

DO NOT SCALE DRAWINGS.

ALL INDICATIONS OR NOTES WHICH APPLY TO ONE OF A NUMBER OF SIMILAR SITUATIONS, MATERIALS OR PROCESSES SHALL BE DEEMED TO APPLY TO ALL SUCH SITUATIONS, MATERIALS OR PROCESSES WHEREVER THEY OCCUR IN THE WORK, EXCEPT WHERE A CONTRARY RESULT IS CLEARLY INDICATED BY THE CONTRACT DOCUMENTS. THE WORDS TYPICAL AND SIMILAR ("TYP" AND "SIM" RESPECTIVELY) ARE SOMETIMES, BUT NOT ALWAYS, USED IN SUCH CIRCUMSTANCES.

THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED OF ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL

GENERAL NOTES:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO THE FOLLOWING:

1. CHECK AND VERIFY DIMENSIONS, AS WELL AS EXISTING CONDITIONS AT THE SITE. LAYOUT ALL WORK PRIOR TO CONSTRUCTION. INFORM THE ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL GIVE THE ARCHITECT TIMELY NOTICE OF ANY ADDITIONAL DRAWINGS, SPECIFICATIONS, OR INSTRUMENTS REQUIRED TO DEFINE THE WORK IN GREATER DETAIL, OR TO PERMIT THE PROPER PROGRESS OF THE WORK. THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY WORK NOT CLEARLY AND CONSISTENTLY DEFINED IN DETAIL IN THE CONTRACT DOCUMENTS.
3. FAILURE OF THE GENERAL CONTRACTOR TO FULLY INFORM HIMSELF AS TO THE CONTRACT DOCUMENTS, APPLICABLE LAWS, RULES, REGULATIONS, CODES, AND SITE CONDITIONS WHICH WILL AFFECT THE WORK UNDER THIS CONTRACT SHALL IN NO WAY RELIEVE THE GENERAL CONTRACTOR FROM ANY OBLIGATION WITH RESPECT TO THIS BID.
4. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR TO CHECK RULES AND REGULATIONS GOVERNING THE WORK ON THE PREMISES.
5. COMPLY WITH FEDERAL, STATE AND MUNICIPAL ORDINANCES INCLUDING, BUT NOT LIMITED TO THE CITY OF SOMERVILLE AND THE STATE OF MASSACHUSETTS BUILDING CODE (SEVENTH EDITION), THE REGULATIONS OF AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION OF THE PROJECT SHALL APPLY TO THE CONTRACT THROUGHOUT AND ARE TO BE DEEMED INCLUDED IN THE CONTRACT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING DOCUMENTS WITH THE REQUIRED REGULATORY AGENCIES, PAYING RELATED FEES, AND OBTAINING REQUIRED APPROVALS AND PERMITS.
7. ANY CHANGES TO THE CONTRACT SHALL BE MADE BY THE ARCHITECT. ANY CHANGES WITHIN THE GENERAL SCOPE OF THE CONTRACT CONSISTING OF ADDITIONS, DELETIONS OR OTHER REVISIONS, THE CONTRACT SUM AND THE CONTRACT TIME SHALL BE ADJUSTED ACCORDINGLY. CHANGES IN WORK SHALL BE AUTHORIZED BY A CHANGE ORDER, AND SHALL BE PERFORMED UNDER APPLICABLE CONDITIONS OF THE CONTRACT DOCUMENTS.
8. THE GENERAL CONTRACTOR SHALL COORDINATE ALL CUTTING, PATCHING, TRENCHING, FILLING, ETC., WITH THE WORK OF ALL TRADES.
9. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE NEW WORK IS STARTED.
10. ALL ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS SHALL BE COORDINATED WITH ALL ARCHITECTURAL DRAWINGS BY THE GENERAL CONTRACTOR. NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN WORK.
11. THE CONTRACTOR TO HAVE TELEPHONE, FAX AND INTERNET CONNECTION ON SITE AT ALL TIMES.
12. CONTRACTOR TO BE LICENSED BY THE STATE OF MASSACHUSETTS AND THE CITY OF SOMERVILLE.
13. THE GENERAL CONTRACTOR TO NOTIFY APPROPRIATE STATE AND LOCAL UTILITIES PRIOR TO BEGINNING ANY WORK.

DEMOLITION NOTES

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO THE FOLLOWING:

1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
2. OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN, AND FREE OF MUD, DIRT, AND DEBRIS, AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE.
4. CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL CITY OF SOMERVILLE REQUIREMENTS FOR THE PROTECTION OF PERSONS, PROPERTIES, TRAFFIC CONTROL, BARRICADES, ETC.
5. CEASE OPERATIONS IMMEDIATELY IN THE EVENT OF ANY SUBSIDIARY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE REPAIRS TO ALL OPERATIONS CAN BE CONTINUED PROPERLY.
6. IN COMPANY OF THE ENGINEER AND OWNER, VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK. CAREFULLY IDENTIFY THE LIMITS OF SELECTIVE DEMOLITION. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE THE WORKMEN TO ALSO IDENTIFY THE ITEMS TO BE REMOVED AND STORED, AS WELL AS THE ITEMS TO BE LEFT INTACT.
7. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORING STRUCTURES, OR ANY OTHER WORK BEING PERFORMED.
8. EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY DEBRIS.
9. SHORE AND BRACE EXISTING CONDITIONS AS REQUIRED FOR REMOVAL OF EXISTING CONSTRUCTION OR INSTALLATION OF NEW WORK.
10. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, REUSE, SHUTOFF, STUB-OFF, CAPPING-OFF, OR UPGRADING OF ALL EXISTING PLUMBING, AND ELECTRICAL SYSTEMS.
11. REMOVE AND DISPOSE OF CARPET, FLOOR TILE, MASTIC, ADHESIVE AND ALL OTHER FLOORING MATERIALS, IF ANY, RELATED TO OR PART OF THE FINISH FLOORING.
12. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL HAZARDOUS CONTAINING MATERIALS AND IN DOING SO SHALL COMPLY WITH ALL APPLICABLE OSHA REGULATIONS AND ALL OTHER FEDERAL, STATE AND LOCAL GUIDELINES REGARDING HAZARDOUS CONTAINING MATERIAL REMOVAL AND DISPOSAL.

ELECTRICAL NOTES:

- ALL RECEPTACLES, VOICE, DATA AND PHONE OUTLETS ARE TO BE MOUNTED AT A HEIGHT OF 18" A.F.F. UNLESS NOTED OTHERWISE.
- ALL SWITCHES ARE TO BE MOUNTED AT HEIGHT TO MATCH EXISTING.
- ALL RECEPTACLE, SWITCHES AND COVERS ARE TO BE WHITE/WHITE (OR TO MATCH EXISTING).
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL OUTLETS W/ELECTRICAL DRAWINGS.
- SMOKE DETECTORS TO BE HARD WIRED

ELECTRICAL, HVAC, PLUMBING AND DEMOLITION NOTES

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO THE FOLLOWING:

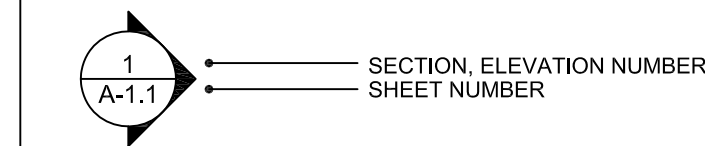
1. ALL WORK SHALL CONFORM TO THE STATE OF MASSACHUSETTS BUILDING CODES AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
2. THE DRAWINGS DEPICT ONLY GENERALLY THE EXISTING CONDITIONS. CONTRACTOR SHALL MAKE FIELD OBSERVATIONS AND CONFIRM WALL LOCATIONS, DUCTWORK, AND OTHER UTILITIES ABOVE EXISTING CEILING - WHERE APPLICABLE.
3. ALL CONFLICTS AND ITEMS FOR CLARIFICATION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO WORK IN THE AREA.
4. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING PROPERTY OWNER'S RULES.
5. CONTRACTOR SHALL MAINTAIN IN OPERATION ALL EXISTING UTILITIES DURING CONSTRUCTION.
6. ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF SITE.
7. TAPPING OF ALL SERVICES SHALL BE PERFORMED TO LEAVE EXISTING SERVICES TO OTHER AREAS INTACT AND FUNCTIONAL - WHERE APPLICABLE.
8. ALL DEMOLITION WORK WILL BE SCHEDULED WITH THE PROPERTY OWNER AND PERFORMED ONLY FOLLOWING APPROVAL.
9. CONTRACTOR SHALL INFORM THE BUILDING OWNER AND RECEIVE SCHEDULE APPROVAL FOR ANY REQUIRED UTILITY SHUTDOWNS.
10. REMOVE ELECTRICAL PANELS AND FEEDERS AS REQUIRED.
11. ANY WIRING FROM PANELS SHOWN TO BE REMOVED WHICH SERVES AREA(S) STILL IN USE, SHALL BE ROUTED TO ALTERNATE PANELS.

PLAN KEY:

- NEW WALLS
 EXISTING WALLS



NEW DOOR



DEMOLITION KEY:

- EXISTING WALLS TO BE REMOVED
 EXISTING WALLS TO REMAIN

DOORS, FRAMES AND HARDWARE TO BE
REMOVED AND SAVED FOR POSSIBLE REUSE
AS NOTED

GENERAL NOTES:

1. FIELD VERIFY ALL DIMENSIONS (TYP.)

2. ALL LIFE SAFETY DEVICES TO MEET CURRENT AAB, ADA STANDARDS

3. PROVIDE F.T. WOOD BLOCKING IN ALL WALLS FOR SHELVES, CASEWORK, WHITEBOARDS, ETC. (TYP.)

FINISH NOTES:

1. ALL WALLS TO BE PAINTED. COLOR BY ARCHITECT

2. PATCH WHERE REQUIRED AND PAINT ALL WALLS.
TOUCH-UP EXISTING DOOR FRAME PAINT AS NECESSARY.

- ### 3. CONTRACTOR TO PROVIDE FINISH READY FLOORS

M+F: 2011-060
ARCHITECT

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Drawing:

GENERAL NOTES
DRAWING LIST
LOCUS MAP

Date: 2011.04.29 Scale: NTS

Drawn by: JEA Checked By: RM

File Name: 2011-060 Kaplar

Job Number: 2011-060

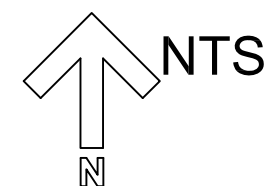
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PROGRESS SET

LOCUS MAP



A-0.0

Margolis + Fishman, Inc.
Architects and Planners
955 Massachusetts Avenue
Cambridge, Massachusetts
02139
Tel: 617-492-0200
Fax: 617-547-2501

52 Irving Street
Somerville, Massachusetts
02144



Date: 2011.04.28 Scale: 1/4"=1'-0"

Drawn by: JEA Checked By: RM

File Name: 2011-060 Kaplan
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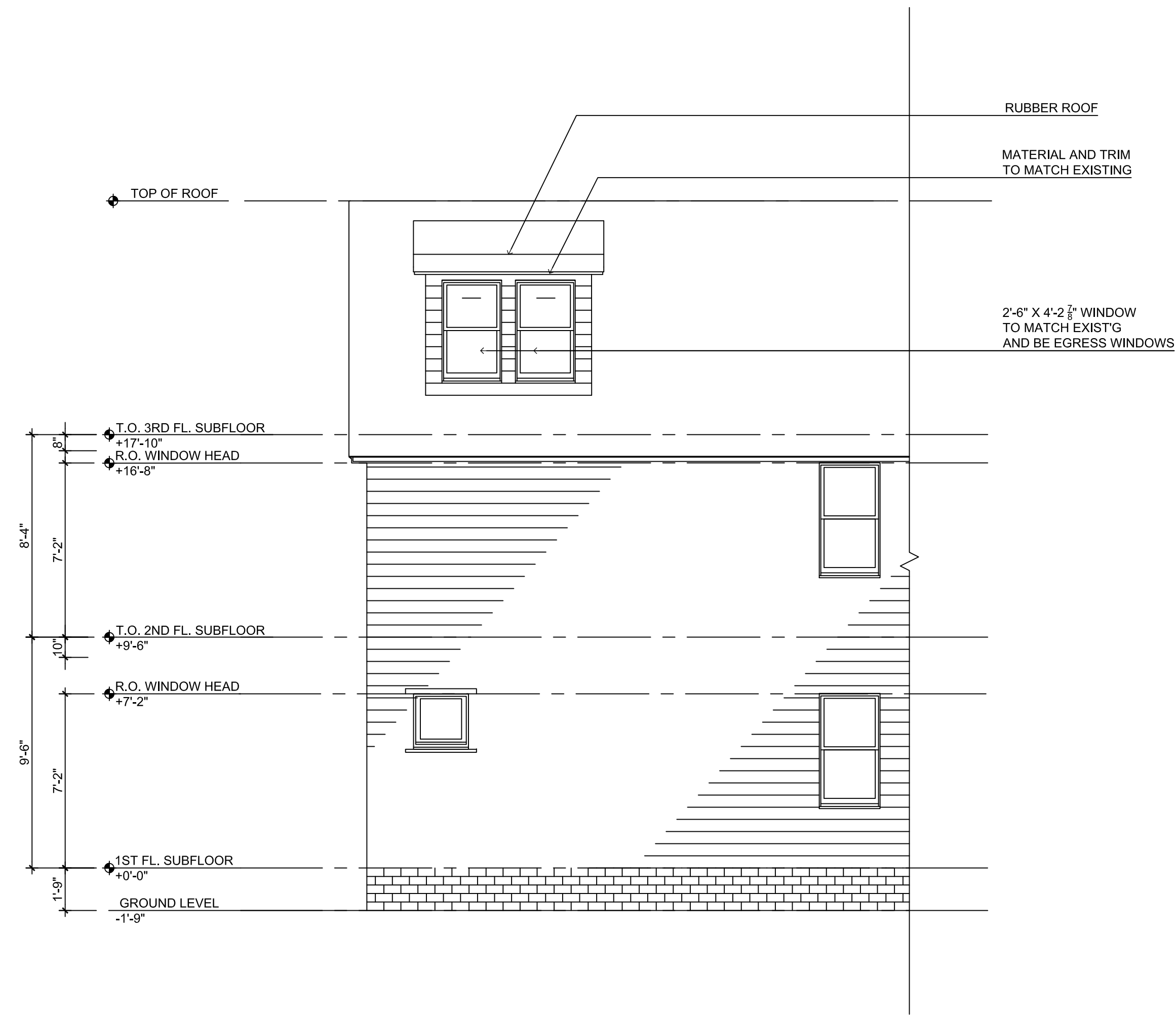
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2 FRONT ELEVATION
1/4" = 1'-0"



3 SIDE ELEVATION
1/4" = 1'-0"

Architect:

Margolis + Fishman

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Owner:

Kaplan Residence

52 Irving Street
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Drawing:

**RENDERING &
FRONT & SIDE
ELEVATION**

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PROGRESS SET

Margolis + Fishman

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Drawing:
LONGITUDINAL AND
CROSS SECTIONS

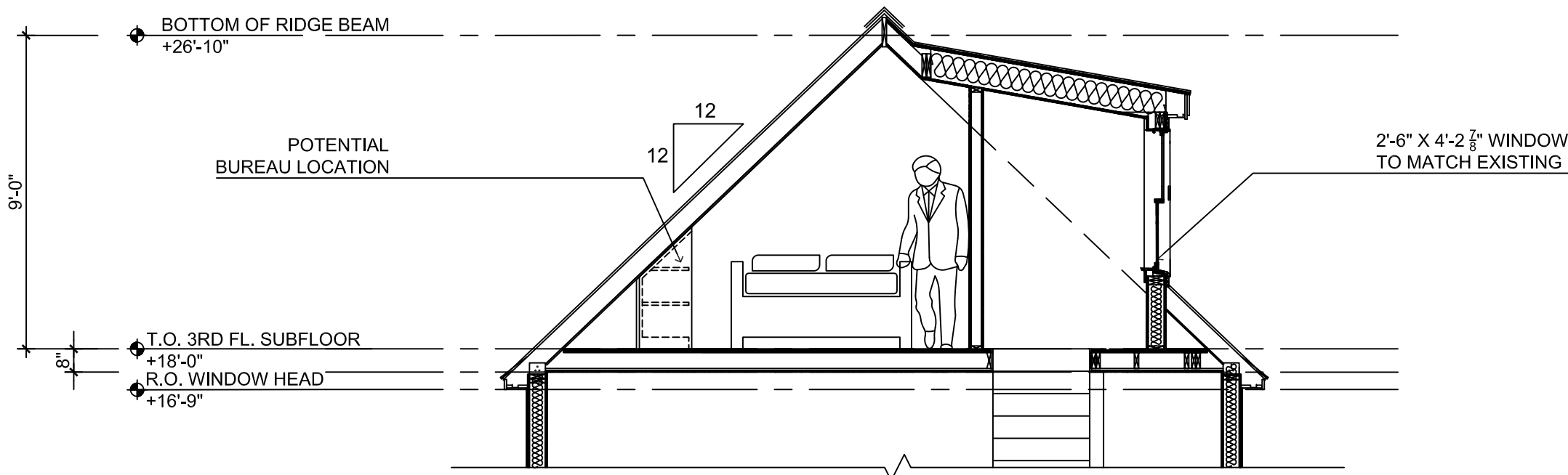
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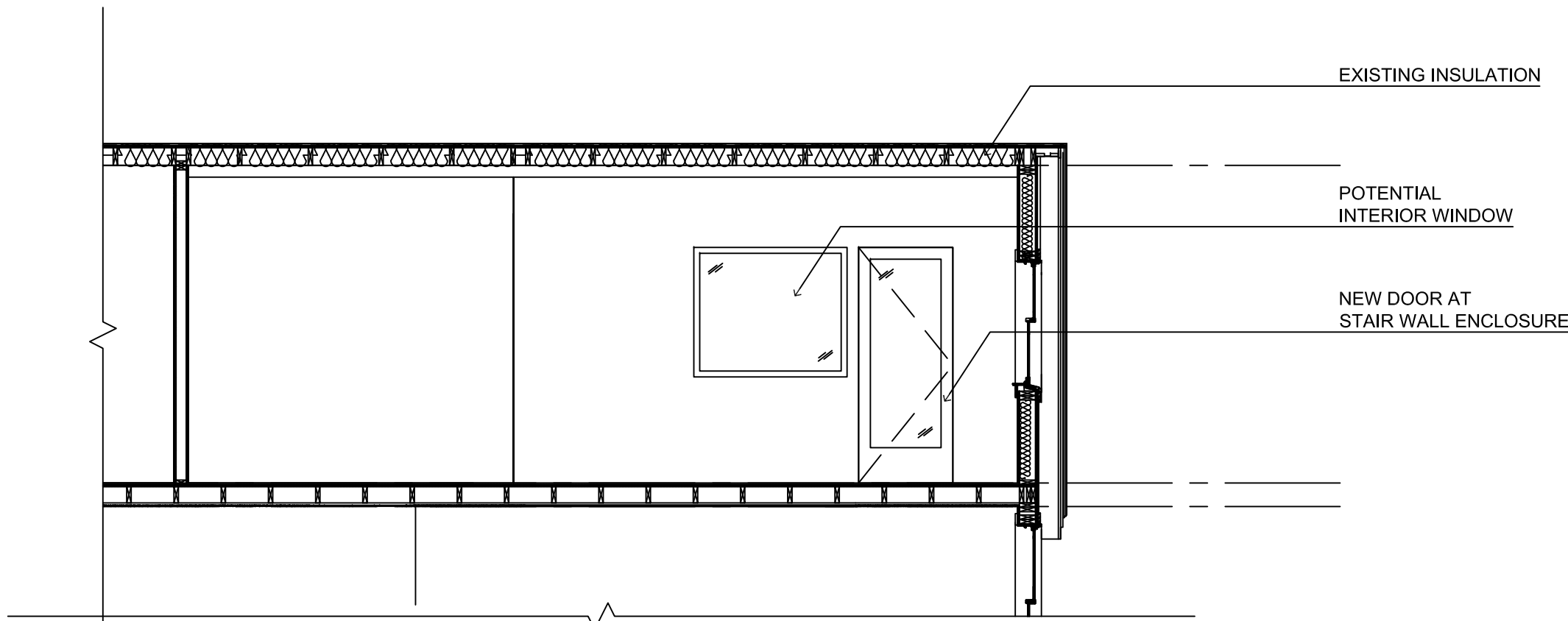
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PROGRESS SET

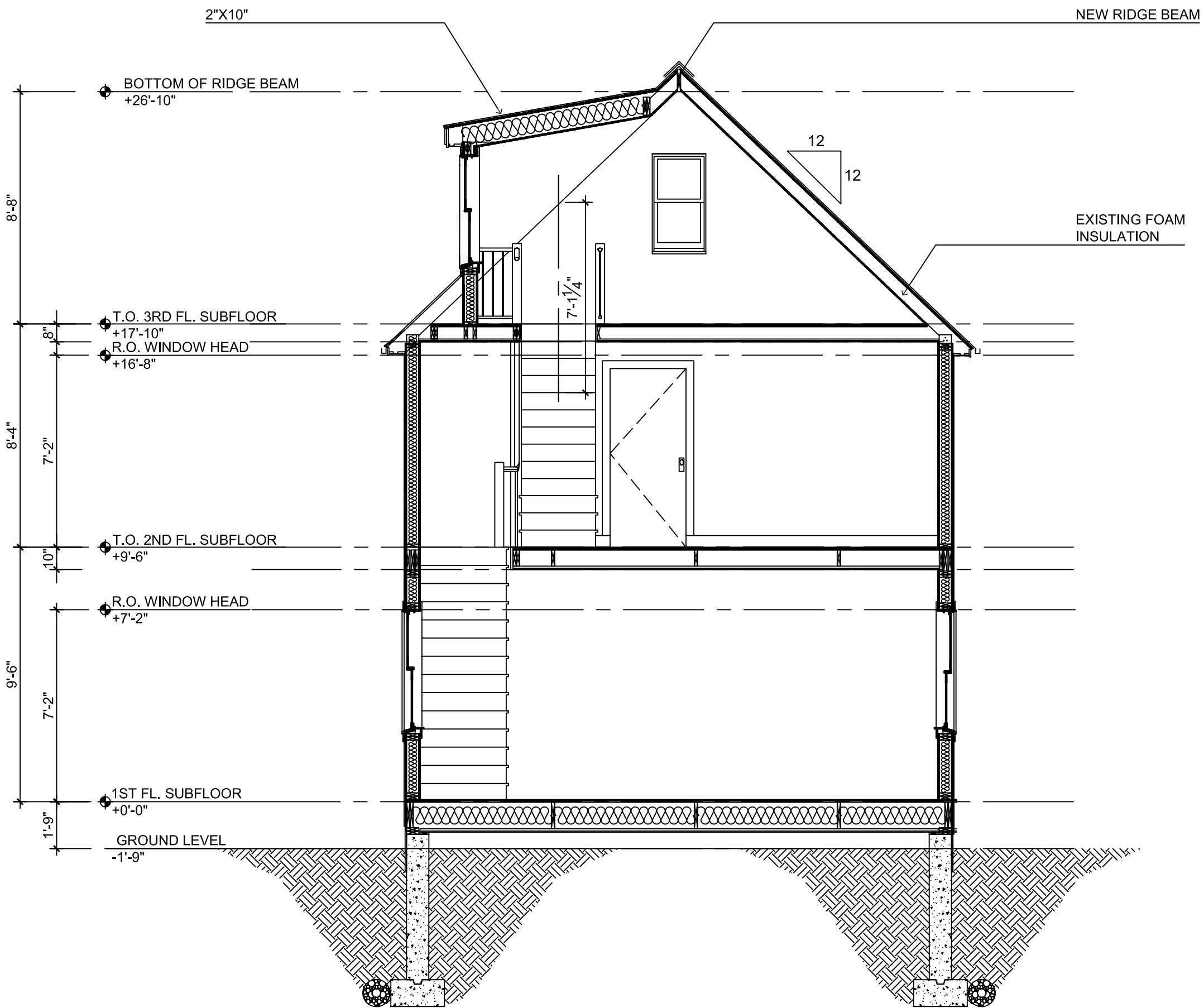
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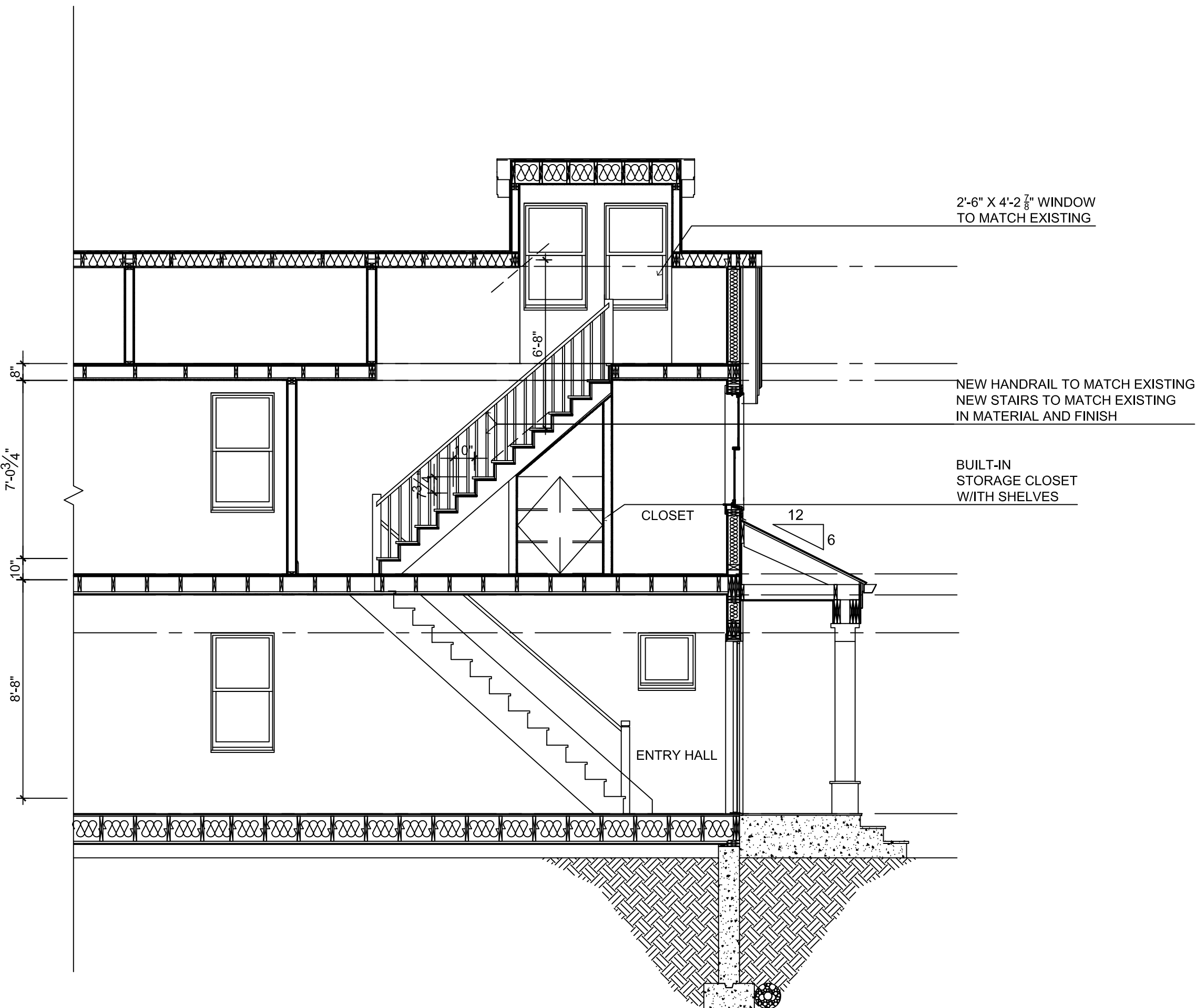
1 WEST CROSS SECTION
1/4" = 1'-0"



2 NORTH LONGITUDINAL SECTION @ RIDGELINE
1/4" = 1'-0"



3 EAST CROSS SECTION
1/4" = 1'-0"



4 NORTH LONGITUDINAL SECTION @ STAIR
1/4" = 1'-0"