

PROJECT:  
PROPOSED RENOVATIONS  
20 GEORGE STREET  
SOMERVILLE, MA 02145

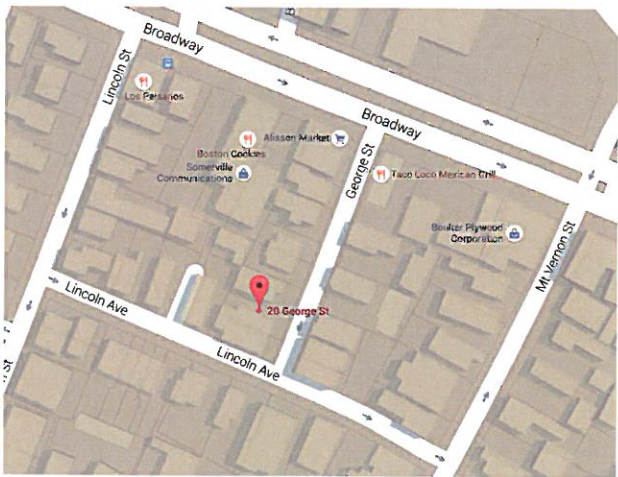
PREPARED FOR  
ARI GOLDSCHNEIDER

SPECIAL PERMIT SET  
19 MAY 2016



ARCHITECT:  
Adam J. Glassman, R.A.  
2 Worthington St  
Cambridge, MA 02138  
Tel (617) 412-8450

SITE SURVEYOR:  
Peter Nolan and Associates  
697 Cambridge Street  
Brighton, MA 02135  
Tel (857) 891-7478



20 GEORGE LOCUS PLAN



INSULATION NOTES:

THE BUILDING WILL BE FULLY INSULATED PER  
MASS STATE BUILDING CODE REQUIREMENTS:

1. CEILING OR ROOF = R49 MIN
2. EXTERIOR STUD WALLS = R21 MIN
3. BASEMENT FOUNDATION WALLS = R10 MIN
4. BASEMENT SLAB = R10

LIFESAFETY NOTES:

1. AUTOMATIC SPRINKLER SYSTEM ON DESIGNATED WATER MAIN PROVIDED BY OWNER
2. ALL FLOOR ASSEMBLIES TO BE 30 MIN FIRE RATED MINIMUM
3. EGRESS STAIR ENCLOSURE TO BE 1 HOUR FIRE RATED

ACOUSTIC NOTES:

ALL FLOOR ASSEMBLIES BETWEEN UNITS AND COMMON STAIR  
INTERIOR WALLS TO HAVE ACOUSTIC BATT INSULATION  
OR SIMILAR, STC = .55

COVER: DRAWING LIST / GENERAL NOTES

SURVEY SITE PLAN

- 0.1 SITE PHOTOS
- L0.1 EXISTING LANDSCAPE PLAN
- L0.2 PROPOSED LANDSCAPE PLAN
- A0.1 FAR PLANS
- A0.2 EGRESS PLANS
- A1.0 BASEMENT PLANS
- A1.1 FIRST FLOOR PLANS
- A1.2 SECOND FLOOR PLANS
- A1.3 ROOF PLANS
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS

GENERAL DEMOLITION NOTES:

1. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL SCOPE WITH FIELD CONDITIONS AND THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
2. SELECTIVE DEMOLITION SHALL INCLUDE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLIES, AND THE PERFORMANCE OF ALL OPERATIONS REQUIRED TO COMPLETE THE INDICATED SCOPE OF WORK.
3. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE ACTUAL WORK SCOPE WITH FIELD CONDITIONS AND DESIGN PLAN REQUIREMENTS.
4. THE SELECTIVE DEMOLITION SCOPE OF WORK IS INDICATED ON THE DRAWINGS AND SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
  - DEMOLITION OF INDICATED ITEMS PER THE DRAWINGS;
  - PROTECTION FROM DAMAGE OF ALL EXISTING ITEMS TO REMAIN;
  - SALVAGE AND STORAGE OF ALL INDICATED ITEMS PER THE DRAWINGS;
  - COMPLETE REMOVAL FROM THE PREMISES AND THE LEGAL DISPOSAL THEREOF OF ALL REMOVED OR DEMOLISHED MATERIALS, OTHER THAN THOSE ITEMS EITHER DIRECTED BY THE ARCHITECT OR INDICATED ON THE DRAWINGS TO BE SALVAGED.
  - LANDFILL DUMPING SLIPS SHALL BE RETAINED BY THE CONTRACTOR AND GIVEN TO THE OWNER UPON REQUEST.
5. THE CONTRACTOR SHALL USE DUE CARE IN CUTTING INTO AND WORKING ADJACENT TO EXISTING CONDITIONS WHICH ARE TO REMAIN. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK, AND SHALL BE SUBJECT AT ALL TIMES TO THE ARCHITECT'S APPROVAL.
6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THE SELECTIVE DEMOLITION PROCESS REVEALS PRE-EXISTING AND UNFORESEEN LATENT CONDITIONS OR DEFECTS REQUIRING IMMEDIATE REMEDIAL REPAIRS, TEMPORARY SUPPORT, OR OTHER ATTENTION.
7. WHERE WORK INVOLVES LOAD BEARING STRUCTURES, PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO SAFELY TRANSFER REQUIRED LOAD. DO NOT PROCEED WITH WORK UNLESS ALL SHORING IS IN PLACE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK, AND ARRANGING FOR ANY REQUIRED INSPECTIONS.

GENERAL CONSTRUCTION NOTES:

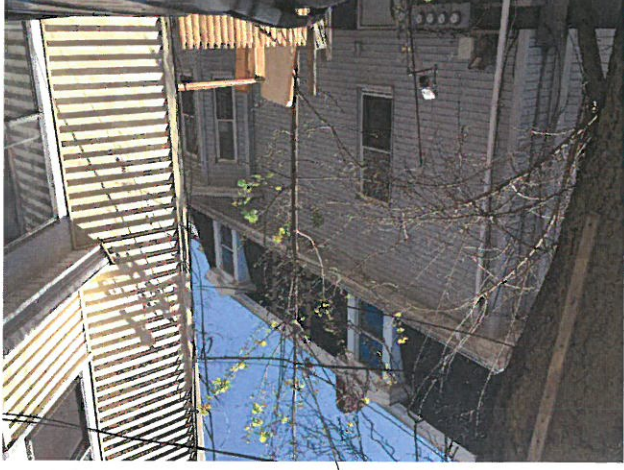
1. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS COMMERCIAL BUILDING CODE 8TH ADDITION AND THE RULES AND REGULATIONS OF ALL GOVERNING BODIES.
2. THE CONTRACTOR SHALL APPLY FOR AND MAINTAIN IN GOOD ORDER ALL REQUIRED PERMITS AND SHALL COORDINATE WITH OFFICIALS ALL REQUIRED INSPECTIONS AND CERTIFICATIONS
3. THE CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS WHERE REQUIRED AND VERIFY ALL FIELD CONDITIONS FOR CLEARANCES, DIMENSIONS, AND ELEVATIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES SHALL BE MARKED ON A PRINT OF THE RELEVANT DRAWING AND FORWARDED IMMEDIATELY TO THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT ALL REQUIREMENTS FOR INSTALLATION OF REQUIRED FURNISHINGS, WINDOWS, FIXTURES AND EQUIPMENT
5. HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK WILL BE PROCURED BY THE OWNER FROM THE CONTRACTOR ON A DESIGN/BUILD BASIS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS WORK AND FOR CONFORMING THE WORK TO ARCHITECTURAL REQUIREMENTS. CONTRACTOR RESPONSIBLE FOR ALL MEP TO CODE.
6. DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED
10. GC TO INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
11. ALL EXISTING WINDOWS TO REMAIN
12. HARDWIRED SMOKE DETECTORS & CO2 DETECTORS WILL BE INSTALLED PER CODE THROUGHOUT THE ENTIRE BUILDING INCLUDING BASEMENT. (CO2 WITHIN 10'-0" OF EVERY BEDROOM) FINAL LOCATIONS TO BE REVIEW BY GC / GC'S ELECTRICIAN / AND SOMERVILLE FIRE DEPARTMENT
13. THE OWNER WILL INSTALL A NEW CODE COMPLAINT AUTOMATIC SPRINKLER SYSTEM.



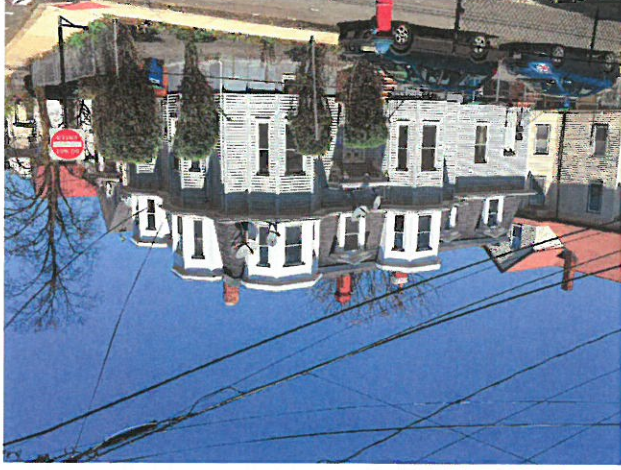
FRONT CORNER VIEW FROM GEORGE STREET  
VIEW FROM NORTHEAST



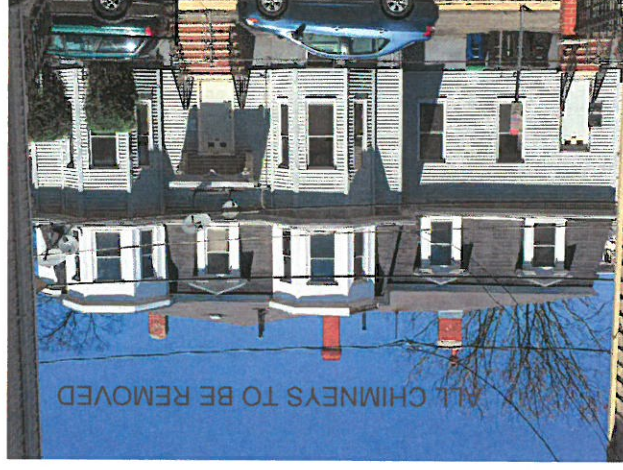
FRONT VIEW FROM GEORGE STREET  
VIEW FROM EAST



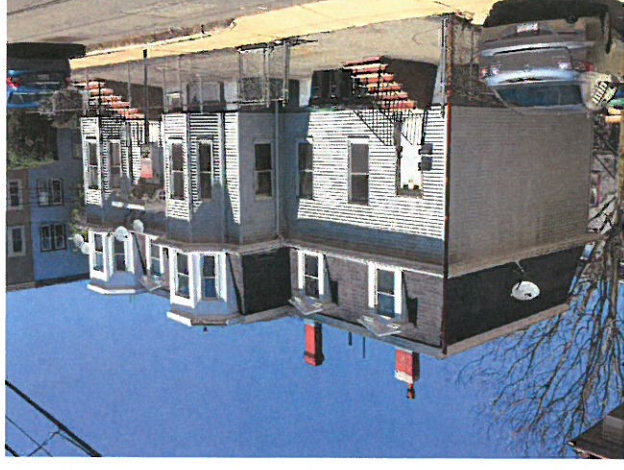
SIDE VIEW FROM GEORGE STREET  
VIEW FROM NORTHEAST



CORNER VIEW FROM LINCOLN AVE  
VIEW FROM SOUTHEAST



FRONT VIEW FROM LINCOLN AVE  
VIEW FROM SOUTH



REAR CORNER VIEW FROM LINCOLN AVE  
VIEW FROM SOUTHWEST

GENERAL NOTES

1. ALL WINDOWS TO BE REMOVED AND REPLACED PER SPECIFICATIONS APPROVED BY SOMERVILLE HISTORICAL COMMISSION.
2. ALL EXTERIOR DOORS TO BE REMOVED AND REPLACED PER SPECIFICATIONS APPROVED BY SOMERVILLE HISTORICAL COMMISSION.
3. ALL EXTERIOR SIDING TO BE REMOVED AND REPLACED PER SPECIFICATIONS APPROVED BY SOMERVILLE HISTORICAL COMMISSION.

|          |          |              |             |
|----------|----------|--------------|-------------|
| Scale:   | AS NOTED | Drawing No.: |             |
| Job No.: | 117.00   | Date:        | 19 MAY 2016 |
|          | 0.1      |              |             |

Drawing Title:  
EXISTING PROPERTY  
PHOTOS

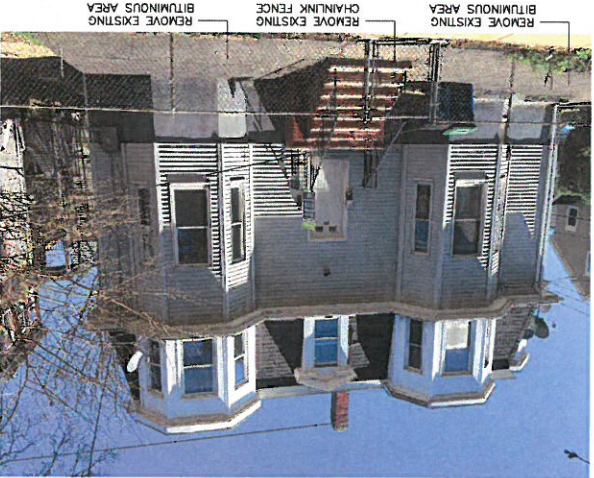
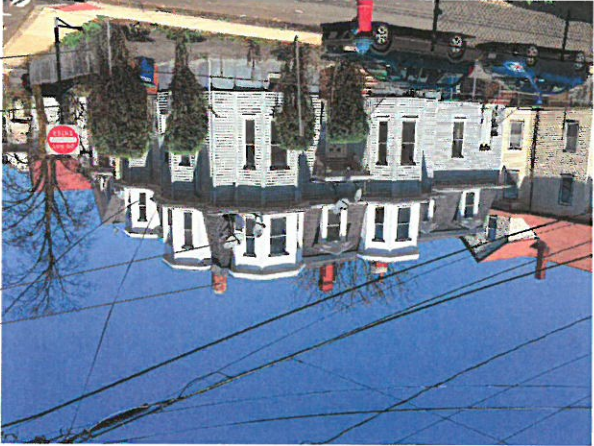
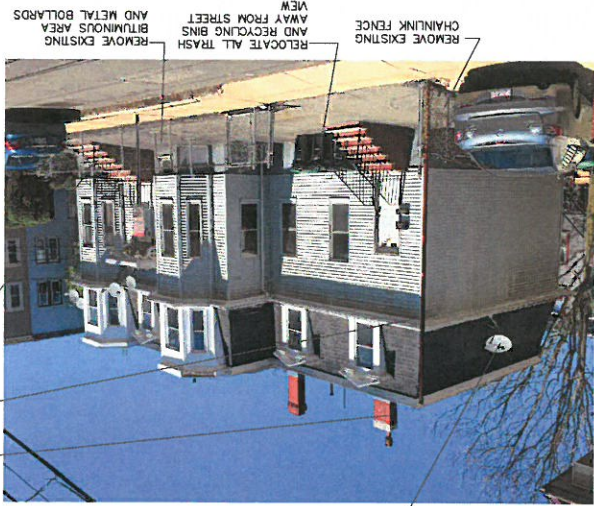
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GCD ARCHITECTS  
2 William St.  
Cambridge, MA 02138  
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PROJECT:  
Proposed Renovations  
20 George Street  
Somerville, MA 02145  
PREPARED FOR:  
Ari Goldschneider

PROPOSED NEW WINDOW LOCATION



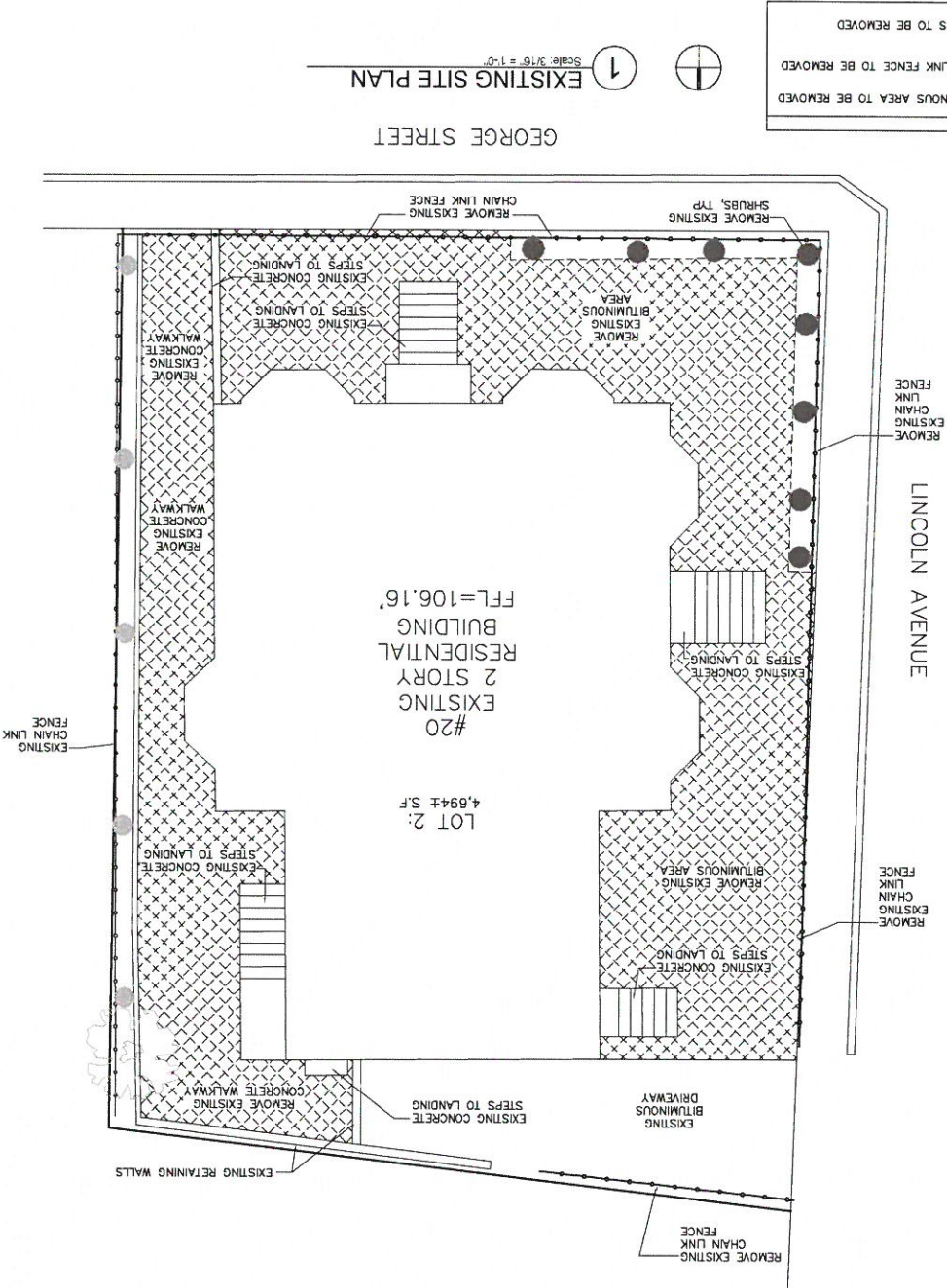
REMOVE EXISTING CHIMNEYS  
REMOVE EXISTING METAL POLE  
REMOVE EXISTING CHAINLINK FENCE

REMOVE EXISTING CHIMNEYS  
REMOVE EXISTING SATELLITE DISHES

RELOCATE ALL TRASH AWAY FROM STREET  
REMOVE EXISTING BITUMINOUS AREA  
REMOVE EXISTING CHAINLINK FENCE

LEGEND

- EXISTING BITUMINOUS AREA TO BE REMOVED
- EXISTING CHAINLINK FENCE TO BE REMOVED
- EXISTING SHRUBS TO BE REMOVED



Scale: AS NOTED  
Job No.: 117.00  
Date: 19 MAY 2016

LANDSCAPE PLAN  
DEMO SCOPE

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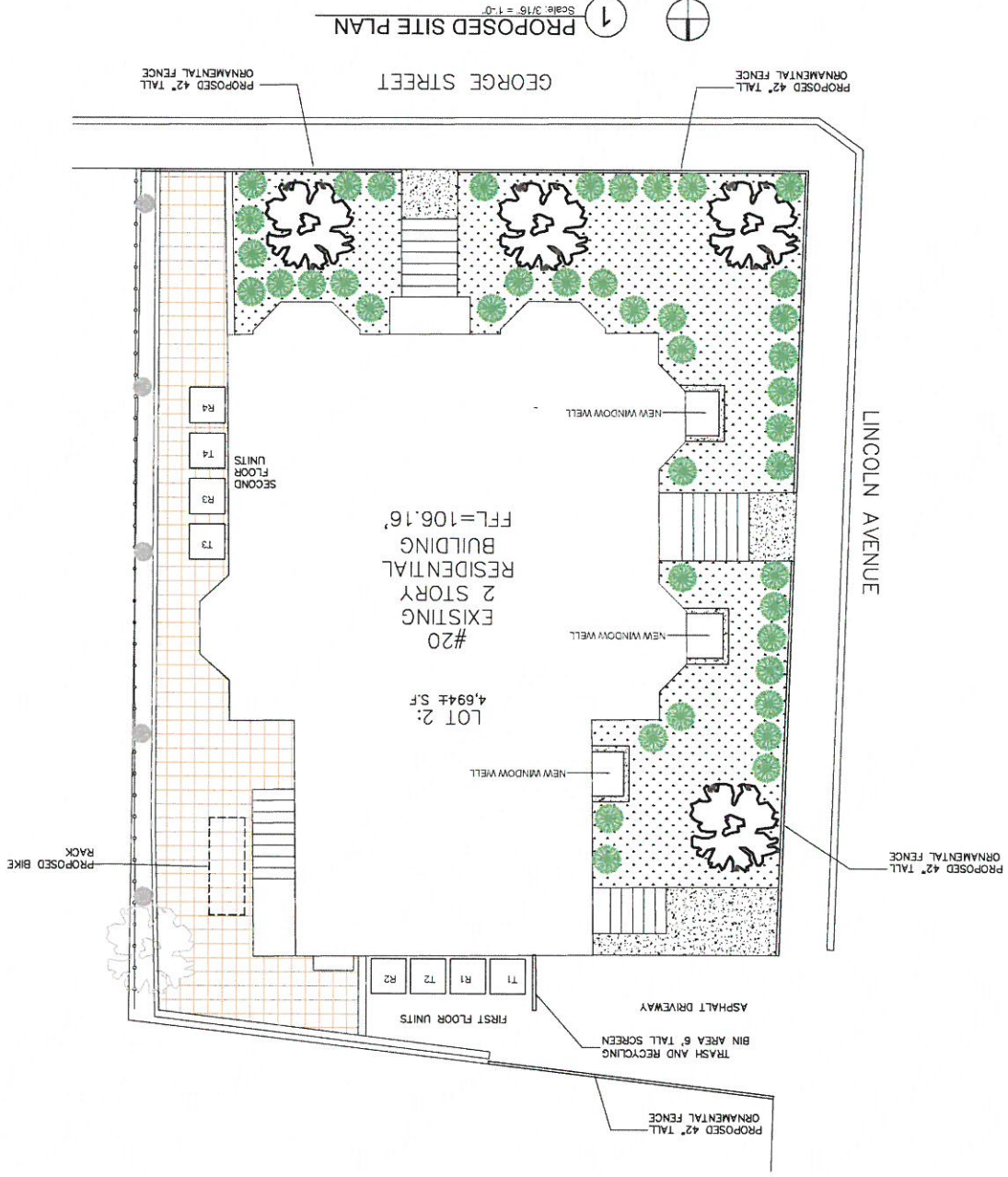
GCD ARCHITECTS  
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20 George Street  
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|                                                     |                                                                                     |
|-----------------------------------------------------|-------------------------------------------------------------------------------------|
| UNIT TRASH BARREL                                   |  |
| UNIT RECYCLING CADDY                                |  |
| NEW GRY CONCRETE WALKWAY                            |  |
| OR OTHER LANDSCAPED AREA                            |  |
| NEW PERVIOUS SURFACE PAVERS<br>AND ARBOVITAE, OTHER |  |
| NEW EVERGREEN HEDGE OF YEW SHRUBS                   |  |
| NEW LANDSCAPE PLANTING:<br>GRASS/GROUND COVER ETC.  |  |
| NEW DECIDUOUS TREE                                  |  |

LEGEND



**PROJECT:**  
Proposed Renovations  
**20 George Street**  
**Somerville, MA 02145**

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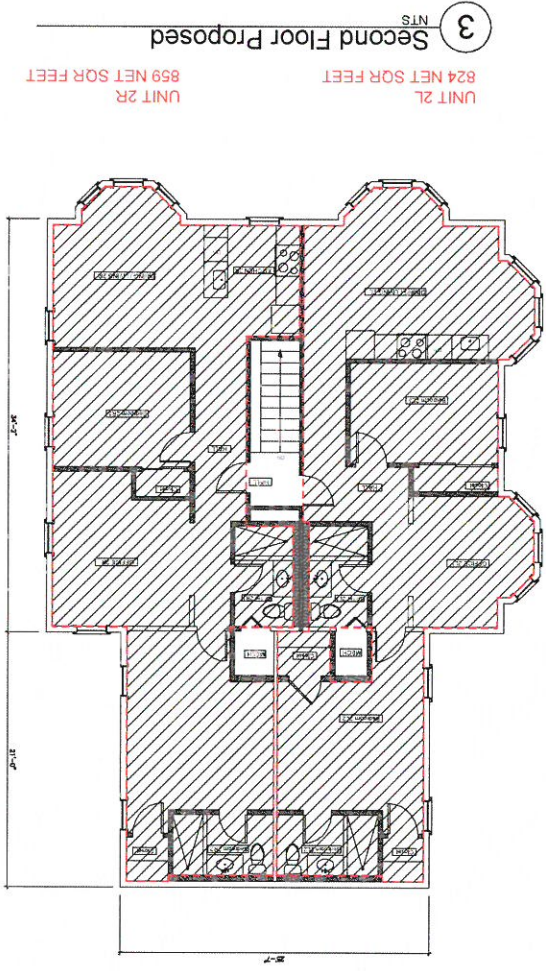
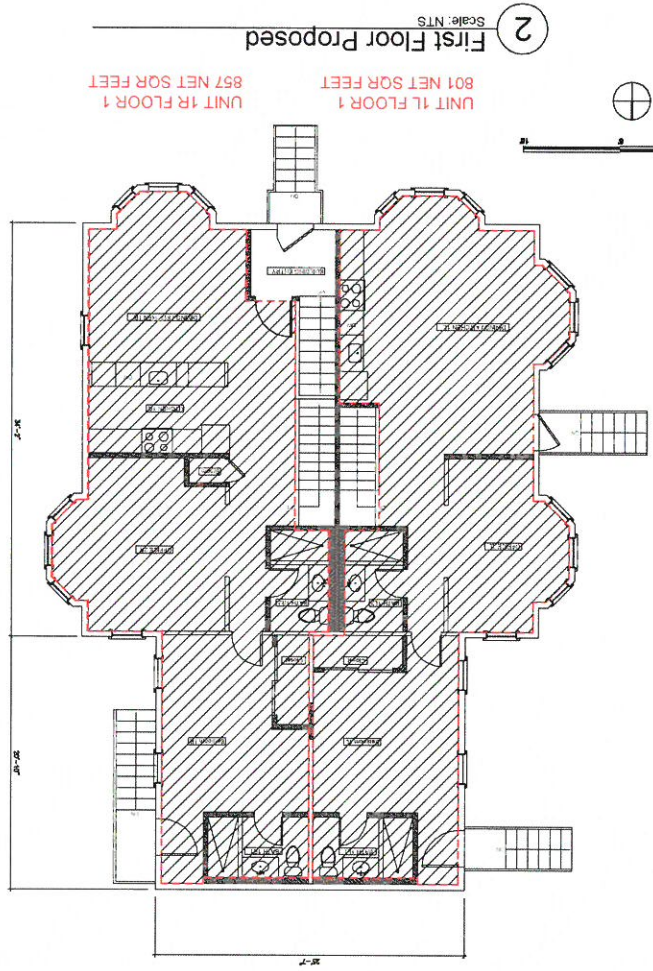
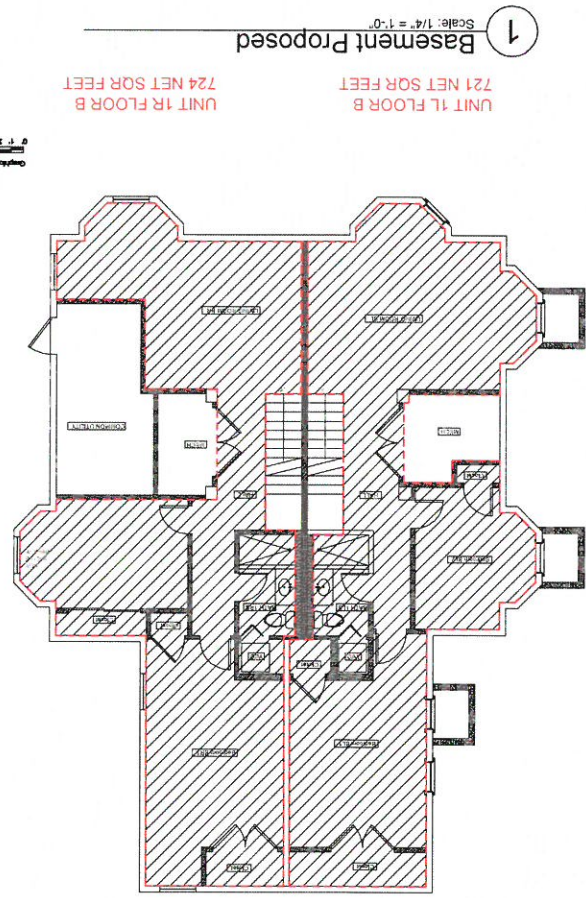
LANDSCAPE PLAN  
PROPOSED

Scale: AS NOTED  
Job No.: 117.00  
Date: 19 MAY 2016  
Drawing No.: L0.2

Drawing Title:  
**FAR PLANS**

**FAR CALCULATION**

$$\begin{aligned}
 & \text{UNIT 1L FLOOR B } 721 \text{ NET SQR FEET} + \\
 & \text{UNIT 1R FLOOR B } 724 \text{ NET SQR FEET} + \\
 & \text{UNIT 1L FLOOR 1 } 801 \text{ NET SQR FEET} + \\
 & \text{UNIT 1R FLOOR 1 } 857 \text{ NET SQR FEET} + \\
 & \text{UNIT 2L } 824 \text{ NET SQR FEET} + \\
 & \text{UNIT 2R } 859 \text{ NET SQR FEET} = \\
 & \text{4,786.0 NSF} \\
 & \text{.99 PROPOSED FAR} \\
 & \text{4,791.6 SF LOT}
 \end{aligned}$$

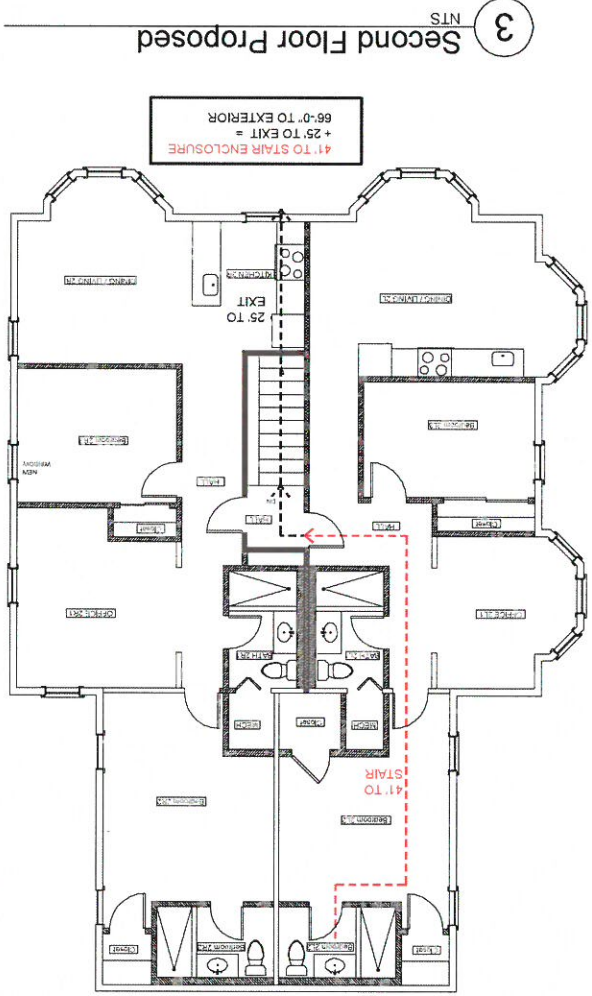
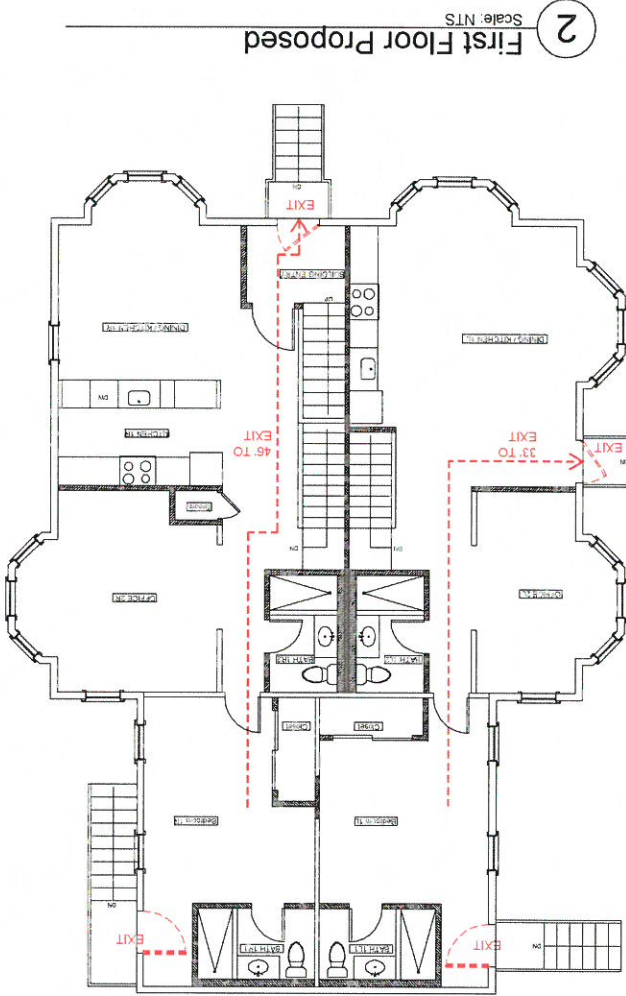
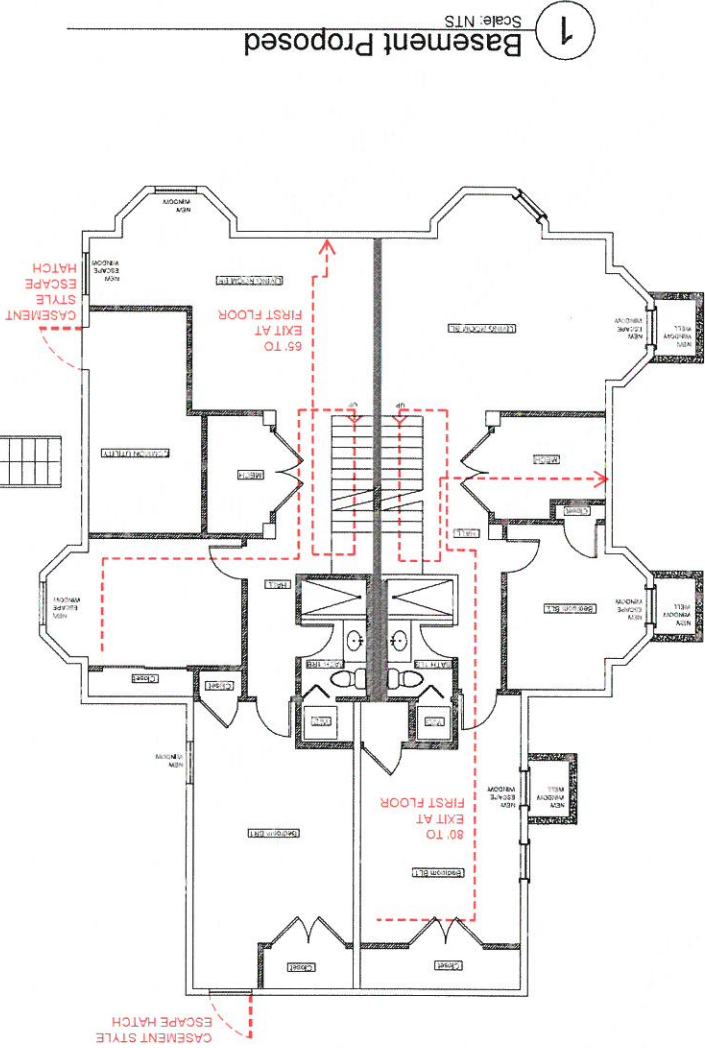


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 Proposed Renovations  
 20 George Street  
 Somerville, MA 02145  
 PREPARED FOR:  
 Ari Goldschneider



DRAFT SET

EGRESS TRAVEL PLANS

Scale: AS NOTED Drawing No. A0.2

Job No. 117.00 Date: 15 APRIL 2016

PROJECT:  
Proposed Renovations  
20 George Street  
Somerville, MA 02145

PREPARED FOR:  
Ari Goldschneider

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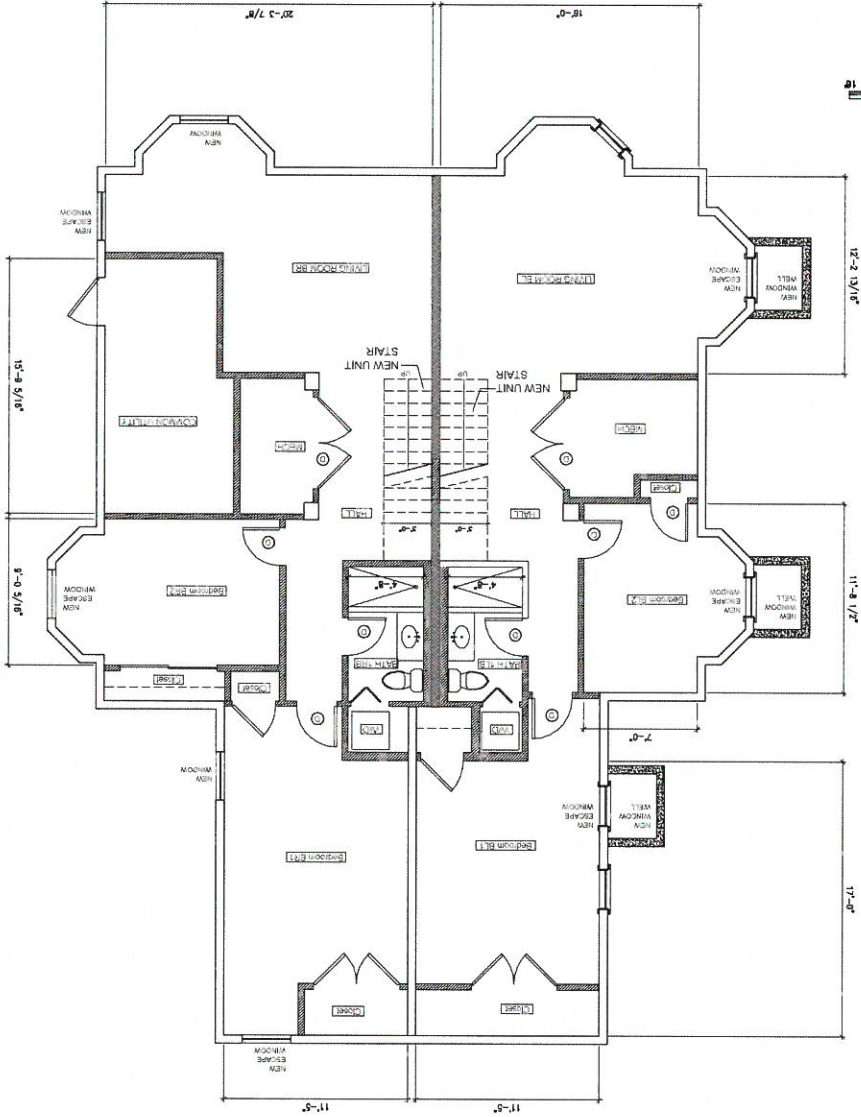
2 Washington St.  
Cambridge, MA 02138  
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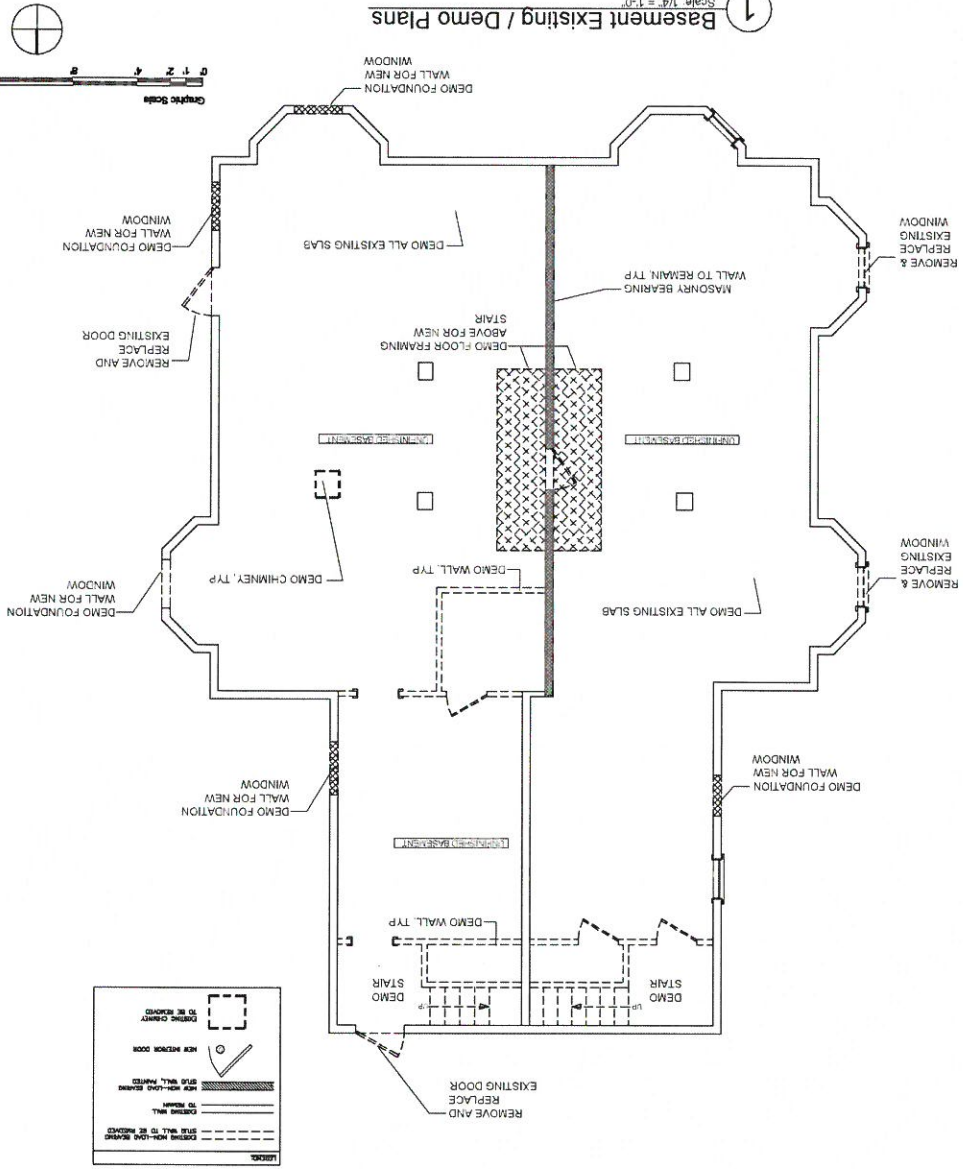
**GCD ARCHITECTS**  
2 Worthington St  
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gdc@gcdarchitects.com  
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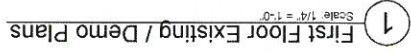
**PROJECT:**  
Proposed Renovations  
**20 George Street**  
**Somerville, MA 02145**

2 Basement Proposed Plans  
Scale: 1/4" = 1'-0"



1 Basement Existing / Demo Plans  
Scale: 1/4" = 1'-0"





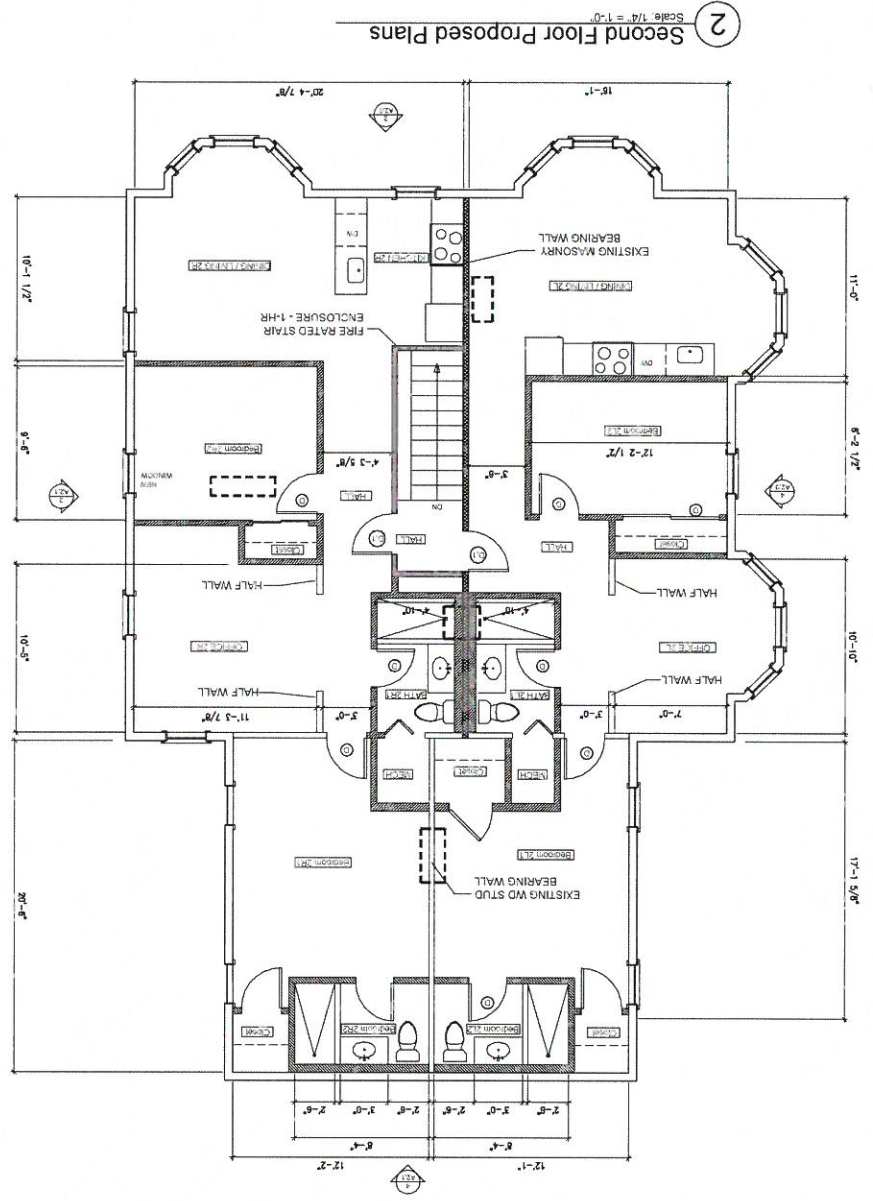
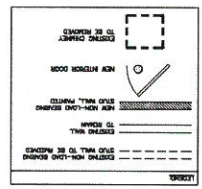
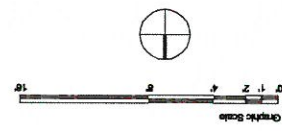
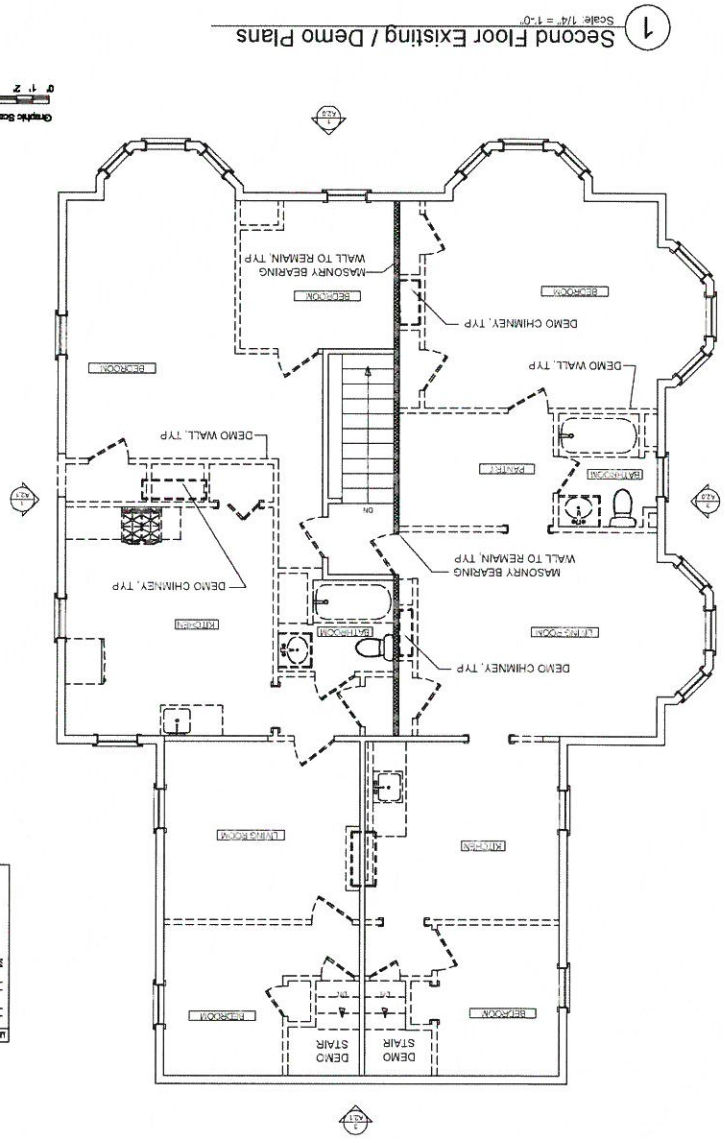
FIRST FLOOR PLANS



Tel 01742-6450  
 a.j@cam.ac.uk  
 www.plasma.ncj.org

Ari Goldschneider

Scale: AS NOTED  
Job No.: 117.00  
Date: 19 MAY 2016  
1.1



Scale: AS NOTED  
Drawing No.: 1.2  
Job No.: 117.00  
Date: 19 MAY 2016

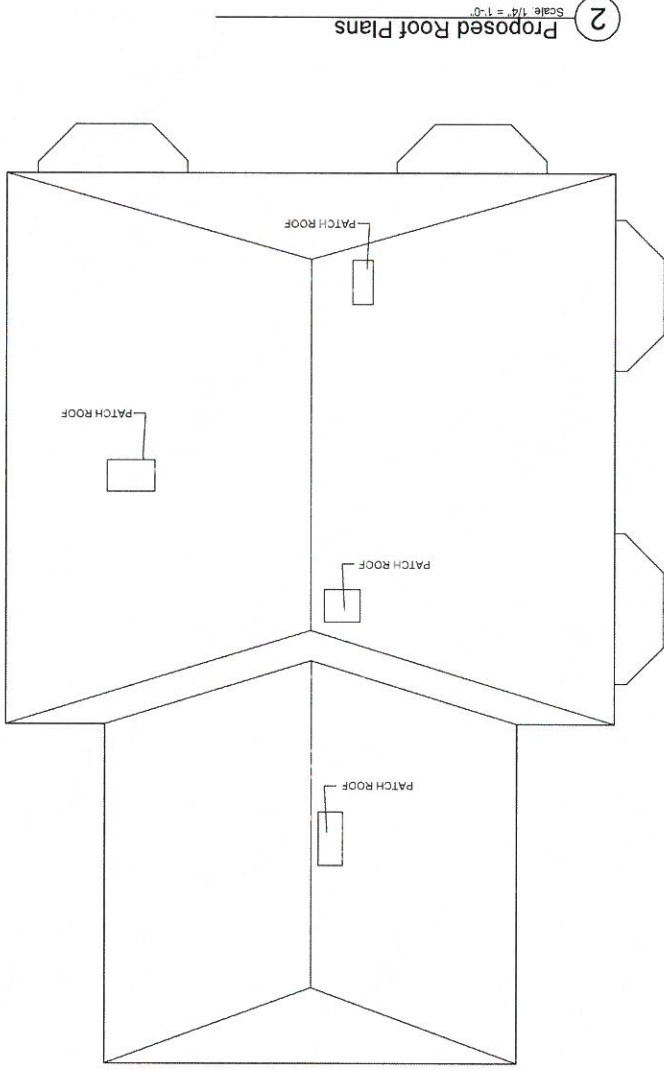
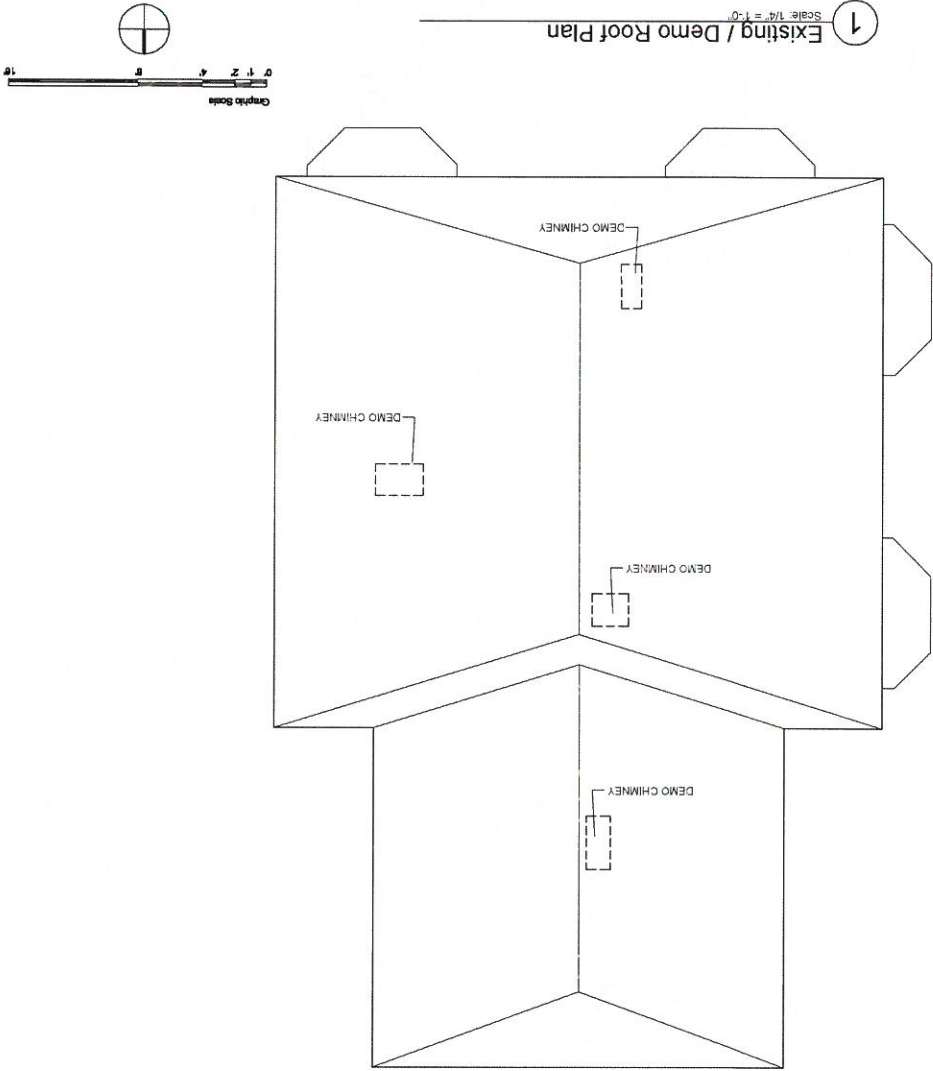
Drawing Title:  
SECOND FLOOR  
PLANS

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PROJECT:  
Proposed Renovations  
20 George Street  
Somerville, MA 02145  
PREPARED FOR:  
Ari Goldschneider



PROJECT:  
Proposed Renovations  
20 George Street  
Somerville, MA 02145

PREPARED FOR:  
Ari Goldschneider

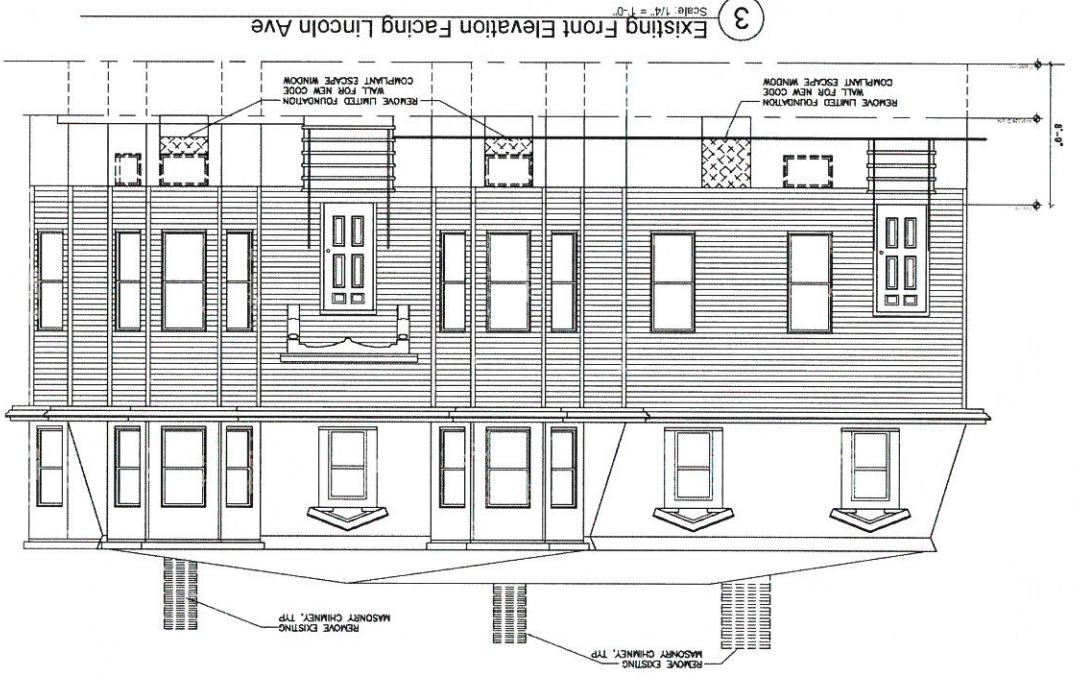


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Drawing Title:  
ROOF  
PLANS

Scale: AS NOTED  
Drawing No.: 1.3

Job No.: 117.00  
Date: 19 MAY 2016



GENERAL NOTES  
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Drawing Title:  
 EXTERIOR  
 ELEVATIONS

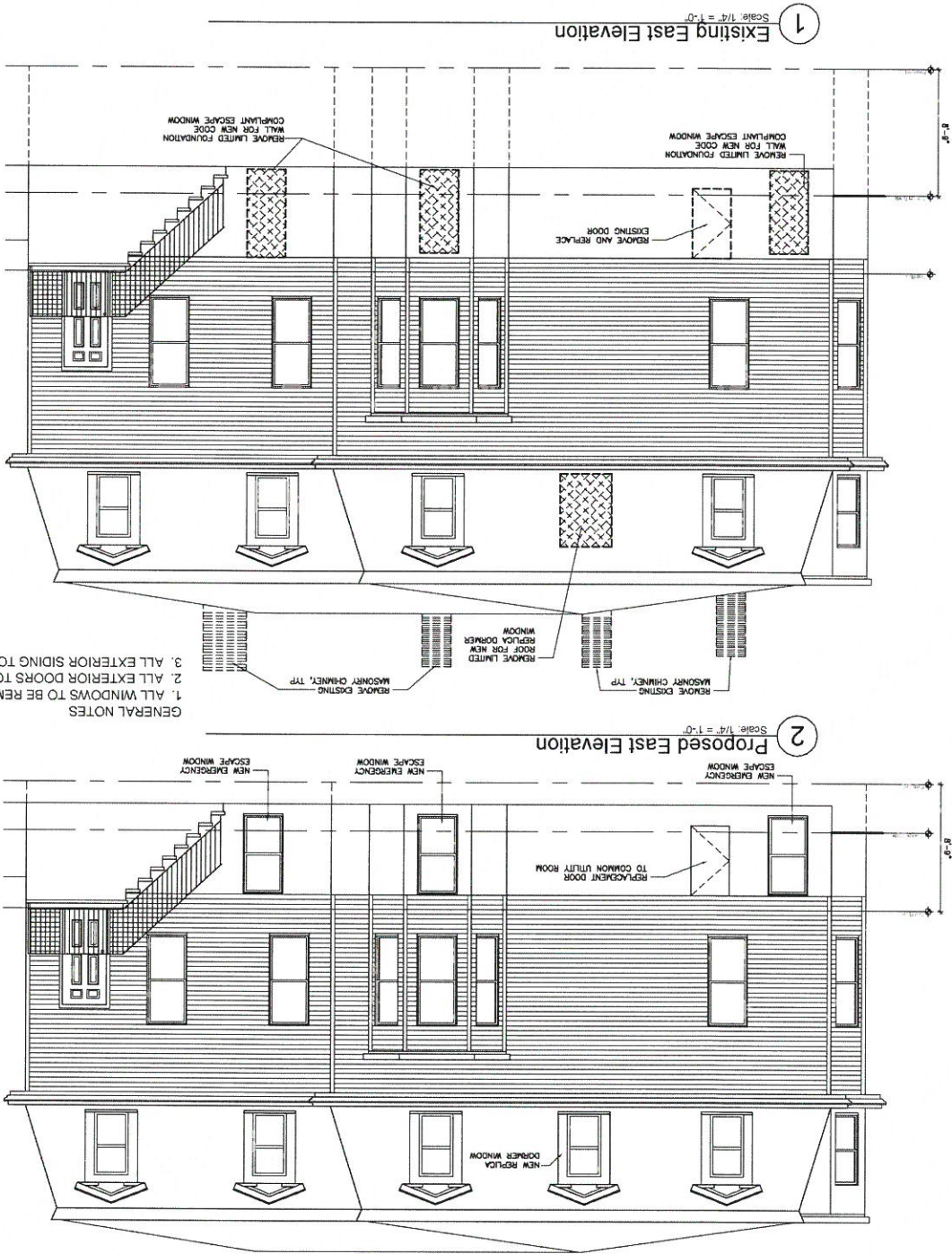
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 Job No.: 117.00  
 Date: 19 MAY 2016  
**A2.0**

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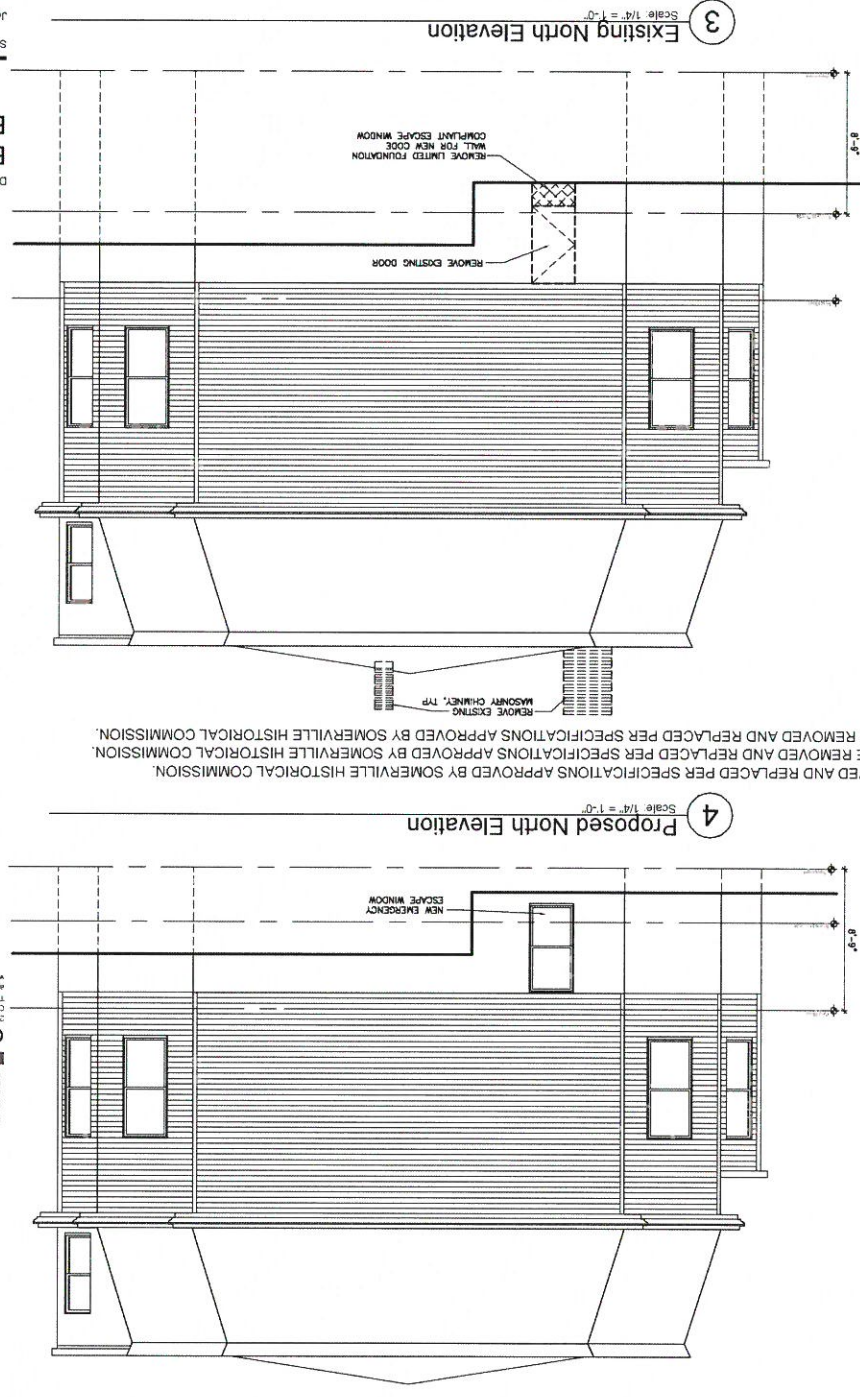
PROJECT:  
 Proposed Renovations  
 20 George Street  
 Somerville, MA 02145  
 PREPARED FOR:  
 Ari Goldschneider



1 Existing East Elevation  
Scale: 1/4" = 1'-0"

GENERAL NOTES

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- 3. ALL EXTERIOR SIDING TO BE REMOVED AND REPLACED PER SPECIFICATIONS APPROVED BY SOMERVILLE HISTORICAL COMMISSION.



3 Existing North Elevation  
Scale: 1/4" = 1'-0"

4 Proposed North Elevation  
Scale: 1/4" = 1'-0"

Drawing Title:  
EXTERIOR  
ELEVATIONS

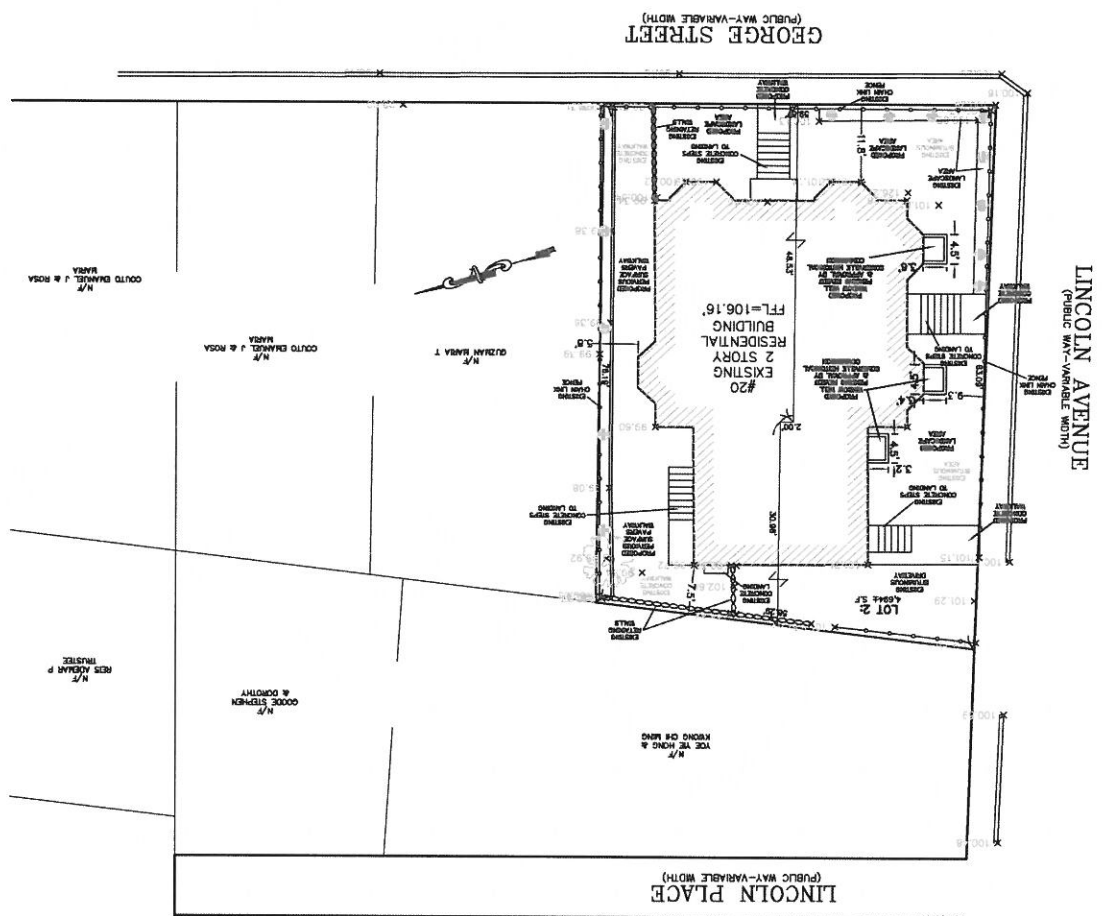
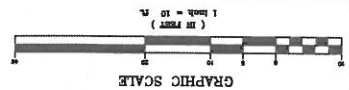
Scale: AS NOTED  
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A2.1

PROJECT:  
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20 George Street  
Somerville, MA 02145  
PREPARED FOR:  
Ari Goldschneider



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|                           |         |
|---------------------------|---------|
| SEWER LINE                | — S —   |
| SEWER MANHOLE             | ⊙       |
| WATER LINE                | — V —   |
| GAS LINE                  | — G —   |
| UTILITY POLE              | ⌵       |
| GAS VALVE                 | ⌵       |
| OVERHEAD ELECTRIC SERVICE | — E —   |
| WATER VALVE               | ⌵       |
| CATCH BASIN               | □       |
| FENCE                     | — ○ —   |
| CONTOUR LINE (MNR)        | — 809 — |
| CONTOUR LINE (MNR)        | — 195 — |
| SPOT GRADE                | X       |
| DRAIN MANHOLE             | ⊙       |
| HYDRANT                   | ⌵       |
| TREE                      | ⊙       |



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 5/4/2016.

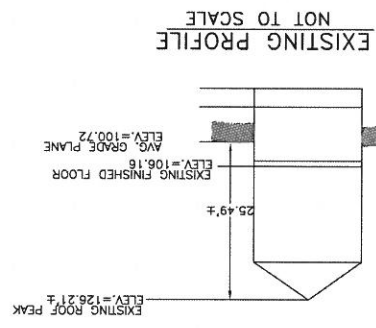
2. DEED REFERENCE DEED BK 13413, PAGE 356.

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL MAP NUMBER 2507C0439E, PANEL NUMBER 0439E, COMMUNITY NUMBER: 250217, DATED JUNE 4, 2010.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

6. F.A.R. PROVIDED BY ARCHITECT



| ZONING LEGEND        |                | ZONING DISTRICT: R - B RESIDENCE B |             |
|----------------------|----------------|------------------------------------|-------------|
|                      |                | PROPOSED                           | COMPLIANCE  |
| MIN. AREA            | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 7,500 S.F.     | 4,694 S.F.                         | 4,694 S.F.  |
|                      | 15'            | 11.8'                              | 11.8'       |
| MIN. YARD FRONT      | EXISTING       | 15'                                | 11.8'       |
|                      | NON-CONFORMING | 15'                                | 11.8'       |
|                      | EXISTING       | 7'                                 | 9.3'        |
| SIDE (LEFT)          | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 20'            | 7.5'                               | 7.5'        |
|                      | 20'            | 7.5'                               | 7.5'        |
| REAR                 | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 50%            | 48.5%                              | 47.5%       |
|                      | 50%            | 48.5%                              | 47.5%       |
| MIN. LOT COVERAGE    | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 25%            | 27.9%                              | 27.9%       |
|                      | 25%            | 27.9%                              | 27.9%       |
| MIN. LANDSCAPED AREA | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 0.05%          | 0.05%                              | 0.05%       |
|                      | 0.05%          | 0.05%                              | 0.05%       |
| MIN. PERVIOUS AREA   | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 50'            | 59.87'                             | 59.87'      |
|                      | 50'            | 59.87'                             | 59.87'      |
| MAX. BLOC. HEIGHT    | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 40'            | 25.49'                             | 25.49'      |
|                      | 40'            | 25.49'                             | 25.49'      |
| MAX. STORIES         | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 3              | 2                                  | 2           |
|                      | 3              | 2                                  | 2           |
| MAX. F.A.R.          | REQUIRED       | EXISTING                           | PROPOSED    |
|                      | 1.0            | LESS THEN 1                        | LESS THEN 1 |
|                      | 1.0            | LESS THEN 1                        | LESS THEN 1 |
| MIN. PARKING SPACES  |                | 2                                  | 2           |
| BY SPECIAL PERMIT    |                | 2                                  | 2           |

SCALE

1"=10'

SHEET

1

PLAN NO.

1

CLIENT:

PETER NOLAN & ASSOCIATES LLC

DRAWN BY:

P.N.

CHECK BY:

P.N.

APP'D BY:

P.N.

DATE:

5/2/2016

REV

DATE

REVISION

BY

DATE

REVISION

20 GEORGE STREET

SOMERVILLE

MASSACHUSETTS

PROPOSED HISTORICAL /

SPECIAL PERMIT PLOT PLAN

1

1

PHONE: 857 7476/617 782 1533

FAX: 617 202 5691

EMAIL: pnolan@pnassociates.com

PETER NOLAN & ASSOCIATES LLC

LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS

887 CAMDEN STREET, SUITE 103 BOSTON MA 02130

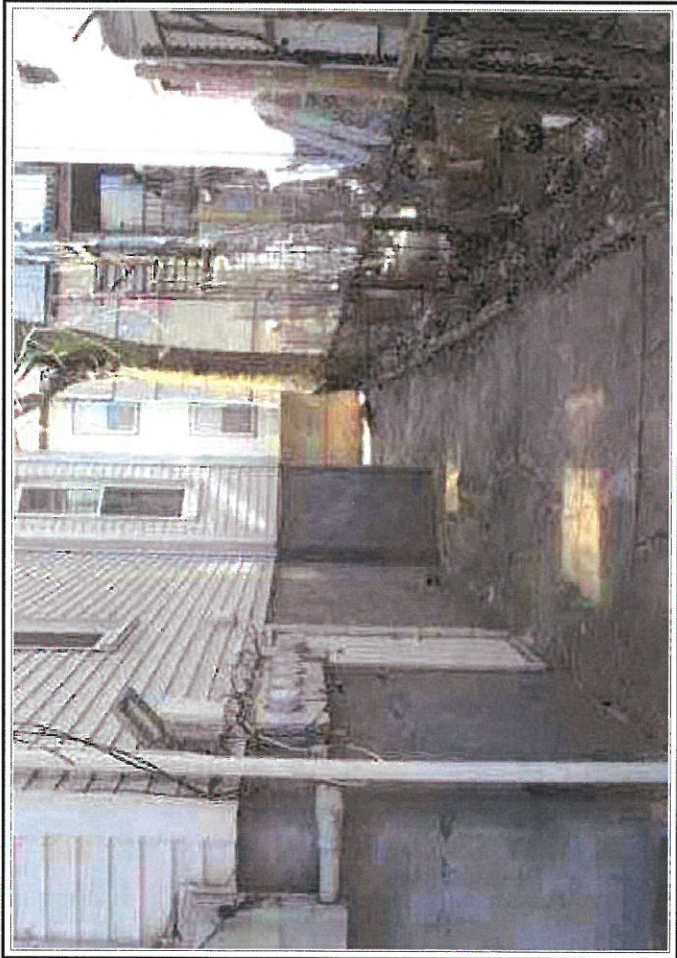
COMMONWEALTH VALUATION GROUP  
SUBJECT PHOTO ADDENDUM

File No. M0416005  
Case No.

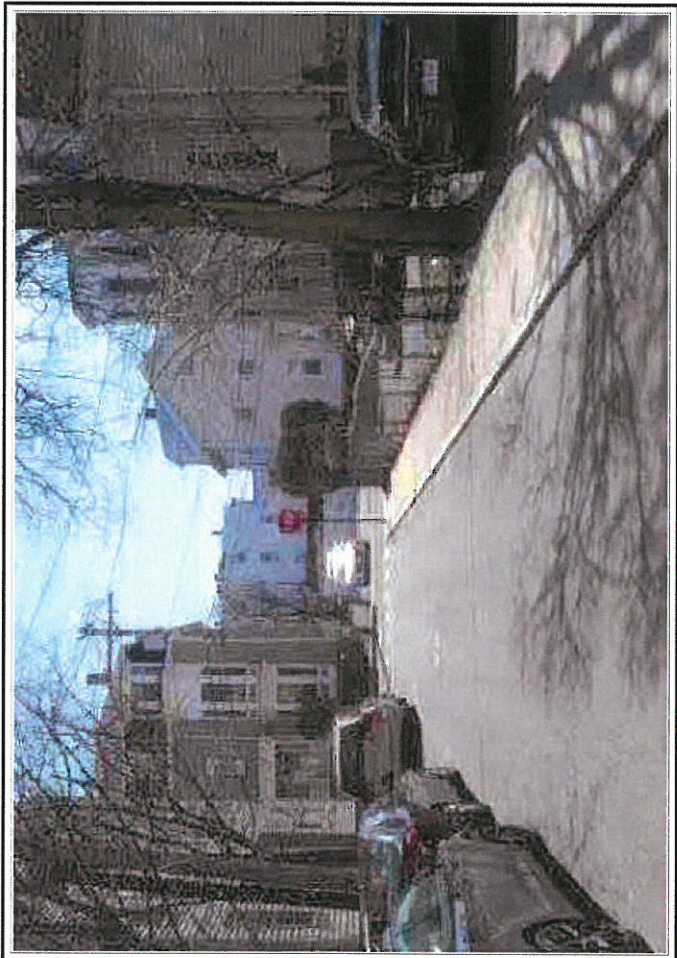
|                  |                                        |         |                   |          |            |
|------------------|----------------------------------------|---------|-------------------|----------|------------|
| Borrower         | Ari Goldschneider                      |         |                   |          |            |
| Property Address | 20 George Street (aka 19 Lincoln Ave.) |         |                   |          |            |
| City             | Somerville                             | County  | Middlesex         | State    | MA         |
| Lender/Client    | Norwood Bank                           | Address | 11 Central Street | Zip Code | 02145-3305 |
|                  |                                        |         | Nonwood, MA       |          | 02062      |



Additional Front View



View of East Elevation

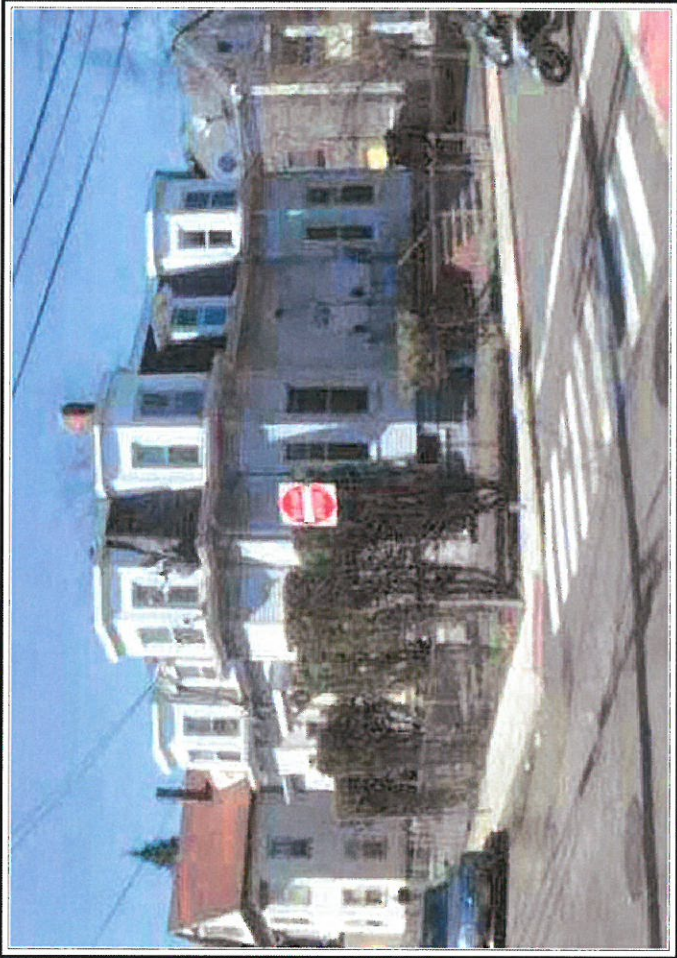


Westerly View of George Street

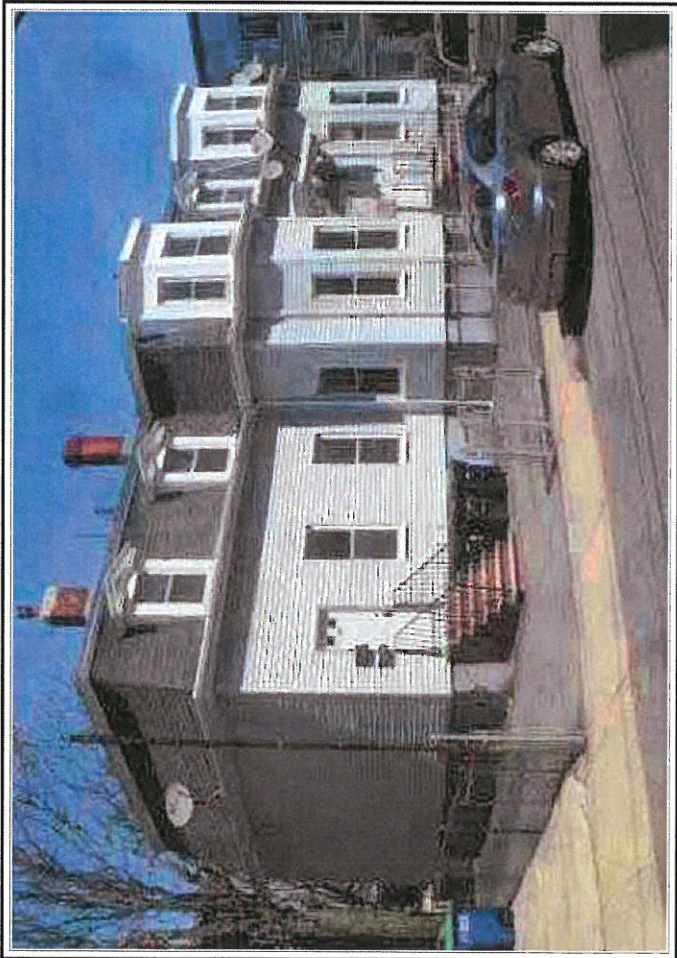
COMMONWEALTH VALUATION GROUP  
SUBJECT PHOTO ADDENDUM

File No. M0416005  
Case No.

|                  |                                        |         |                                |          |            |
|------------------|----------------------------------------|---------|--------------------------------|----------|------------|
| Borrower         | Ari Goldschneider                      |         |                                |          |            |
| Property Address | 20 George Street (aka 19 Lincoln Ave.) |         |                                |          |            |
| City             | Somerville                             | County  | Middlesex                      | State    | MA         |
| Lender/Client    | Norwood Bank                           | Address | 11 Central Street, Norwood, MA | Zip Code | 02145-3305 |



**FRONT OF  
SUBJECT PROPERTY**  
20 George Street (aka 19 Lincoln Ave.)  
Somerville, MA 02145-3305



**REAR OF  
SUBJECT PROPERTY**



**STREET SCENE**  
Easterly View of George St.