

Site Plans

Issued for: **Final Level PUD Approval- Final Submission**

Date Issued: January 22, 2013

Latest Issue: January 22, 2013

Sheet Index

Number	Drawing Title	Latest Issue
C-1	Legend and General Notes	01/22/2013
C-2	Neighborhood Context Map 1	01/22/2013
C-3	Neighborhood Context Map 2	01/22/2013
C-4	Overall Site Plan 1	01/22/2013
C-5	Overall Site Plan 2	01/22/2013
C-6	Layout and Materials Plan	01/22/2013
C-7	Grading, Drainage and Erosion Control Plan	01/22/2013
C-8	Utility Plan	01/22/2013
C-9	Turning Template Plan	01/22/2013

Bound Separately

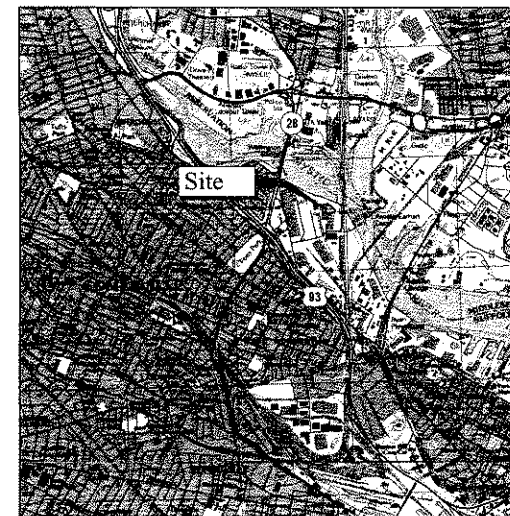
A-1	Architectural Plans	01/14/2013
-----	---------------------	------------

Reference Plans

1-13	As Built Utility Plans	03/09/2012
------	------------------------	------------

Assembly Square Block 2B

Assembly Square Drive
Somerville, Massachusetts



Site Location Map

Property Owners

Federal Realty
INVESTMENT TRUST



Owner/Applicant:
Street Retail, Inc.
1626 East Jefferson Street
Rockville, MD 20852
(P) 617-684-1500



Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			REBAR
		EASEMENT			CONSTRUCTION ENTRANCE
		BUILDING SETBACK	27.35 TC x	27.35 TC x	TOP OF CURB ELEVATION
		PARKING SETBACK	26.45 RC x	26.45 RC x	BOTTOM OF CURB ELEVATION
		BASIS LINE	122.75 x	122.75 x	SPOT ELEVATION
		CONSTRUCTION LAYOUT	45.0 TC x	45.0 TC x	TOP & BOTTOM OF WALL ELEVATION
		ZONING LINE	38.5 SW x	38.5 SW x	BORING LOCATION
		TOWN LINE			TEST PIT LOCATION
		LIMIT OF DISTURBANCE			MONITORING WELL
		WETLAND LINE WITH FLAG FLOODPLAIN			UNDERDRAIN
		BORDERING LAND SUBJECT TO FLOODING			DRAIN
		WETLAND BUFFER ZONE			ROOF DRAIN
		NO DISTURB ZONE			SEWER
		200' RIVERFRONT AREA			FORCE MAIN
					OVERHEAD WIRE
					WATER
					FIRE PROTECTION
					DOMESTIC WATER
					GAS
					ELECTRIC
					STEAM
					TELEPHONE
					FIRE ALARM
					CABLE TV
					CATCH BASIN
					DOUBLE CATCH BASIN
					GUTTER INLET
					DRAIN MANHOLE
					TRENCH DRAIN
					PLUG OR CAP
					CLEANOUT
					FLARED END SECTION
					HEADWALL
					SEWER MANHOLE
					CURB STOP & BOX
					WATER VALVE & BOX
					TAPPING SLEEVE, VALVE & BOX
					SAMOSE CONNECTION
					FIRE HYDRANT
					WATER METER
					POST INDICATOR VALVE
					WATER WELL
					GAS GATE
					GAS METER
					ELECTRIC MANHOLE
					ELECTRIC METER
					LIGHT POLE
					TELEPHONE MANHOLE
					TRANSFORMER PAD
					UTILITY POLE
					GUY POLE
					GUY WIRE & ANCHOR
					HAND HOLE
					PULL BOX
					MATCHLINE
					MATCHLINE
					MATCHLINE

Abbreviations

General

ABANDON	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GrD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LLO	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DNH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
FG	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I _n	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R _{in}	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes:

General

1. CONTRACTOR SHALL NOTIFY "DUG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. AREAS DISBURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPEROUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX INCHES LOAM AND SEED.
4. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS, WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH REGULATION ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
7. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE DISTURBED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, FACTORYORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADAGE OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
8. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
9. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
10. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE EFFECTS ON NEARBY AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGE, IF ANY, AT HIS OWN COST TO OWNER.
11. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND AREA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A CONSTRUCTION POLLUTION PREVENTION PLAN (P3) IN ACCORDANCE WITH NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE EXISTENCE, LOCATION, DEPTH, OR OTHER DATA CONCERNING THE UTILITIES. NO DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS-OF-WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ANY WORK SHALL BE CONSIDERED A BREACH OF THE AGREEMENT. FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. A MAJORITY OF THE UTILITY IMPROVEMENTS WITHIN THE EXISTING AND FUTURE ASSEMBLY SQUARE DRIVE ROADWAY LIMITS HAVE BEEN CONSTRUCTED BY OTHERS IN 2009. THIS WORK WAS PROPOSED UNDER THE "ASSEMBLY SQUARE UTILITY IMPROVEMENTS" PLANS DATED JULY 3, 2008, REVISED THROUGH JANUARY 1, 2009. THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING UTILITY SIZES SHALL BE VERIFIED BY THE CONTRACTOR. COMPLETE AS-BUILT PLANS WILL BE FURNISHED UPON REQUEST.
4. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS. RIM ELEVATIONS ON THE GRADING AND UTILITY PLANS ARE FOR AN INTERIM GRADING CONTRACTOR TO ALLOW FOR SIX INCHES OF ADJUSTMENT OF RIM ELEVATIONS TO MATCH FUTURE PROPOSED ROADWAY ELEVATIONS.
5. LOCATE UTILITY STRUCTURES INCLUDING CATCH BASINS, VALVES, MANHOLES AND HYDRANTS IN ACCORDANCE WITH THE CONTRACTS. ALL UTILITY STRUCTURES WITHIN THE GRADING PLANS ARE REFERENCED TO THE CENTER POINT OF THE SUBSURFACE STRUCTURE.
6. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
7. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
8. HYDRANT ELEVATIONS REPRESENT THE FUTURE SIDEWALK GRADE BENEATH HYDRANT GRATE
9. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
10. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR FOLE PROTECTION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
11. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLANS:
 - A. WATER PIPES SHALL BE POLYETHYLENE ENCASED, CEMENT LINED, DUCTILE IRON, CLASS 52.
 - B. SANITARY SEWER PIPES SHALL BE MEDIAN DUCTILE IRON, CLASS 52.
 - C. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE - SDR35
 - D. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). STORM DRAINAGE PIPES 36" AND SMALLER SHALL BE CLASS V. LARGER PIPES SHALL BE CLASS II UNLESS OTHERWISE NOTED.
 - E. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.

Layout and Materials

9. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION UNDISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
9. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTFALLS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
10. SYMBOLS AND LEGENDS OF GRAPHIC FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT TO BE USED TO SCALE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INFORMATION FROM THE PROJECT CONTRACTOR. CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT. THE PROJECT CONTRACTOR'S FIELD MEASUREMENTS AND FIELD PURCHASES ONLY, CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF REQUIRED PIPE LENGTHS.
11. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES ACCORDING TO THE DIMENSIONS AND ELEVATIONS OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Demolition

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MAJOR SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBS, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMN.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND AFTER ANY SEDIMENTATION IN ANY AREA SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MAXIMUM OF TIME BEFORE THEY ARE COVERED, SEED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GRASS COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1. THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. BETWEEN APRIL 2004 AND MARCH OF 2006 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL OF 2004, UPDATED IN MARCH OF 2006, AS WELL AS A PLAN ENTITLED "AS BUILT PLAN OF LAND ASSEMBLY SQUARE MAP NO. 255014, FILED BY DANA PERKINS, DATED SEPTEMBER 12, 1997, REVISED NOVEMBER 1, 1999, SUPPLEMENTED BY AS BUILT INFORMATION FROM THE ASSEMBLY SQUARE DEVELOPMENT I, INFRASTRUCTURE CONSTRUCTION.
3. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
4. ELEVATIONS SHOWN ARE BASED UPON USGS, NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND WERE INTERPOLATED AT BENCHMARK #11002, A MASSACHUSETTS GEODETIC SURVEY DISC.
5. THE PROJECT AREA IS PRIMARILY WITHIN C-2, AREA OF MINIMAL FLOODING, AND INCLUDES AREA WITHIN ZONE A2, AREAS OF 100 YEAR FLOOD (BELOW ELEVATION 10), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF NORWELLS, MASSACHUSETTS COMMUNITY PANEL NUMBER 255014 0001 B, EFFECTIVE DATE JULY 17, 1996.
6. MEAN HIGH WATER (MHW), MEAN SEA LEVEL (MSL) AND MEAN LOW WATER (MLW) ELEVATIONS WERE OBTAINED FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) TIDES AND CURRENTS DATASET, PROVIDING STATION 8443870 AND CONVERSION TO NGVD 1989 DATUM AT THE ANNEA EARTH DAM.

[illegible]

No.	Revision	Date	Approved
Designed by		Drawn by	CHECKED BY
CADD checked by		Approved by	
Scale NTS		Date January 22, 2013	

Assembly Square
Block 2B

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Legend and General Notes

(Group number)

C.1

Steel	2	10
-------	---	----

Project Number
00516-05

0851805_B(25P)-(C.D)100



101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

DEER
BARK

UNDEVELOPED BROWN FIELD

84" MTRA/SOMERVILLE MARGINAL CONDUIT

MYSTIC RIVER

RETAIL

HOME DEPOT

ASSEMBLY SQUARE MARK

Assembly Square
Block 2B

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Neighborhood Context Map 1

C-2

Sheet 3 of 3

Project Number: 08518.05

ANALISI DI 25000000



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

161 Walnut Street, P.O. Box 9151
 Watertown, Massachusetts 02471
 617.924.1770 • FAX 617.924.2286

[illegible]

Assembly Square Block 2B

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Neighborhood
Context Map 2

Drawing Number

C-

Sheet 4

Project Name
00000000

* ADA/STATE/LOCAL REQUIREMENTS (MINIMUM)

OFFICE:	0 - 10,000 SF	(0)	
	10,001 - 100,000 SF	(1)	= 12
	EACH ADDL. 150,000 SF	(1)	
RETAIL:	0 - 5,000 SF	(0)	
	5,001 - 20,000 SF	(1)	= 3
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 - 4,000 SF	(0)	
	4,001 - 6,000 SF	(1)	= 3
	6,001 - 16,000 SF	(2)	
	16,001 - 40,000 SF	(3)	
	EACH ADDL. 40,000 SF	(1)	
HOTEL:	AS NEEDED		=
CINEMA:	AS NEEDED		=

TOTAL LOADING REQUIRED = 28
TOTAL LOADING PROVIDED = 28

OFFICE	$1,750,000 \text{ SF} \times 1 \text{ SPACE} / 1,000 \text{ SF} = 1,750$
RETAIL	$331,392 \text{ SF} \times 1 \text{ SPACE} / 1,000 \text{ SF} = 331$
RESTAURANT	$118,258 \text{ SF} \times 1 \text{ SPACE} / 500 \text{ SF} = 237$
CINEMA	$62,350 \text{ SF} \times 1 \text{ SPACE} / 1,000 \text{ SF} = 63$
RESIDENTIAL	$2,100 \text{ UNITS} \times 1 \text{ SPACE} / \text{UNIT} = 2,100$
HOTEL	$200 \text{ GUEST ROOMS} \times 0.5 \text{ SPACES/GUEST ROOM} = 100$

TOTAL PARKING REQUIRED = 4,582
 TOTAL PARKING PROVIDED = 7,658

1 PARKING SPACE PER DWELLING UNIT (DU)
1 PARKING SPACE PER 1000 SF OF CINEMA CSF
1 PARKING SPACE PER 1000 SF OF OFFICE CSF
1 PARKING SPACE PER 1000 SF OF RETAIL CSF
1 PARKING SPACE PER 500 SF OF RESTAURANT CSF
1 PARKING SPACE PER .5 HOTEL ROOMS (200 ROOMS)
RESTAURANT SF BASED ON 26% OF TOTAL RETAIL SF
TOTAL PARKING PROVIDED = 7,658
(INCLUDES 180 ON-STREET PARKING SPACES)

TOTAL PARKING REQUIRED = 4,582
TOTAL PARKING PROVIDED = 7,658

RESIDENTIAL USES AT ANY TIME, SO LONG AS ALSO PERMITTED
BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS; NO OTHER
USE MAY BE CONVERTED.

RESIDENTIAL AREA MAY BE RE-ALLOCATED TO OFFICE USE AT ANY TIME, SO LONG AS PERMITTED BY NEW OR MODIFIED ENTITLEMENTS; AND

(I.E., OFFICE, RETAIL, AND HOSPITALITY) MAY BE RE-ALLOCATE TO RESIDENTIAL USE, BUT NO SOONER THAN 10 YEARS FROM THE DATE THE PUD PLAN IS APPROVED, SO LONG AS PERMITTED BY NEW OR MODIFIED APPLICABLE CITY ELEMENTS

IKEA Parking Requirements:

RETAIL	340,000 SF $\div$ 1 SPACE / 1000 SF = 340	
		TOTAL PARKING REQUIRED = 340
		TOTAL PARKING PROVIDED = 128

Mini Parking Requirements:

RETAIL (ZONING)	328,806 SF x 1 SPACE / 1600 SF = 328
BLOCK 10 (MAX. ZONING)	4,500 SF x 1 SPACE / 500 SF = 9
RETAIL (LEASE)	328,806 SF x 3.22 SPACE / 1000 SF = 1,059

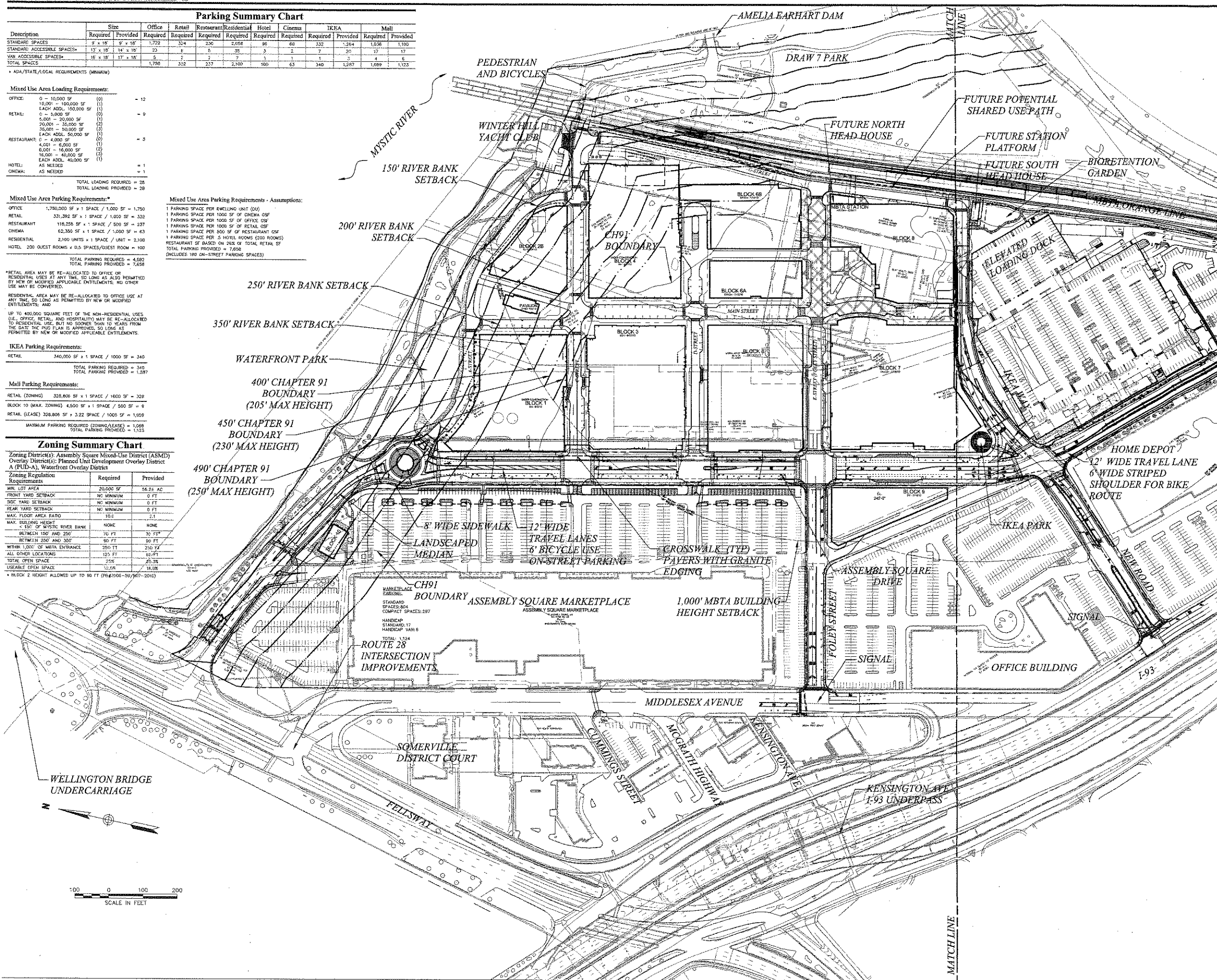
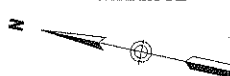
Zoning Summary Chart

Overlay District(s): Planned Unit Development Overlay
A (PUD-A), Major Transit Overlay District

Zoning Regulation Requirements	Required	Proposed
MIN. LOT AREA	20,000 SF	20,000 SF
FRONT YARD SETBACK	NO MINIMUM	10 FT
SIDE YARD SETBACK	NO MINIMUM	10 FT
REAR YARD SETBACK	NO MINIMUM	10 FT
MAX. FLOOR AREA RATIO	10%	10%
MAX. BUILDING HEIGHT	NONE	10 FT
5' EAS. OF MYSTIC RIVER BANK		
BETWEEN 150' AND 250'	70 FT	70 FT
BETWEEN 250' AND 350'	80 FT	80 FT
WITHIN 1,000' OF MATA ENTRANCE	250 FT	250 FT
ALL OTHER LOCATIONS	125 FT	125 FT
100% OPEN SPACE		100% OPEN SPACE
USABLE OPEN SPACE	35.0%	35.0%

RECEIVED 10/10/00

WELLINGTON BRIDGE
UNDERCARRIAGE



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Service

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2288

Assembly Square
Block 2B

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Overall Site Plan 1

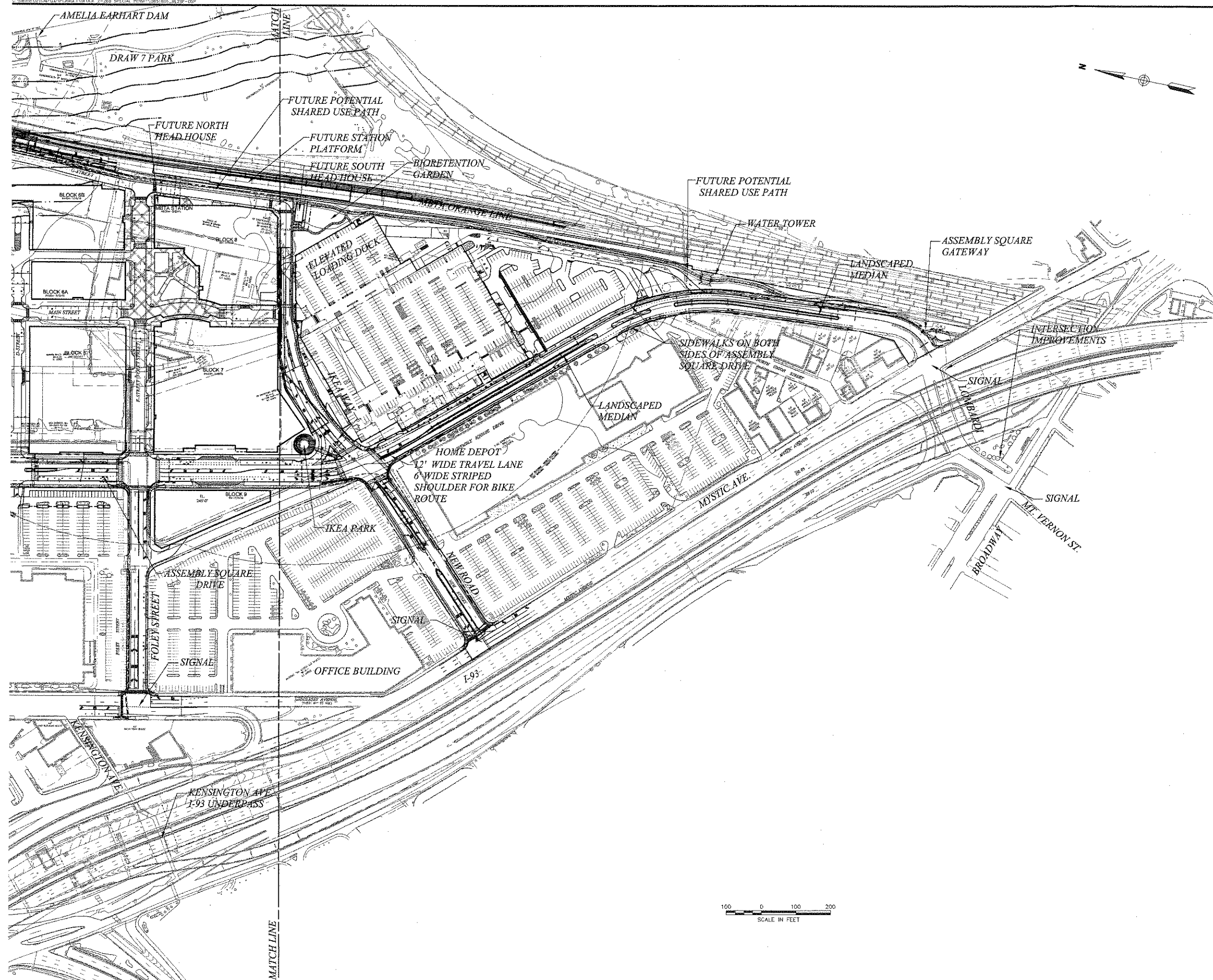


C-4

Sheet 5 of 10

Project Number
08518.05

0851505...B-23C-05P.02



Initiated by		
Reviewed by		
Approved by		
Signature of person performing the work		
Signature of person approving the work		
Signature of person reviewing the work		
Signature of person initiating the work		
MS	Revision	Date
Initiated by	Reviewed by	Created by
CAD checked by		
Seal	Approved by	
Date 1=100'	Date	January 22, 20

Project Title
Assembly Square
Block 2B

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Overall Site Plan 2



C-5

Project Number
08518.05



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

20 0 20 40
SCALE IN FEET

Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASM/D) Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District		
Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA (PROJECT AREA)	20,000 SF	47,642 SF
FRONTAGE (ARTISAN WAY)	280 FT	280 FT
FRONT YARD SETBACK (ARTISAN WAY)	NO MINIMUM	3.7 FT
SIDE YARD SETBACK (LEFT)	NO MINIMUM	5.3 FT
SIDE YARD SETBACK (RIGHT)	NO MINIMUM	2.1 FT
REAR YARD SETBACK	NO MINIMUM	16.1 FT
MAX. FLOOR AREA RATIO	10.0	2.12
MAX. BUILDING HEIGHT	N/A	62'-0"
< 150' OF MYSTIC RIVER BANK	70 FT	62'-0"
BETWEEN 150' AND 350'	90 FT	62'-0"
BETWEEN 350' AND 550'	110 FT	62'-0"
WITHIN 1,000' OF METRA ENTRANCE	120 FT	N/A
ALL OTHER LOCATIONS	120 FT	N/A
TOTAL OPEN SPACE	25%	12.7%
USABLE OPEN SPACE	12.5%	3.6%

** BASED ON PROPOSED PROJECT AREA.
** W/AVEN REQUESTED (SEE SECTION 5.1 REQUESTED W/AVEN OF BLOCK 2B SP5B-A)

Parking Requirements

RETAIL/OFFICE USES	
PARKING REQUIRED	(11,143 SF ÷ 1 SPACES/1,000 SF) = 11
RESTAURANT USES	
PARKING REQUIRED	(10,000 SF ÷ 1 SPACES/ 500 SF) = 20
TOTAL PARKING REQUIRED	= 31

Bicycle Parking Requirements

NON-RESIDENTIAL	
PARKING REQUIRED	(125 SPACES ÷ 1 SPACES/ 10 REQ. SPACES) = 13

No.	Revised	Date	By
Submitted by	Drawn by	Checked by	
CU/checked by	Approved by		
Scale	1"=20'	Date	January 22, 2013
Project No.			

Assembly Square Block 2B

Assembly Square Drive
Somerville, Massachusetts

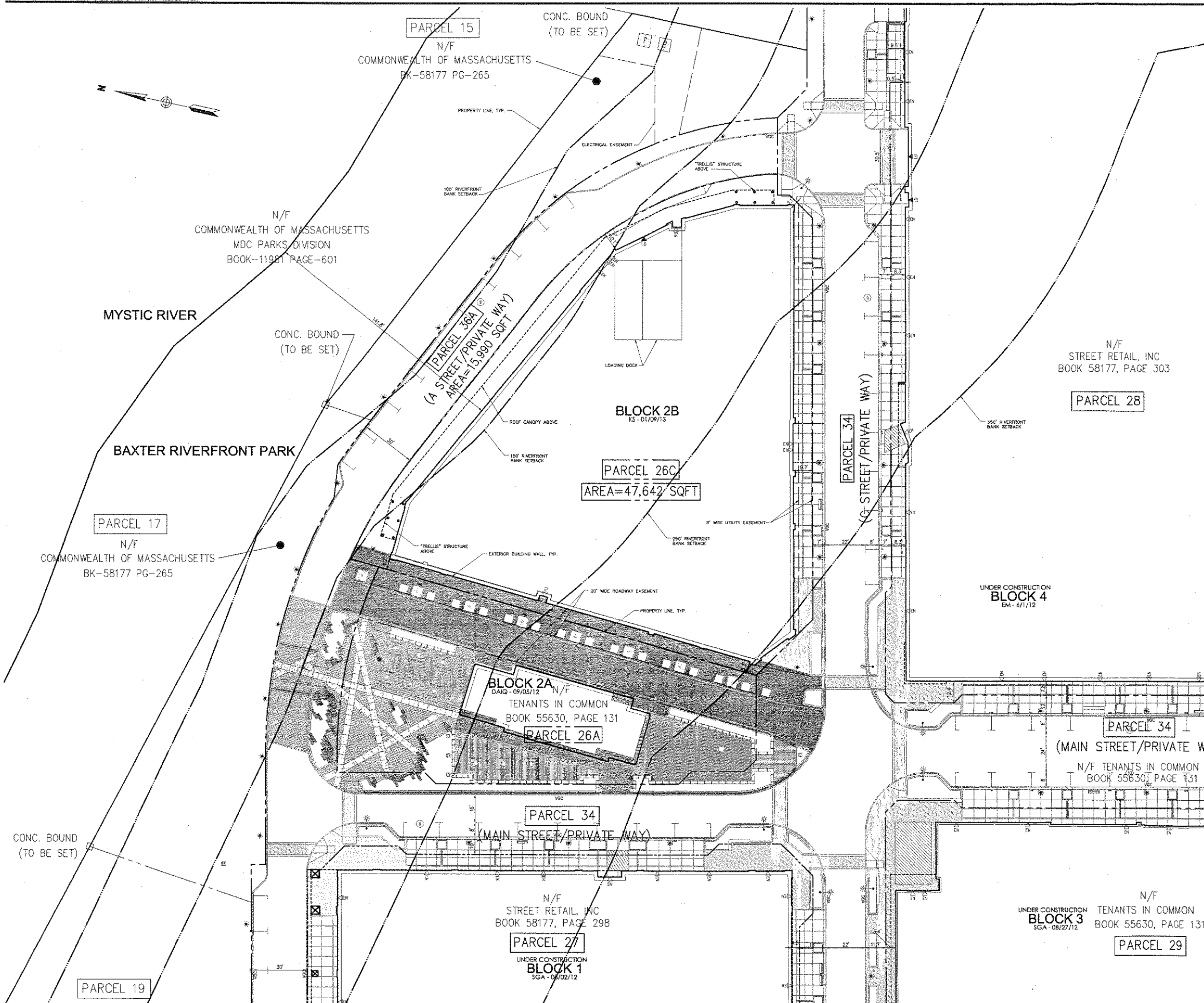
Final Level PUD Approval -
Final Submission
Not Approved for Construction

Layout and
Materials Plan



C-6

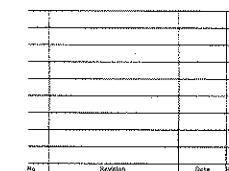
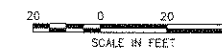
Sheet
7 of 10
Project Number
08518.05





Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



Designed by	Drawn by	Checked by
CAB checked by	Approved by	
Scale 1"=20'	Date	January 22, 201

Project Title
**Assembly Square
Block 2B**

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Grading, Drainage and Erosion Control Plan



C.

Steel

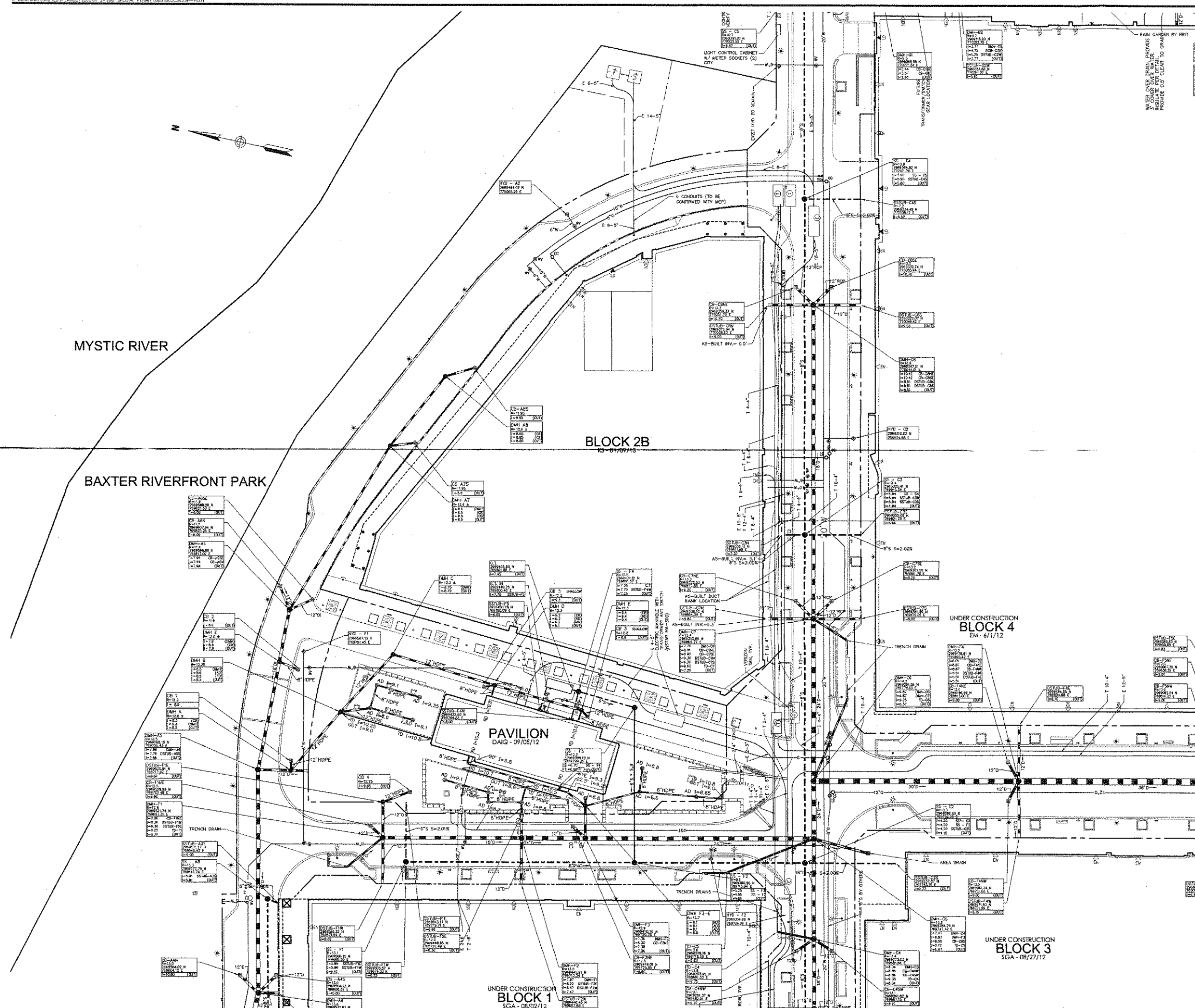
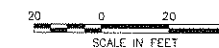
Project Name
08518.05



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



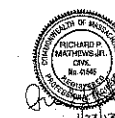
No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=20'	Date January 22, 20	

Project title
**Assembly Square
Block 2B**

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Utility Plan



C-8

Sheet 2 of 2

Project A
09/01/00

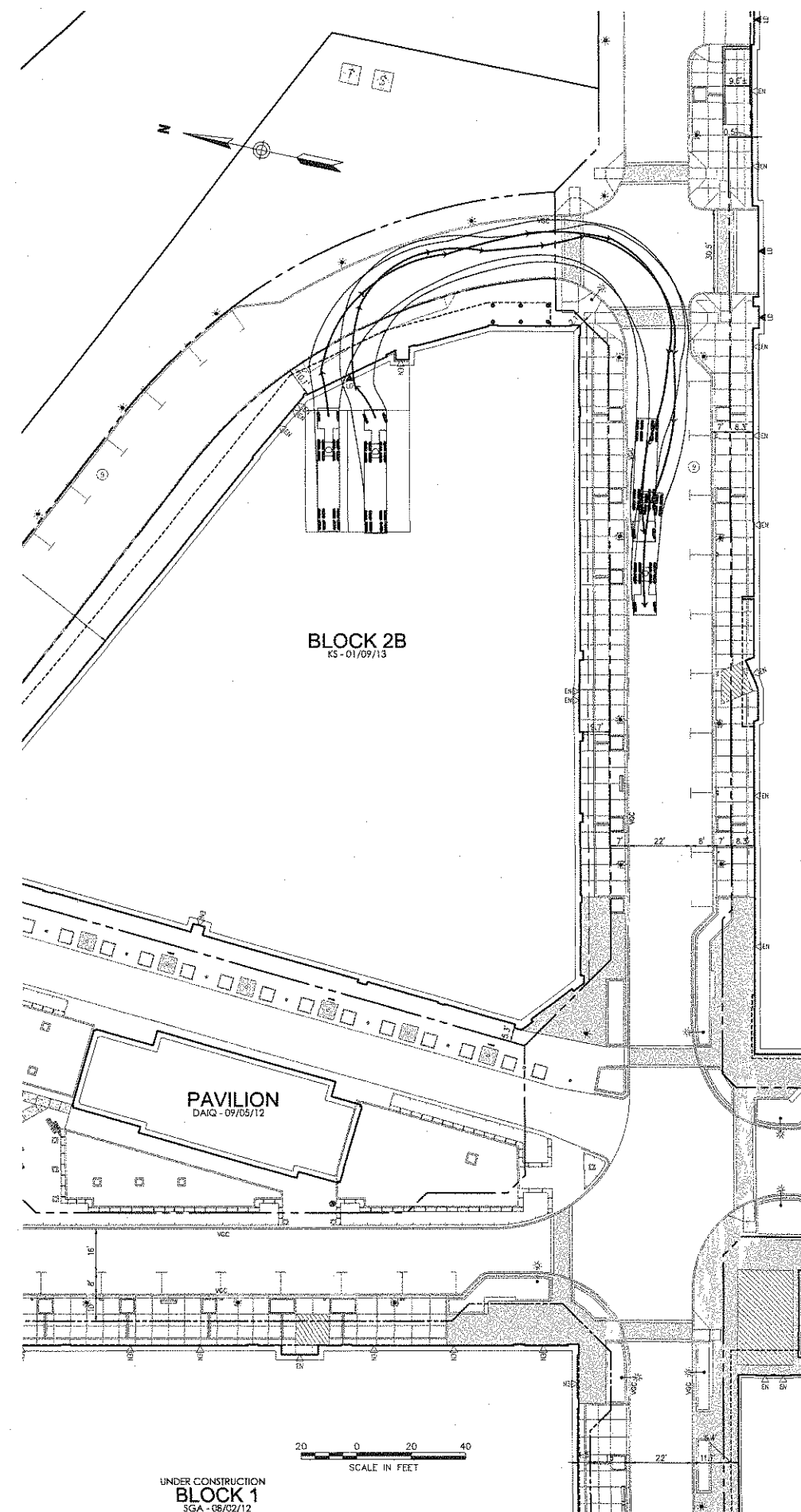
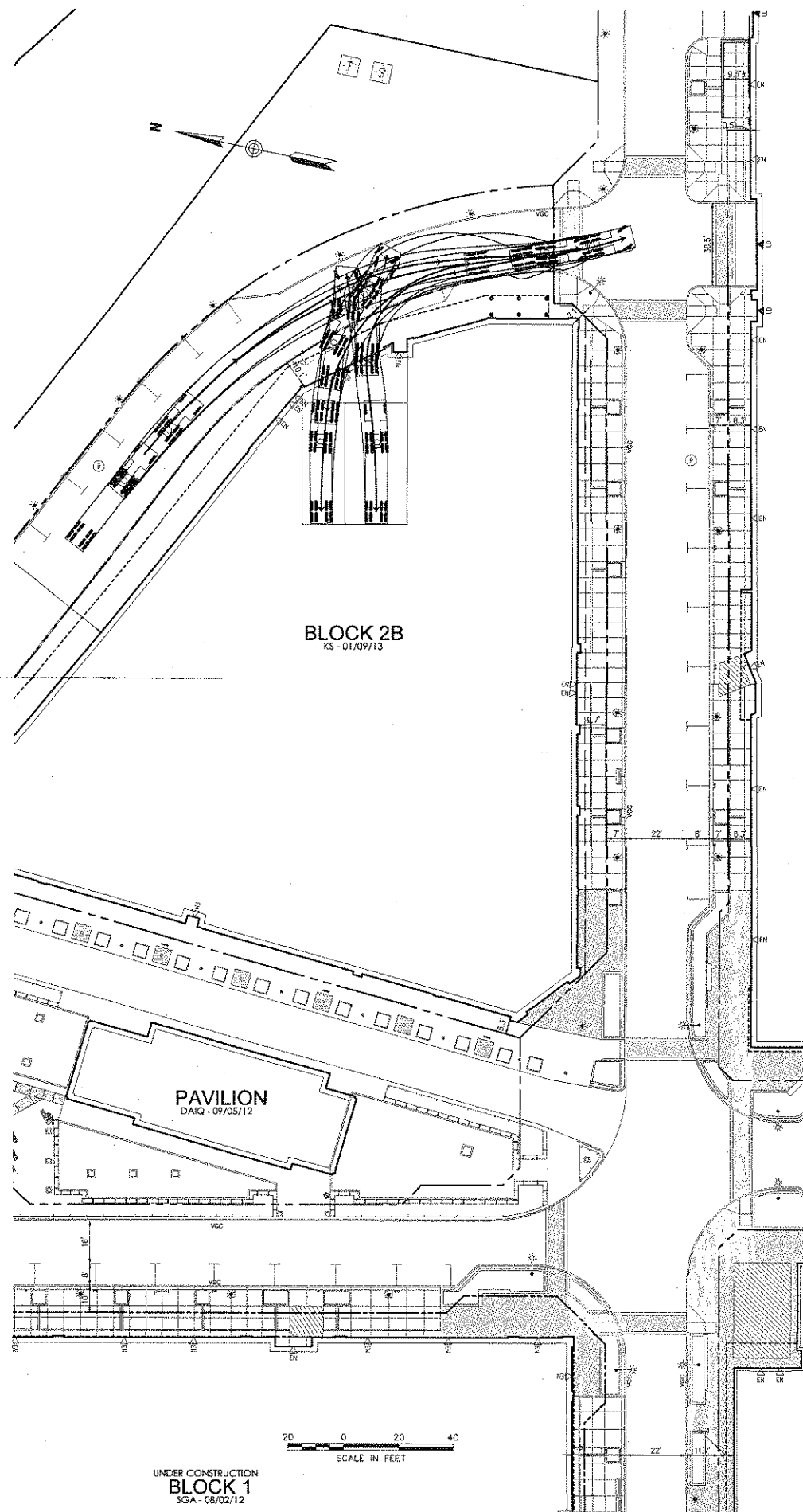
0851804, 66-27-5017



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=20'	Date January 22, 20	

Project Title
**Assembly Square
Block 2B**

Assembly Square Drive
Somerville, Massachusetts

Final Level PUD Approval -
Final Submission
Not Approved for Construction

Turning Template Plan



Drawing Name

C-9

10 10

08518.05

Keywords: child sexual abuse; disclosure; disclosure strategies



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- NO COULD NOT OPEN
- NPV NO PIPES VISIBLE

⊙ F.F.E.=45.27 FINISHED FLOOR ELEVATION

- ⊙ EDGE OF PAVEMENT
- ⊙ CONCRETE CURB
- ⊙ VERTICAL GRANITE CURB
- ⊙ SLOPED GRANITE EDGE
- ⊙ BITUMINOUS BERM
- ⊙ BITUMINOUS CURB
- ⊙ GUARD RAIL
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100-FT BUFFER ZONE
- ⊙ 100-FT RIVER FRONT AREA
- ⊙ 200-FT RIVER FRONT AREA
- ⊙ LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LIMIT OF BANK
- ⊙ VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appr'd
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale 1"=40'	Date March 9, 2012		
Project Title			

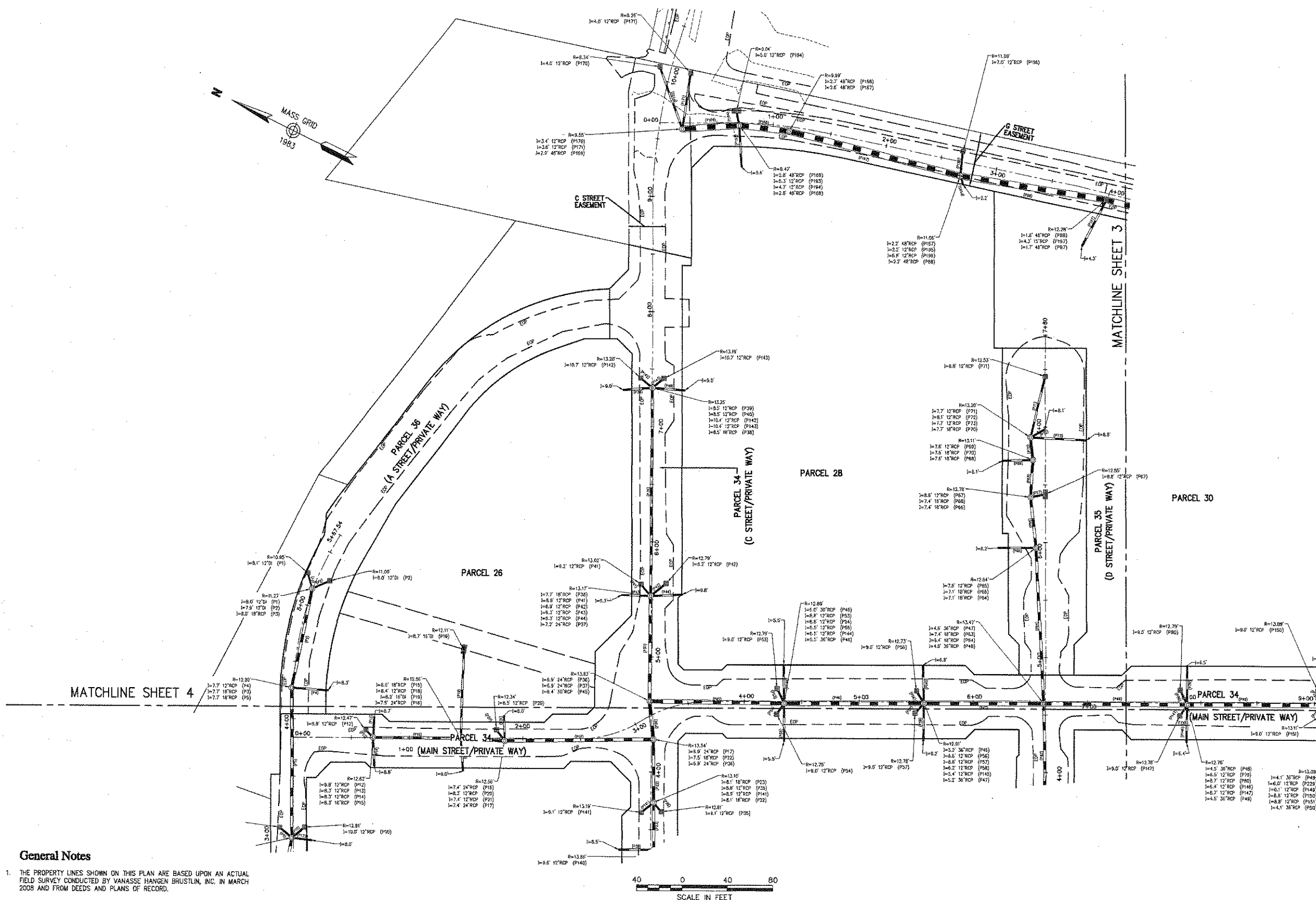
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Utility As-Built

Drain As-Built

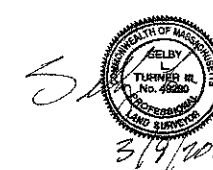
Drawing Number	Sv-2
Sheet	2 of 13
Project Number	11763.00

\\MAWAL01\proj\11763.00\plan\set\11763.00-ASBUILT.dwg



General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
- THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, MAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD 1988.



Legend

- (B) DRAIN MANHOLE
 (B) CATCH BASIN
 (S) SEWER MANHOLE
 (S) ELECTRIC MANHOLE
 (T) TELEPHONE MANHOLE
 (O) MANHOLE
 H(H) HAND HOLE
 (W) WATER GATE
 (F) FIRE HYDRANT
 (G) GAS GATE
 (S) STREET SIGN
 (L) LIGHT POLE
 (U) UTILITY POLE
 (G) GUY POLE
 (G) GUY WIRE
 (M) MONITORING WELL
 (F) FLOOD LIGHT
 (C) WELL
 (NO) COULD NOT OPEN
 (NPV) NO PIPES VISIBLE
 F.F.E.=45.27 FINISHED FLOOR ELEVATION
 EDC _____ EDGE OF PAVEMENT
 LC _____ CONCRETE CURB
 _____ SEE _____ VERTICAL GRANITE CURB
 _____ 10' _____ SLOPED GRANITE EDGE
 _____ 10' _____ BITUMINOUS BERM
 _____ 10' _____ BITUMINOUS CURB
 _____ GUARD RAIL
 (O) CHAIN LINK FENCE
 (O) DRAINAGE LINE
 (O) SEWER LINE
 (D-W) OVERHEAD WIRE
 (E) UNDERGROUND ELECTRIC
 (E) TELEPHONE LINE
 (G) GAS LINE
 (O) WATER LINE
 (O) STONE WALL
 (O) TREE LINE
 100'-0" 100-FT BUFFER ZONE
 100'-0" 100-FT RIVER FRONT AREA
 200'-0" 200-FT RIVER FRONT AREA
 (L) LIMIT MEAN ANNUAL HIGH WATER
 (B) LIMIT OF BANK
 (V) VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Apprv.
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale 1"=40'	Date March 9, 2012		
Project Title			

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Utility As-Built

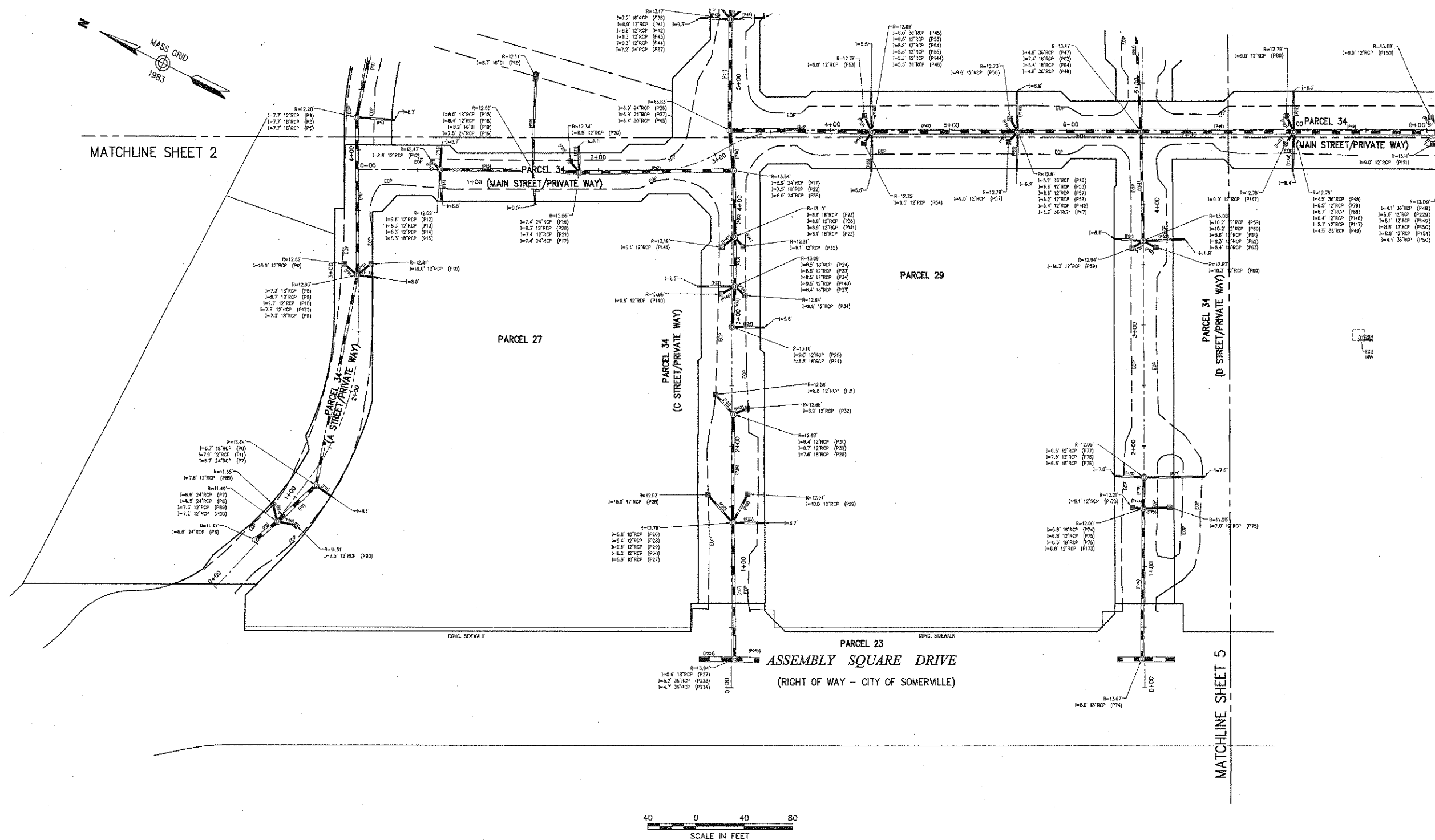
Drain Asbuilt

Drawing Number
Sv-4

Sheet of
4 13

Project Number
11763.00

\\MAWALD\id\11763.00\cod\sr\planset\11763.00-ASBUIL.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.



101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

-  DRAIN MANHOLE
 CATCH BASIN
 SEWER MANHOLE
 ELECTRIC MANHOLE
 TELEPHONE MANHOLE
 MANHOLE
 HAND HOLE
 WATER GATE
 FIRE HYDRANT
 GAS GATE
 STREET SIGN
 LIGHT POLE
 UTILITY POLE
 GUY POLE
 GUY WIRE
 MONITORING WELL
 FLOOD LIGHT
 WELL
 CNO COULD NOT OPEN
 NPY NO PIPES VISIBLE
 F.F.E.=45.27 FINISHED FLOOR ELEVATION
 FOF _____ EDGE OF PAVEMENT
 CL _____ CONCRETE CURB
 VGR _____ VERTICAL GRANITE CURB
 SGR _____ SLOPED GRANITE EDGE
 BR _____ BITUMINOUS BERM
 BR _____ BITUMINOUS CURB
 GR _____ GUARD RAIL
 CL _____ CHAIN LINK FENCE
 _____ DRAINAGE LINE
 _____ SEWER LINE
 OWH _____ OVERHEAD WIRE
 E _____ UNDERGROUND ELECTRIC
 T _____ TELEPHONE LINE
 G _____ GAS LINE
 W _____ WATER LINE
 _____ STONE WALL
 _____ TREE LINE
 100-FTZ _____ 100-FT BUFFER ZONE
 100-FTFR _____ 100-FT RIVER FRONT AREA
 200-FTRA _____ 200-FT RIVER FRONT AREA
 UNIT _____ UNIT MEAN ANNUAL HIGH WATER
 LWRK _____ LOW WATER
 100-FT _____ 100-FT
 _____ WEEDLAND BOUNDARY

[illegible]

No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Utility As-Built .

Drawing Title

General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON NAD83 GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO MASS. OF 1988.



Drawing Number
Sv-5

Sheet of
5 13
Project Number
11763.00



Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- ① DRAIN MANHOLE
 ② CATCH BASIN
 ③ SEWER MANHOLE
 ④ ELECTRIC MANHOLE
 ⑤ TELEPHONE MANHOLE
 ⑥ MANHOLE
 HHC ○ HAND HOLE
 ⊗ WATER GATE
 ⊗ FIRE HYDRANT
 ○ GAS GATE
 — STREET SIGN
 ☆ LIGHT POLE
 ☆ UTILITY POLE
 ○ GUY POLE
 () GUY WIRE
 MW MONITORING WELL
 ⬤ FLOOD LIGHT
 ○ WELL
 CNO COULD NOT OPEN
 NPV NO PIPES VISIBLE
 E=45.27' FINISHED FLOOR ELEV

4 F.F.E.=45.27' FINISHED FLOOR ELEVATION

- | |
|-----------------------------|
| EDGE OF PAVEMENT |
| CONCRETE CURB |
| VERTICAL GRANITE CURB |
| SLOPED GRANITE CURB |
| BITUMINOUS BERM |
| BITUMINOUS CURB |
| GUARD RAIL |
| CHAIN LINK FENCE |
| DRAINAGE LINE |
| SEWER LINE |
| OVERHEAD WIRE |
| UNDERGROUND ELECTRIC |
| TELEPHONE LINE |
| GAS LINE |
| WATER LINE |
| STONE WALL |
| TREE LINE |
| 100'-FT BUFFER ZONE |
| 100'-FT RIVER FRONT AREA |
| 200'-FT RIVER FRONT AREA |
| UNIT MEAN ANNUAL HIGH WATER |
| UNIT LOW WATER |
| VEGETATED WEED BOUNDARY |

[illegible]

No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	

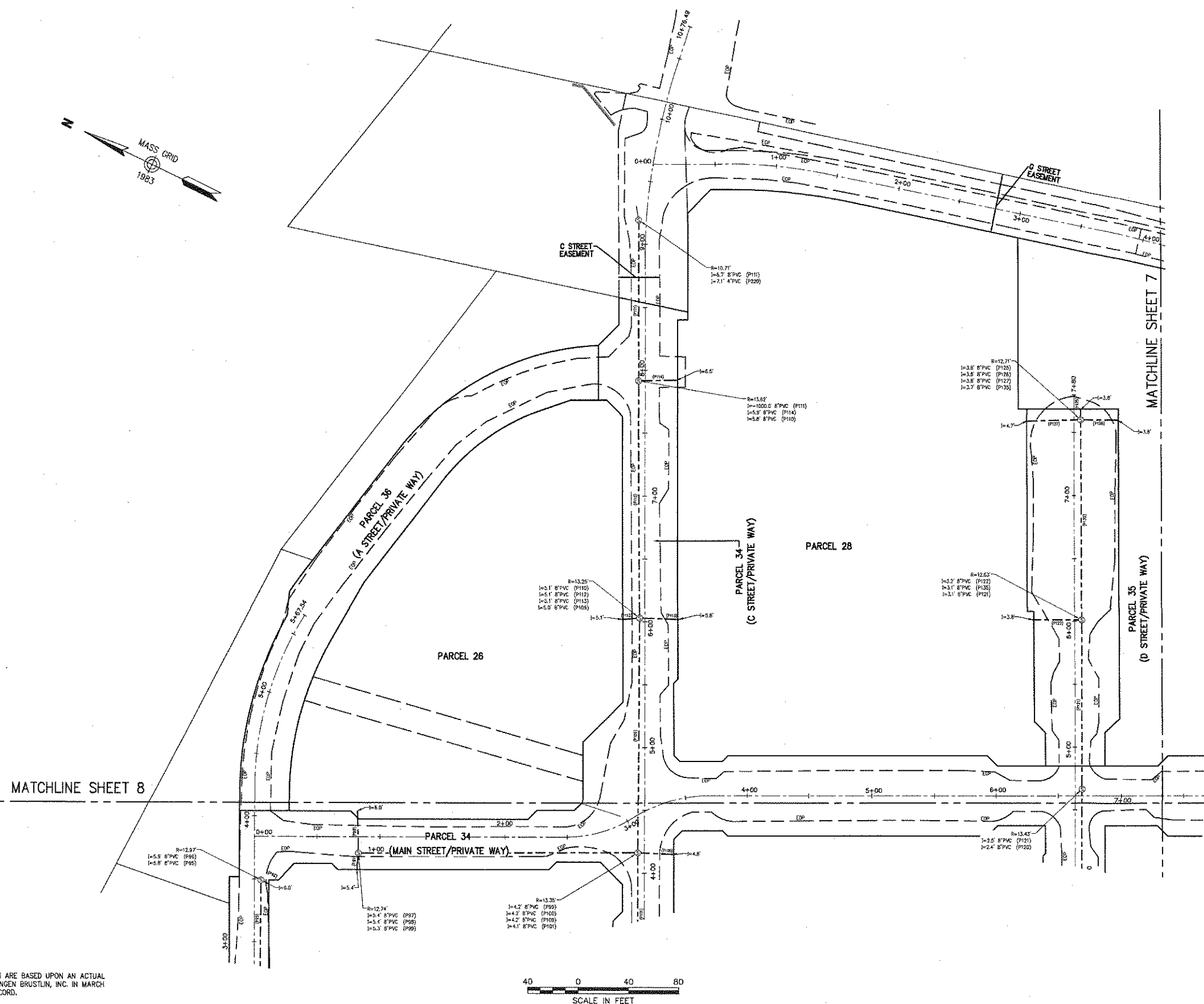
Assembly Row
Assembly Square
PUD

Somerville, Massachusetts
Issued for

Utility As-Built

Sewer Asbuilt


 Drawing Number
Sv-6
 Sheet 6 of 13
 Project number
 11763.00



General Notes

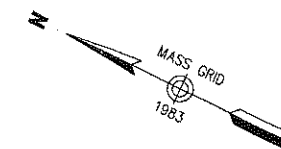
1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER 1989/ DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD. OF 1988.

\\MAWALD\ld\11763.00\cnd\sr\olson\11763.00-ASBUILT.dwg



Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286



Legend

- ⑦ DRAIN MANHOLE
- ⑧ CATCH BASIN
- ⑨ SEWER MANHOLE
- ⑩ ELECTRIC MANHOLE
- ⑪ TELEPHONE MANHOLE
- ⑫ MANHOLE
- ⑬ HAND HOLE
- ⑭ WATER GATE
- ⑮ FIRE HYDRANT
- ⑯ GAS GATE
- ⑰ STREET SIGN
- ⑱ LIGHT POLE
- ⑲ UTILITY POLE
- ⑳ GUY POLE
- ㉑ GUY WIRE
- ㉒ MONITORING WELL
- ㉓ FLOOD LIGHT
- ㉔ WELL
- ㉕ COULD NOT OPEN

NEW NO PIPES VISIBLE
F.F.E.=45.27' FINISHED FLOOR ELEVATION

- | | |
|---------------------------------|----------------------------|
| EDGE OF PAVEMENT | CONCRETE CURB |
| VERTICAL GRANITE CURB | SLOPED GRANITE CURB |
| BITUMINOUS BERM | BITUMINOUS CURB |
| GUARD RAIL | CHAIN LINK FENCE |
| ORANGE LINE | SEWER LINE |
| OVERHEAD WIRE | UNDERGROUND ELECTRIC |
| TELEPHONE LINE | GAS LINE |
| WATER LINE | STONE WALL |
| TREE LINE | 100-FT BUFFER ZONE |
| 100-FT RIVER FRONT AREA | 200-FT RIVER FRONT AREA |
| UNT MEAN ANNUAL HIGH WATER LINE | VEGETATED WETLAND BOUNDARY |

No.	Revision	Date	App
Designed by	Drawn by	Checked by	
GAD checked by	Approved by		
Scale 1"=40'	Date March 9, 2012		

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Utility As-Built

Sewer Asbuilt

General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.



Drawing Number
SV-7

Street of
7 13

Project Numbr
11763.00



Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

-  DRAIN MANHOLE
 CATCH BASIN
 SEWER MANHOLE
 ELECTRIC MANHOLE
 TELEPHONE MANHOLE
 MANHOLE
 HAND HOLE
 WATER GATE
 FIRE HYDRANT
 GAS GATE
 STREET SIGN
 LIGHT POLE
 UTILITY POLE
 GUY POLE
 GUY WIRE
 MONITORING WELL
 FLOOD LIGHT
 WELL
 CNO CANNOT NOT OPEN
 NCV NO PIPES VISIBLE

F.F.E.=45.27' FINISHED FLOOR ELEVATION

- | | |
|----------------------------|----------------------------|
| EDGE | EDGE OF PAVEMENT |
| CONCRETE CURB | CONCRETE CURB |
| VERTICAL GRANITE CURB | VERTICAL GRANITE CURB |
| SLOPED GRANITE CURB | SLOPED GRANITE CURB |
| BITUMINOUS BERM | BITUMINOUS BERM |
| BITUMINOUS CURB | BITUMINOUS CURB |
| GUARD RAIL | GUARD RAIL |
| CHAIN LINK FENCE | CHAIN LINK FENCE |
| DRAINAGE LINE | DRAINAGE LINE |
| SEWER LINE | SEWER LINE |
| OVERHEAD WIRE | OVERHEAD WIRE |
| UNDERGROUND ELECTRIC | UNDERGROUND ELECTRIC |
| TELEPHONE LINE | TELEPHONE LINE |
| GAS LINE | GAS LINE |
| WATER LINE | WATER LINE |
| STONE WALL | STONE WALL |
| TREE LINE | TREE LINE |
| 100-FT BUFFER ZONE | 100-FT BUFFER ZONE |
| 100-FT ROVER FRONT AREA | 100-FT ROVER FRONT AREA |
| 200-FT ROVER FRONT AREA | 200-FT ROVER FRONT AREA |
| 100-FT ANNUAL HIGH WATER | 100-FT ANNUAL HIGH WATER |
| LIMIT OF BANK | LIMIT OF BANK |
| VEGETATED WETLAND BOUNDARY | VEGETATED WETLAND BOUNDARY |

NAME		
DATE		
PERIOD		
TOPIC		
PROBLEM		
SOLUTION		
CONCLUSION		
REMARKS		

No.	Revision	Date	Appr
Designed by	Drawn by	Checked by	
CAD checked by		Approved by	
Scale	1"=40'	Date	March 9, 2012

Assembly Row
Assembly Square
PUD

Somerville, Massachusetts

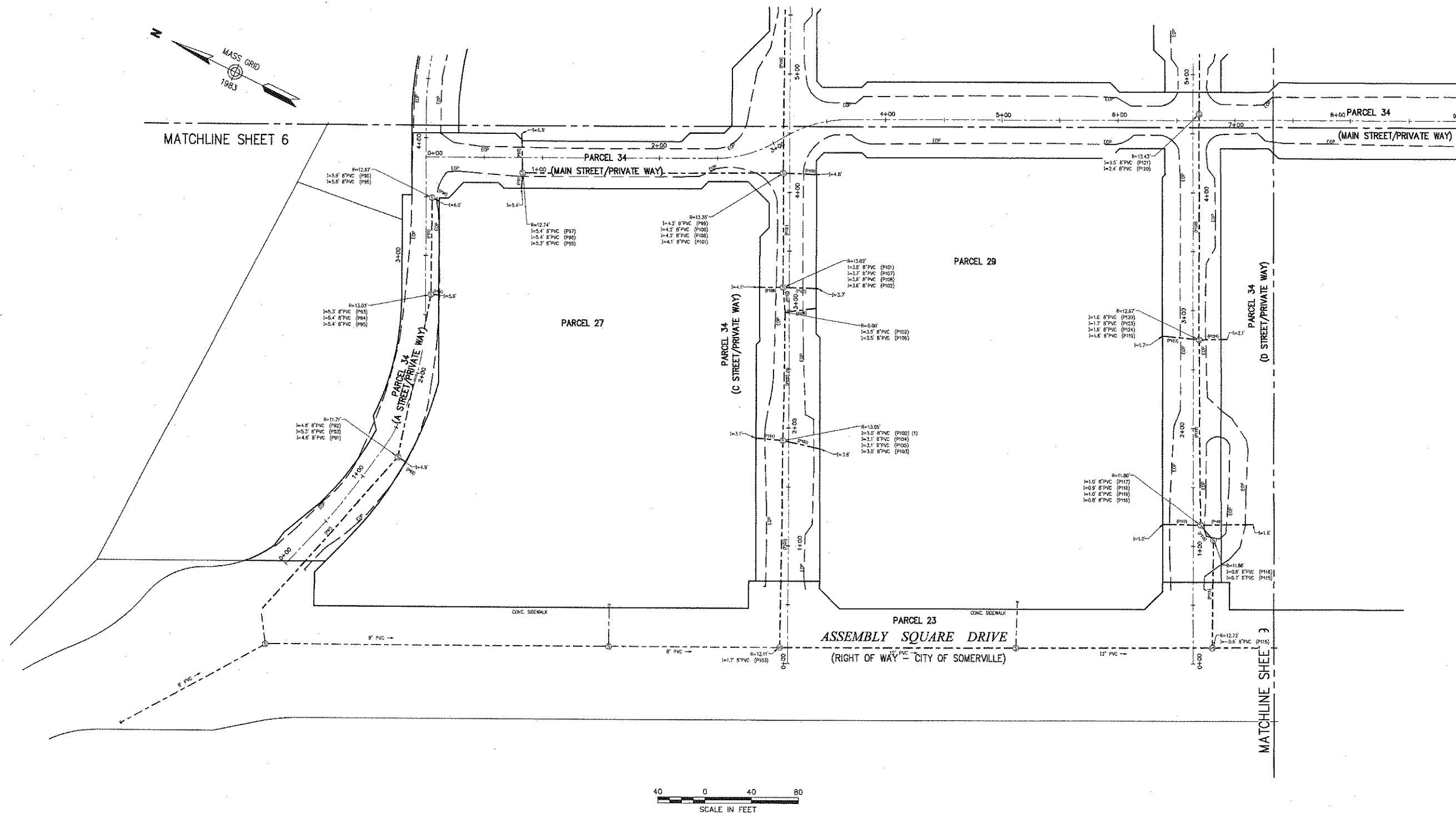
Utility As-Built

Drawing Title

Sewer Asbuilt

Drawing Number
Sv-8
 Sheet 8 of 13
 Project Number
 11763.00

\\MAWALD\ld\11763.00\cod\er\plonset\11763.00-ASBUT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL GROUND PENETRATING SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. WHO DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.



Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

-  DRAIN MANHOLE
 CATCH BASIN
 SEWER MANHOLE
 ELECTRIC MANHOLE
 TELEPHONE MANHOLE
 MANHOLE
 HAND HOLE
 WATER GATE
 FIRE HYDRANT
 GAS GATE
 STREET SIGN
 LIGHT POLE
 UTILITY POLE
 GUY POLE
 GUY WIRE
 MONITORING WELL
 FLOOD LIGHT
 WELL
 CNO COULD NOT OPEN
 NPV NO PIPES VISIBLE
 E=45.27 FINISHED FLOOR ELEVATION
 EDGE OF PAVEMENT
 CONCRETE CURB
 VERTICAL GRANITE CURB
 SLOPED GRANITE EDGE
 BITUMINOUS BERM
 BITUMINOUS CURB
 GRASS RAIL
 CHAIN LINK FENCE
 DRAINAGE LINE
 SEWER LINE
 OVERHEAD WIRE
 UNDERGROUND ELECTRIC
 TELEPHONE LINE
 GAS LINE
 WATER LINE
 STONE WALL
 TREE LINE
 100-FT BUFFER ZONE
 200-FT RIVER FRONT AREA
 200-FT RIVER FRONT AREA
 LEAN MEAN ANNUAL HIGH WATER
 VEGETATED WETLAND BOUNDARY

[illegible]

No.	Revision	Date
Designed by	Drawn by	Checked by

CAD checked by	Approved by
Scale 1"=40'	Date March 9 2012

Assembly Row
Assembly Square
PUD

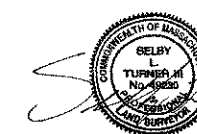
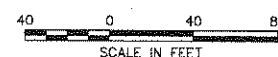
Somerville, Massachusetts

Utility As-Built

Ordering Title

General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. WHO DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.



Drawing Number
SV-9

Sheet of
9 13

Project Number
11763.00

\\MAWALD\ld\11763.00\cad\sr\planget\11763.00~ASBUE.T.dwg



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- HH □ HAND HOLE
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊕ GAS GATE
- ⊕ STREET SIGN
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ MONITORING WELL
- ⊕ FLOOD LIGHT
- ⊕ WELL
- NO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- FF.E. = 45.27' FINISHED FLOOR ELEVATION
- EQV ——— EDGE OF PAVEMENT
- CC ——— CONCRETE CURB
- SG ——— SLOPED GRANITE CURB
- BT ——— BITUMINOUS BERM
- BL ——— BITUMINOUS CURB
- GR ——— GUARD RAIL
- CL ——— CHAIN LINK FENCE
- DL ——— DRAINAGE LINE
- SW ——— SEWER LINE
- OW ——— OVERHEAD WIRE
- EW ——— UNDERGROUND ELECTRIC
- TL ——— TELEPHONE LINE
- GL ——— GAS LINE
- WL ——— WATER LINE
- TL ——— TREE LINE
- 100' ——— 100-FT BUFFER ZONE
- 100'RA ——— 100-FT RIVER FRONT AREA
- 200'RA ——— 200-FT RIVER FRONT AREA
- W100' ——— LIMIT MEAN ANNUAL HIGH WATER
- W100' ——— LIMIT OF BANK
- W100' ——— VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appr'd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	
Project Title		

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Utility As-Built

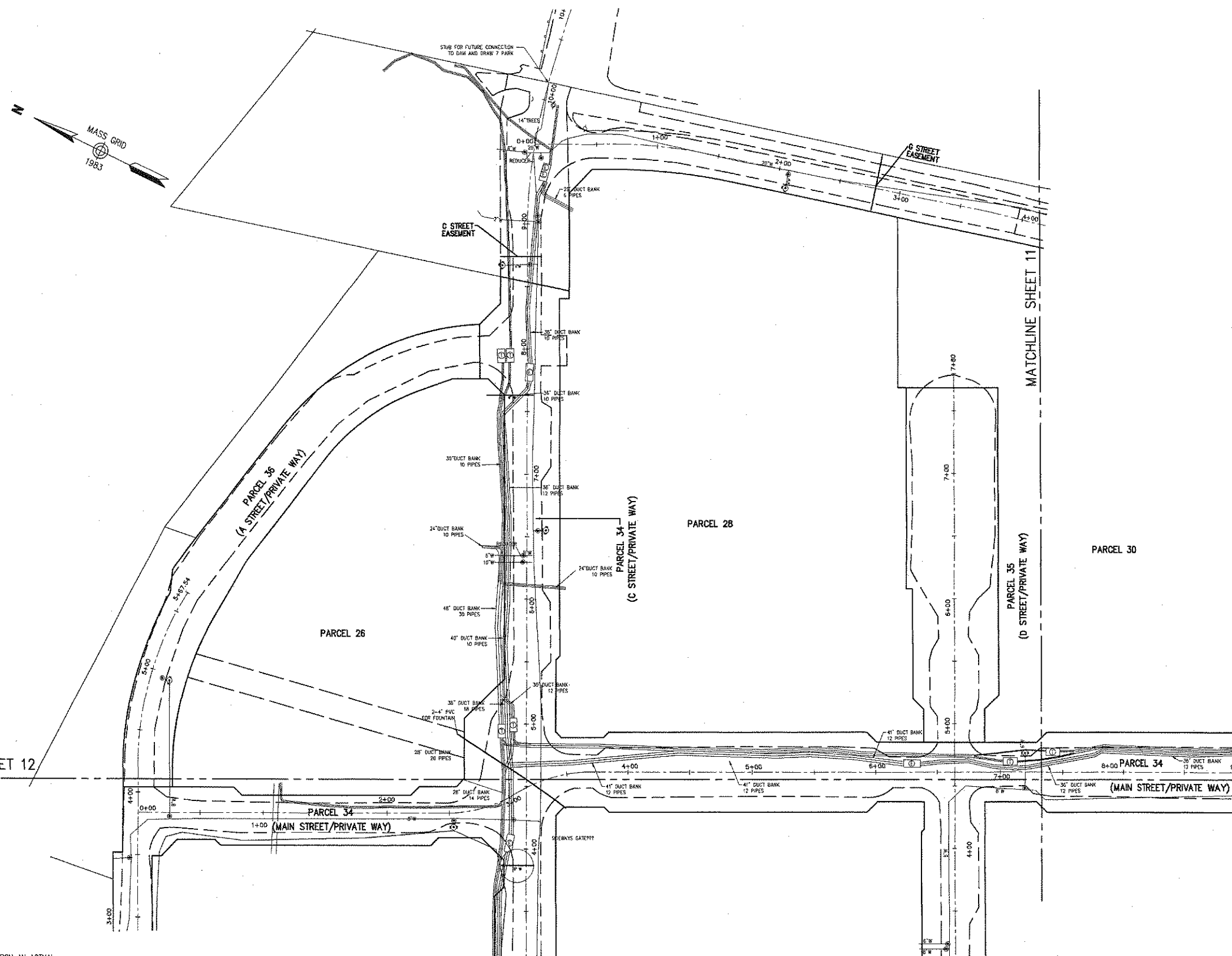
Utility Asbuilt

Drawing Number
Sv-10
Sheet 10 of 13
Project Number
11763.00



Signature of Selby L. Turner III
3/9/2012

\\MAWALD\p\11763.00\cadd\p\planset\11763.00-ASBUILT.dwg



General Notes

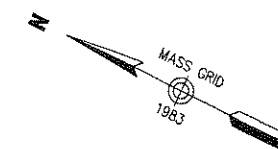
- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
- THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.





Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286



Legend

- (D) DRAIN MANHOLE
 (B) CATCH BASIN
 (S) SEWER MANHOLE
 (E) ELECTRIC MANHOLE
 (T) TELEPHONE MANHOLE
 (M) MANHOLE
 HH (H) HAND HOLE
 (W) WATER GATE
 (F) FIRE HYDRANT
 (G) GAS GATE
 (S) STREET SIGN
 (L) LIGHT POLE
 (U) UTILITY POLE
 (G) GUY POLE
 (G) GUY WIRE
 (M) MONITORING WELL
 (F) FLOOD LIGHT
 (W) WELL
 CNO COULD NOT OPEN
 NPV NO PIPES VISIBLE

NPV NO PIPES VISIBLE
F.F.E.=45.27' FINISHED FLOOR ELEVATION

-
- EDGE OF PAVEMENT
 CONCRETE CURB
 VERTICAL GRANITE CURB
 SLOPED GRANITE CURB
 BITUMINOUS BERM
 BITUMINOUS CURB
 GUARD RAIL
 CHAIN LINK FENCE
 DRAINAGE LINE
 SEWER LINE
 OVERHEAD WIRE
 UNDERGROUND ELECTRIC
 TELEPHONE LINE
 GAS LINE
 WATER LINE
 STONE WALL
 TREE LINE
 100'-FT BUFFER ZONE
 100'-FT RIVER FRONT AREA
 200'-FT RIVER FRONT AREA
 LIMIT MEAN ANNUAL HIGH WATER
 LIMIT OF WETLAND
 VEGTATED WETLAND BOUNDARY

No.	Revision	Date	App
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale 1"=40'	Date	March 9, 2012	

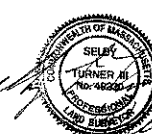
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Utility As-Built

Utility Asbuilt

General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ABOVE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.



Drawing Number
Sv-11

Sheet of 11 12

Project Number
11762.00



Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- ① DRAIN MANHOLE
 ② CATCH BASIN
 ③ SEWER MANHOLE
 ④ ELECTRIC MANHOLE
 ⑤ TELEPHONE MANHOLE
 ⑥ MANHOLE
 H□□ HAND HOLE
 ⑦ WATER GATE
 ⑧ FIRE HYDRANT
 C GAS GATE
 — STREET SIGN
 ☆ LIGHT POLE
 ☆ UTILITY POLE
 — GUY POLE
 — GUY WIRE
 MW MONITORING WELL
 ➤ FLOOD LIGHT
 ⑨ WELL
 CNO COULD NOT OPEN
 NPV NO PIPES VISIBLE

F.F.E.=45.27' FINISHED FLOOR ELEVATION

- EDGE OF PAVEMENT
CONCRETE CURB
VERTICAL GRANITE CURB
SLOPED GRANITE CURB
BITUMINOUS BERM
BITUMINOUS CURB
GUARD RAIL
CHAIN LINK FENCE
DRAINAGE LINE
SEWER LINE
OVERHEAD WIRE
UNDERGROUND ELECTRIC
TELEPHONE LINE
GAS LINE
WATER LINE
STONE WALL
TREE LINE
100'-BT BUFFER ZONE
100'-FT RIVER FRONT AREA
200'-FT RIVER FRONT AREA
100'-FT MEAN ANNUAL HIGH WATER
LIMIT
LIMIT OF VEGETATION AND BOUNDARY

No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	

Assembly Row
Assembly Square
PUD

Somerville, Massachusetts

Utility As-Built

Growing Time

Utility Asbuilt

General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2000 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON NASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO WADD OF 1988.

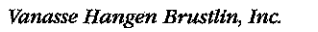
Normative Statistics

Sv-12

Sheet of
12 1

Project Number
11763.00

\\MAWALD\c\11763.00\cod\sr\pionset\11763.00-ASERLT.dwg



101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

 DRAIN MANHOLE
 CATCH BASIN
 SEWER MANHOLE
 ELECTRIC MANHOLE
 TELEPHONE MANHOLE
 MANHOLE
 HAND HOLE
 WATER GATE
 FIRE HYDRANT
 GAS GATE
 STREET SIGN
 LIGHT POLE
 UTILITY POLE
 GUY POLE
 GUY WIRE
 MONITORING WELL
 FLOOD LIGHT
 WELL
 CNO COULD NOT OPEN
 NPV NO PIPES VISIBLE

DOE	EDGE OF PAVEMENT
CC	CONCRETE CURB
VDP	VERTICAL GRANITE CURB
SOY	SLOPED GRANITE EDGE
SB	BITUMINOUS BERM
	BITUMINOUS CURB
	GUARD RAIL
	CHAIN LINK FENCE
	DRAINAGE LINE
	SEWER LINE
OW	OVERHEAD WIRE
E	UNDERGROUND ELECTRIC
	TELEPHONE LINE
G	GAZELINE
	WATER LINE
	STONE WALL
	TREE LINE
100'±	100'-FT BUFFER ZONE
100'±	100'-FT FRONT AREA
200'±	200'-FT RIVER FROM AREA
QZT	QZT MEAN ANNUAL HIGH WATER
10'±-100'	LEGIT BANK
W1-100'	VEGETATED WETLAND BOUNDARY

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Drawing Title

Utility Asbuilt

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-AND-OFF-GROUND INSTRUMENTAL SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.



Sv-13

Sheet	of
13	13
Project Number	
11763.00	