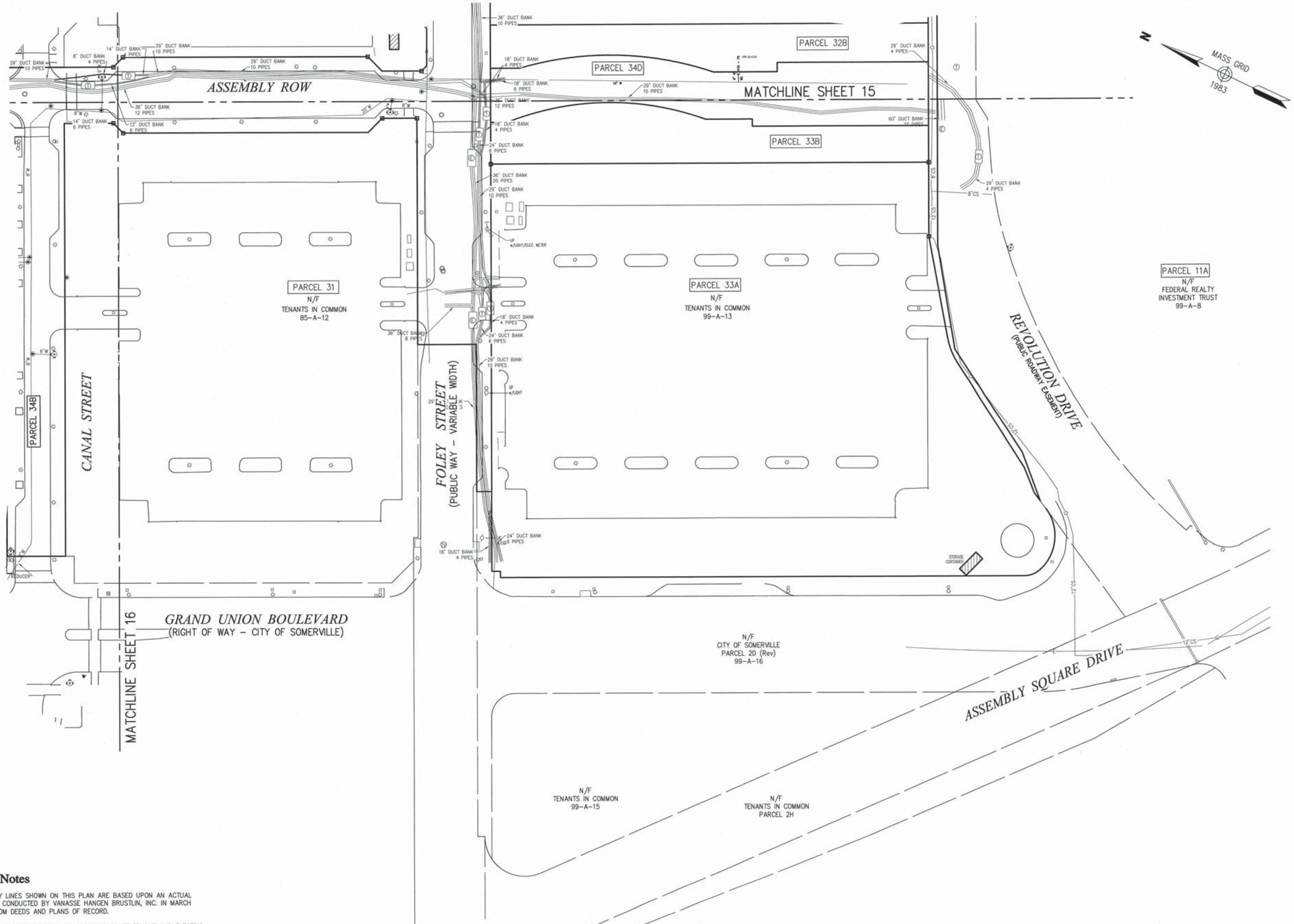

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