

Z:\DCADD\WGSI\Rush - 20-24\DCad Drawings\T1 cover sheet.dwg, T1.1, 1/11/2017 1:56:13 PM

DEVELOPMENT OF 10-RESIDENTIAL UNITS

20-24 RUSH ST, SOMERVILLE, MA 02145

PETER
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ARCHI
TECTS
ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL

CONSULTANT

PROJECT

20-24 RUSH
STREET

20-24 RUSH STREET,
SOMERVILLE, MA 02145

PREPARED FOR

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION	DATE
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ZBA REV 2	11 JAN 2017
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ZBA REV 1	28 DEC 2016
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ZBA APPL	26 OCT 2016
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DRAWN BY HC	REVIEWED BY PQ
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SHEET

T1.1



PREPARED BY:

ARCHITECT

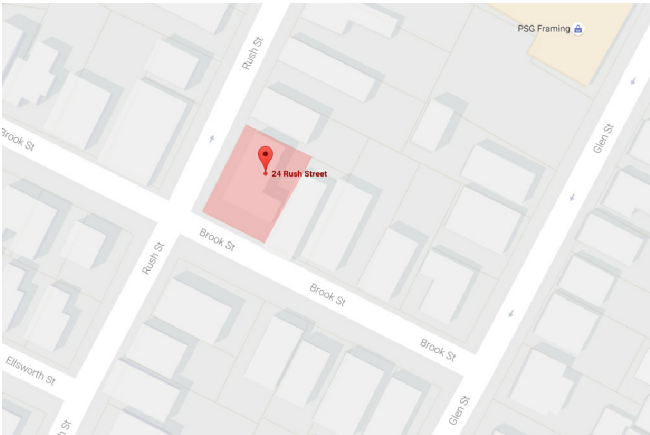
PETER QUINN
ARCHITECTS LLC
259 ELM ST, STE 301
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PH (617) 354 3989

SURVEYOR

SUMMIT SURVEYING, INC.
4 SOUTH POND ST
NEWBURYPORT, MA 01950
PH (978) 692 7109

LIST OF DRAWINGS	ZBA APPL	ZBA APPL	ZBA APPL	
	26 OCT 2016	REV 1 28 DEC 2016	REV 2 11 JAN 2017	
GENERAL				
T1.1	TITLE SHEET	X	X	X
	EXISTING PLOT PLAN OF LAND (SEPARATELY)	X	X	X
Z1.1	ZONING COMPLIANCE	X	X	X
Z1.2	ZONING COMPLIANCE	X	X	X

ARCHITECTURAL					
A1.1	BASEMENT PLAN	X	X	X	
A1.2	RENDERED SITE PLAN & 1ST FLOOR PLAN	X	X	X	
A1.3	2ND FLOOR PLAN	X	X	X	
A1.4	3RD FLOOR PLAN	X	X	X	
A2.1	RUSH ST / BROOK ST ELEVATION	X	X	X	
A2.2	REAR / SIDE ELEVATION	X	X	X	
A2.4	BUILDING SECTION	X	X	X	

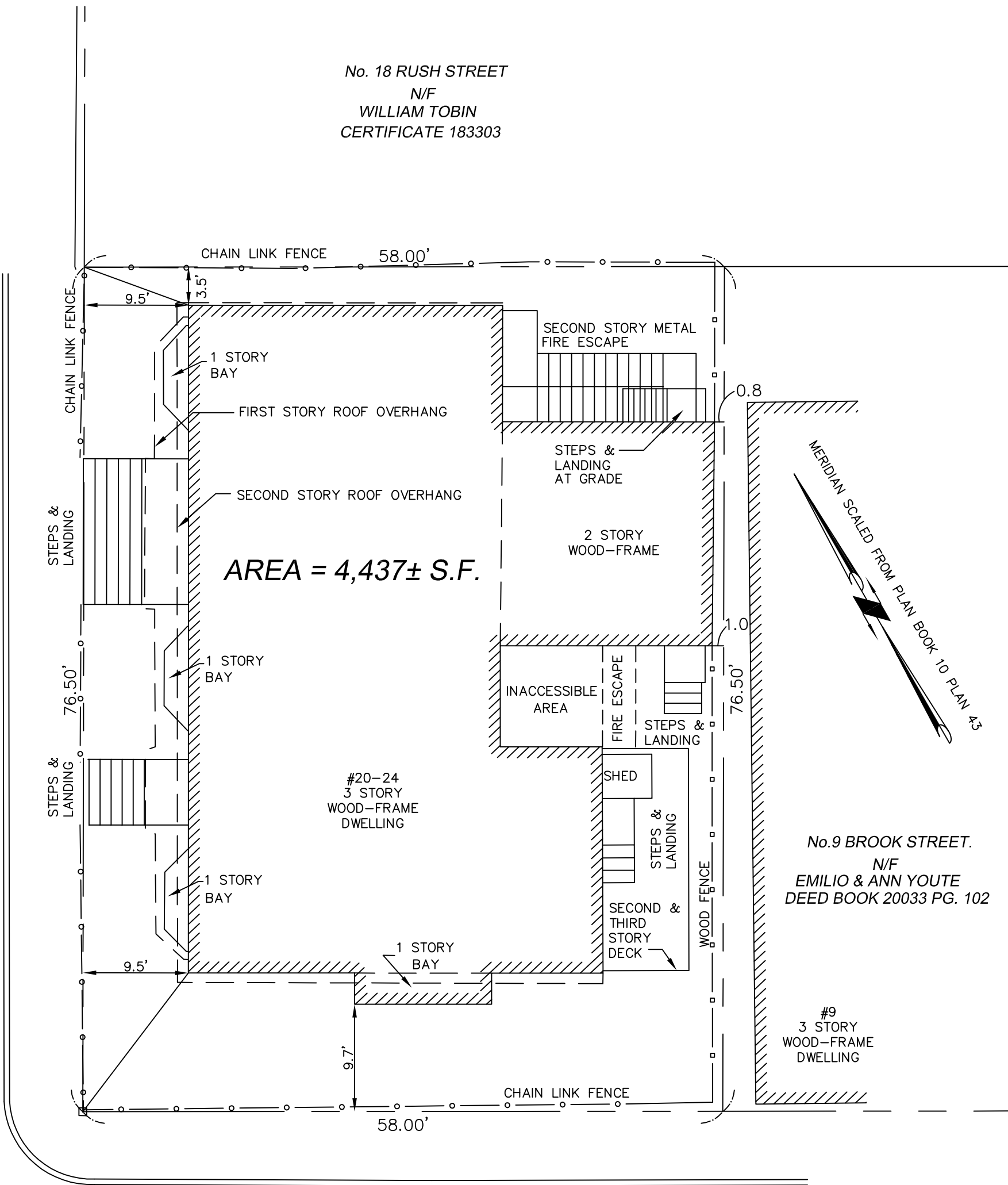


LOCUS PLAN

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RUSH STREET
(PUBLIC - 40' WIDE)

No. 18 RUSH STREET
N/F
WILLIAM TOBIN
CERTIFICATE 183303



No.9 BROOK STREET.
N/F
EMILIO & ANN YOUTE
DEED BOOK 20033 PG. 102

#9
3 STORY
WOOD-FRAME
DWELLING

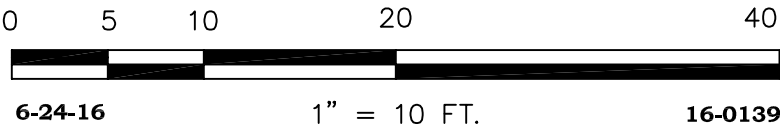
BROOK STREET
(PUBLIC - 40' WIDE)

RECORD OWNER:
FIRST RUSH STREET CORP.
20-24 RUSH STREET
SOMERVILLE, MA

REFERENCES:
DEED BOOK 27678 PAGE 112
PLAN IN BOOK 10 PLAN 43

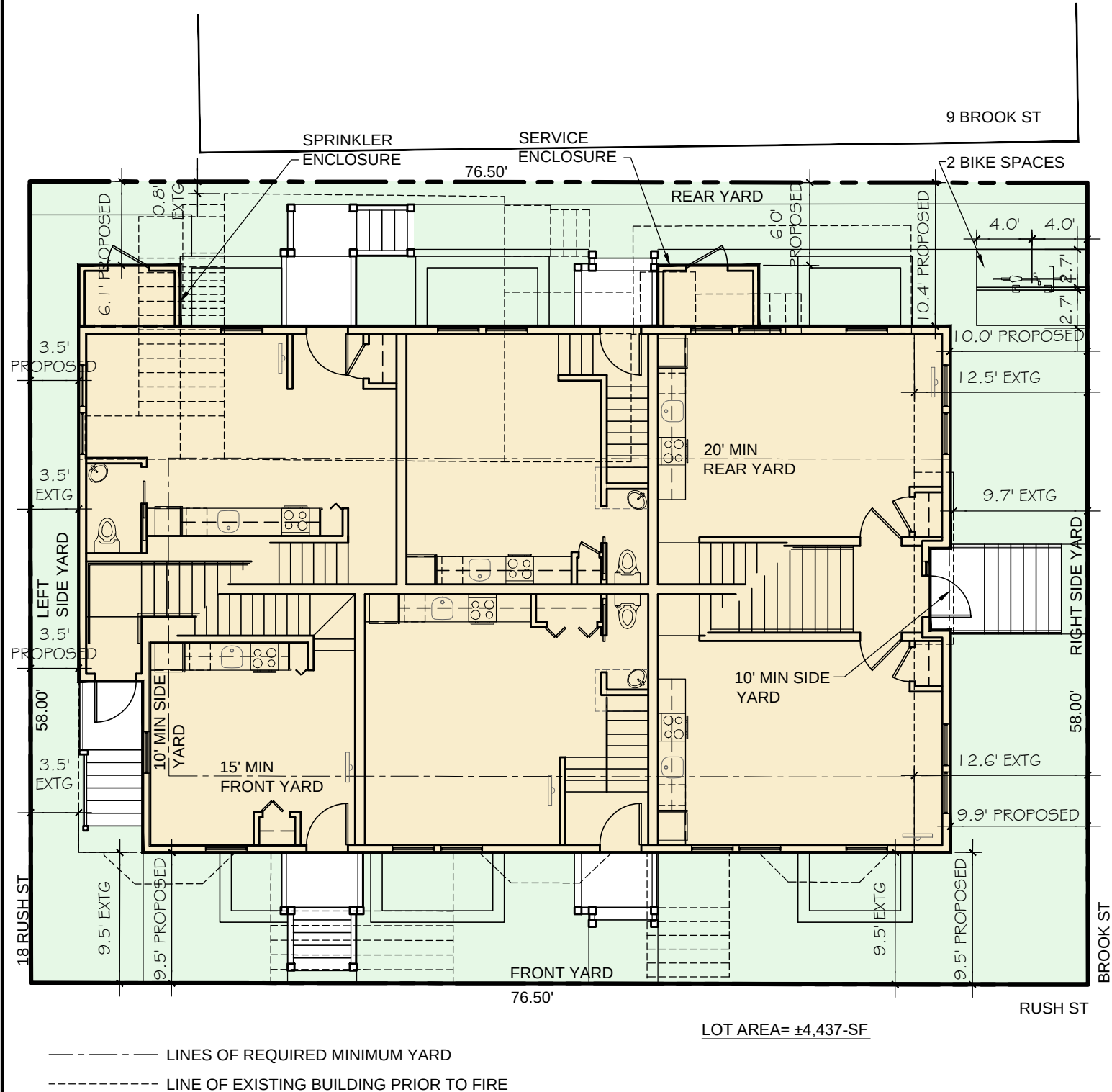
- NOTES:
- 1.) THIS PLAN WAS PREPARED TO SHOW EXISTING DWELLING RELATIVE TO PROPERTY LINES.
 - 2.) THE PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN JUNE OF 2016.
 - 3.) SUBSURFACE AND ABOVE GROUND UTILITIES WERE NOT INCLUDED AS PART OF THIS SURVEY, THEY WERE NOT RESEARCHED NOR SHOWN HEREON.
 - 4.) NO TITLE EXAMINATION PROVIDED, THEREFORE OTHER EASEMENTS NOT SHOWN HEREON COULD EXIST.
 - 5.) OVERHEAD WIRES NOT SHOWN HEREON.

PLOT PLAN
OF LAND IN
SOMERVILLE, MASSACHUSETTS
AT 20-24 RUSH STREET
PREPARED FOR
KIERAN BRENNAN
BY
SUMMIT SURVEYING, INC.
4 SOUTH POND STREET, NEWBURYPORT, MA 01950
TEL. 978-692-7109
CBRENNAN@SUMMITSURVEYINGINC.COM



16-0139

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1 DIMENSIONAL SITE PLAN

SCALE: 1"=10'-0"

BASED ON PLOT PLAN BY SUMMIT SURVEYING, INC.
4 SOUTH POND ST, NEWBURYPORT, MA 01950.



RUSH 20 - DIMENSIONAL TABLE - RB ZONING DISTRICT

ITEM	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	± 4,437	NO CHANGE	EXTG NON CONFORMITY, NO CHANGE
MIN LOT AREA / UNIT 1-10 UNITS (SF)	1,500	493	443	REQUIRES RELIEF
MAX GROUND COVERAGE (%)	50	± 65	± 60	NON CONFORMITY IMPOROVED
MIN LANDSCAPED AREA (% OF LOT)	25	± 33	± 40	COMPLIES
PERVIOUS AREA (% OF LOT)	35	± 33	± 40	COMPLIES
FLOOR AREA RATIO (FAR)	1.0	1.28	1.87	COMPLIES
NET FLOOR AREA (NSF)	± 4,437	± 5,698	± 8,312	COMPLIES
MAX HEIGHT (FT/ STORIES)	40 / 3	± 34 / 3	± 33 / 3	COMPLIES
MIN FRONT YARD (FT) RUSH ST	15	9.5	9.5	EXTG NON CONFORMITY, NO CHANGE
MIN SIDE YARD - LEFT (FT)	10	3.5	3.5	EXTG NON CONFORMITY, NO CHANGE
MIN SIDE YARD - RIGHT (FT)	10	9.7	10.0	COMPLIES
MIN REAR YARD (FT)	20	0.8	6.0	NON CONFORMITY IMPROVED
MIN FRONTAGE (FT)	50	58	NO CHANGE	COMPLIES
MIN NO. OF PARKING SPACES	16**	0	NO CHANGE	REQUIRES RELIEF
MIN NO. BIKE PARKING SPACES	2***	0	2	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN.

****NUMBER OF REQUIRED PARKING SPACE PER §9.5
RESIDENTIAL**

(10) 1OR2-BR UNITS AT 1.5 PER UNIT = 10X1.5 = 15
(0) 3-BR UNITS AT 2 PER UNIT = 0X2 = 0
VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 1

16 RES SPACES REQUIRED

*****NUMBER OF REQUIRED BICYCLE PARKING SPACES PER §9.15.1.A.B
RESIDENTIAL**

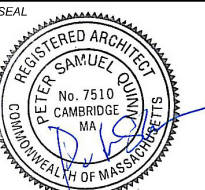
(1) FIRST 7 UNITS AT 1 BIKE SPACE PER FIRST 7 UNITS = 1X1 = 1
(1) FOR EVERY 3 UNITS OVER FIRST 7 UNITS = 1X1 = 1

2 RES BIKE
SPACES
REQUIRED

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20-24 RUSH
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SOMERVILLE, MA 02145

PREPARED FOR

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ZONING
COMPLIANCE

SCALE AS NOTED

REVISION DATE

ZBA REV 2 11 JAN 2017

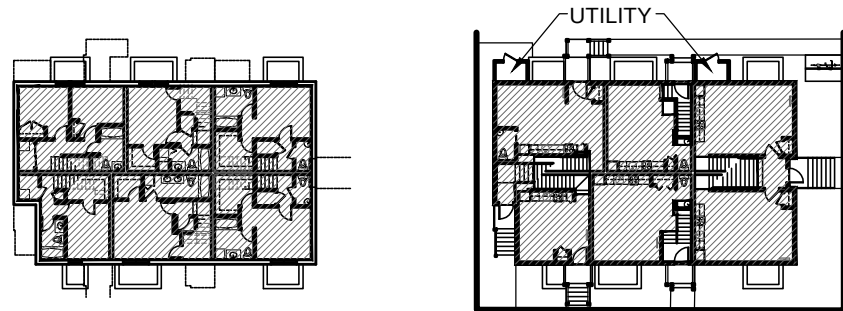
ZBA REV 1 28 DEC 2016

ZBA APPL 26 OCT 2016

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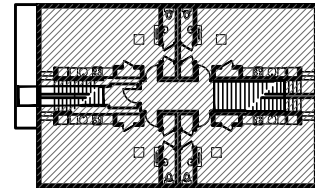
SHEET

Z1.1

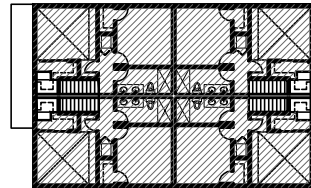


BASEMENT: 2,171-NSF

1ST FLOOR: 2,336-NSF
 (-) B-1 STAIR: 290-NSF
 1ST FLOOR: 2,046-NSF



2ND FLOOR: 2,226-NSF
 (-) 1-2 STAIR: 163-NSF
 2ND FLOOR: 2,063-NSF



3RD FLOOR: 2,226-NSF
 (-) 2-3 STAIR: 194-NSF
 3RD FLOOR: 2,032-NSF

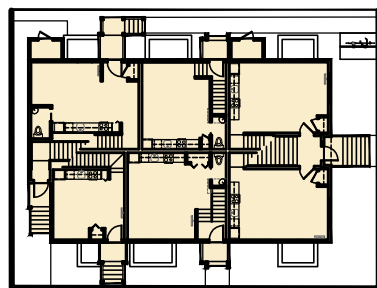
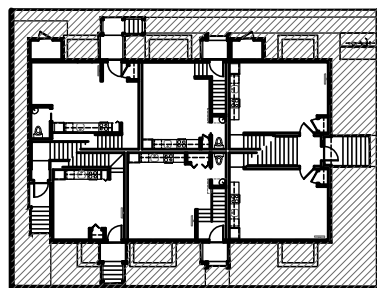
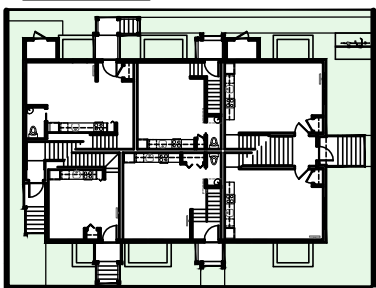
NET SQUARE FOOTAGE SUMMARY

FLOOR	PROPOSED NSF
3RD FL	2,032
2ND FL	2,063
1ST FL	2,046
BSMNT	2,171
TOTAL	8,312-NSF

1 NET SQUARE FOOTAGE CALC

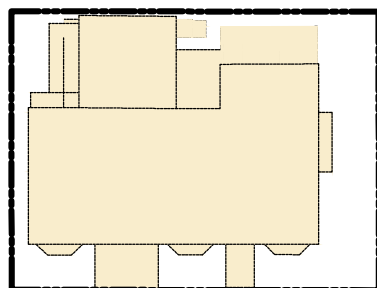
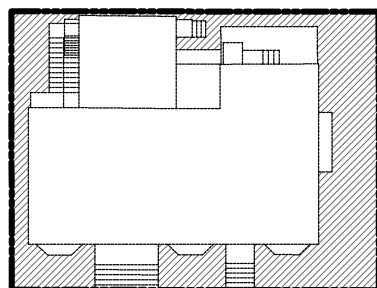
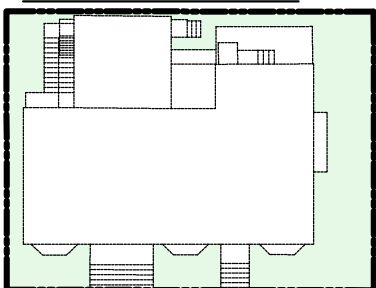
SCALE: 1"=40'-0"

PROPOSED



LANDSCAPE AREA $\frac{1,761 \text{ SF}}{4,437 \text{ LOT SF}} = 40\%$ PERVIOUS AREA $\frac{1,761 \text{ SF}}{4,437 \text{ LOT SF}} = 40\%$ LOT COVERAGE $\frac{2,676 \text{ SF}}{4,437 \text{ LOT SF}} = 60\%$

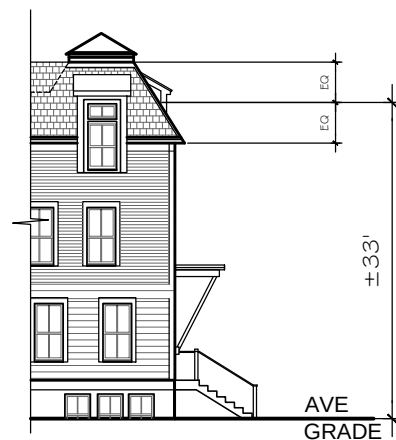
EXISTING PRIOR TO FIRE



LANDSCAPE AREA $\frac{1,467 \text{ SF}}{4,437 \text{ LOT SF}} = 33\%$ PERVIOUS AREA $\frac{1,467 \text{ SF}}{4,437 \text{ LOT SF}} = 33\%$ LOT COVERAGE $\frac{2,898 \text{ SF}}{4,437 \text{ LOT SF}} = 65\%$

2 SITE AREAS

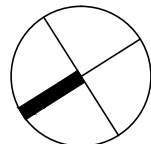
SCALE: 1"=40'-0"



3 BUILDING HEIGHT

SCALE: 1"=20'-0"

PLAN
NORTH

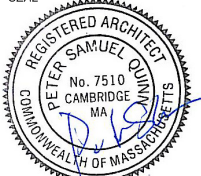


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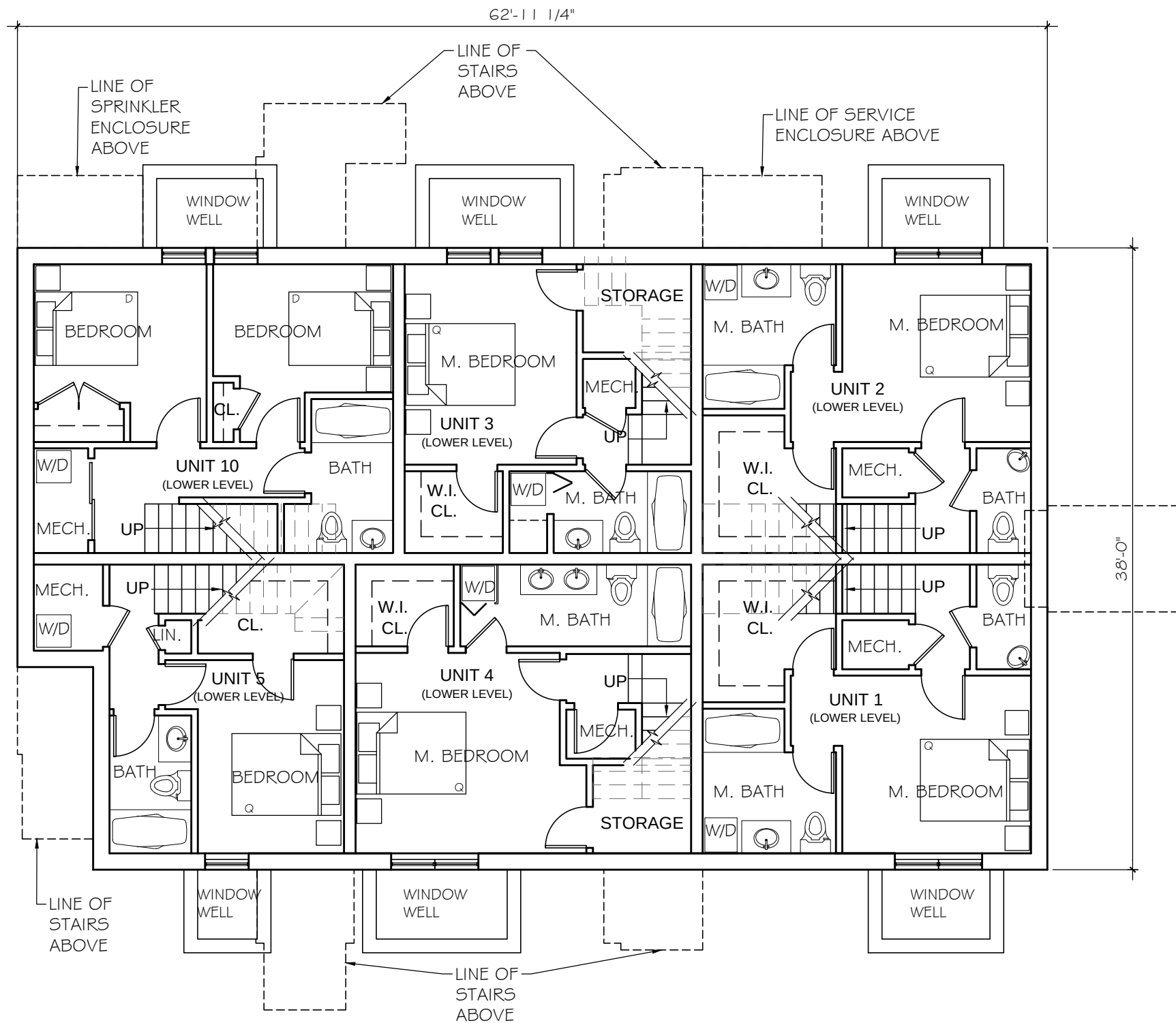
ZBA APPL 26 OCT 2016

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SHEET

Z1.2

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1 BASEMENT PLAN
SCALE: 1/8"=1'-0"

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PLAN

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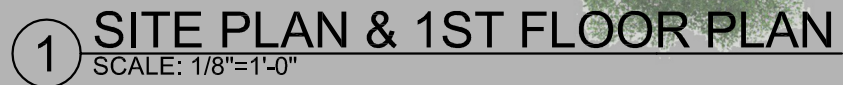
ZBA REV 1	28 DEC 2016
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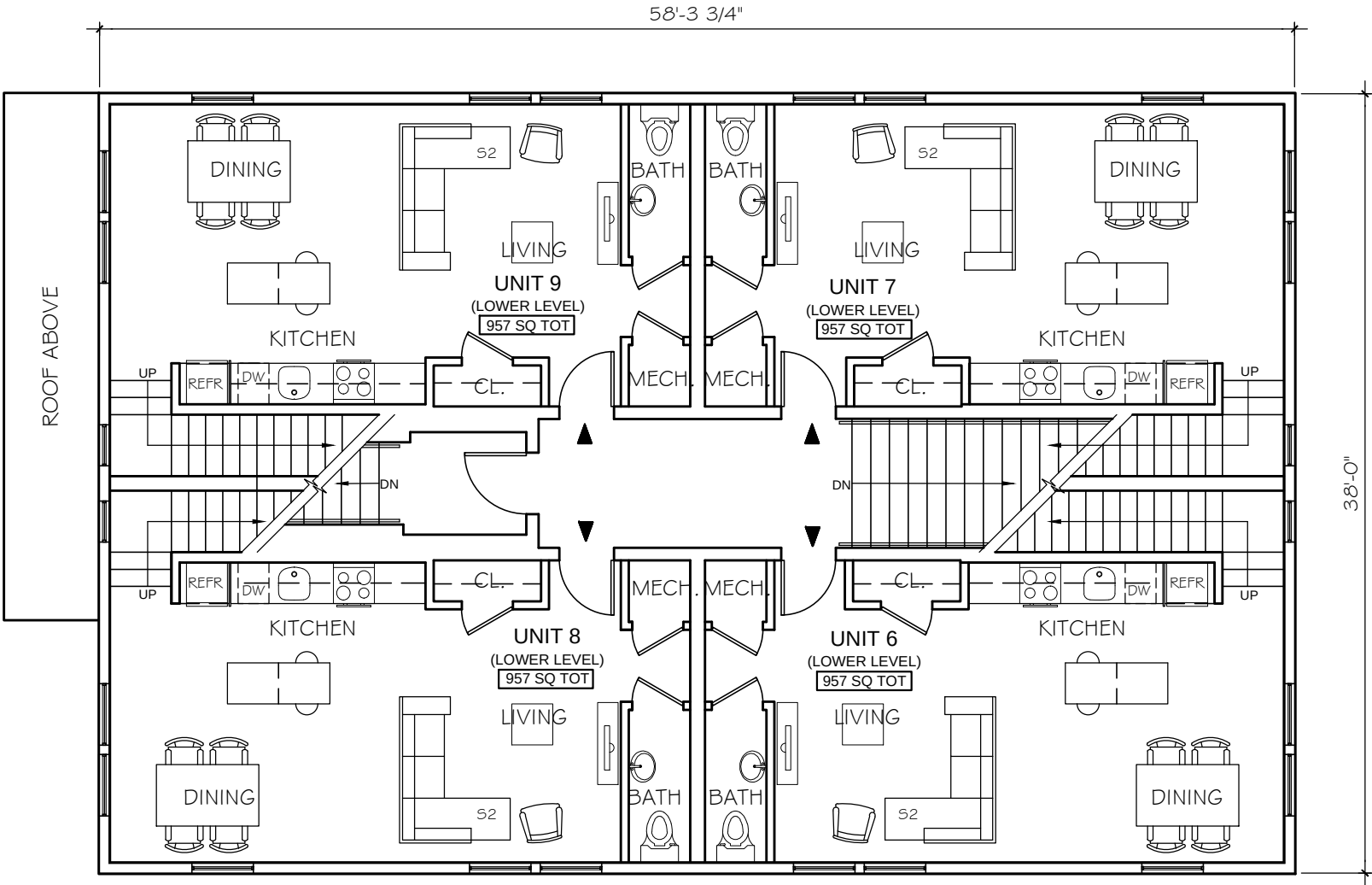
ZBA APPL	26 OCT 2016
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SHEET

A1.1





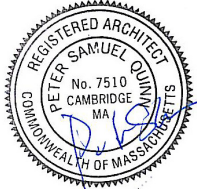
1 SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"

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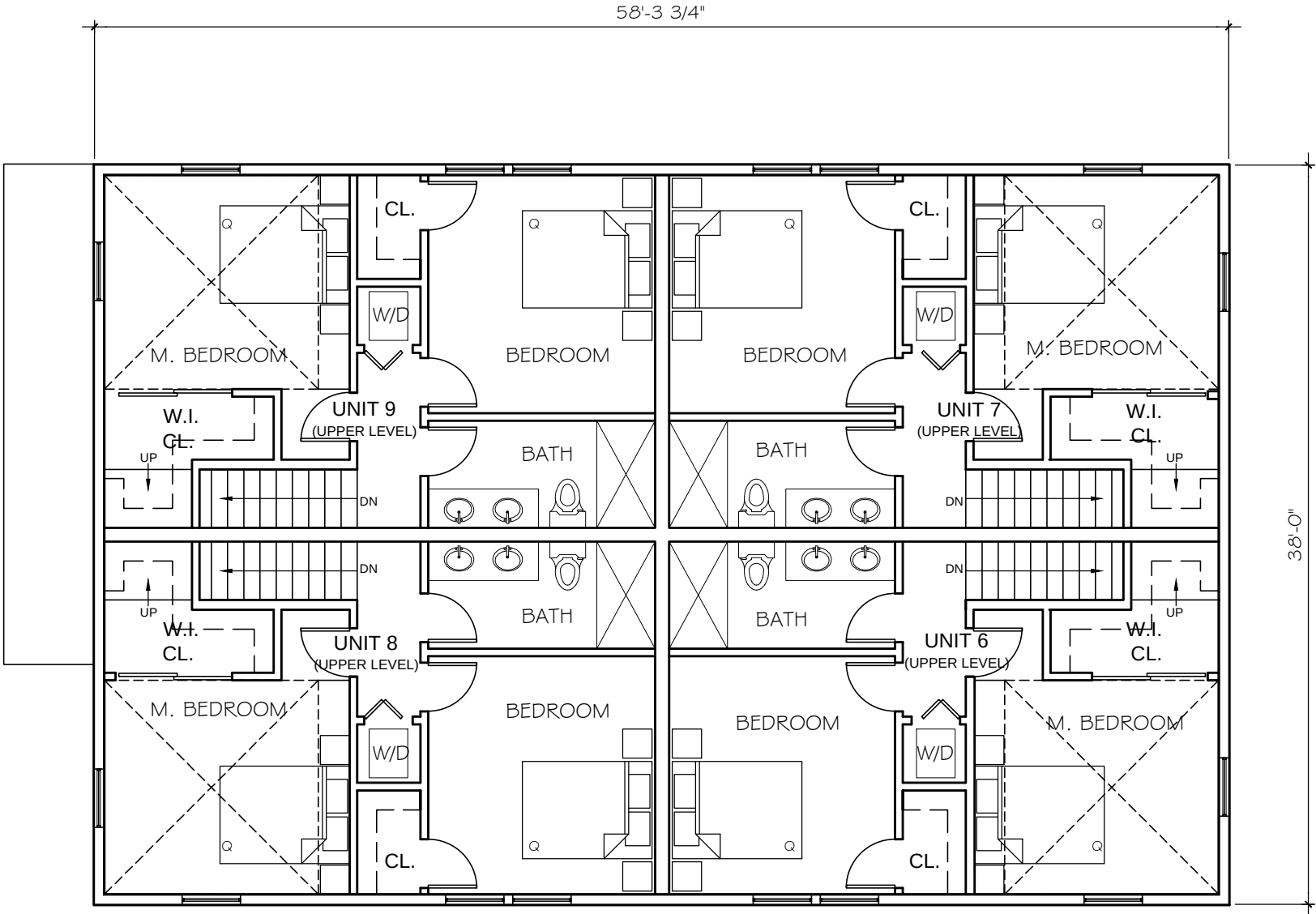
SECOND FLOOR PLAN

SCALE AS NOTED

REVISION	DATE
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A1.3



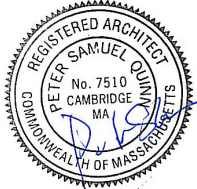
1 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

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THIRD FLOOR
PLAN

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A1.4



- ARCHITECTURAL ASPHALT SHINGLES, TYP.
- INTEGRATED GUTTER & DOWN SPOUT
- BOARDS AND BATTENS
- 4" EXPOSURE FIBER CEMENT CLAPBOARDS, TYP.
- FIBER CEMENT CORNER BOARDS, TYP.
- 8" EXPOSURE FIBER CEMENT CLAPBOARDS, TYP.
- CONCRETE FOUNDATION WALL

1 RUSH ST ELEVATION
SCALE: 3/32" = 1'-0"



1 BROOK ST ELEVATION
SCALE: 3/32" = 1'-0"

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RUSH ST /
BROOK ST
ELEVATION

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A2.1



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REAR / SIDE
ELEVATION

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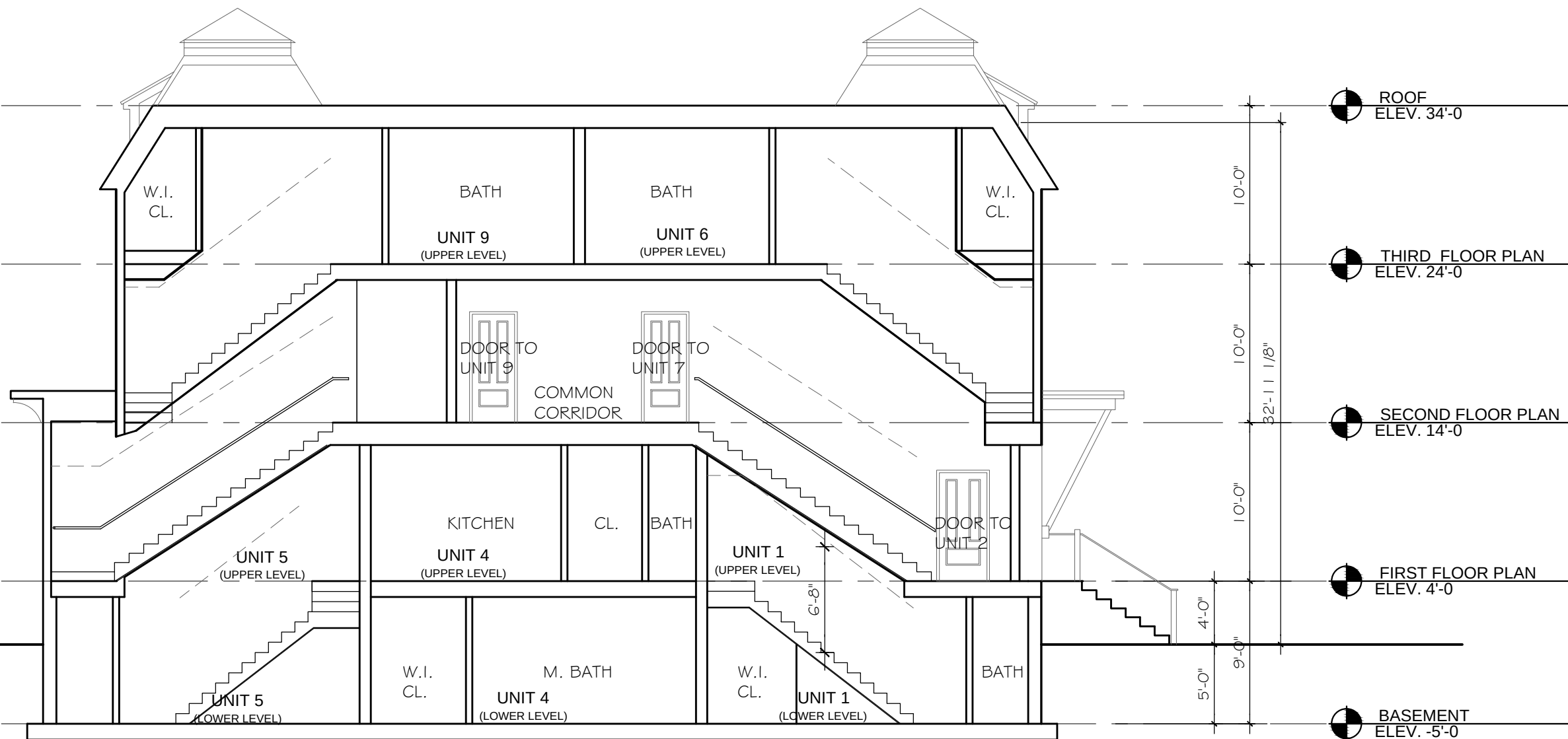
ZBA APPL	26 OCT 2016
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SHEET

A2.2

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1 BUILDING SECTION
SCALE: 1/8" = 1' - 0"



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EC	PQ

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A2.4