



FILE NO. 2012-11-05B

70 Washington Street
Suite 306
Haverhill, MA 01832
Tel: (978) 914 - 6527
Fax: (978) 914 - 6528
www.ashkarsurveying.com

SITE PLAN

Showing a proposed addition and a proposed parking area
(Zoning : RC)

Date: February 25, 2013

Prepared For: Patricia Hess

Surveyed By: Michel G. El-Ashkar, PLS

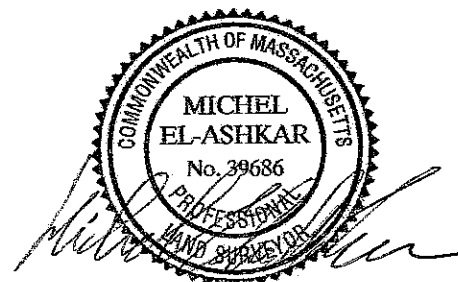
Location: 239-239A HIGHLAND AVENUE, SOMERVILLE, MA

References {Deed Book: 32662 & Page: 546

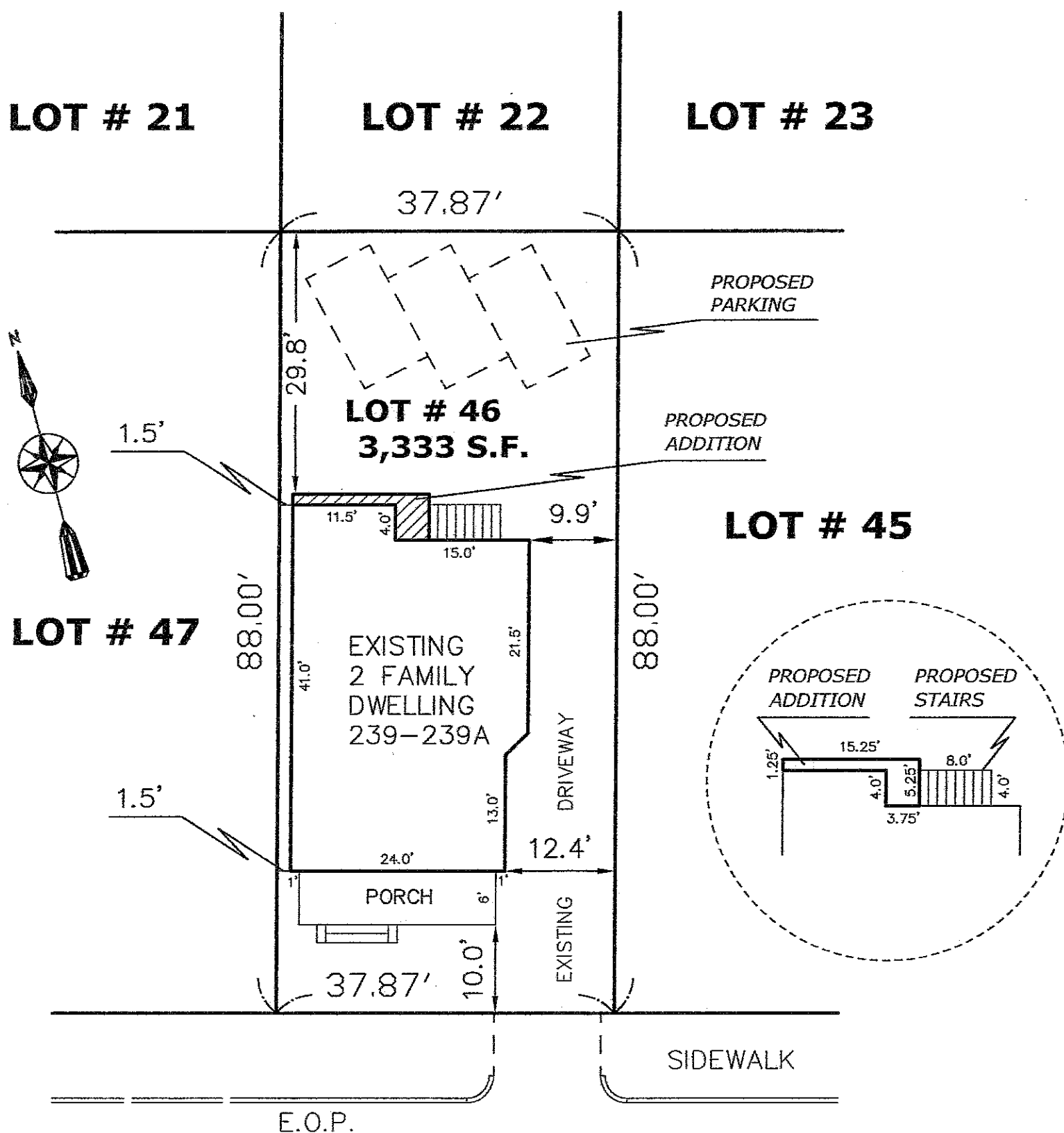
{Plan Book: 45 - Plan: 44 (Portion of lot # 15)

{The Lot is also shown on Assessors' Map # 34, Block E (Lot # 46)

Recorded at the Middlesex County South District Registry of Deeds.



Scale: 1" = 15 ft.



HIGHLAND AVENUE

Existing Lot Coverage: 35.61 %
Existing Open Space: 64.39 %
Existing Floor to Area Ratio: 0.59

Proposed Lot Coverage: 36.21%
Proposed Open Space: 63.79%
Proposed Floor to Area Ratio: 0.60

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144

ISSUE DATE: February 21, 2013
FOR PERMITTING

Architect

EvB Design

Edrick vanBeuzekom, AIA
33 1/2 Union Square
Somerville, MA 02143
Tel: 617-623-2222
Fax: 617-629-2971

Structural Engineer

Joan Rumbaugh Engineering

Joan Rumbaugh Gartenberg, PE
P.O. Box 4734
Highland Park, NJ 08904
Tel: 732-846-9000

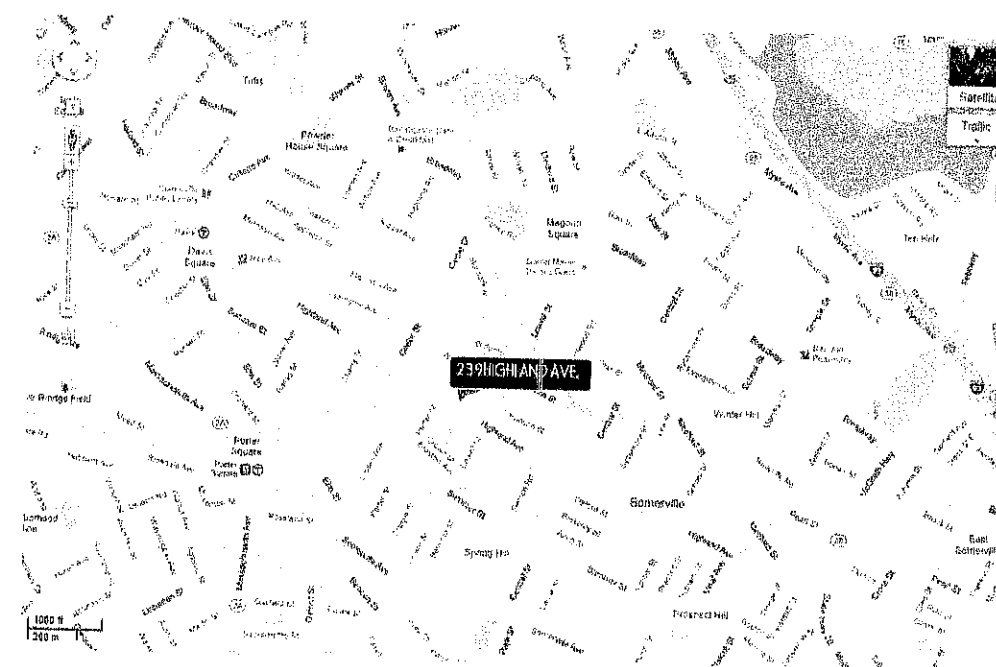
List Of Drawings:

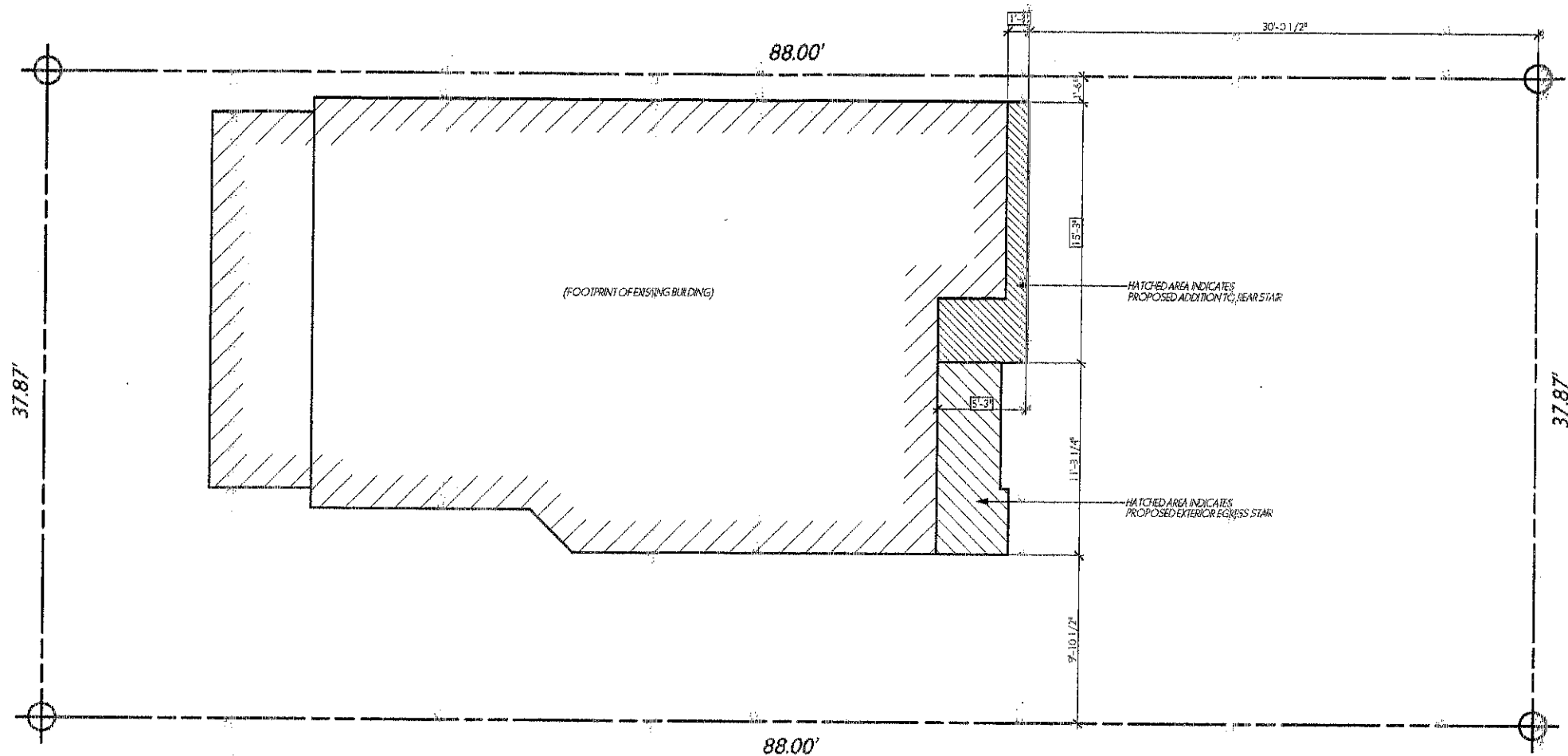
Cover Sheet
A1.1 Proposed 1st & 2nd Floor Plans
A1.2 Proposed 3rd Floor Plan
A2.0 Proposed Right, Rear & Left Elevations
A3.0 Proposed Stair Section

S1.4 Roof Framing Plan

X1.1 Existing 1st Floor / Demolition Plan
X1.2 Existing 3rd Floor Plan
X2.1 Existing Right, Rear & Left Elevations

Locus:





1
C1.1 Proposed Site Plan
Scale: 3/16" = 1'-0"

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144

EvB Design

33 1/2 Union Square
Somerville, MA 02143
phone: (617) 623 2223
fax: (617) 629 2971

Project no.: 239-4 PLH

Drawn by: CM, E-B

Date: 02/27/13

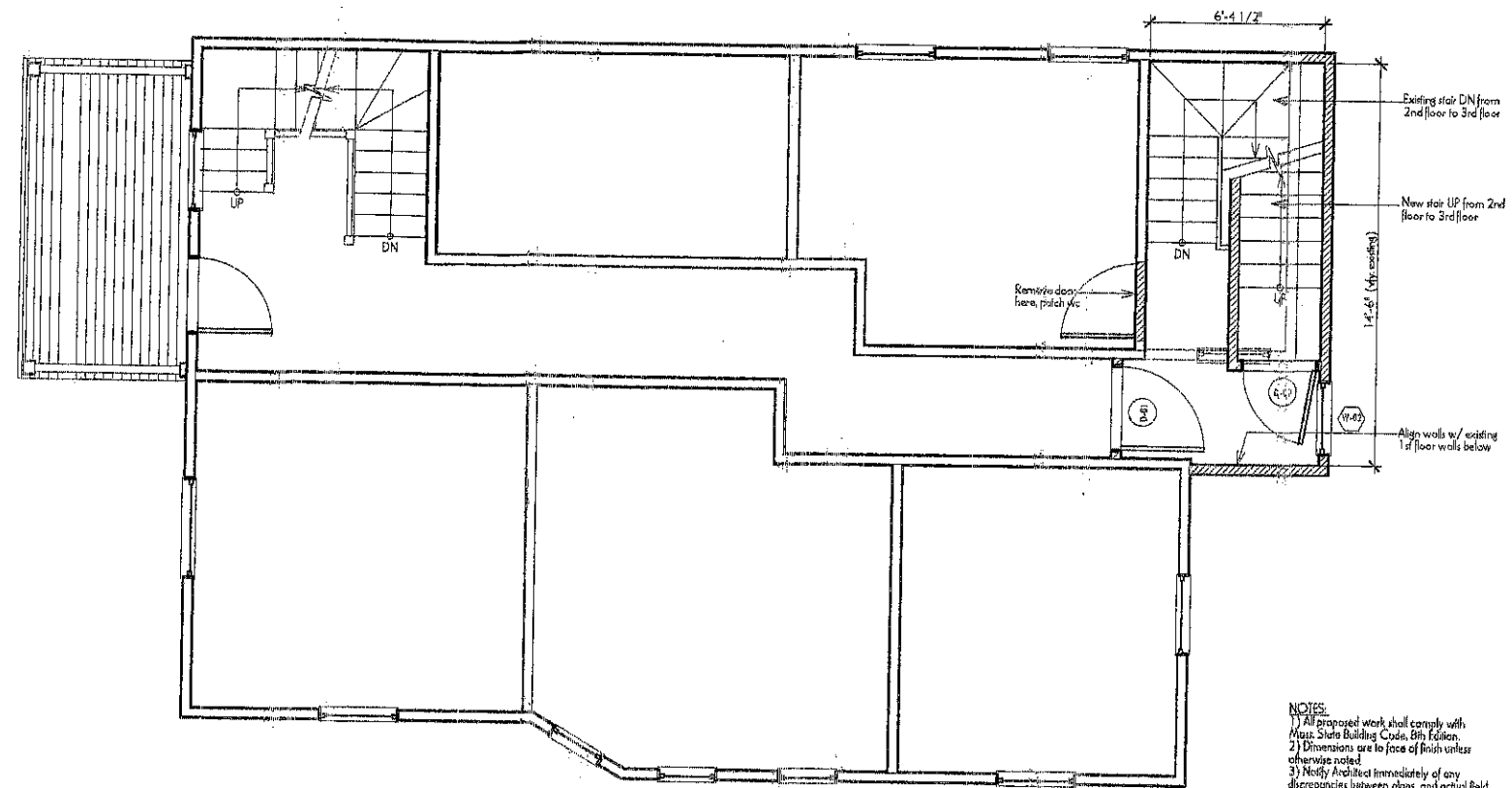
Checked by:

Revisions:

Notes:

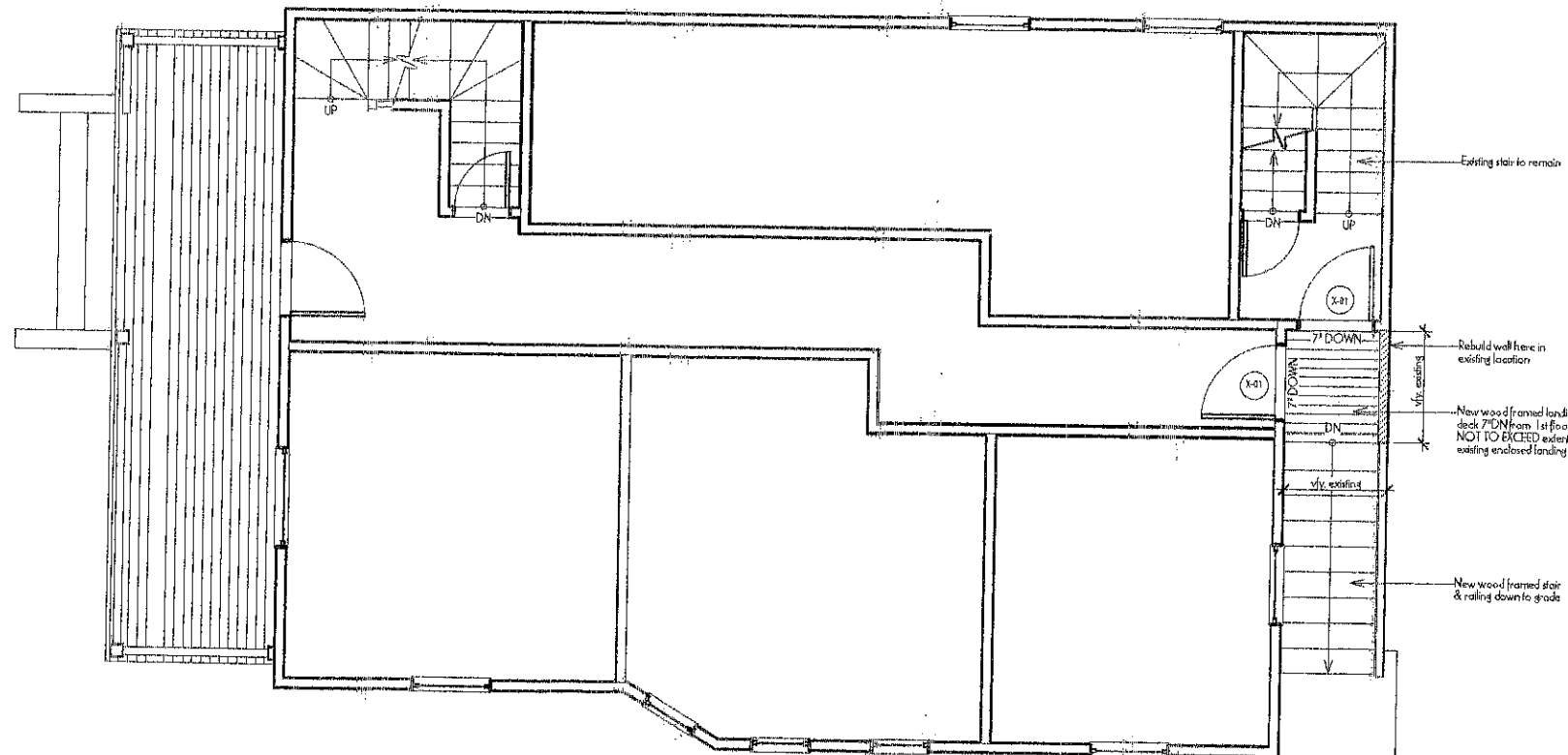
For Permitting

C1.1



NOTES:
 1) All proposed work shall comply with
 Massachusetts Building Code, 8th Edition.
 2) Dimensions are to face of finish unless
 otherwise noted.
 3) Notify Architect immediately of any
 discrepancies between plans and actual field
 conditions.

2 Proposed 2nd Floor Plan
 Scale: 1/4" = 1'-0"



1 Proposed 1st Floor Plan
 Scale: 1/4" = 1'-0"

PLH Invest, LLC
 239 Highland Avenue
 Somerville, MA 02144

EvB Design
 33 1/2 Union Square
 Somerville, MA 02143
 phone: (617) 623 2222
 fax: (617) 629 2971

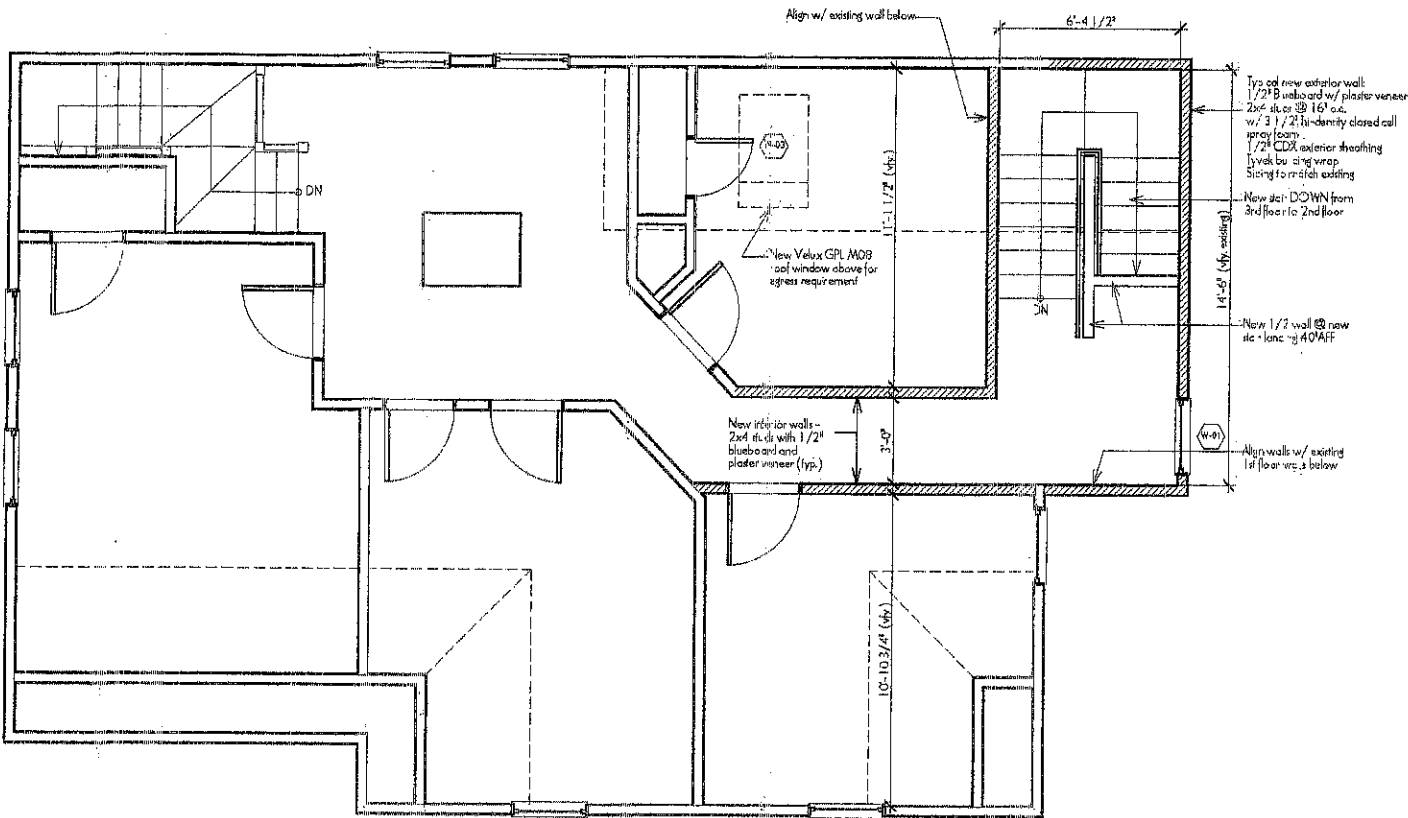
Project no.:	239-HPLH
Drawn by:	CM, EvB
Date:	02/21/13
Checked by:	
Revisions:	

Notes:
 For Permitting

A1.1

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144



1
A1.2 Proposed 3rd Floor Plan
Scale: 1/4" = 1'-0"

- NOTES:
- 1) All proposed work shall comply with Mass. State Building Code, 8th Edition.
 - 2) Dimensions are to face of finish unless otherwise noted.
 - 3) Notify Architect immediately of any discrepancies between plans and actual field conditions.

EvB Design

33 1/2 Union Square
Somerville, MA 02148
phone: (617) 623-2222
fax: (617) 629-2971

Project no:	239-PLH
Drawn by:	C/E, EvB
Date:	02/21/13

Checked by:

Revised:

Notes:

For Permitting

A1.2

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144

EvB Design

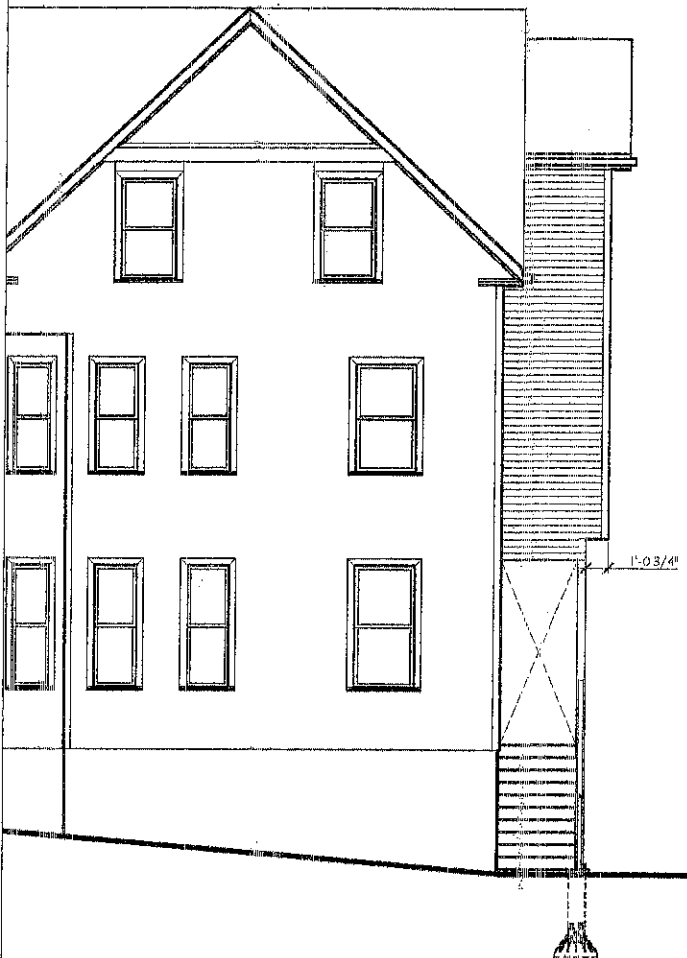
33 1/2 Union Square
Somerville, MA 02143

phone: (617) 623 2222
fax: (617) 629 2971

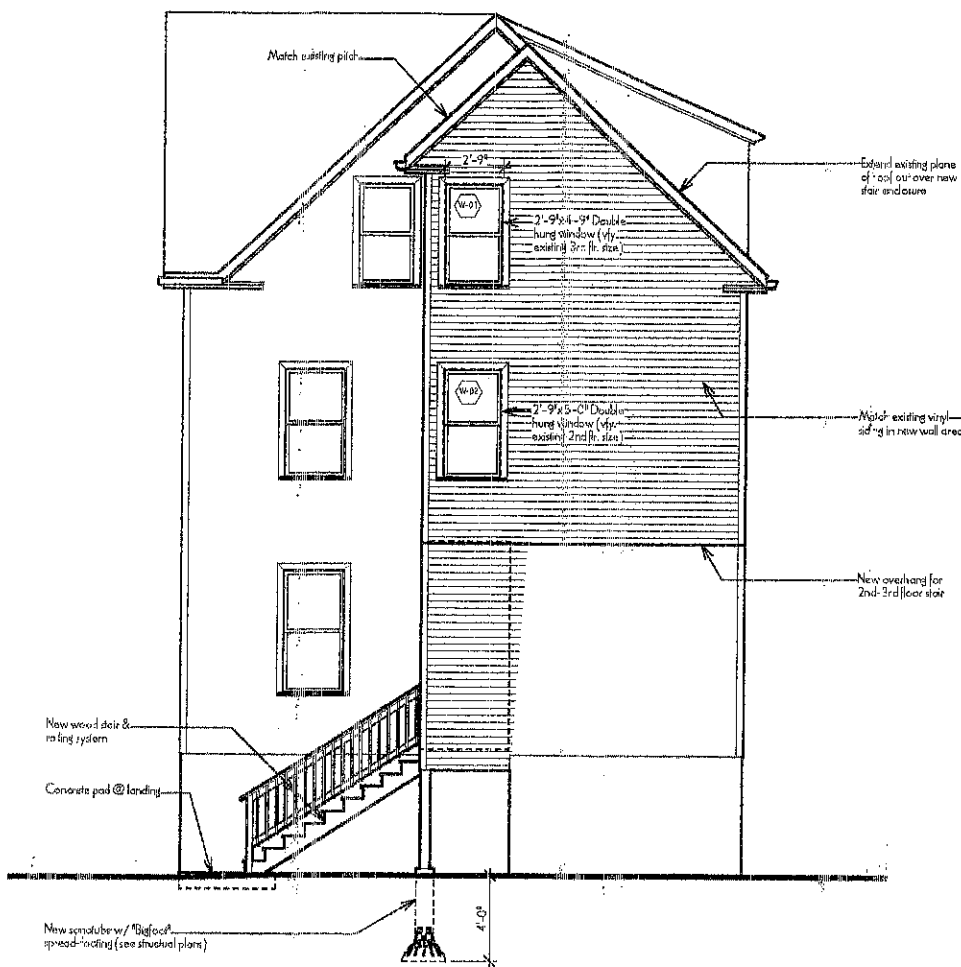
Project no.:	239-HPLH
Drawn by:	CM, EvB
Date:	02/21/13
Checked by:	
Reviewed:	

Notes:
For Permitting

A2.1



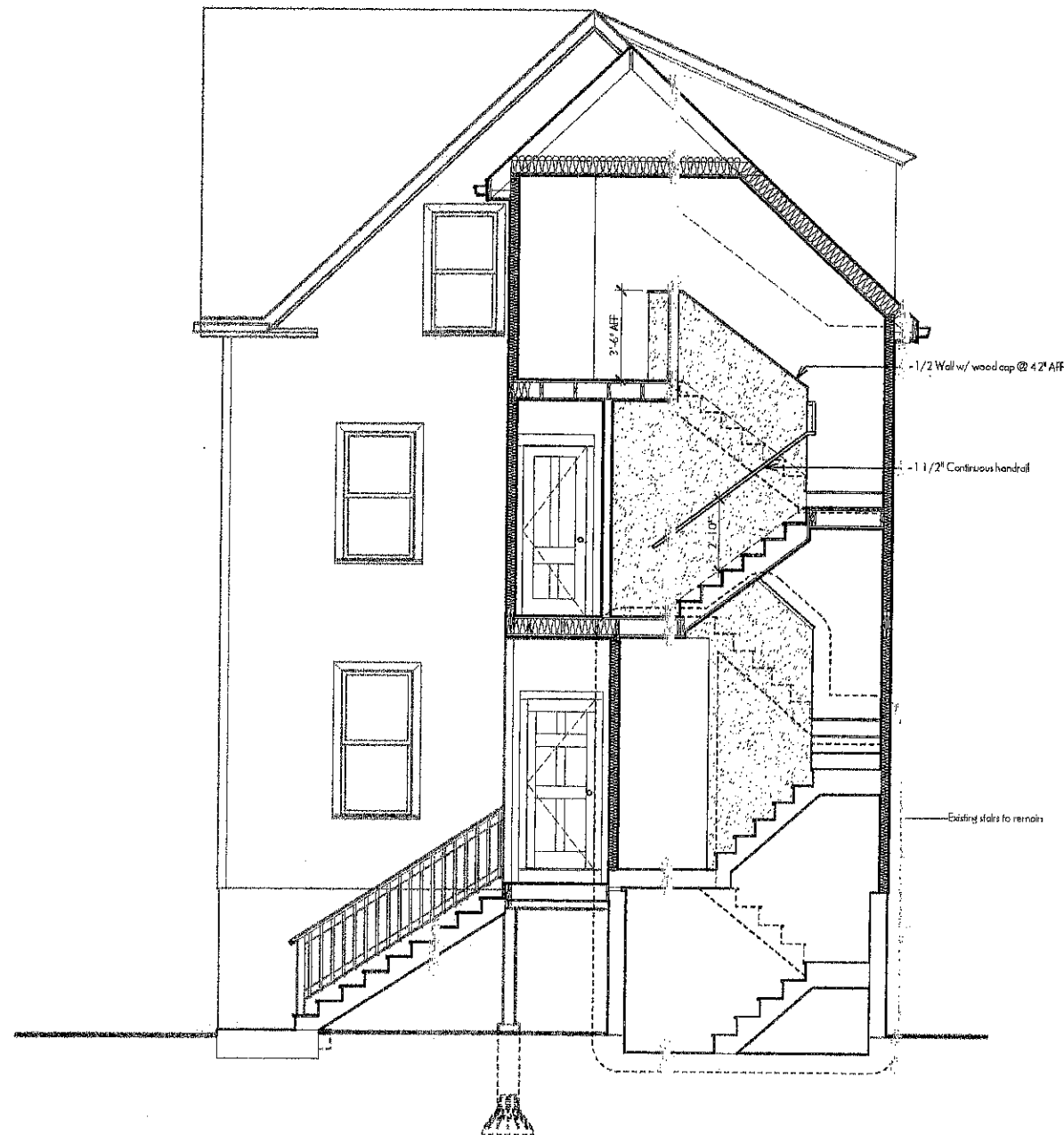
3 Proposed Right Elevation
Scale: 3/16" = 1'-0"



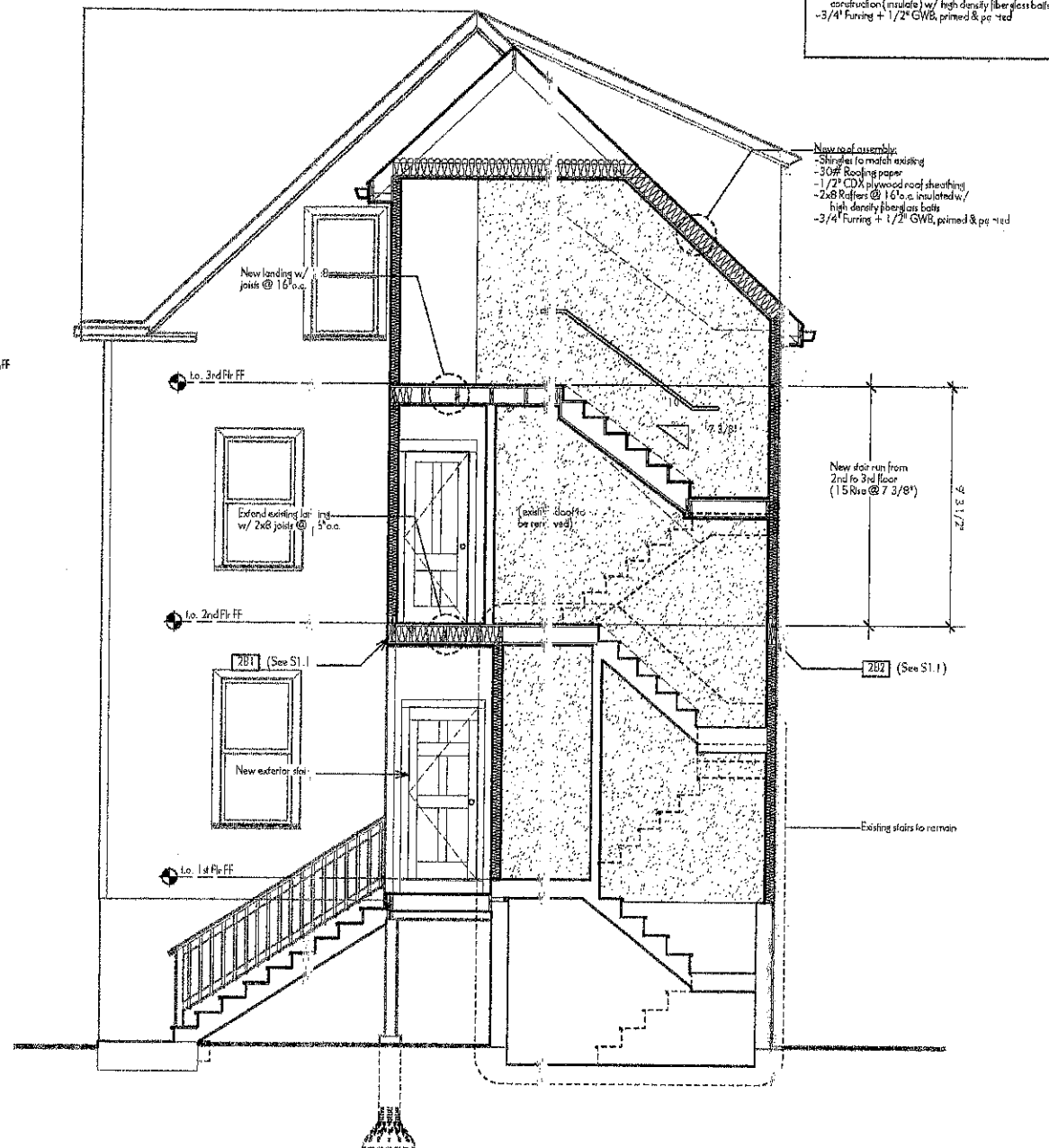
2 Proposed Rear Elevation
Scale: 3/16" = 1'-0"



1 Proposed Left Elevation
Scale: 3/16" = 1'-0"



1
A3.1 Proposed Section @ Stair
Scale: 1/4" = 1'-0"



1
A3.1 Proposed Section @ Stair
Scale: 1/4" = 1'-0"

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144

EvB Design

33 1/2 Union Square
Somerville, MA 02143
phone: (617) 623-7272
fax: (617) 629-2971

Project no.: 239-1PH

Drawn by: C.M. E.B.

Date: 02/21/13

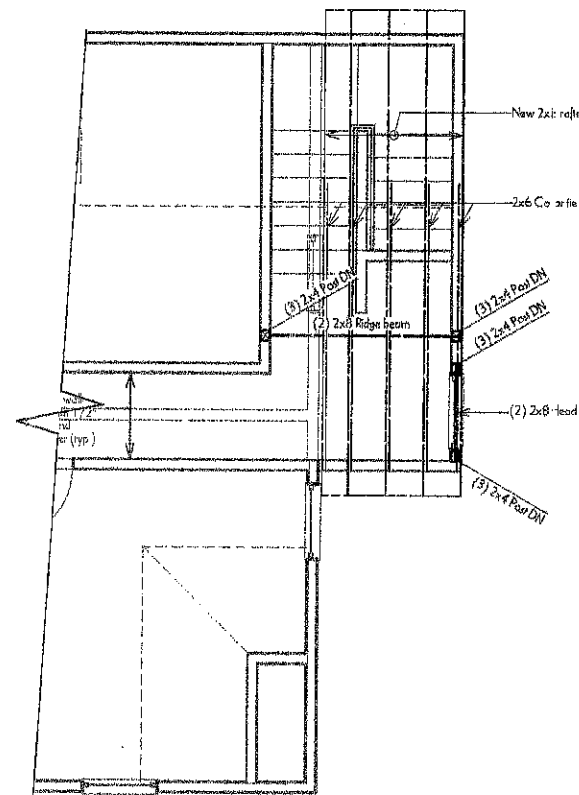
Checked by:

Revised:

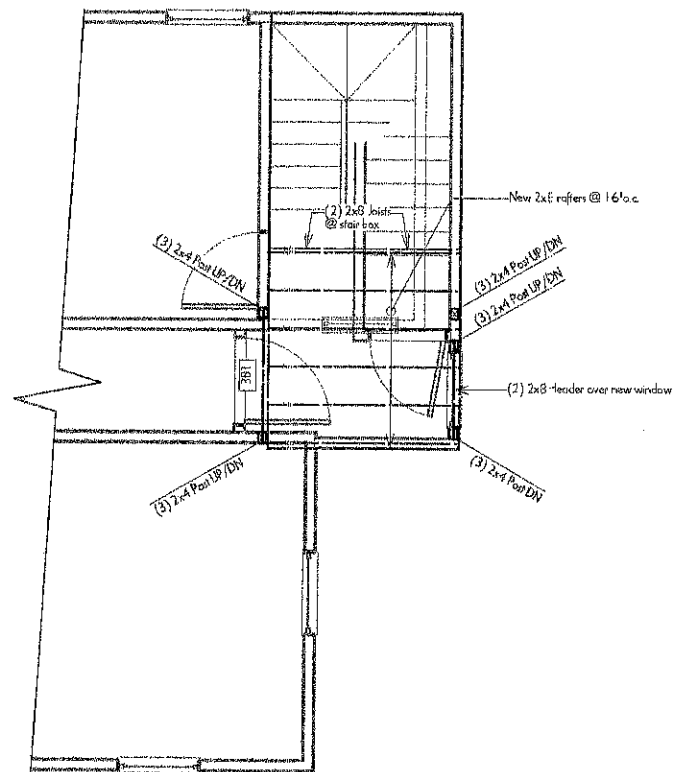
Note:

For Permitting

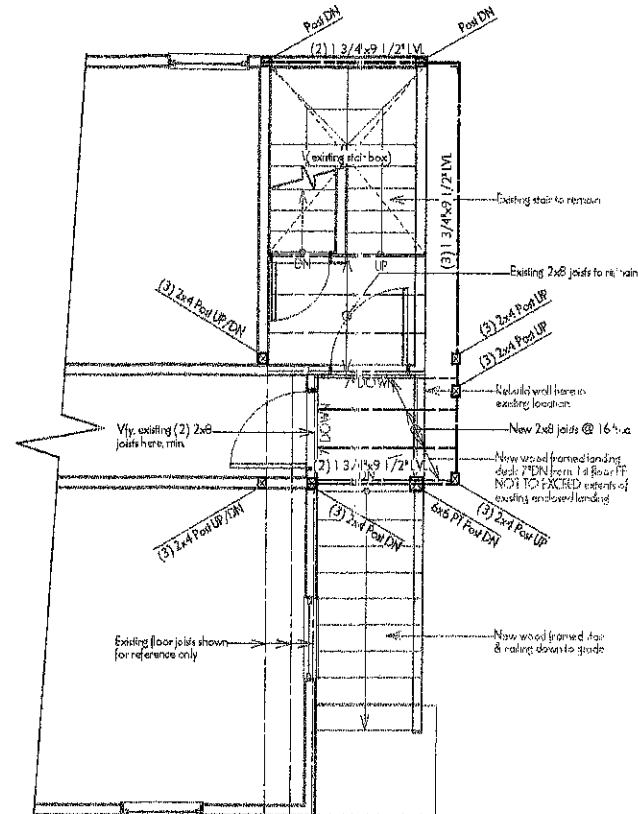
A3.1



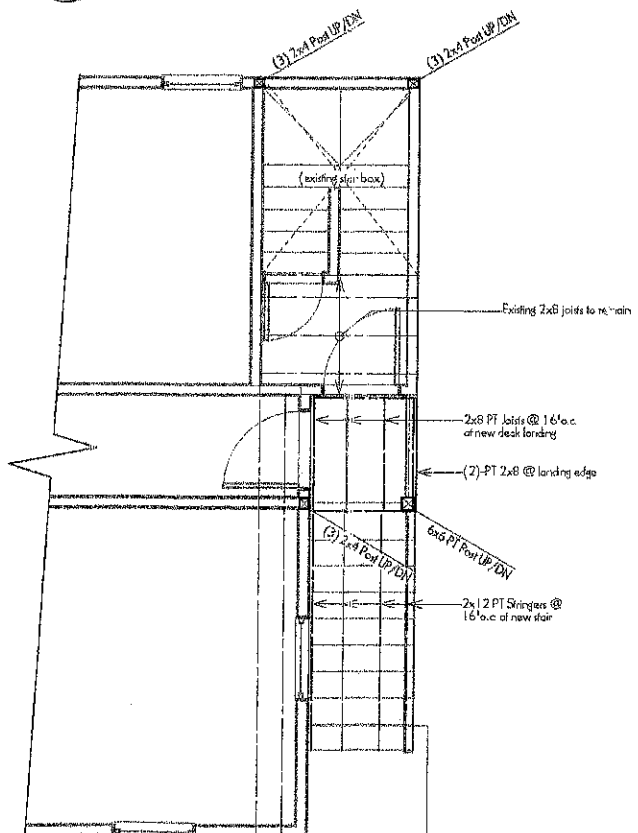
5 Proposed Roof Plan
S1.1 Scale: 1/4" = 1'-0"



4 Proposed 3rd Floor Plan
S1.1 Scale: 1/4" = 1'-0"



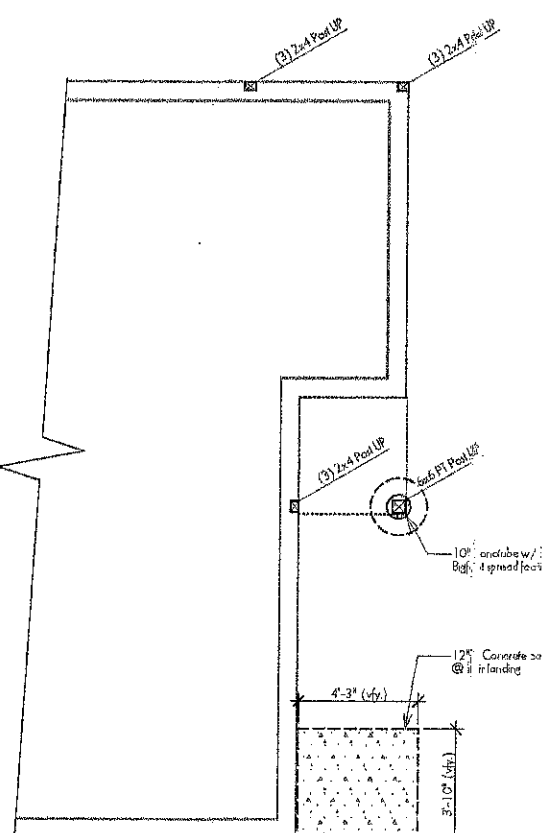
3 Proposed 2nd Floor Framing Plan
S1.1 Scale: 1/4" = 1'-0"



2 Proposed 1st Floor Framing Plan
S1.1 Scale: 1/4" = 1'-0"

STRUCTURAL GENERAL NOTES:

- All exterior wall sheathing to be 15/32" APA rated AdvantTech exterior sheathing and secured to studs with 10d nails at 6" o.c. on all panel edges and 12" o.c. in panel fields unless otherwise noted.
- All footings shall bear on undisturbed soil. Allowable bearing capacity of soil has been assumed to be 1 TSF (ton per square foot). Unacceptable existing soil materials may need to be removed and replaced with compacted fill. Contact Architect for direction should this be necessary.
- Concrete to have minimum 28 day compressive strength of 3000 psi. All reinforcing shall be ASTM A-615, Grade 60. All concrete work to conform to latest editions of ACI 318 and 301 and any relevant requirements for hot or cold weather concreting as specified by ACI.
- Concrete cover requirements for reinforcing bars are as follows: At uniformed surfaces cast against the earth: 3"; at formed surfaces permanently in contact with the earth or weather: 2".
- Framing lumber for new joists and headers shall be Spruce-Pine-Fir no. 2, or better, with Fb = 875 psi (repetitive use) and E = 1,000,000 psi. Framing lumber for studs shall be Spruce-Pine-Fir, minimum stud grade with (19% maximum moisture content). Spruce-Pine-Fir, minimum stud grade with (19% maximum moisture content). All wood exposed to weather, concrete, or masonry to be pressure treated. All rough-framed members to be installed on joist hangers of sizes and capacities of member. LVL (laminated veneer lumber) shall have a minimum Fb = 2800 psi and E = 1,900,000 psi. All LVL beams will be up to three members to be spliced together with two rows of 16d nails at 12" o.c. PSL (parallel strand lumber) to have a minimum Fb = 2900 psi and E = 2,000,000 psi. Multiple LVL beams and PSL beams may be substituted for one another by maintaining the same overall cross-sectional area (example: (3) 1-3/4" x 14" LVL may become one 5-1/4" x 14" PSL). Where posts are not specifically noted on the plan, they are to bear on posts of a size to match full the width of the supported beam. Posts may be built up of 2x4's or 2x6's (size to match that of stud in wall at bearing location) where posts fall within walls. Solid posts are acceptable as well and are required for conditions where post is not within an adjacent wall construction (i.e., freestanding posts). Post examples: Provide (4) 2x6 stud in 2x6 wall for a 5-1/4" wide beam. At all solid post conditions, provide Simpson BC or AC post in concrete at top and bottom of posts. Solid post plug for all posts down to the foundation is required.
- Structural steel materials and workmanship shall conform to the requirements of the latest edition of the AISC specification. Structural steel shall conform to ASTM A992 for wide flange shapes, ASTM A36 for all channels, angles and plates. All anchor bolts shall conform to ASTM A307. Steel pipe columns to conform to ASTM A501 or ASTM A53. All welding shall conform to AWS D1.1 and shall be done by welders certified by the AWS in the last year. All welds shall be 1/4" minimum unless AISC minimum governs. Use only E70xx welds.
- Any required new Steel columns to be 3-1/2" standard steel pipe columns conforming to ASTM A501 or A53, Grade B. Provide 1/4" minimum non-shrink grout for leveling of base plates if required. Columns shall bear on 2' deep concrete footings reinforced with #4 bars @ bottom each way (see Plan for details). If new footings are installed and for existing footings required to be verified.
- Contractor shall verify all dimensions, sections and elevations on the job. Plans and Details are diagrammatic. Do not scale.



1 Proposed Footing Plan
S1.1 Scale: 1/4" = 1'-0"

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144

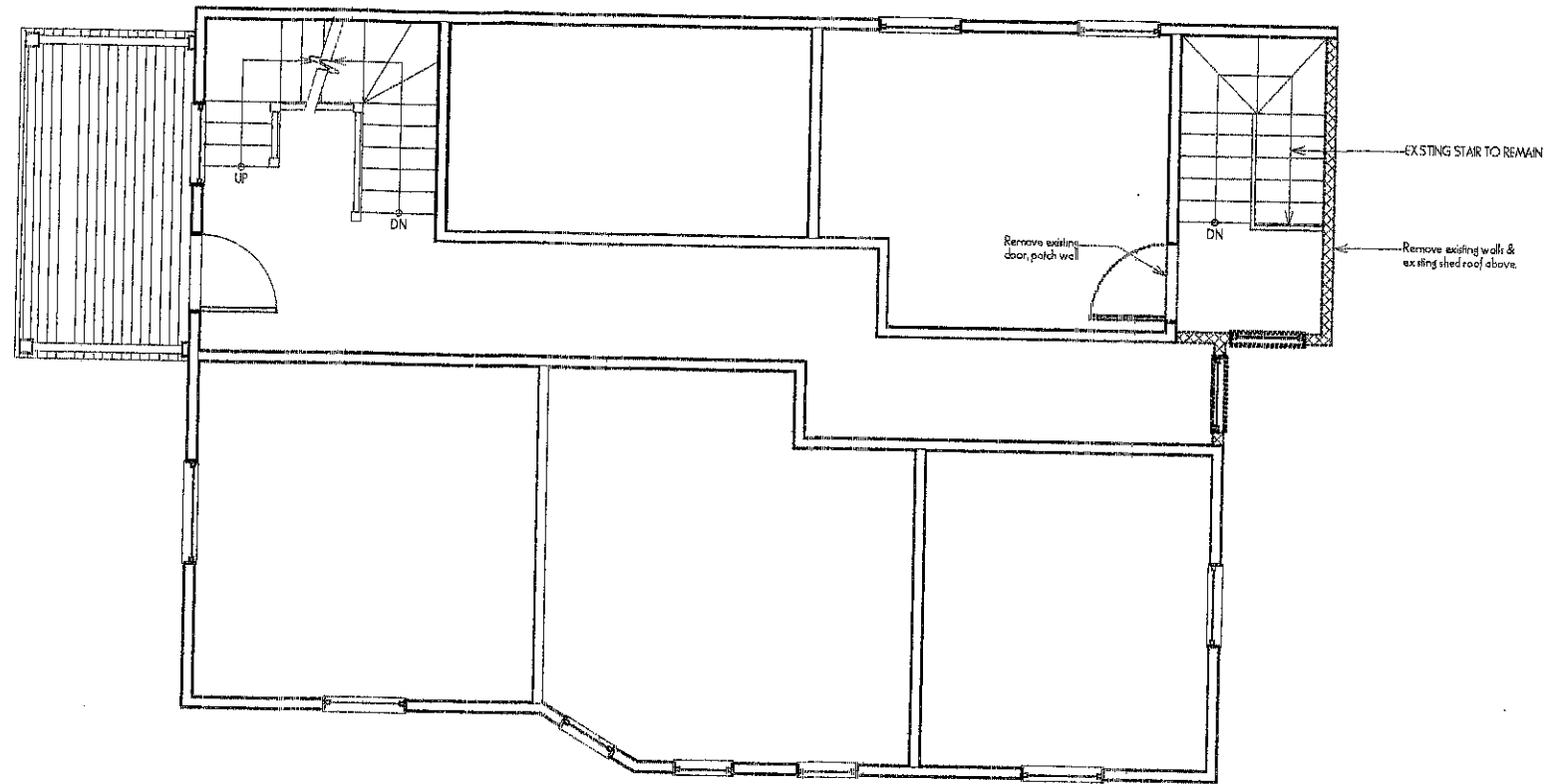
EvB Design

33 1/2 Union Square
Somerville, MA 02143
phone: (617) 623 2222
fax: (617) 629 2971

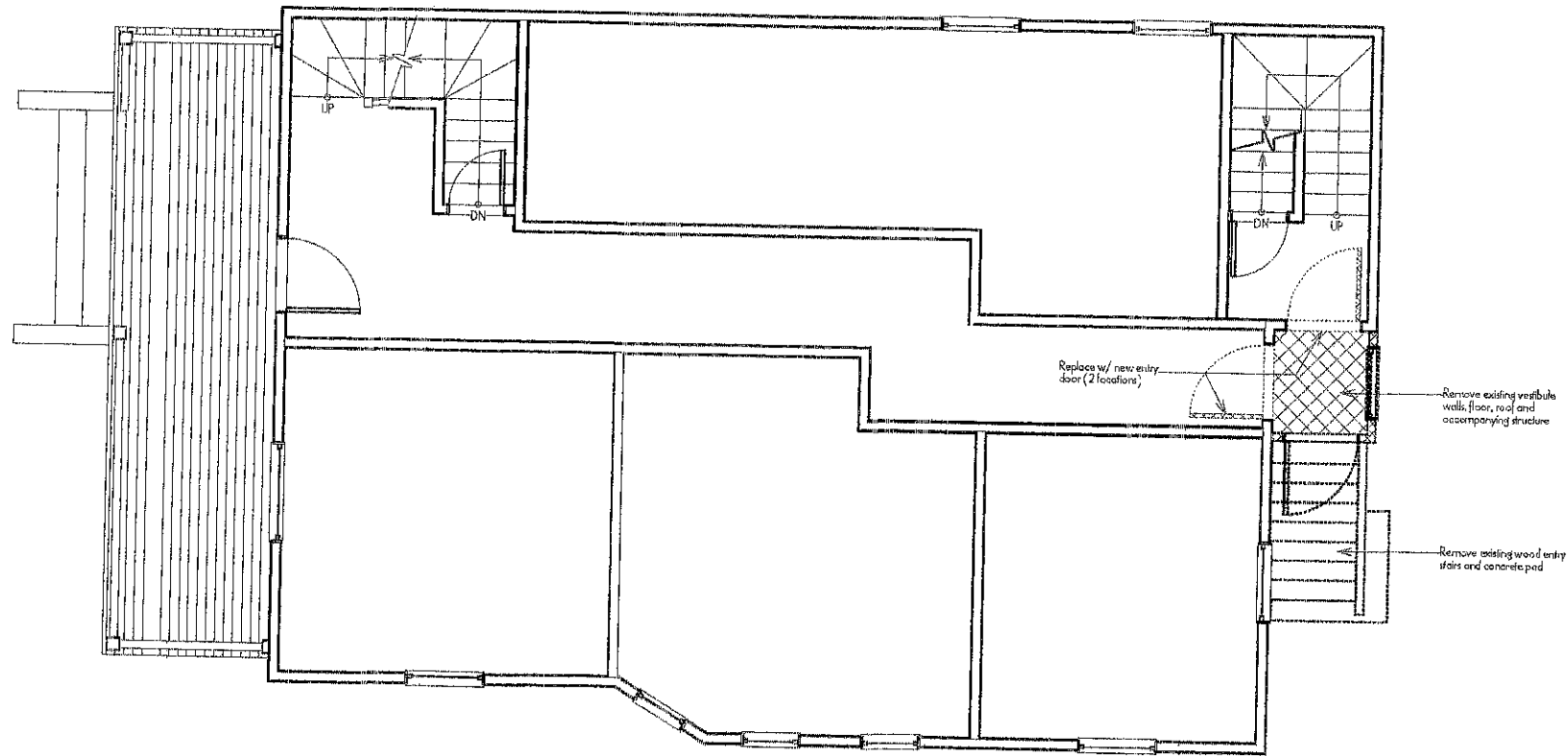
Project no.: 239-4 PLH
Drawn by: CM, E.B.
Date: 02/21/13
Checked by:
Revisions:

Notes:
For Permitting

S1.1



2 Existing 2nd Floor Plan
Scale: 1/4" = 1'-0"



1 Existing 1st Floor Plan
Scale: 1/4" = 1'-0"

PLH Invest, LLC

239 Highland Avenue
Somerville, MA 02144

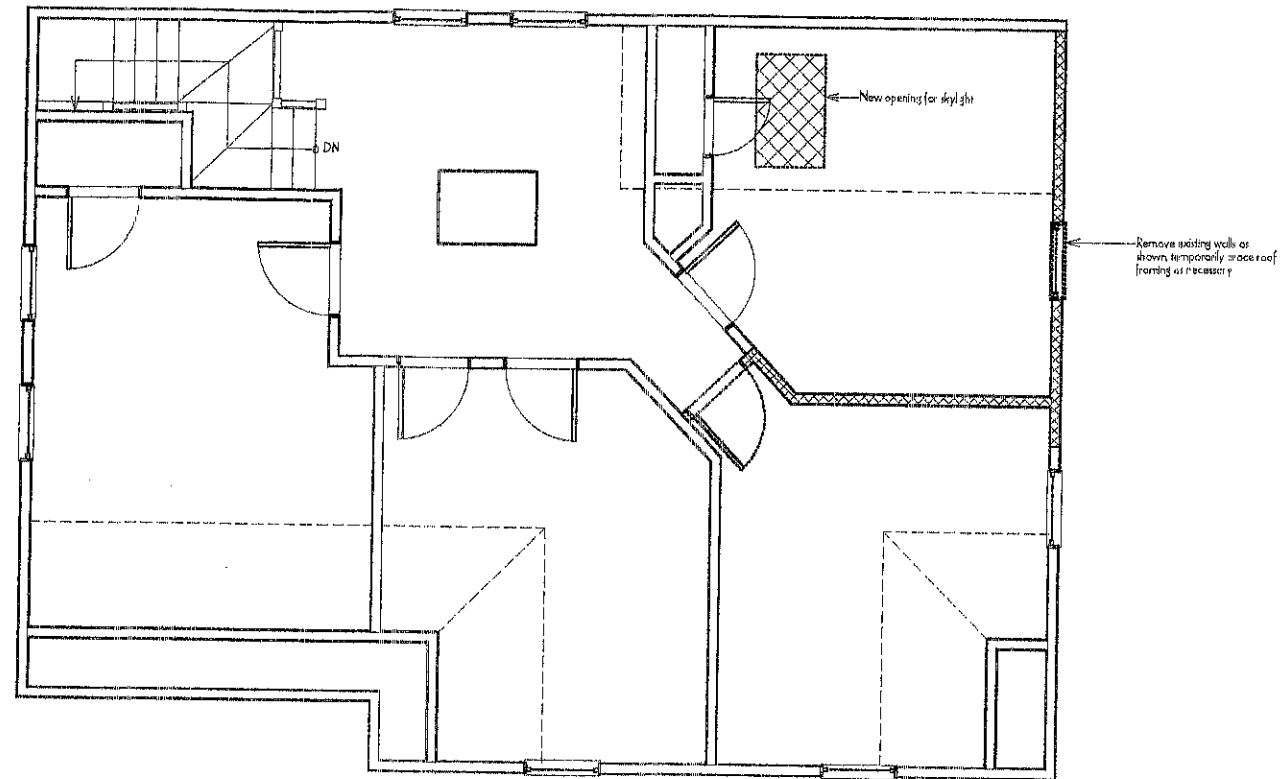
EvB Design

33 1/2 Union Square
Somerville, MA 02143
phone: (617) 623 2222
fax: (617) 629 2971

Project no.: 239-HPLH
Drawn by: CM, EvB
Date: 02/21/13
Checked by:
Revision:

For Permitting

X1.1



1 Existing 3rd Floor Plan
X1.2 Scale: 1/4" = 1'-0"

PLH Invest, LLC
239 Highland Avenue
Somerville, MA 02144

EvB Design
33 1/2 Union Square
Somerville, MA 02143
phone: (617) 622 7222
fax: (617) 629 2971

Project no:	239-H PLH
Drawn by:	CA EvB
Date:	02/21/13
Checked by:	
Rev date:	

Notes:
For Permitting

X1.2

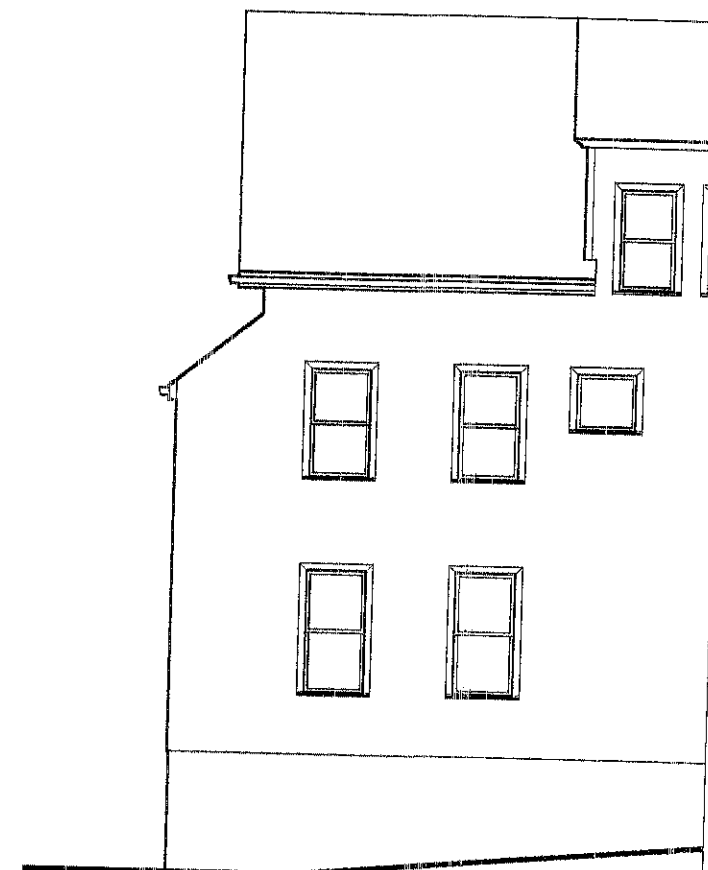
PLH Invest, LLC
239 Highland Avenue
Somerville, MA 02144



3 Existing Right Elevation
Scale: 3/16" = 1'-0"
X2.1



2 Existing Rear Elevation
Scale: 3/16" = 1'-0"
X2.1



1 Existing Left Elevation
Scale: 3/16" = 1'-0"
X2.1

EvB Design

33 1/2 Union Square
Somerville, MA 02143
phone: (617) 623 2222
fax: (617) 623 2971

Project no.:	239-H-PLH
Drawn by:	CM, EJB
Date:	02/21/13
Checked by:	
Revisions:	

Notes:
For Permitting

X2.1