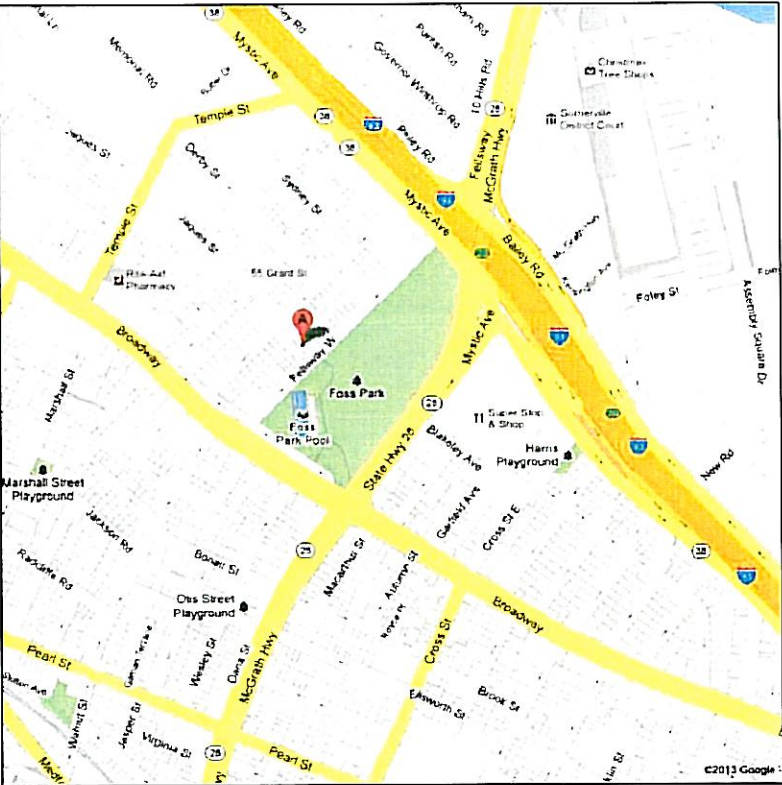


2 JAQUES STREET SPECIAL PERMIT

2 JAQUES STREET, SOMERVILLE, MA 02145



LOCUS MAP



REQUESTED RELIEF

- 1) MODIFICATION OF EXTERIOR OF EXISTING NON-CONFORMING STRUCTURE
- 2) INCREASE IN ALLOWABLE FAR (ENTIRELY CONTAINED WITHIN EXISTING BUILDING)
- 3) DIMENSIONAL RELIEF FOR NEW PARKING LOT

LIST OF DRAWINGS

- T-1 COVER SHEET
- T-2 EXISTING ELEVATIONS (PHOTOS)
- Z.1 PROPOSED SITE PLAN
- Z.2 ZONING COMPLIANCE
- A1.0 PROPOSED BASEMENT & FIRST FLOOR PLANS
- A1.1 PROPOSED SECOND & THIRD FLOOR PLANS
- A1.2 EXISTING & PROPOSED ROOF PLAN
- A2.1 EXISTING AND PROPOSED SOUTH ELEVATION
- A2.2 EXISTING AND PROPOSED EAST ELEVATION
- A2.3 EXISTING AND PROPOSED NORTH ELEVATION
- A2.4 EXISTING AND PROPOSED WEST ELEVATION
- E1.1 EXISTING BASEMENT & FIRST FLOOR PLANS
- E1.2 EXISTING SECOND & THIRD FLOOR PLANS

PREPARED BY:

ARCHITECT

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PREPARED FOR:

OWNER

INTEGRATED REAL ESTATE ASSOCIATES INC.

91 PERKINS STREET
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PETER
QUINN
ARCHI
TECTS

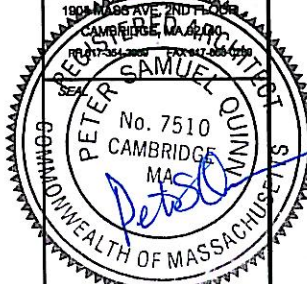
ARCHITECTURE
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CONSULTANT

PROJECT

2 JAQUES STREET

2 JAQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR

INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

91 PERKINS STREET
SOMERVILLE, MA 02145

DRAWING TITLE

COVER SHEET

SCALE AS NOTED

REVISION	DATE
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SP APPL- REV 3	09/12/2013
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SP APPL- REV 2	08/30/2013
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SP APPL- REV 1	08/27/2013
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SP APPLICATION	08/16/2013
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DRAWN BY KVS	REVIEWED BY PQ
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SHEET

T-1

2 JAQUES STREET SPECIAL PERMIT

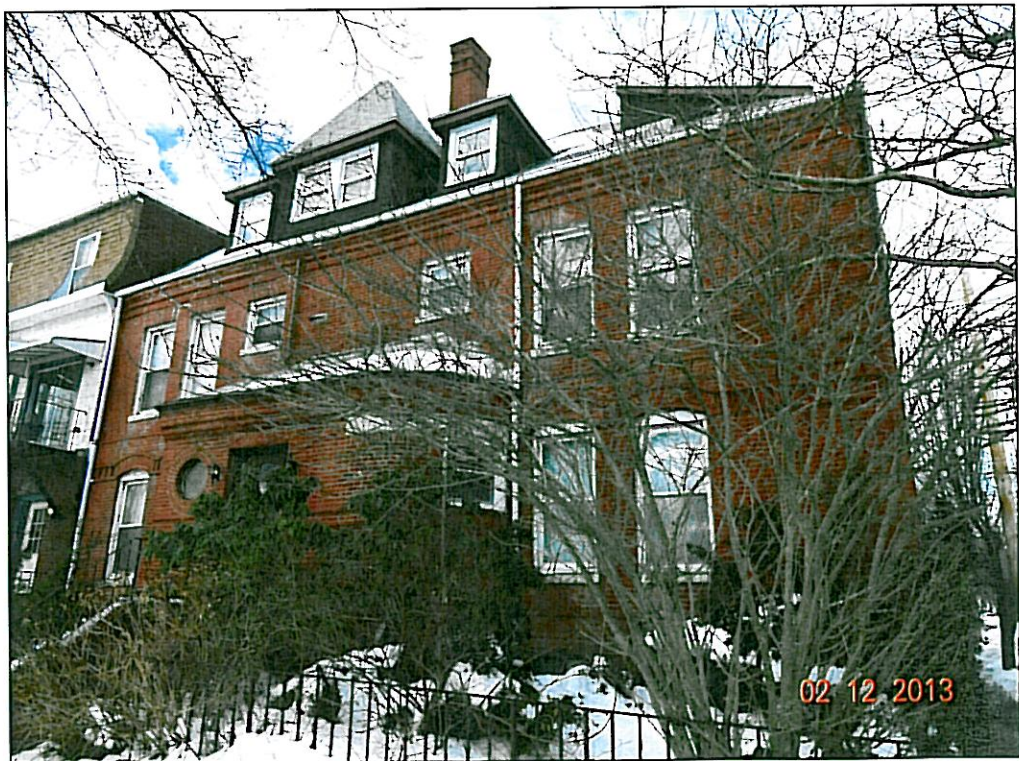
2 JAQUES STREET, SOMERVILLE, MA 02145



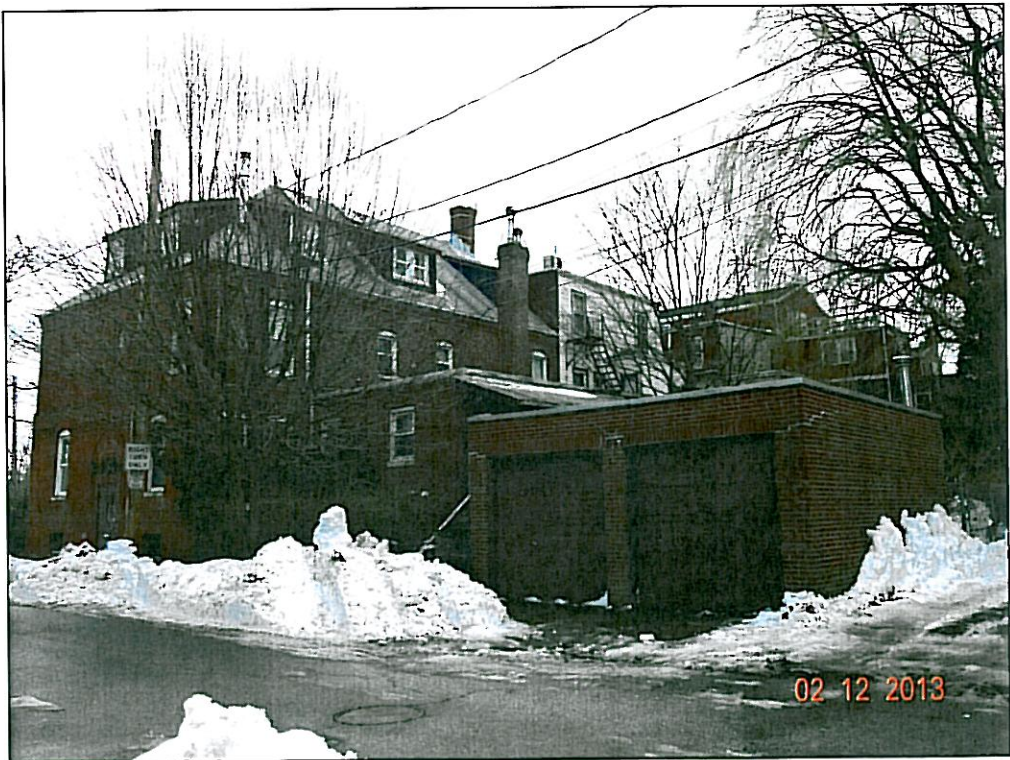
FELLSWAY AND JAQUES STREET



PASSAGEWAY



FELLSWAY WEST

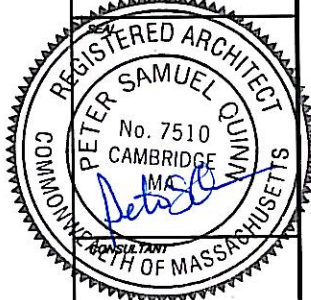


JAQUES STREET

PETER
QUINN
ARCHI
TECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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PROJECT

2 JAQUES STREET

2 JAQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR

INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

91 PERKINS STREET
SOMERVILLE, MA 02145

DRAWING TITLE

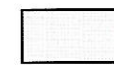
EXISTING
ELEVATIONS
(PHOTOS)

SCALE AS NOTED

REVISION	DATE
SP APPL - REV 3	09/12/2013
SP APPL - REV 2	08/30/2013
SP APPL - REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DM	REVIEWED BY PQ

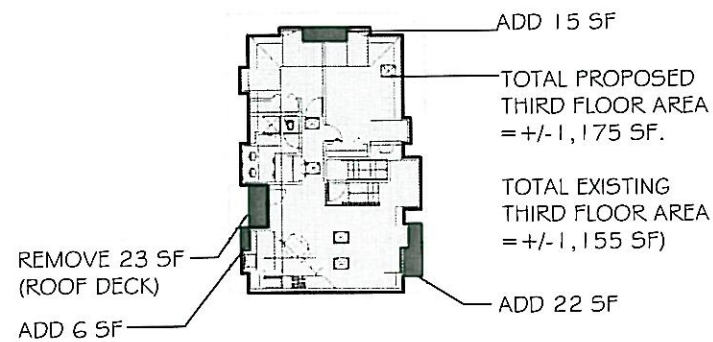
SHEET

T-2



...the ...

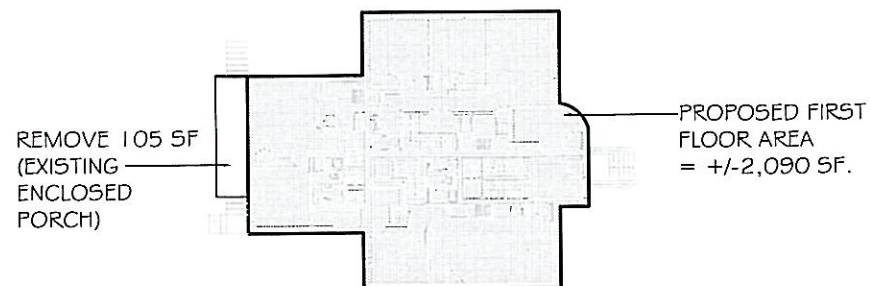
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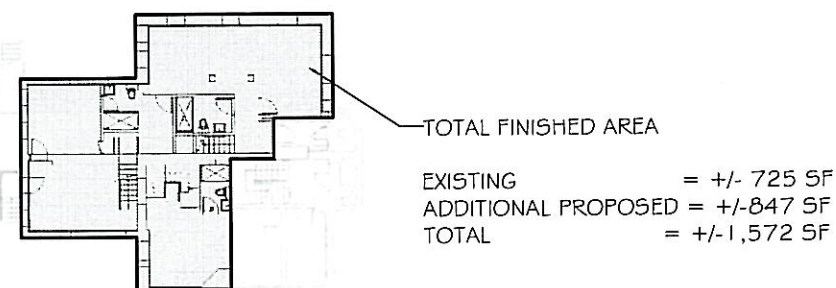
6 PROPOSED 3RD FLOOR AREA CALC.
SCALE: 1/32" = 1'-0"



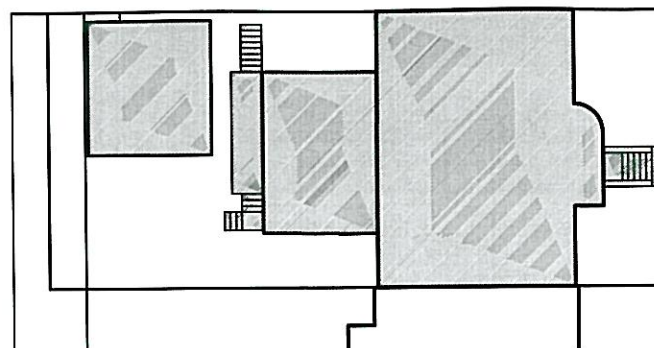
5 EXIST./PROPOSED 2ND FLOOR AREA CALC.
SCALE: 1/32" = 1'-0"



4 PROPOSED 1ST FLOOR AREA CALC.
SCALE: 1/32" = 1'-0"



3 PROPOSED BASEMENT AREA CALC.
SCALE: 1/32" = 1'-0"



EXISTING GROUND COVERAGE AREA
+/- 2,775 SF



PROPOSED GROUND COVERAGE AREA
+/- 2,220 SF

2 MAXIMUM BUILDING GROUND COVERAGE AREA CALCULATION
SCALE: 1/32" = 1'-0"

DIMENSIONAL TABLE - RB ZONING DISTRICT - 4.4.1 SP

ITEM	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	±4,685	UNCHANGED	COMPLIES
MIN LOT AREA / DWELING UNIT 1-9 UNITS (SF)	1500	781	UNCHANGED	EXISTING NON-CONFORMING NO CHANGE
MAX GROUND COVERAGE (%)	50	59	47	EXISTING NON-CONFORMING PROPOSED APPROVED
MIN LANDSCAPED AREA (% OF LOT))	25	35	27	COMPLIES
FLOOR AREA RATIO (FAR)	1.0	1.19	1.35	EXISTING NON-CONFORMING REQ. RELIEF
GROSS FLOOR AREA (GFA)	4,685	5,585	6,347	
MAX HEIGHT (FT/ STORIES)	40/ 3	UNCHANGED	UNCHANGED	COMPLIES
MIN FRONT YARD	15	UNCHANGED	UNCHANGED	EXISTING NON-CONFORMING NO CHANGE
MIN SIDE YARD - LEFT	10	UNCHANGED	UNCHANGED	EXISTING NON-CONFORMING NO CHANGE
MIN SIDE YARD - RIGHT	10	UNCHANGED	UNCHANGED	EXISTING NON-CONFORMING NO CHANGE
MIN REAR YARD	20	UNCHANGED	UNCHANGED	EXISTING NON-CONFORMING NO CHANGE
MIN FRONTAGE	50	UNCHANGED	UNCHANGED	EXISTING NON-CONFORMING NO CHANGE

FLOOR AREA CALCULATION

FLOOR	EXISTING (SF)	PROPOSED (SF)
BASEMENT	725	1,572
FIRST FLOOR	2,195	2,090
SECOND FLOOR	1,510	1,510
THIRD FLOOR	1,155	1,175
TOTAL	5,585	6,347

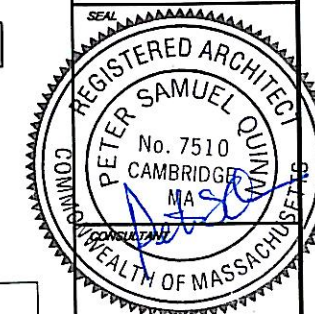
NUMBER OF PARKING SPACES - SECTION 9.5

TYPE OF USE: RESIDENTIAL	PARKING REQUIREMENTS	EXISTING	PROPOSED	COMPLIANCE
DWELING UNIT IN MULTIPLE DWELING BUILDING	- 1.5 PER UNIT WITH 1 OR 2 BEDROOMS - 1 FOR EVERY 6 UNITS (WHEN 6 OR MORE UNITS) 1 FOR VISITORS AND/OR SERVICE VEHICLES 6 X 1.5 = 9 + 1 (VISITOR) TOTAL: 10	2 CAR GARAGE	4 STANDARD SPACES	REQ. RELIEF

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PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

81 PERKINS STREET
SOMERVILLE, MA 02145

DRAWING TITLE
ZONING
COMPLIANCE

SCALE AS NOTED

REVISION DATE

SP APPL - REV 3 09/12/2013

SP APPL - REV 2 08/30/2013

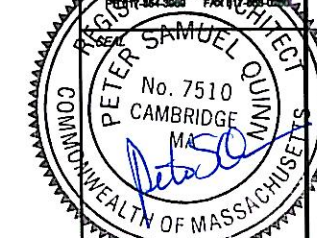
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SP APPLICATION 08/16/2013

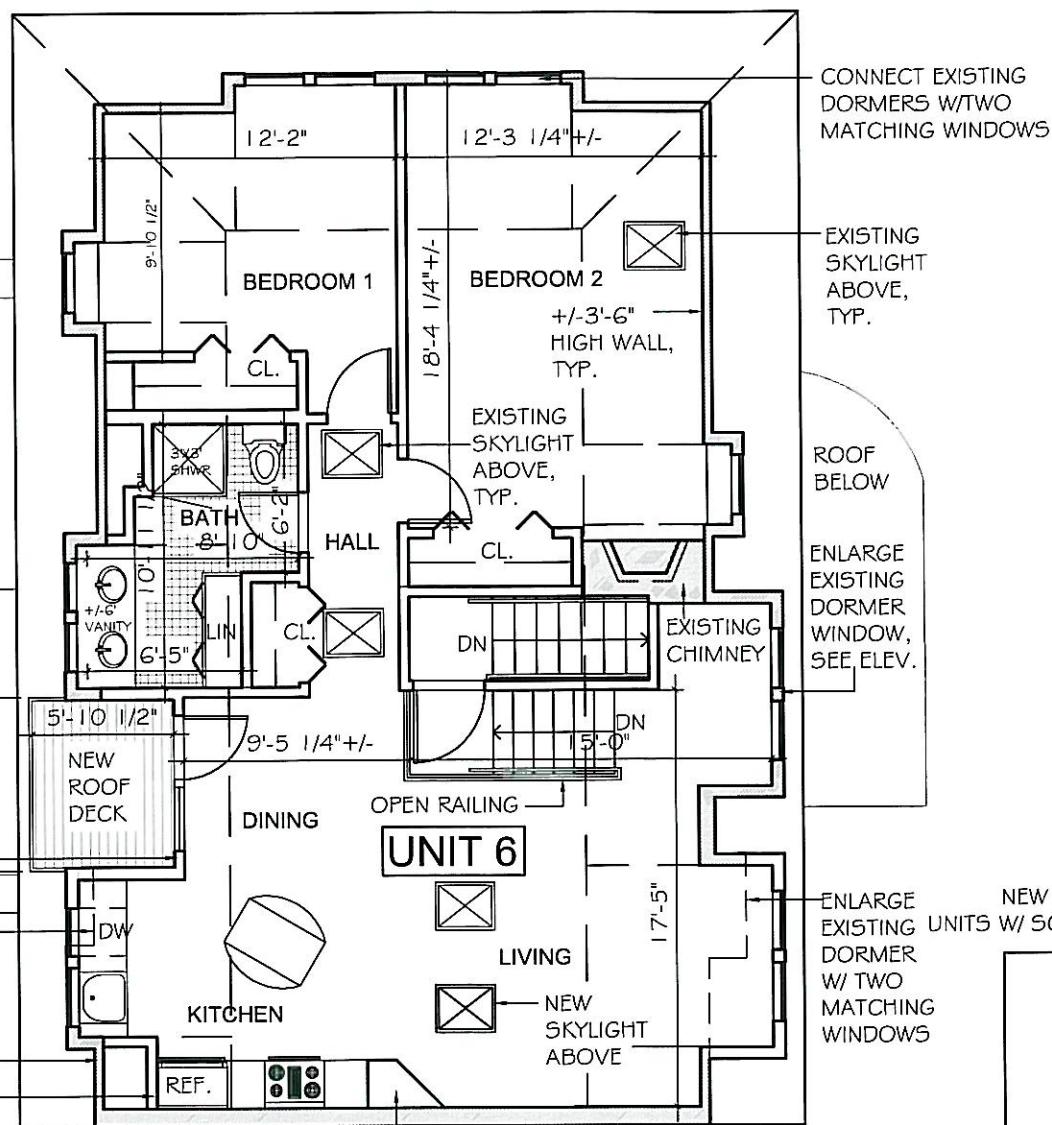
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SHEET

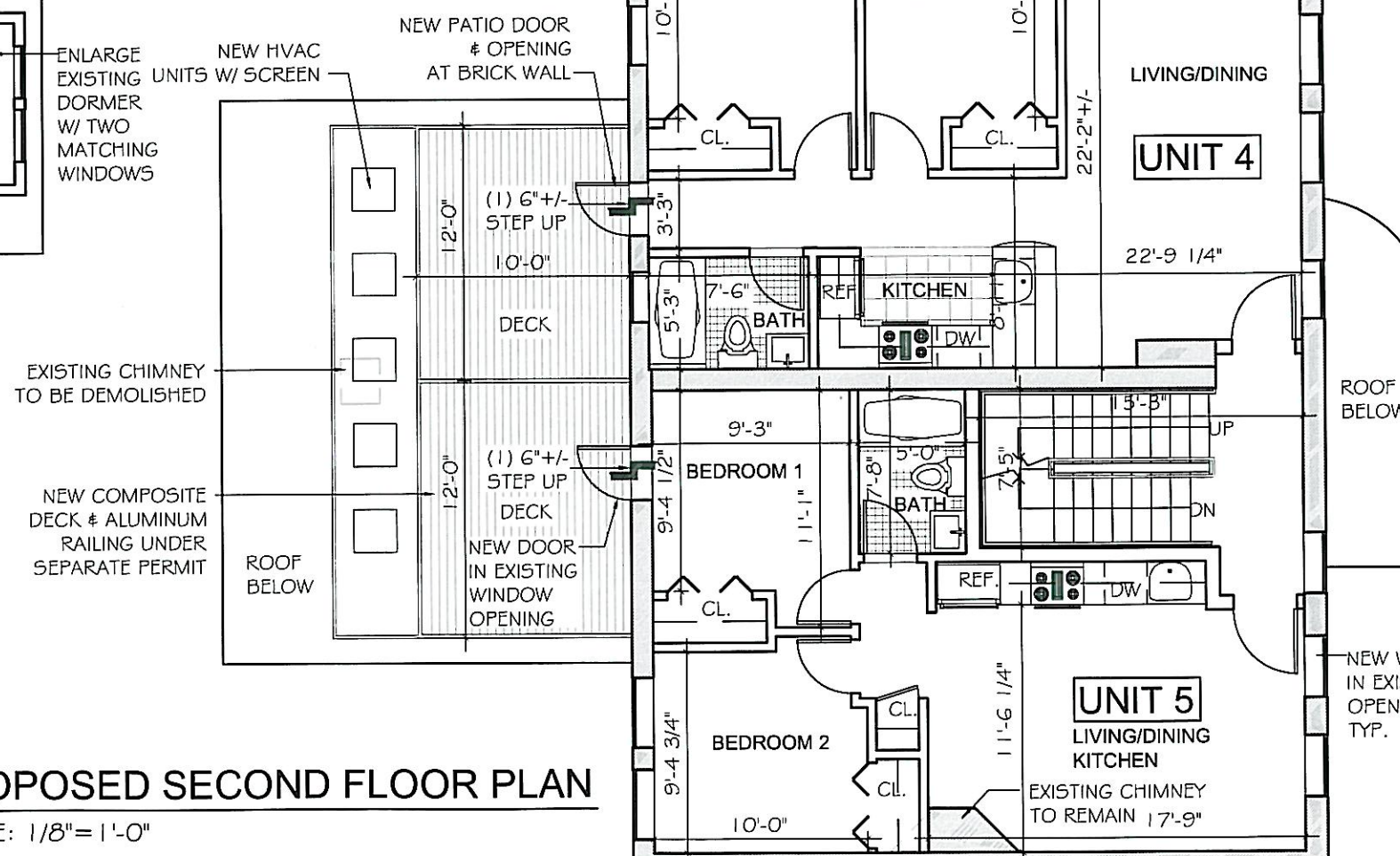
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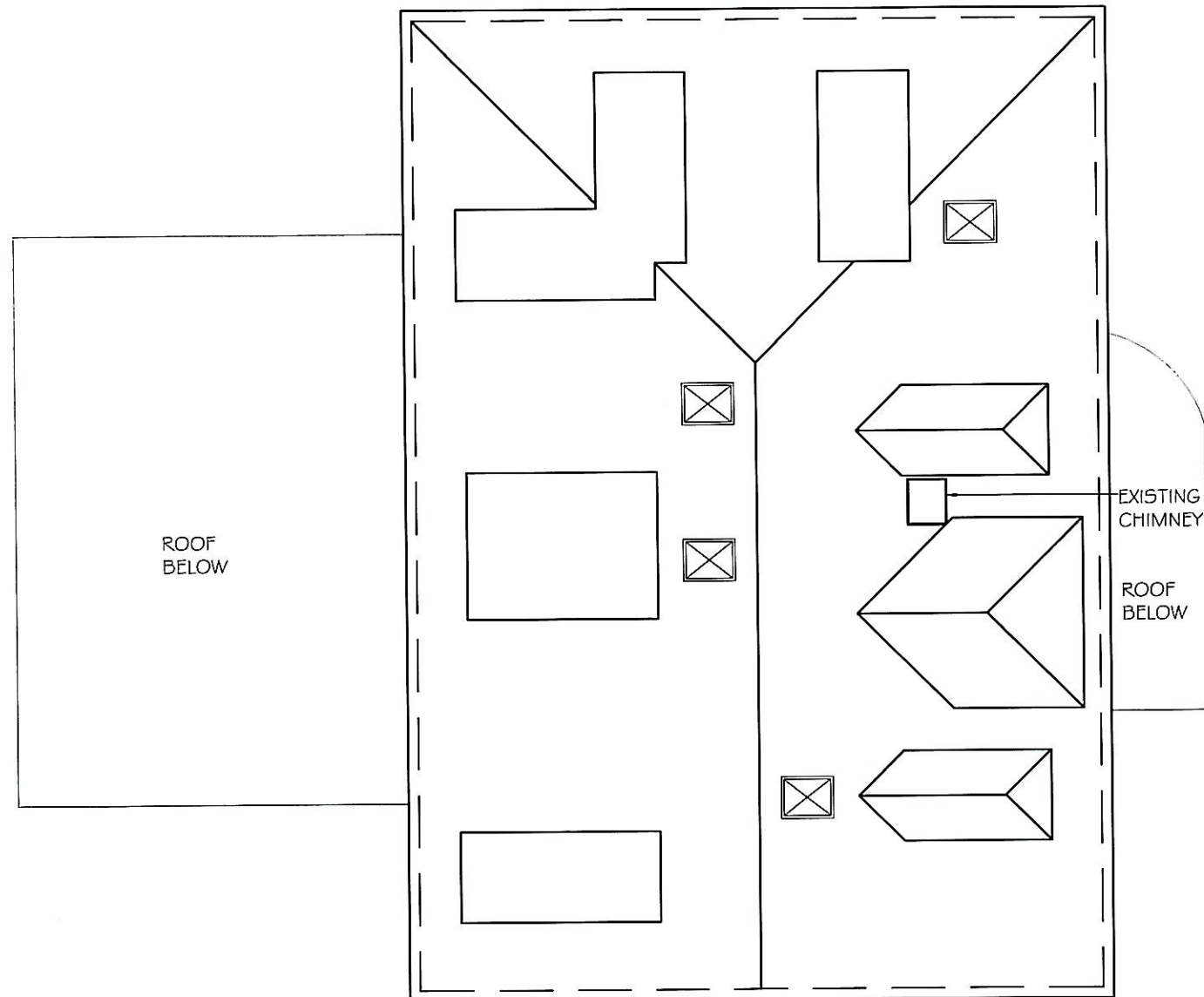
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SP APPL-REV3	09/12/2013
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SP APPL-REV1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DM	REVIEWED BY PQ



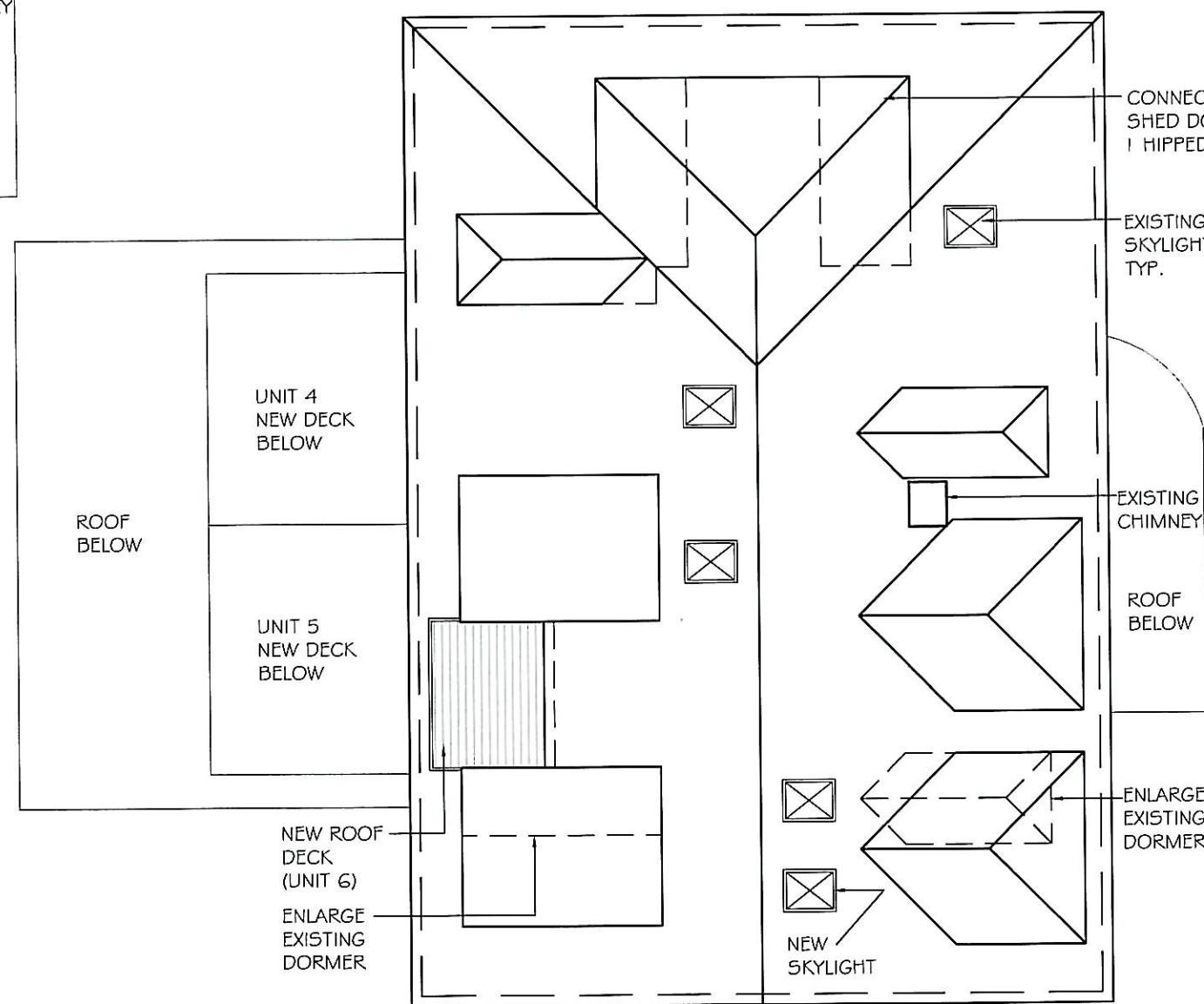
2 PROPOSED THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"

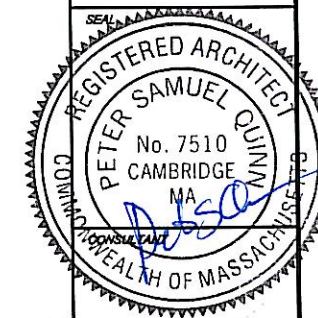


1 PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

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PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

91 PERKINS STREET
SOMERVILLE, MA 02145

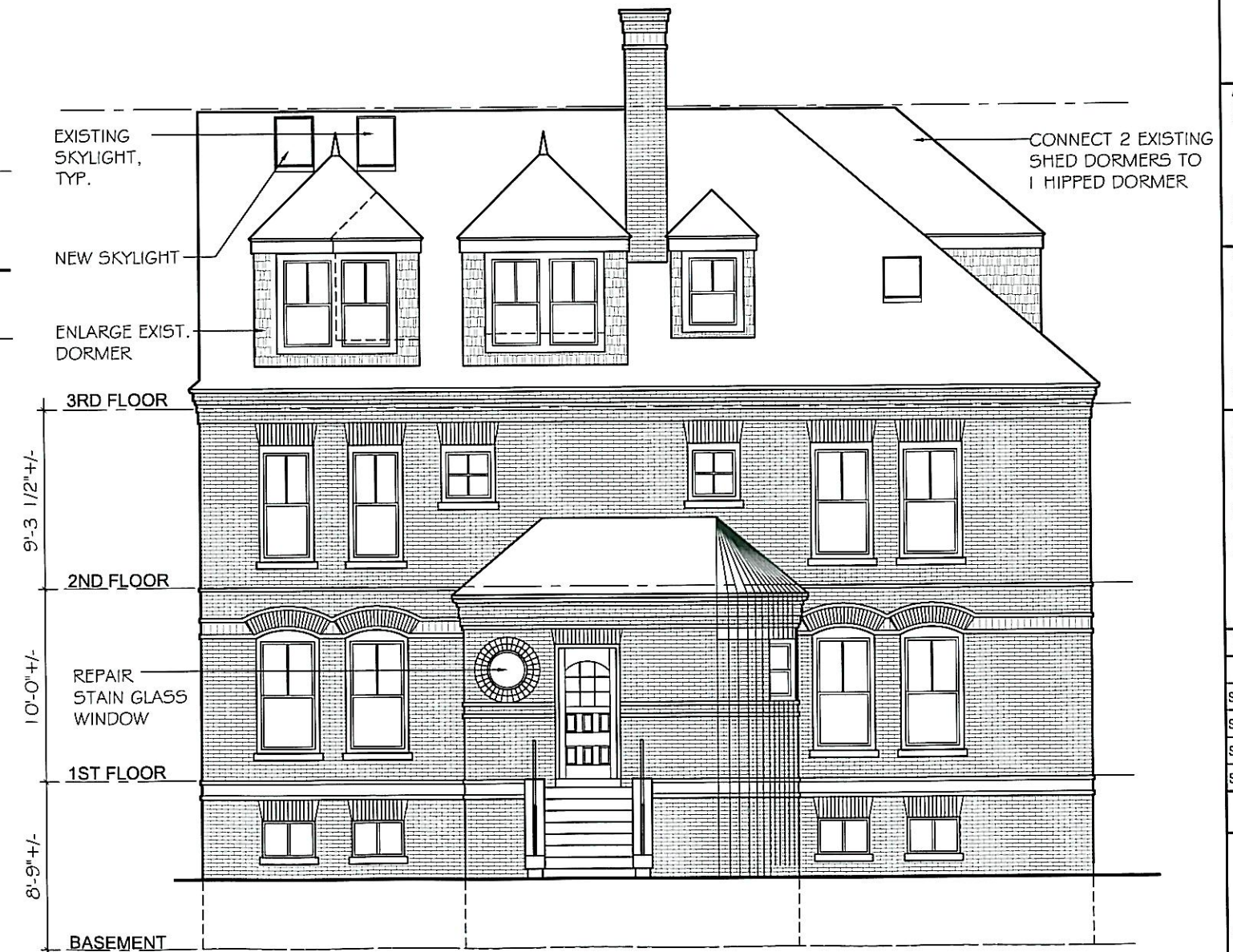
DRAWING TITLE
EXISTING AND
PROPOSED
ROOF PLAN

SCALE AS NOTED

REVISION	DATE
SP APPL - REV 3	09/12/2013
SP APPL - REV 2	08/30/2013
SP APPL - REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DM	REVIEWED BY PQ



1 **EXISTING SOUTH ELEVATION (FELLSWAY W)**
SCALE: 1/8" = 1'-0"

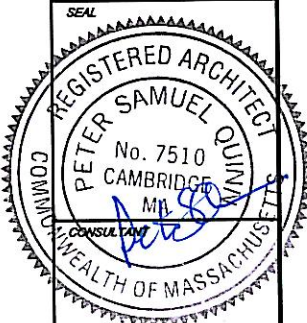


2 **PROPOSED SOUTH ELEVATION (FELLSWAY W)**
SCALE: 1/8" = 1'-0"

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COMMUNITY DESIGN

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PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
**INTEGRATED
REAL ESTATE
ASSOCIATES, INC.**

91 PERKINS STREET
SOMERVILLE, MA 02145

DRAWING TITLE
**EXISTING AND
PROPOSED
SOUTH
ELEVATION**

SCALE AS NOTED

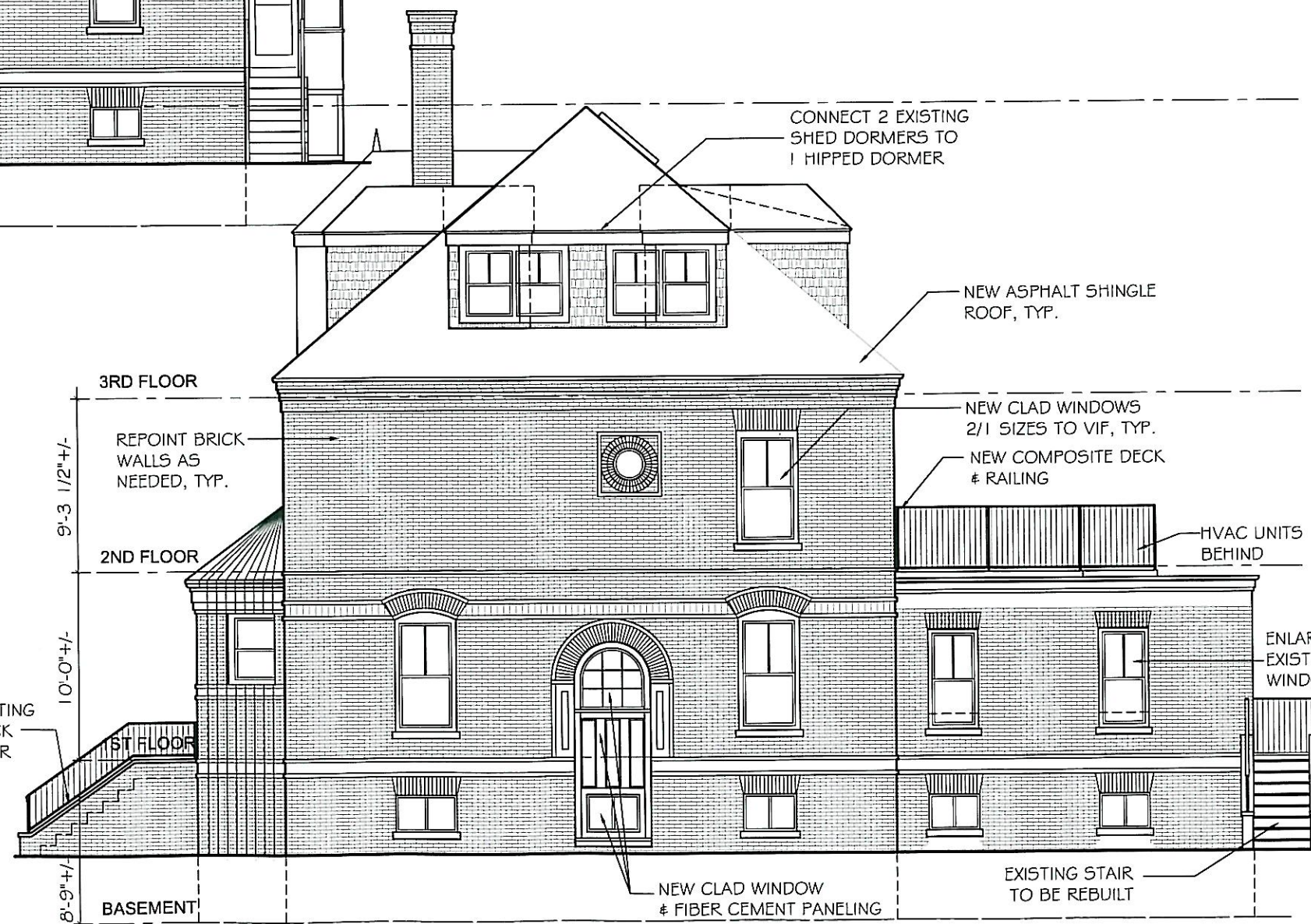
REVISION	DATE
SP APPL - REV 3	09/12/2013
SP APPL - REV 2	08/30/2013
SP APPL - REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DM/KVS	REVIEWED BY PQ

SHEET

A2.1



1 **EXISTING EAST ELEVATION (JAQUES ST)**
SCALE: 1/8" = 1'-0"

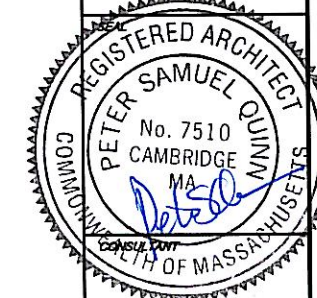


2 **PROPOSED EAST ELEVATION (JAQUES ST)**
SCALE: 1/8" = 1'-0"

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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PROJECT
2 JAQUES STREET

2 JAQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

61 PERKINS STREET
SOMERVILLE, MA 02145

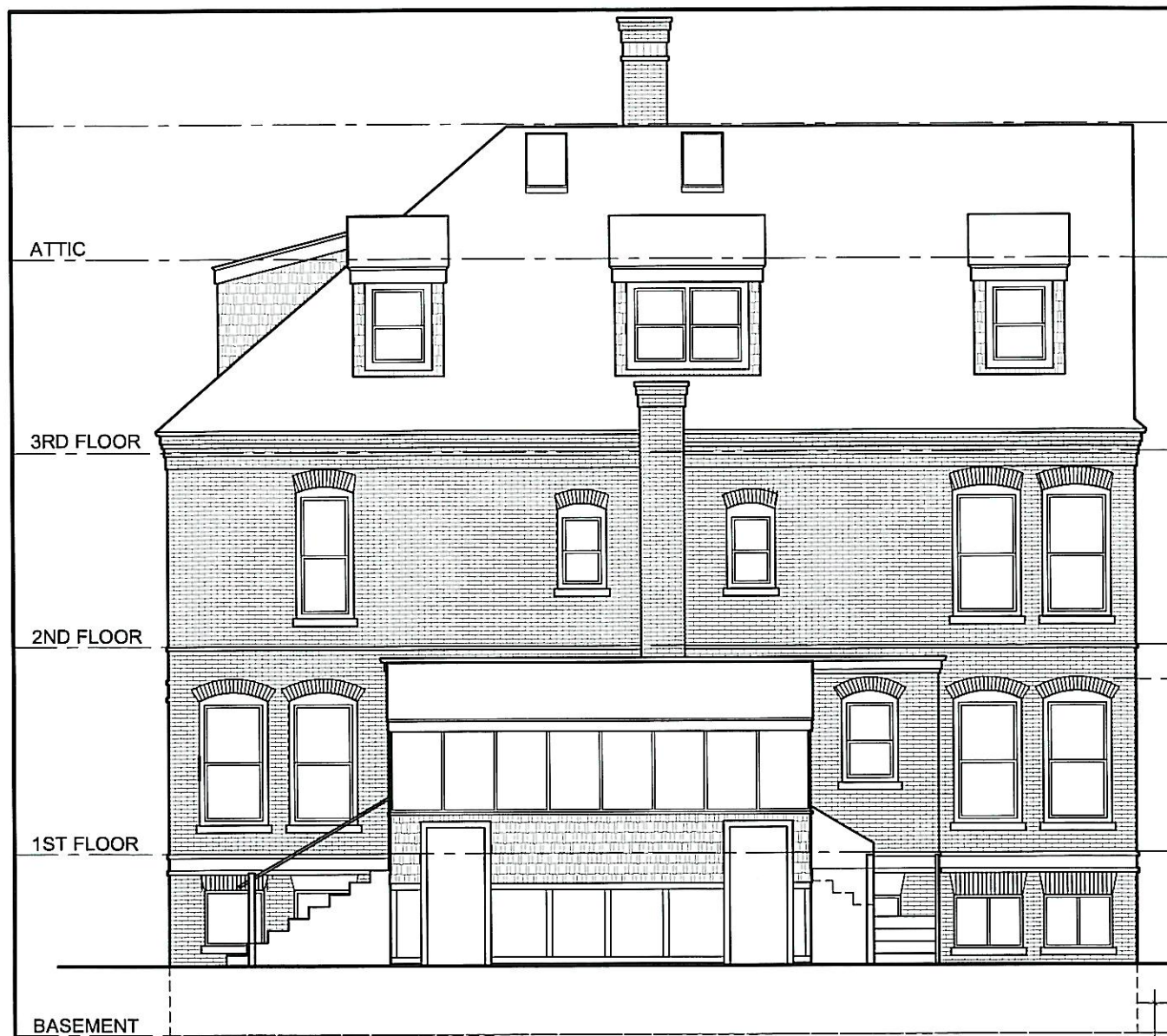
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**EXISTING AND
PROPOSED
EAST
ELEVATION**

SCALE AS NOTED

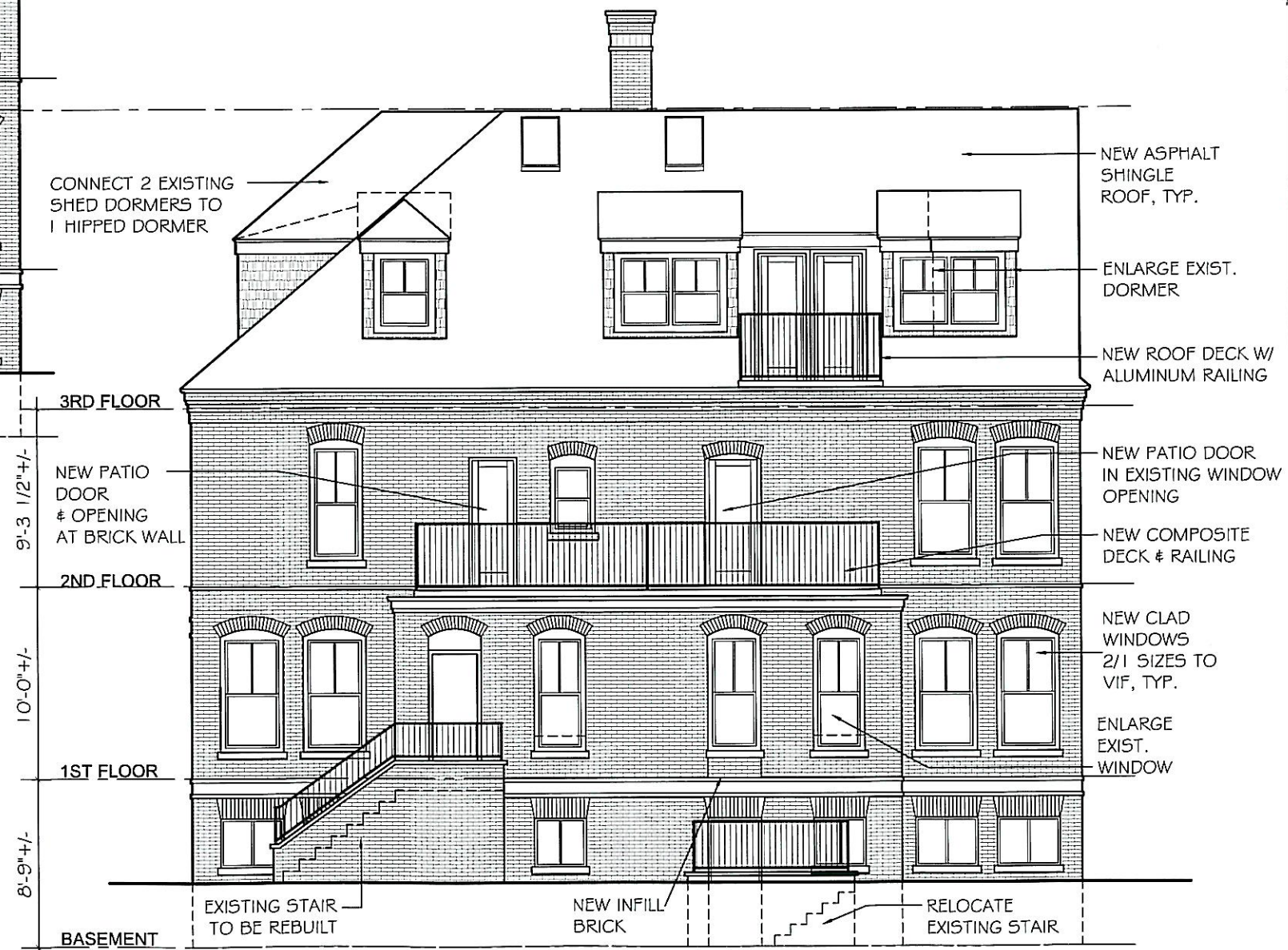
REVISION	DATE
SP APPL - REV 3	09/12/2013
SP APPL - REV 2	08/30/2013
SP APPL - REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DM/KVS	REVIEWED BY PQ

SHEET

A2.2



1 **EXISTING NORTH ELEVATION**
SCALE: 1/8" = 1'-0"



2 **PROPOSED NORTH ELEVATION**
SCALE: 1/8" = 1'-0"

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
1804 MASS AVE, 2ND FLOOR
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PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

81 PERKINS STREET
SOMERVILLE, MA 02145

DRAWING TITLE
**EXISTING AND
PROPOSED
NORTH
ELEVATION**

SCALE AS NOTED

REVISION	DATE
SP APPL - REV 3	09/12/2013
SP APPL - REV 2	08/30/2013
SP APPL - REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DMKVS	REVIEWED BY PQ

09/12/2013

08/30/2013

08/27/2013

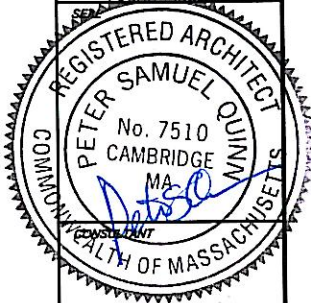
08/16/2013

DRAWN BY
DMKVS

REVIEWED BY
PQ

SHEET

A2.3



PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

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INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

91 PERKINS STREET
SOMERVILLE, MA 02145

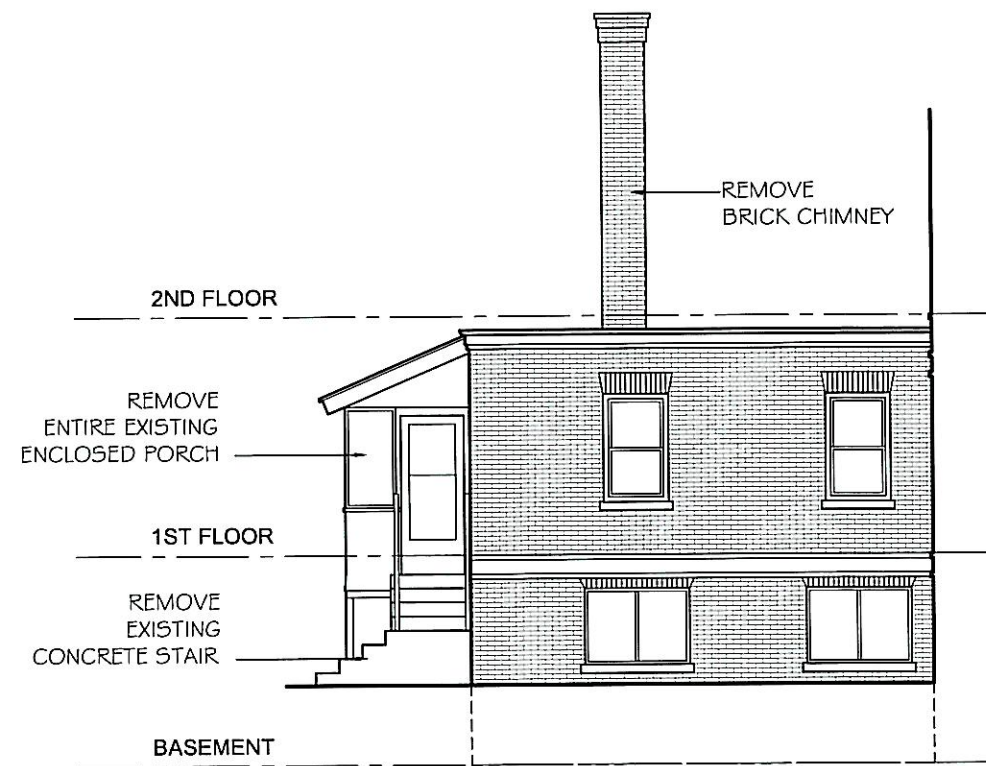
DRAWING TITLE
EXISTING AND
PROPOSED
WEST
ELEVATION

SCALE AS NOTED

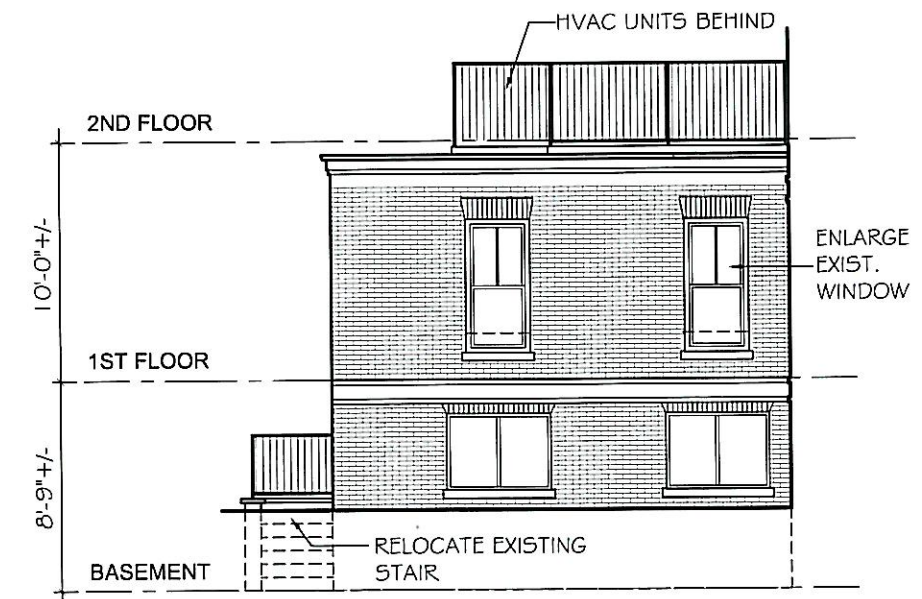
REVISION	DATE
SP APPL- REV 3	09/12/2013
SP APPL- REV 2	08/30/2013
SP APPL- REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY DM/KVS	REVIEWED BY PQ

SHEET

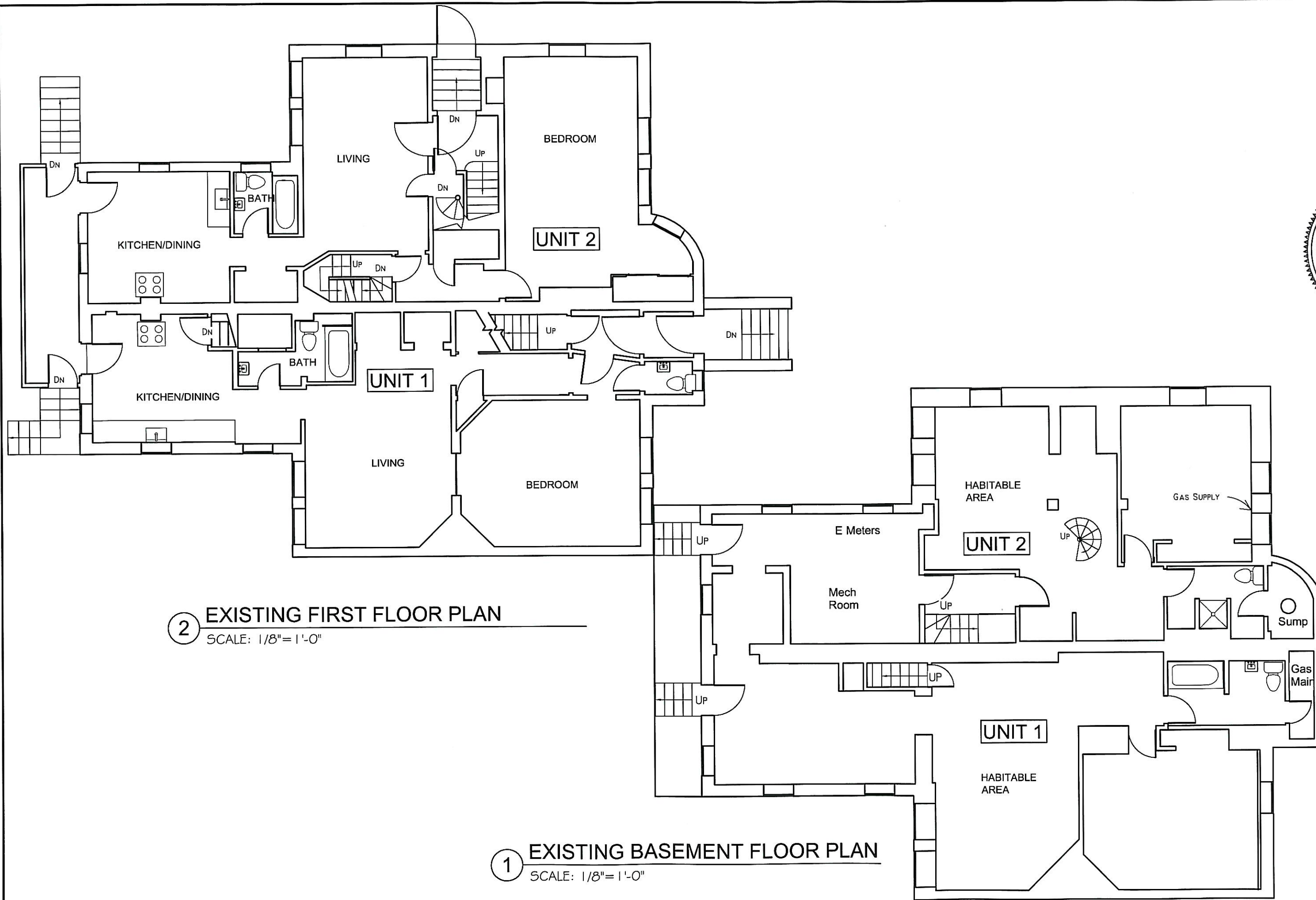
A2.4



1 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



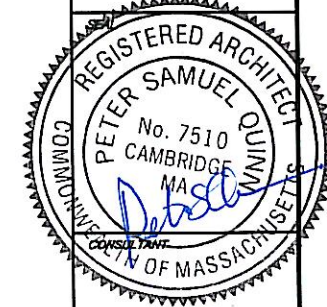
2 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

PETER QUINN ARCHITECTS

ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
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REAL ESTATE
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91 PERKINS STREET
SOMERVILLE, MA 02145

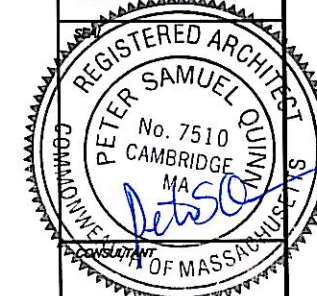
DRAWING TITLE
EXISTING
BASEMENT
AND FIRST
FLOOR PLANS

SCALE AS NOTED

REVISION	DATE
SP APPL.-REV 3	09/12/2013
SP APPL.-REV 2	08/30/2013
SP APPL.-REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY ACWIDM	REVIEWED BY PQ

SHEET

E1.1



PROJECT
2 JACQUES STREET

2 JACQUES STREET
SOMERVILLE, MA 02145

PREPARED FOR
INTEGRATED
REAL ESTATE
ASSOCIATES, INC.

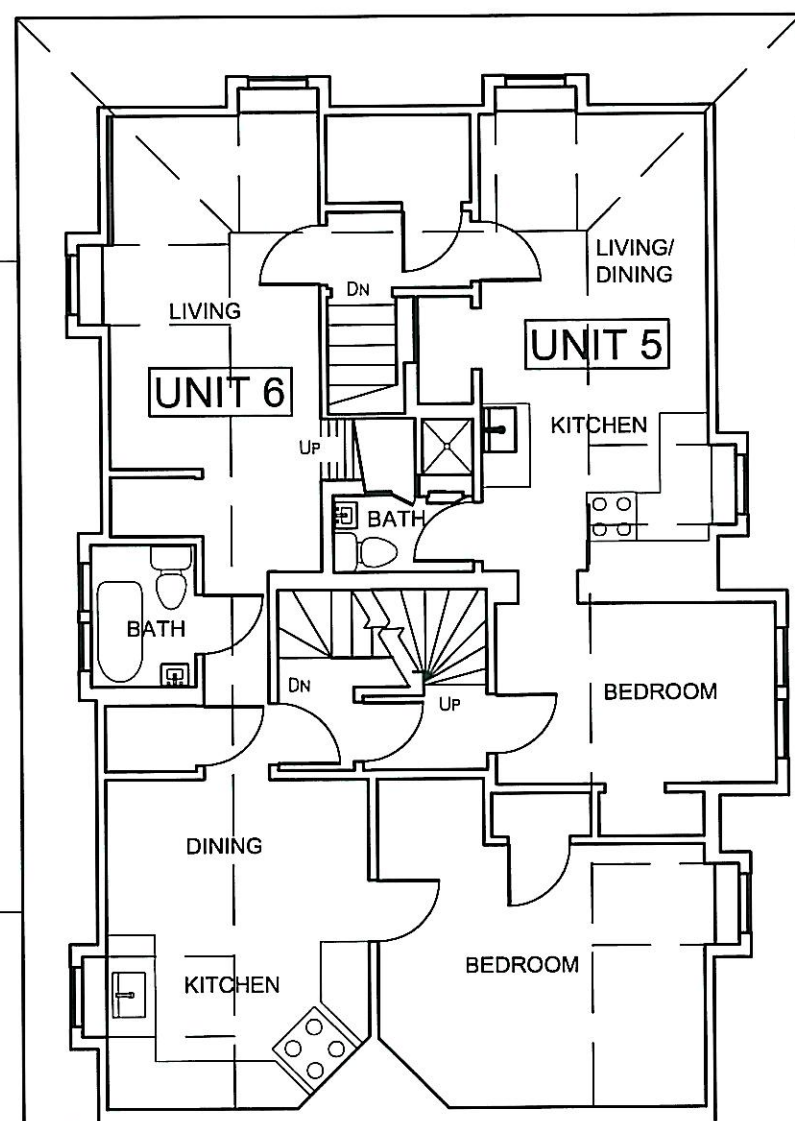
81 PERKINS STREET
SOMERVILLE, MA 02145

DRAWING TITLE
EXISTING
SECOND
AND THIRD
FLOOR PLANS

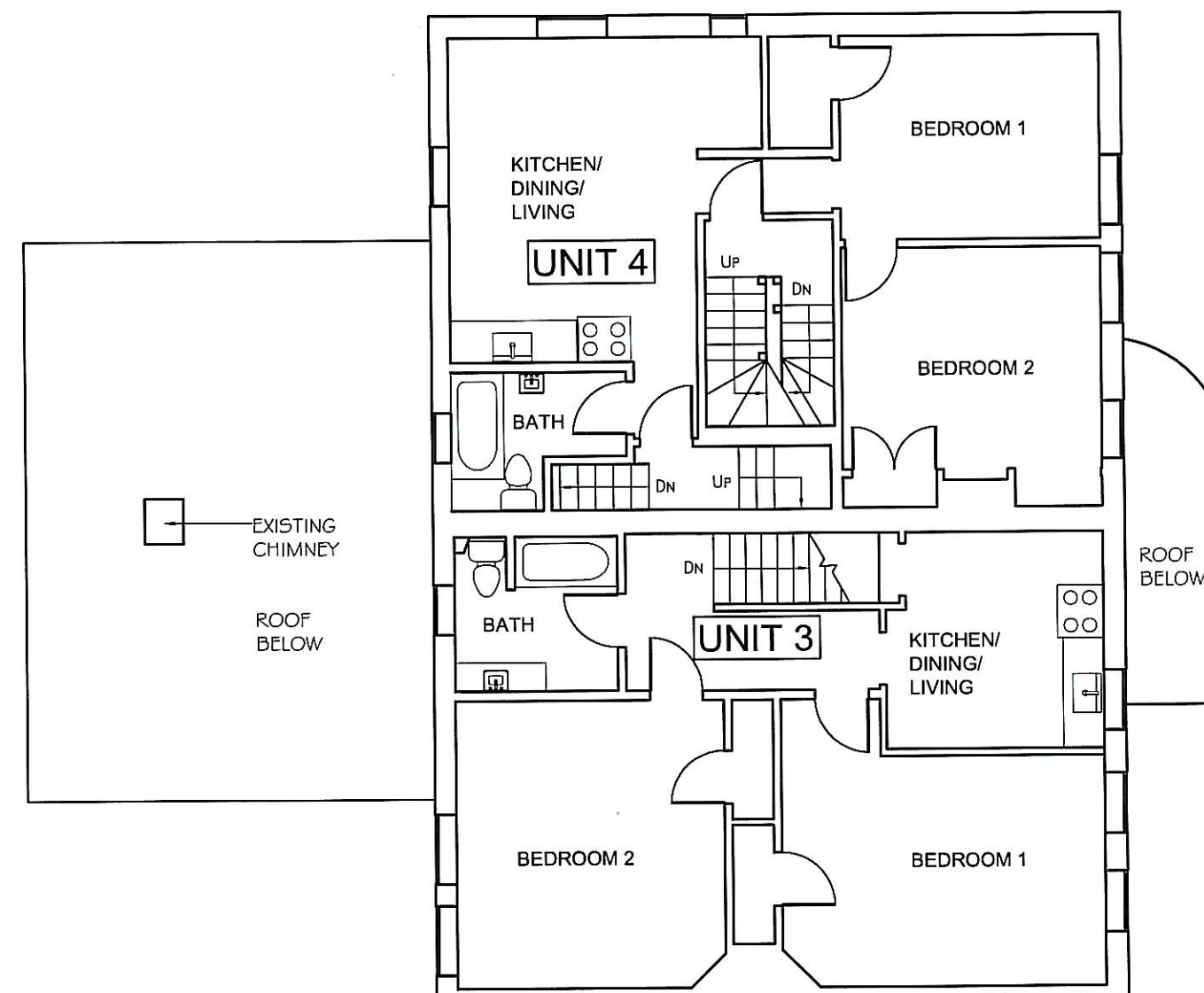
SCALE AS NOTED

REVISION	DATE
SP APPL - REV 3	09/12/2013
SP APPL - REV 2	08/30/2013
SP APPL - REV 1	08/27/2013
SP APPLICATION	08/16/2013
DRAWN BY ACW/DM	REVIEWED BY PQ

SHEET
E1.2



2 EXISTING THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"