

BENCHMARK: RIGHT OUTER CORNER LOWER CONCRETE STEP
#214 HIGHLAND AVE. STA. 45+67
ELEV. = 90.08'

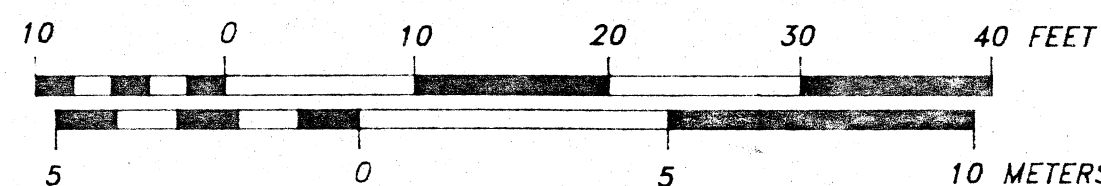
PROPOSED FINISH FLOOR ELEVATIONS:

BASEMENT = 87.75'
FIRST FLOOR = 96.33'
SECOND FLOOR = 106.25'
THIRD FLOOR = 116.17'

LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE
EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD,
INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND
OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY
DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT
THIS TIME WITHIN THE PREMISES SURVEYED.

LEGEND

- △ UNMONUMENTED POINT
- CHAIN LINK FENCE
- S SANITARY SEWER
- D DRAIN
- W WATER LINE
- G GAS LINE
- E ELECTRIC LINE
- T TELEPHONE LINE
- ⊙ SANITARY MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ CATCH BASIN
- W.G. WATER GATE
- G.G. GAS GATE
- ▽ SIGN



S.M.H.
RIM = 90.93
INV. = 80.19

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24"x17" CONC.

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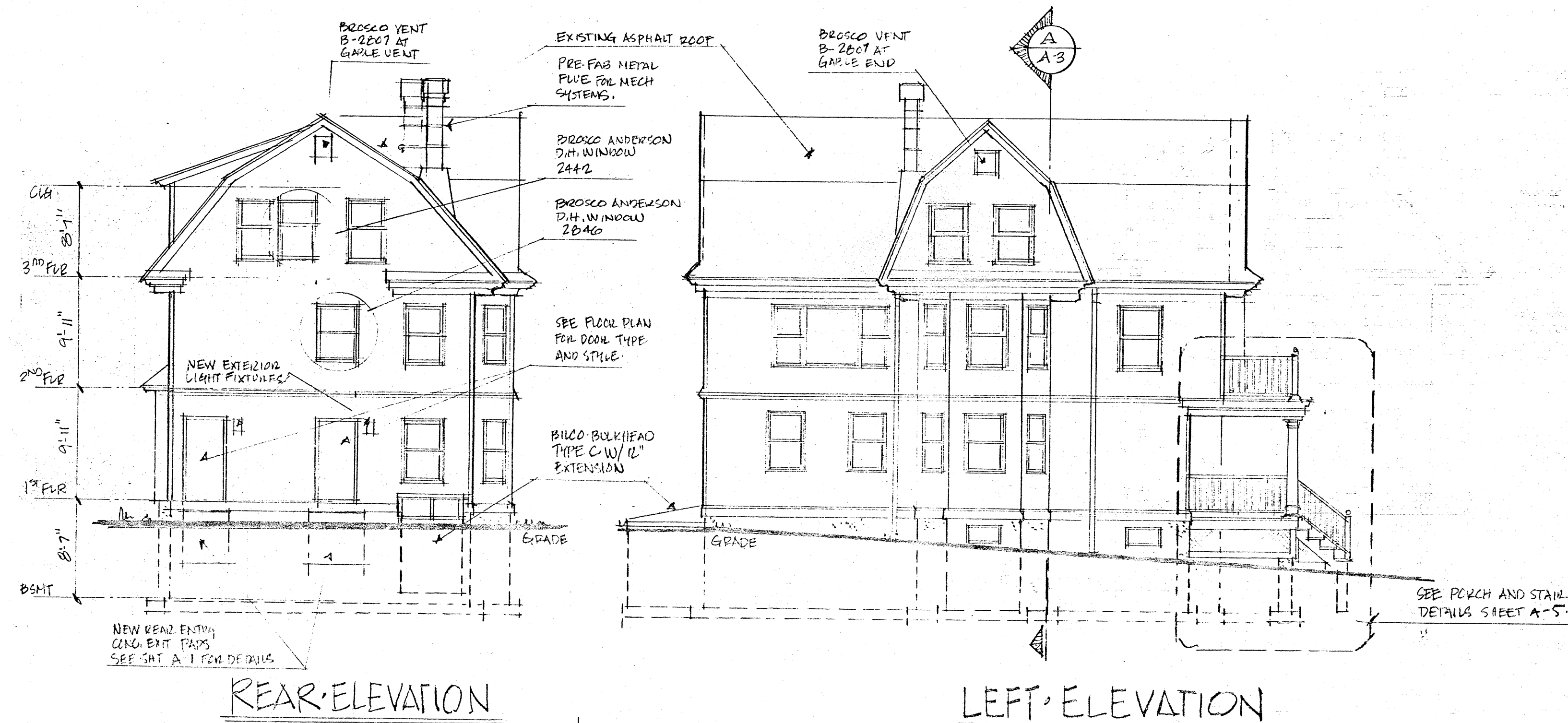
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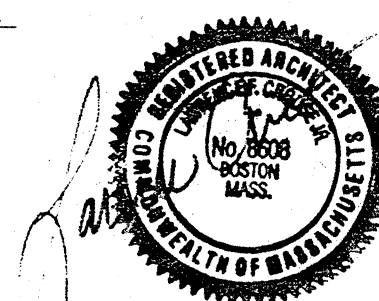
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NOTE: EXISTING BRICK CHIMNEY TO BE REMOVED. NEW METAL FIVE TO BE USED POLYMECH SYSTEM AT EX. BRICK CHIMNEY LOCATION SEE FLOOR PLANS.



Design Consultants, Inc.
Consulting Engineers and Surveyors
DESIGN CONSULTANTS BUILDING
265 MEDFORD STREET
SOMERVILLE, MA 02143
(617) 776-3350

ELEVATIONS

210 HIGHLAND AVENUE
SOMERVILLE, MASSACHUSETTS

DATE: MAY 10, 1994

SHEET NO. A-4

WALL CONSTRUCTION

△ PARTITION CONSTRUCTION TO BE 1/2" Gypsum BOARD EACH SIDE OF 2x4 STUDS @ 16" O.C. TYP.

GENERAL NOTES:

KITCHEN:

- EXISTING CABINETS AND KITCHEN EQUIPMENT TO BE REMOVED FROM SITE BY GENERAL CONTRACTOR.
- EXISTING WALLS AND CEILING (PLASTER) TO BE REMOVED TO WOOD STUDS AND CEILING JOISTS. NEW 1/2" GYPSUM BOARD TO BE INSTALLED AT WALLS AND CEILING. N.R. BOARD TO BE USED AT KITCHEN AREA. CEILING SANDED AND PAINTED (2 COATS TYPICAL).
- EXISTING FLOOR TO BE REMOVED. SUB-FLOOR TO BE NAILED AND SECURED TO PROVIDE LEVEL CONDITION FOR NEW SHEET GOOD FLOOR. "ARMSTRONG" COLOR AND STYLE BY OWNER. VINYL BASH BOARD TO BE INSTALLED. ALL AS PER MANUFACTURER'S SPECIFICATIONS.
- NEW CABINETS - BASES AND OVERHEAD TO BE INSTALLED W/COUNTER TOP AS DETAIL A5 FLOOR PLAN. CABINETS TO BE HAZ. OR. BROWN. HARDWARE STICK AND CABINETS 6" OUNCE.
- WALLS AND CEILING TO BE PAINTED (2 COATS) OFF WHITE, ENAMEL TYPE. CEILING FLAT WHITE. 2 COATS W/PRIMER.
- KITCHEN APPLIANCES: SINK, REFRIG., GAS STOVE W/FILTER TYPE/WHITE/VENT HOOD, DISH WASHER, KENMORE 24" LASS55. SINK - STAINLESS STEEL FEDERAL AMERICAN #34 23 266 WITH FAUCET/1/2" TRAY DELTA 2402.

BATHROOM:

- EXISTING WALLS, TILES AT WALLS AND FLOOR TO REMAIN AS IS. GROUTING AND TILES TO BE CLEANED, GRROUTING TO BE PROVIDED AS REQUIRED.
- EXISTING FIXTURES, W.C., BATHTUB AND TUB AND EXISTING HARDWARE TO BE CLEANED AND/OR REPAIRED AS REQUIRED.
- NEW CEILING, MOISTURE RESISTANT BOARDS TO BE INSTALLED, TYPED & SANDED WITH TWO COATS W/PRIMER OF ENAMEL PAINT.
- NEW MIRROR WITH LIGHT FIXTURE AND GFI OUTLET TO BE INSTALLED AS INDICATED.
- NEW CEILING/LIGHT FIXTURE VENTING FAN - RECESSED TO BE INSTALLED, VENTED TO EXTERIOR.

DINING, LIVING, FOYER, HALLS, BEDROOMS

- ALL FLOORS AND BASEBOARD, DOORS, CASING, WINDOWS AND CASING, SASHES TO BE CLEANED, ALL PAINT AND STAINS TO BE REMOVED.
- WALLS AND CEILING TO BE PATCHED, SANDED AND PAINTED (2 COATS) AS REQUIRED.

* NOTE: SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE W/NFPA 72.

NOTE: MAIN BEAM STRUCTURES:
AT EXISTING FIRST FLOOR BEAM
GXB MAIN GIRD.

STAIR: WOODS	L	D	TOTAL
2ND FLOOR	40	10	50
3RD FLOOR	30	10	40
ATTIC	20	10	30
			170 pds

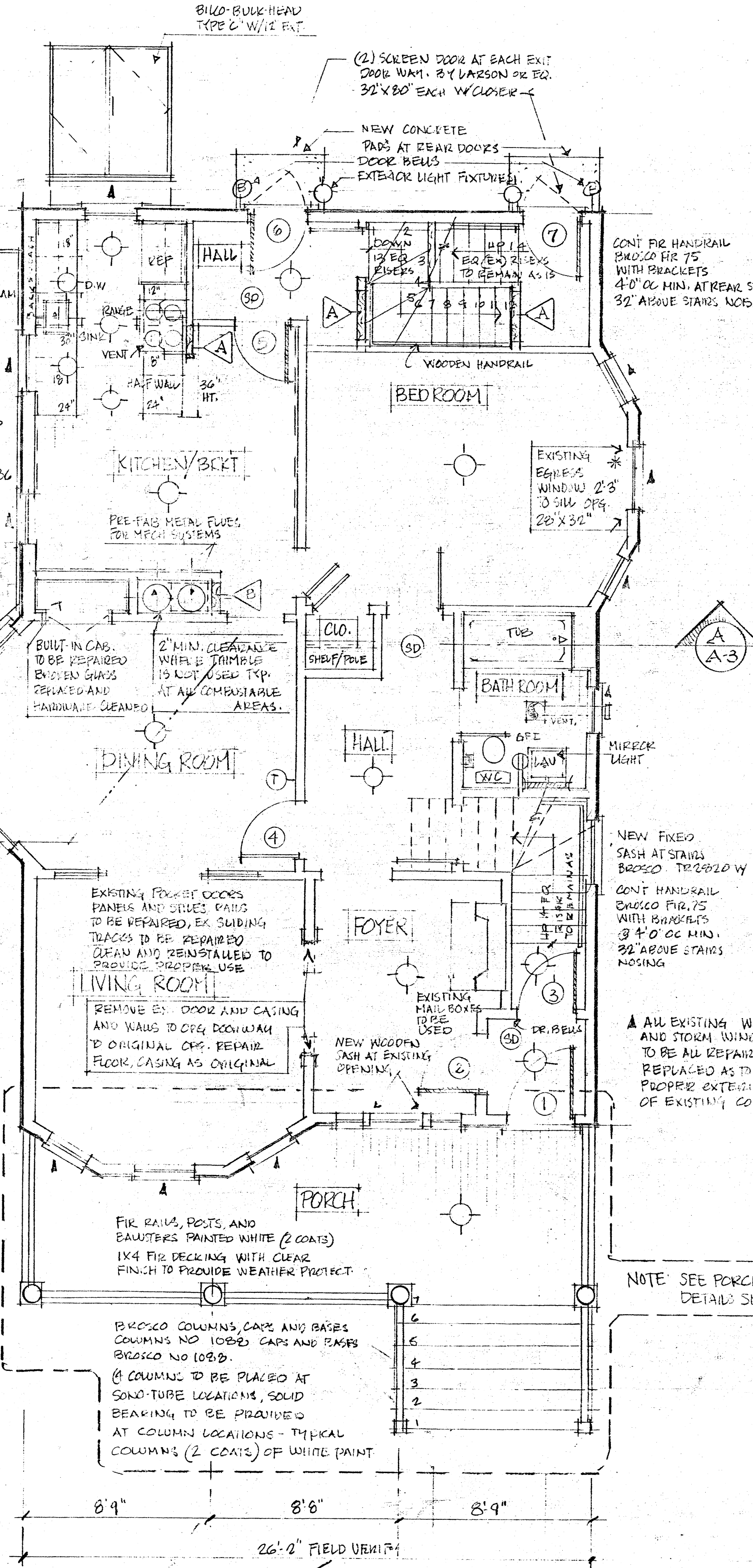
170# x 13' - 2210
M - W/L 9' 6" = 2210 x 7' = 13536
S = M/F = 13536 x 12 = 108,150
EXISTING GXB (S = 51.56)
108 - 51.56 = 56.72
2.2 x 12 @ FRONT BM
2.2 x 8 @ ADD SPANS

NOTE: STRUCTURAL: SOIL BEARING CAPACITY - ASSUMED TO BE 1.5 TONS PER SQ FT. * ONCE SITE HAS BEEN EXCAVATED AS REQUIRED OWNER AND ARCHITECT SHALL BE NOTIFIED IN ADVANCE TO NEW CONDITION OF BEARING CAPACITY.

NOTE: OUTSIDE OF PORCH SONO-TUBES TO BE LOCATED WITH IN THE FIELD AS TO LINE-UP WITH EXISTING OVERHANG EDGE OF SECOND FLOOR.

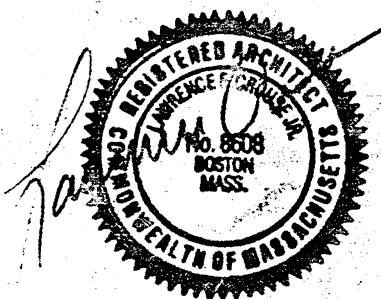
NOTE: SEE SHEET A-5 FOR FOUNDATION POCKETS TO PROVIDE CLEARANCE FOR EXISTING STEEL FRAMING CURRENTLY SUPPORTING STRUCTURE

NOTE: SEE SITE PLAN FOR FINISH ELEVATIONS



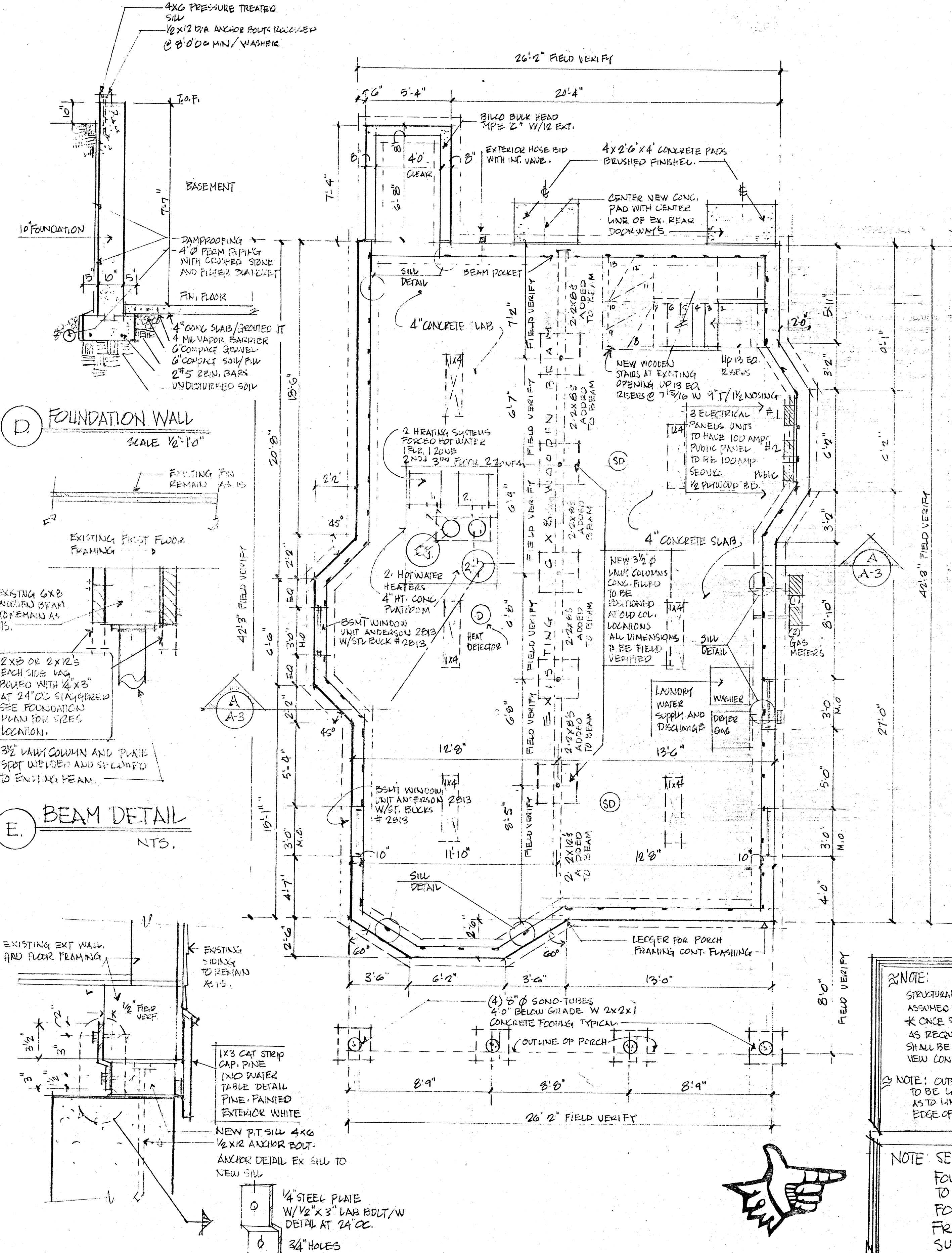
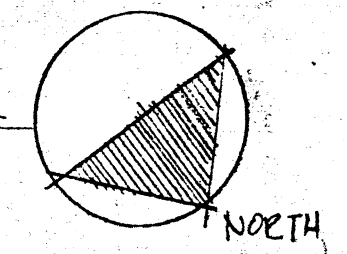
FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"
UNIT #1 FIRST FLOOR ONLY - 1/2" BED ROOM.



FOUNDATION PLAN

SCALE 1/4" = 1'-0"



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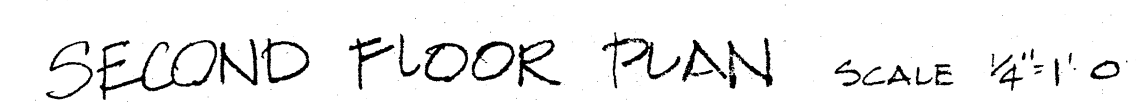
FIRST FLOOR AND BASEMENT PLANS

210 HIGHLAND AVENUE
SOMERVILLE, MASSACHUSETTS

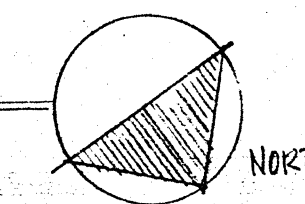
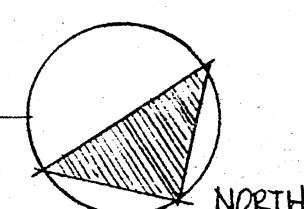
DATE: MAY 10, 1994 SHEET NO. A-1

 PARTITION CONSTRUCTION TO BE 1/2" GYP/STU
BOARD EACH SIDE OF 2X4 STUDS @ 16" OC TYP.

 PARTITION CONSTRUCTION TO BE 1/2" FIBRE RATED
GYP/STU BD. EACH SIDE OF 2X4 STUDS @ 16" O.C. TYP.



UNIT #2 SECOND + THIRD FLOOR (5 BED ROOM)



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SECOND AND THIRD FLOOR PLANS

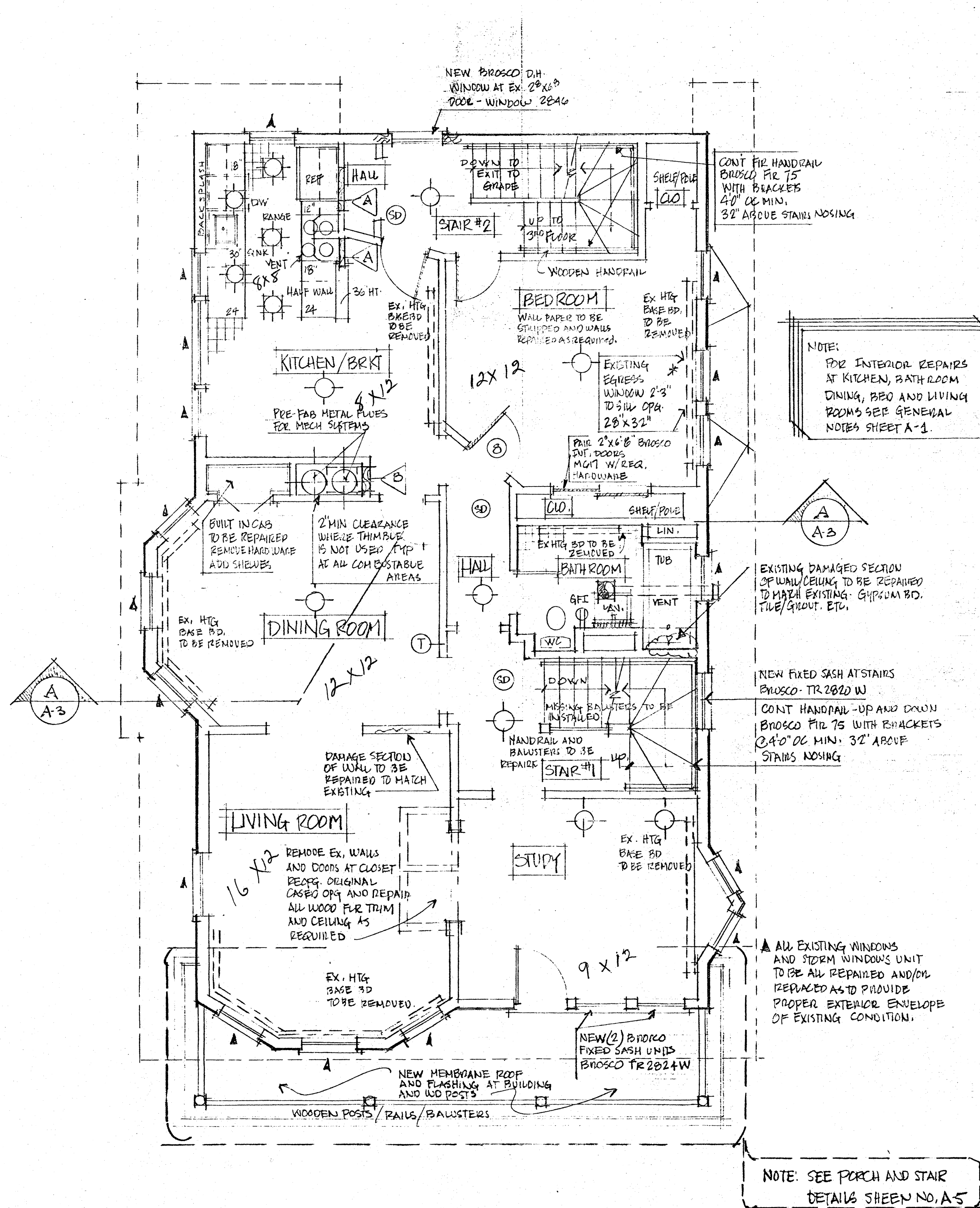
210 HIGHLAND AVENUE
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DATE: MAY 10, 1994

SHEET NO. A-2

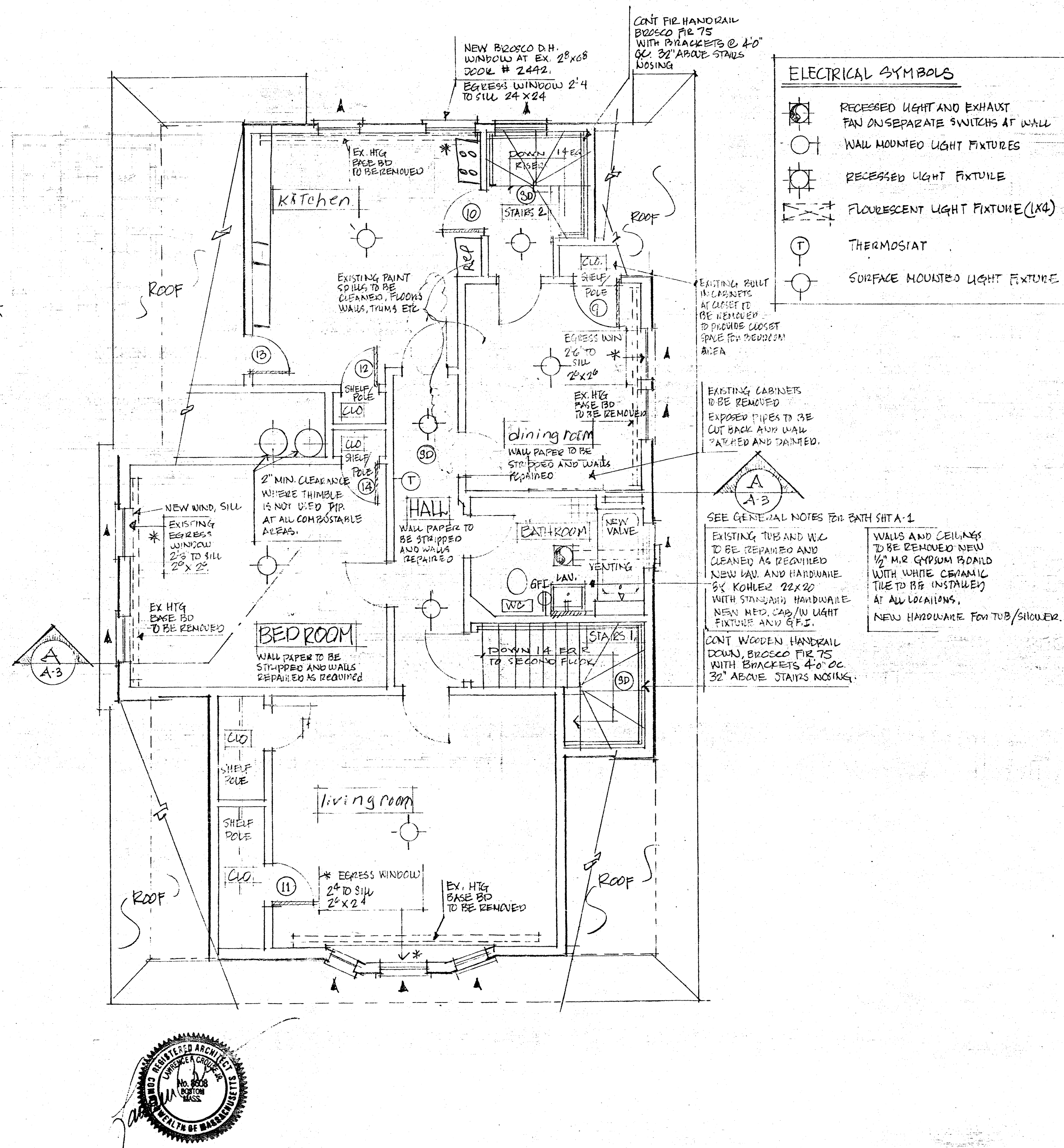
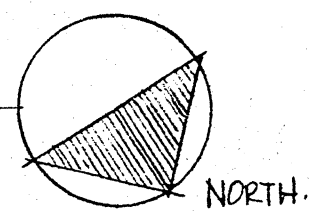
WALL CONSTRUCTION

- A PARTITION CONSTRUCTION TO BE 1/2" GYP-SUM BOARD EACH SIDE OF 2X4 STUDS @ 16" OC TYP.
- B PARTITION CONSTRUCTION TO BE 1/2" FIRE RATED GYPSUM BD. EACH SIDE OF 2X4 STUDS @ 16" O.C TYP.



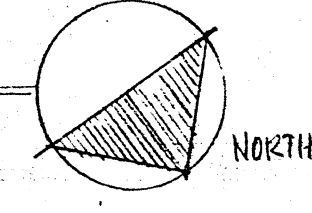
SECOND FLOOR PLAN SCALE $\frac{1}{4}"=1'0"$

UNIT #2 SECOND + THIRD FLOOR. (5 BEDROOM).



THIRD FLOOR PLAN SCALE 1/4"=1'-0"

PROPOSED



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SECOND AND THIRD FLOOR PLANS

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DATE: MAY 10, 1994

SHEET NO. A-2