

SFGstudios

Architectural Design Services

278 Elm Street, Suite 226

Somerville, MA 02144

781.956.9773 cell

SFGstudios@msn.com

Interior Basement Renovations

32 Lexington Ave
Somerville, Massachusetts

PROJECT

Zoning Information

ZONE: RA

MAP: 29

BLOCK: D

LOT: 8

LOT AREA: 0.08 ACRE (

EXISTING WOOD FRAMED 2 3/4 STORY TWO FAMILY RESIDENCE

3,343 SF EXISTING GROSS LIVING AREA - ASSESSOR'S DATABASE

830 SF ADDITIONAL BASEMENT LIVING AREA (LESS THAN 25% INCREASE)

4,173 SF TOTAL GROSS LIVING AREA

OWNER

Fariba Abbasi
Michael Lagasse
c/o 32 Lexington Ave
Somerville, Massachusetts

Building Code Information

Occupancy / Use: RESIDENTIAL USE GROUP R-3

Climate: 5a

Ground Snow Live Load (Pg): 45

Basic Wind Speed (V): 105

Earthquake Design Factors 0.28 0.069

Wind & Snow Risk Category II

All alterations, repairs and construction methods are to comply with:

International Residential Code 2009 (IRC) with MA Amendments (780 CMR 51.00)

International Existing Building Code 2009 (IEBC) with MA Amendments (780 CMR 51.00)

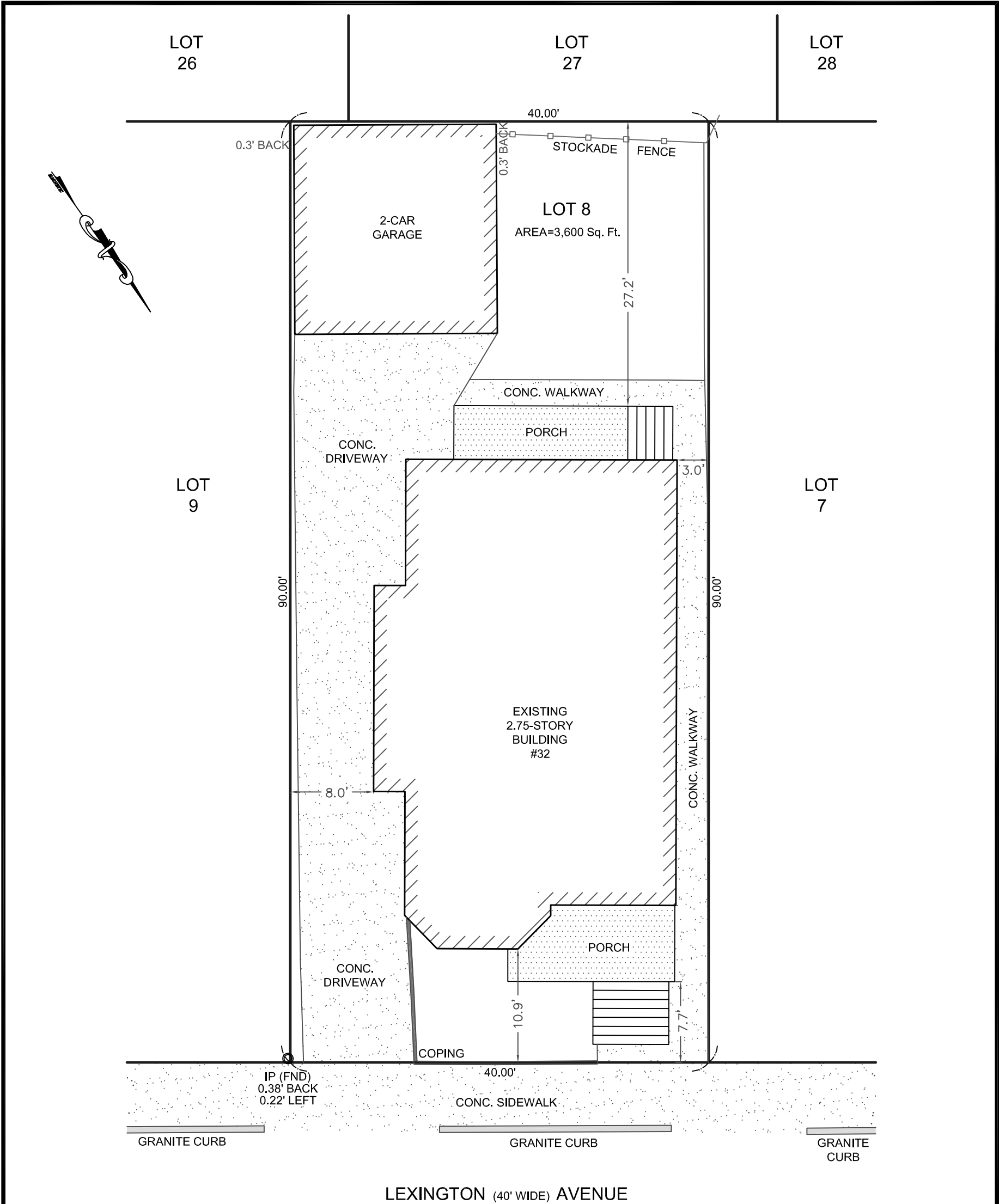
International Fire Code 2009 (IFC)

International Mechanical Code 2009 (IMC)

International Fuel & Gas Code 2009 (IFGC)

International Electrical Code 2009 (IEC)

International Energy Efficiency Code 2012 (IEEC)



NOTES:

- * Scale 1 inch = 10 ft.
- * Assessors Ref.: 29/ D / 8 /
- * Deed Ref.: Book 65647, Page 339
- * Plan Ref.: Plan Book 146, Plan 7
Plan Book 299, Plan 34
Plan Book 151, Plan 45
- * Zone: RA

Patrick J. Roseingrave
Patrick J. Roseingrave
Professional Land Surveyor

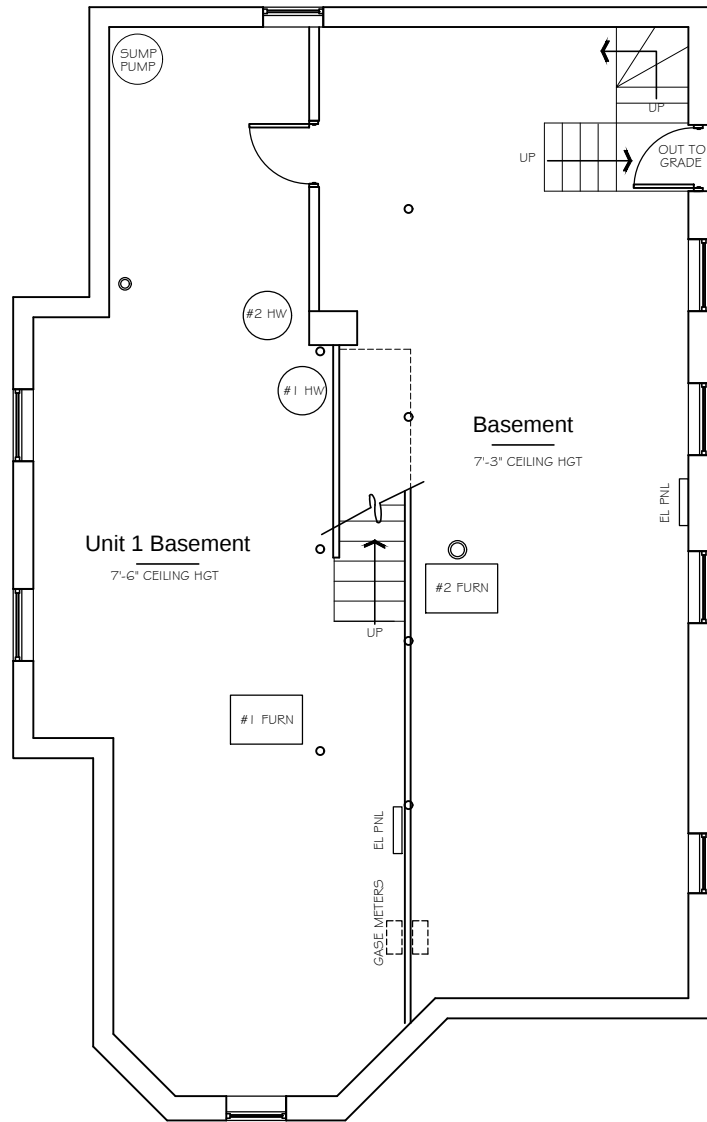


Plot Plan
32 Lexington Avenue
Somerville, MA 02144

LAND
MAPPING
INC.

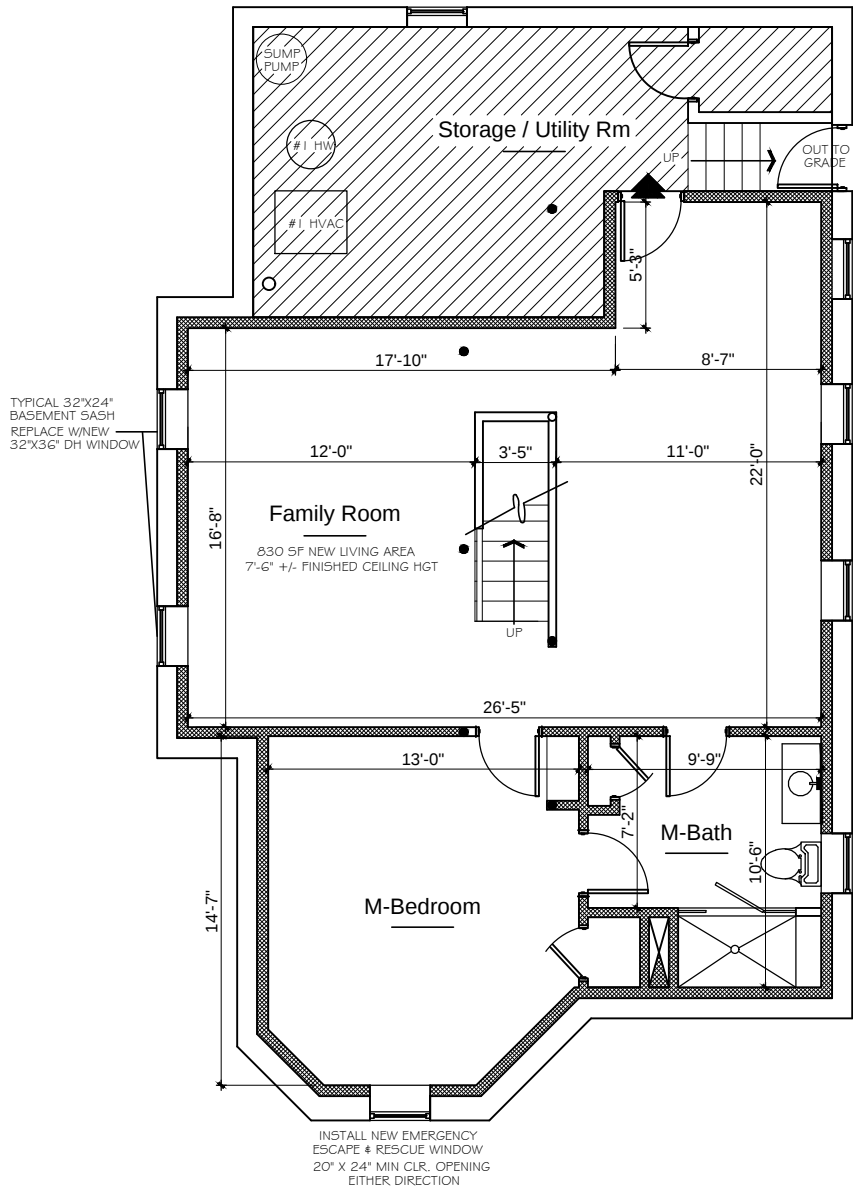
10 Andrew Square, Suite 201B
South Boston, MA 02127
Tel. 857-544-3061
www.land-mapping.com

Date: October 20, 2015



Existing Basement Plan

1,194 SF (GROSS AREA)



Proposed Basement Plan

830 SF (LIVING AREA)



INTERIOR RENOVATIONS

32 LEXINGTON AVE
SOMERVILLE, MA

BASEMENT FLOOR PLAN

REVISIONS

1. 10/26/15 REE WINDOW SIZE CHANGED

OWNER

FARIBA ABBASI
MICHAEL LAGASSE
14 CHAMBERLAIN RD
NEWTON, MA
02458

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SFG

DATE 09/12/2015

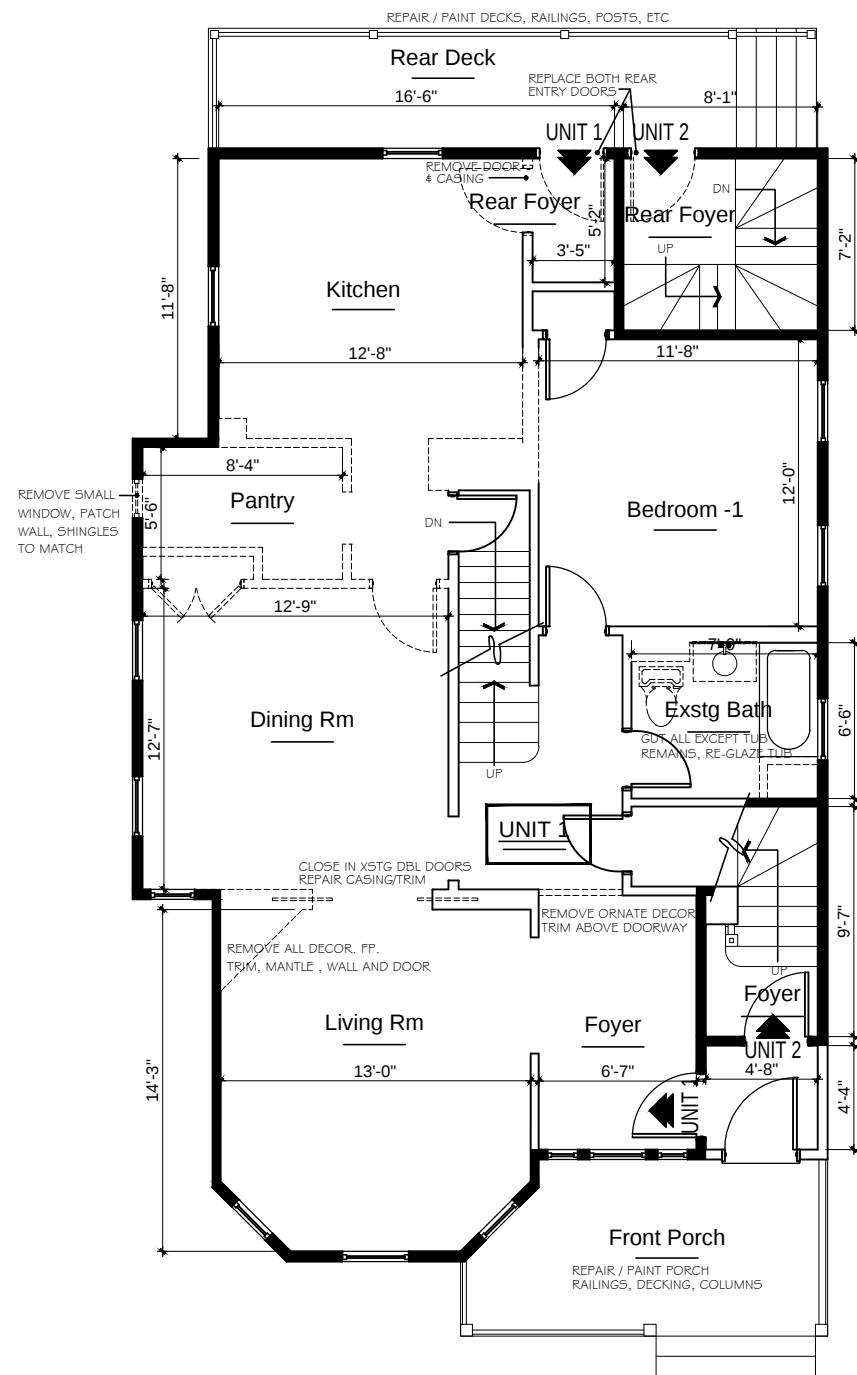
PROJECT
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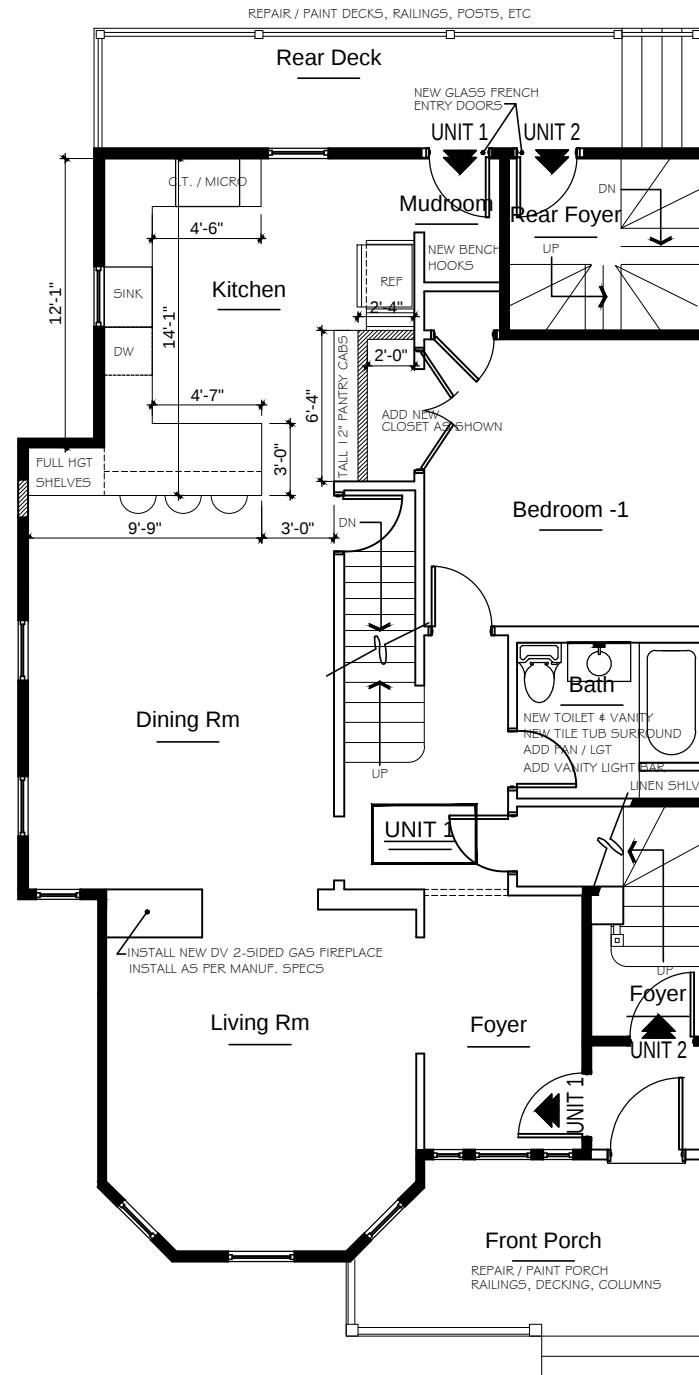
1/8" = 1'-0"

DRAWING
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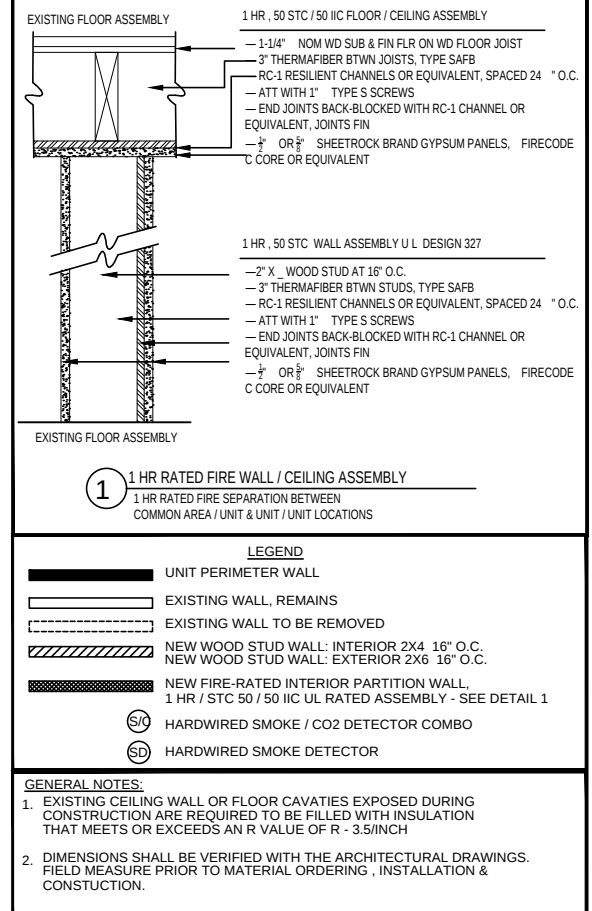
A1.0



1,194 SF (GROSS AREA)



1,194 SF (GROSS AREA)



TYPICAL INTERIOR DETAILS:

REPAIR, PATCH , SAND , PAINT
ALL WALLS
REMOVE ANY EXISITNG WALLPAPER

REFINISH AND STAIN ALL HARD WOOD FLOORING
VERIFY COLOR W/ OWNER
REMOVE ANY EXISTING CARPET

REPLACE ALL CROWN MOLDING ALL ROOMS
STYLE BY OWNER

REMOVE ALL VINYL FLOORING IN KITCHENS
NEW OR REFINISH HARD WOOD FLOORING
IN KITCHENS

REPLACE MOST INTERIOR DOORS
VERIFY DOORS W/OWNER

UNIT ENTRY DOORS TO BE REPLACED IF NEEDED
OR WHERE NOTED - VERIFY W/OWNER

TYPICAL EXTERIOR DETAILS:

REPAIR AND PAINT ALL PORCHES AND DECKS
RAILINGS AND / OR DECKING

POWERWASH ALL EXTERIOR, PAINT WHERE NEED

ALL RED TRIM TO BE REPAINTED NEW COLOR
CHOSEN BY OWNER

REPLACE GARAGE DOOR, ADD AUTO OPENER
CLEAN AND PAINT GARAGE SLAB



DESIGNERS • PLANNERS • ILLUSTRATORS

INTERIOR RENOVATIONS

32 LEXINGTON AVE
SOMERVILLE, MA

FIRST FLOOR PLANS

REVISIONS	
1.	
2.	
3.	
4.	
5.	

OWNER

Fariba Abbasi
Michael LaGasse
Real Estate Management
c/o 32 Lexington Ave
Somerville, MA

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SFG

DATE 07/10/2015

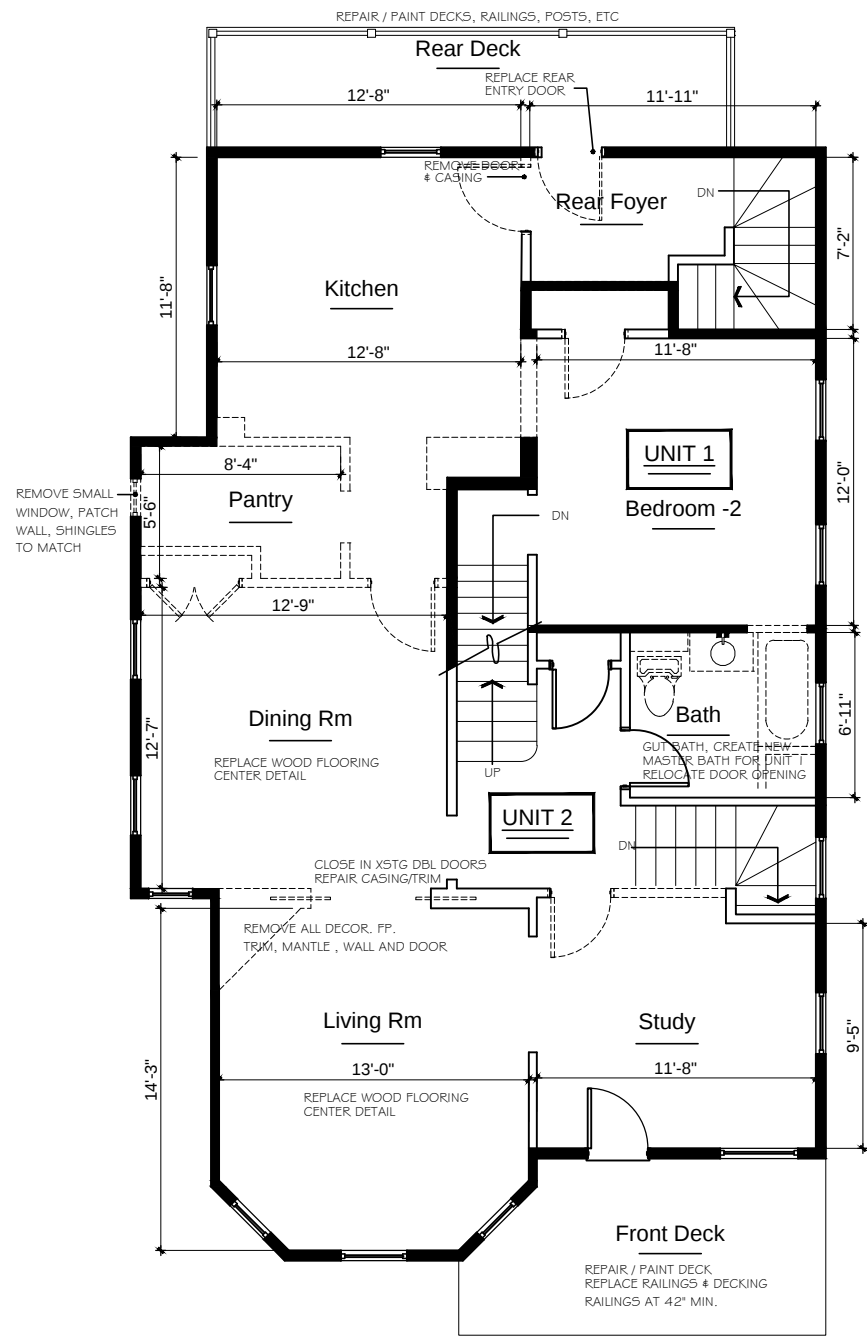
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No.

SCALE

$$1/8'' = 1'-0''$$

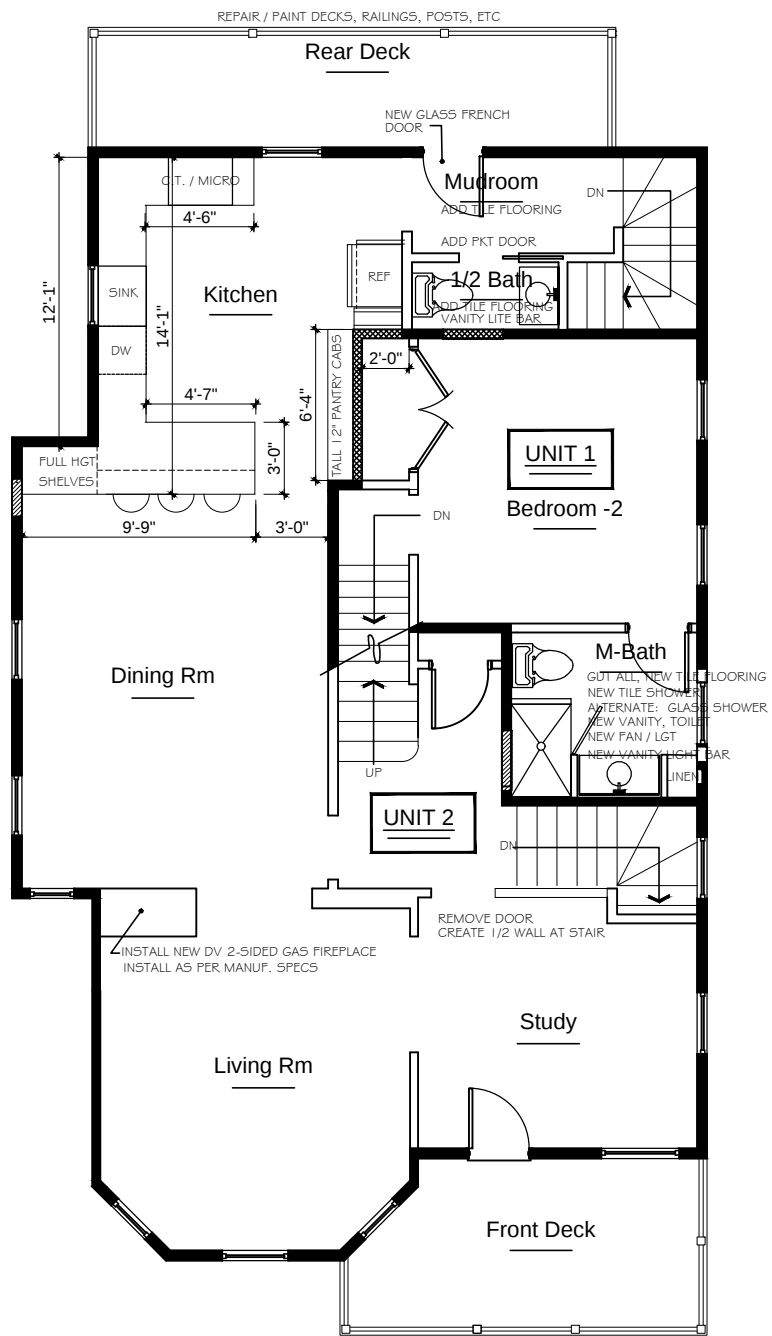
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A1.1



Existing Second Floor Plan

1,194 SF (GROSS AREA)



Proposed Second Floor Plan

1,194 SF (GROSS AREA)

EXISTING FLOOR ASSEMBLY

- 1 HR, 50 STC / 50 IIC FLOOR / CEILING ASSEMBLY
- 1-1/4" NOM WD SUB & FIN FLR ON WD FLOOR JOIST
- 3" THERMAFIBER BTWN JOISTS, TYPE SAFB
- RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.
- ATT WITH 1" TYPE S SCREWS
- END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN
- 5/8" OR 3/4" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE OR EQUIVALENT

EXISTING FLOOR ASSEMBLY

- 1 HR, 50 STC WALL ASSEMBLY U.L. DESIGN 327
- 2" X 4" WOOD STUD AT 16" O.C.
- 3" THERMAFIBER BTWN STUDS, TYPE SAFB
- RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.
- ATT WITH 1" TYPE S SCREWS
- END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN
- 5/8" OR 3/4" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE OR EQUIVALENT

1 HR RATED FIRE WALL / CEILING ASSEMBLY

1 HR RATED FIRE SEPARATION BETWEEN COMMON AREA / UNIT & UNIT / UNIT LOCATIONS

LEGEND

- UNIT PERIMETER WALL
- EXISTING WALL, REMAINS
- EXISTING WALL TO BE REMOVED
- NEW WOOD STUD WALL: INTERIOR 2X4 16" O.C. NEW WOOD STUD WALL: EXTERIOR 2X6 16" O.C.
- NEW FIRE-RATED INTERIOR PARTITION WALL, 1 HR / STC 50 / 50 IIC U.L. RATED ASSEMBLY - SEE DETAIL 1
- HARDWIRED SMOKE / CO2 DETECTOR COMBO
- HARDWIRED SMOKE DETECTOR

GENERAL NOTES:

- EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION ARE REQUIRED TO BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R - 3.5/INCH
- DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS. FIELD MEASURE PRIOR TO MATERIAL ORDERING, INSTALLATION & CONSTRUCTION.

TYPICAL INTERIOR DETAILS:

REPAIR, PATCH, SAND, PAINT
ALL WALLS
REMOVE ANY EXISTING WALLPAPER

REFINISH AND STAIN ALL HARD WOOD FLOORING
VERIFY COLOR W/ OWNER
REMOVE ANY EXISTING CARPET

REPLACE ALL CROWN MOLDING ALL ROOMS
STYLE BY OWNER

REMOVE ALL VINYL FLOORING IN KITCHENS
NEW OR REFINISH HARD WOOD FLOORING
IN KITCHENS

REPLACE MOST INTERIOR DOORS
VERIFY DOORS W/OWNER

UNIT ENTRY DOORS TO BE REPLACED IF NEEDED
OR WHERE NOTED - VERIFY W/OWNER

TYPICAL EXTERIOR DETAILS:

REPAIR AND PAINT ALL PORCHES AND DECKS
RAILINGS AND / OR DECKING

POWERWASH ALL EXTERIOR, PAINT WHERE NEEDED

ALL RED TRIM TO BE REPAINTED NEW COLOR
CHOSEN BY OWNER

REPLACE GARAGE DOOR, ADD AUTO OPENER
CLEAN AND PAINT GARAGE SLAB

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INTERIOR RENOVATIONS

32 LEXINGTON AVE
SOMERVILLE, MA

SECOND FLOOR PLANS

REVISIONS

OWNER

Fariba Abbasi
Michael LaGasse
Real Estate Management
c/o 32 Lexington Ave
Somerville, MA

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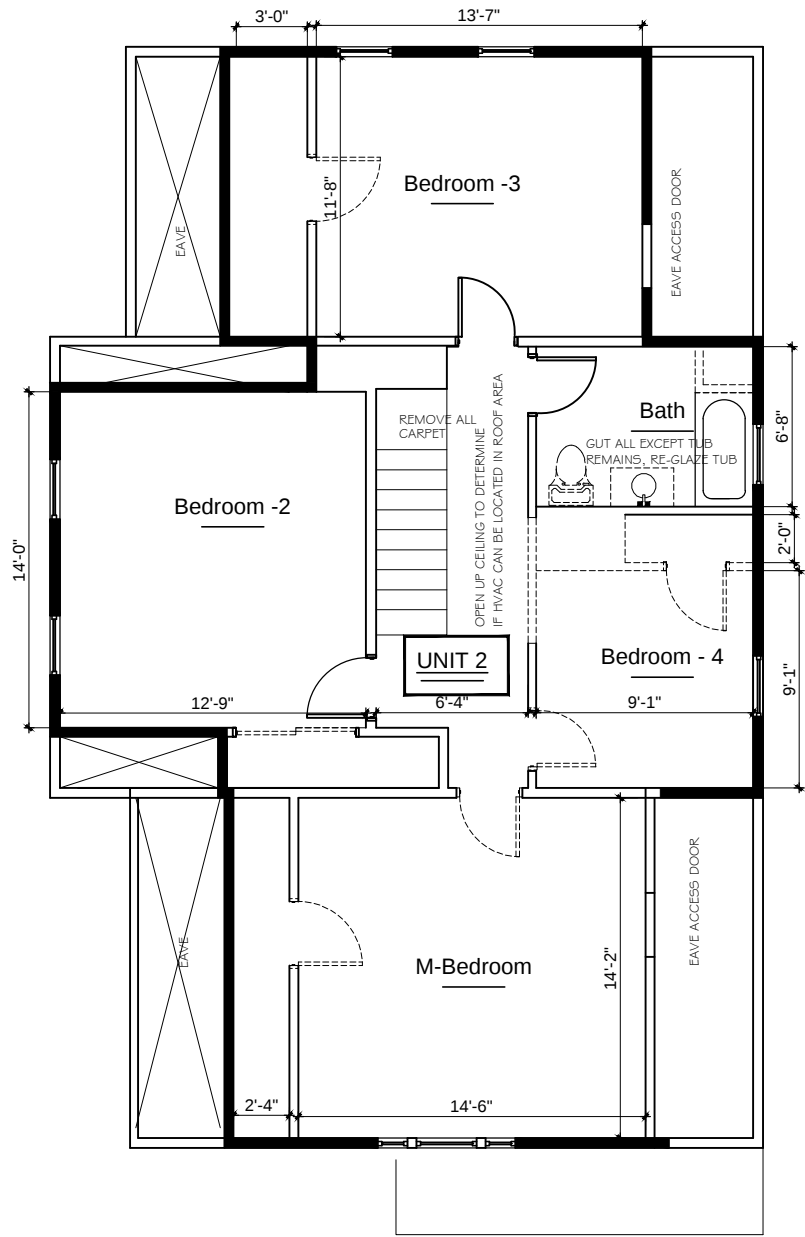
DATE 07/10/2015

PROJECT
No.

SCALE
1/8" = 1'-0"

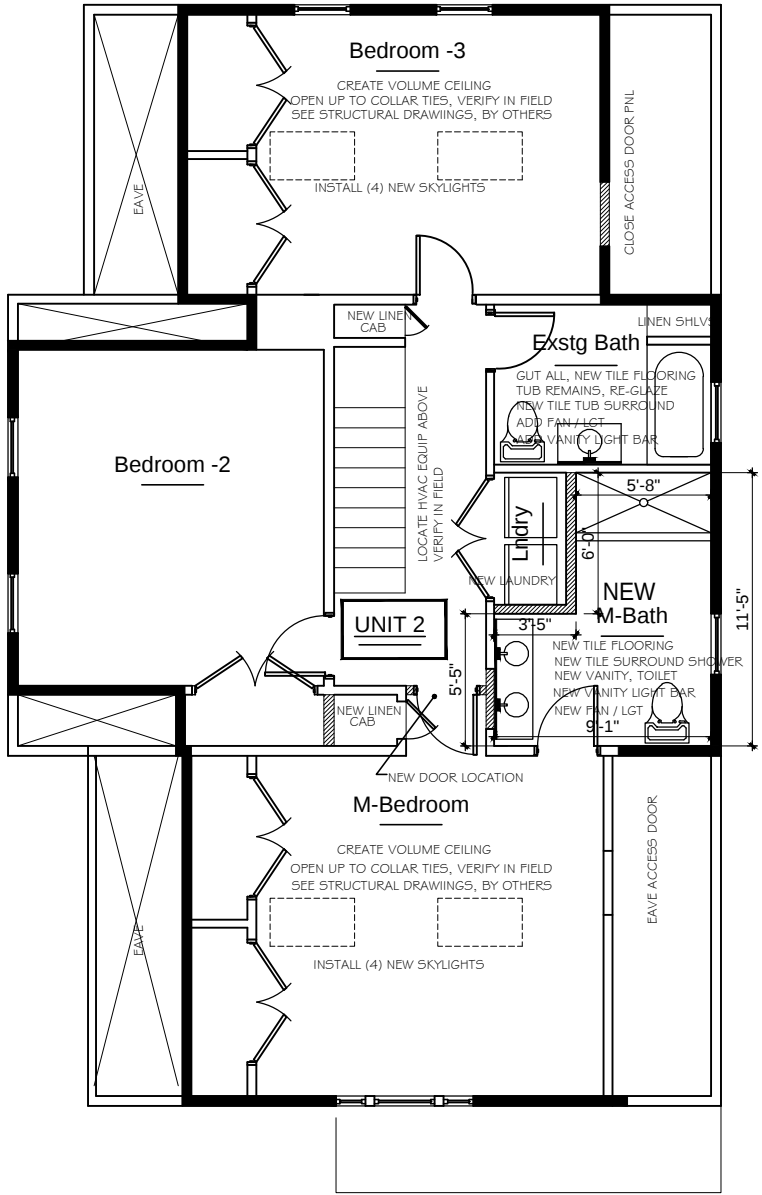
DRAWING
No.

A1.2



Existing Third Floor Plan

1,242 SF (GROSS AREA)



Proposed Third Floor Plan

1,242 SF (GROSS AREA)

EXISTING FLOOR ASSEMBLY

1 HR, 50 STC / 50 IIC FLOOR / CEILING ASSEMBLY

1-1/4" NOM WD SUB & FIN FLR ON WD FLOOR JOIST

3" THERMAFIBER BTWN JOISTS, TYPE SAFB

RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.

ATT WITH 1" TYPE S SCREWS

END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN

OR 5/8" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE OR EQUIVALENT

EXISTING FLOOR ASSEMBLY

1 HR, 50 STC WALL ASSEMBLY U.L. DESIGN 327

2" X 4" WOOD STUD AT 16" O.C.

3" THERMAFIBER BTWN STUDS, TYPE SAFB

RC-1 RESILIENT CHANNELS OR EQUIVALENT, SPACED 24" O.C.

ATT WITH 1" TYPE S SCREWS

END JOINTS BACK-BLOCKED WITH RC-1 CHANNEL OR EQUIVALENT, JOINTS FIN

OR 5/8" SHEETROCK BRAND GYPSUM PANELS, FIRECODE C CORE OR EQUIVALENT

1

1 HR RATED FIRE WALL / CEILING ASSEMBLY

1 HR RATED FIRE SEPARATION BETWEEN COMMON AREA / UNIT & UNIT / UNIT LOCATIONS

LEGEND

UNIT PERIMETER WALL

EXISTING WALL, REMAINS

EXISTING WALL TO BE REMOVED

NEW WOOD STUD WALL: INTERIOR 2X4 16" O.C. NEW WOOD STUD WALL: EXTERIOR 2X6 16" O.C.

NEW FIRE-RATED INTERIOR PARTITION WALL, 1 HR / STC 50 / 50 IIC UL RATED ASSEMBLY - SEE DETAIL 1

SD HARDWIRED SMOKE / CO2 DETECTOR COMBO

SD HARDWIRED SMOKE DETECTOR

GENERAL NOTES:

1. EXISTING CEILING WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION ARE REQUIRED TO BE FILLED WITH INSULATION THAT MEETS OR EXCEEDS AN R VALUE OF R - 3.5/INCH

2. DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS. FIELD MEASURE PRIOR TO MATERIAL ORDERING, INSTALLATION & CONSTRUCTION.

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RAILINGS AND / OR DECKING

POWERWASH ALL EXTERIOR, PAINT WHERE NEEDED

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REPLACE GARAGE DOOR, ADD AUTO OPENER
CLEAN AND PAINT GARAGE SLAB



INTERIOR RENOVATIONS

32 LEXINGTON AVE
SOMERVILLE, MA

THIRD FLOOR PLAN

REVISIONS

1	2	3	4	5
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OWNER

Fariba Abbasi
Michael LaGasse
Real Estate Management
c/o 32 Lexington Ave
Somerville, MA

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DATE

07/10/2015

PROJECT

No.

SCALE

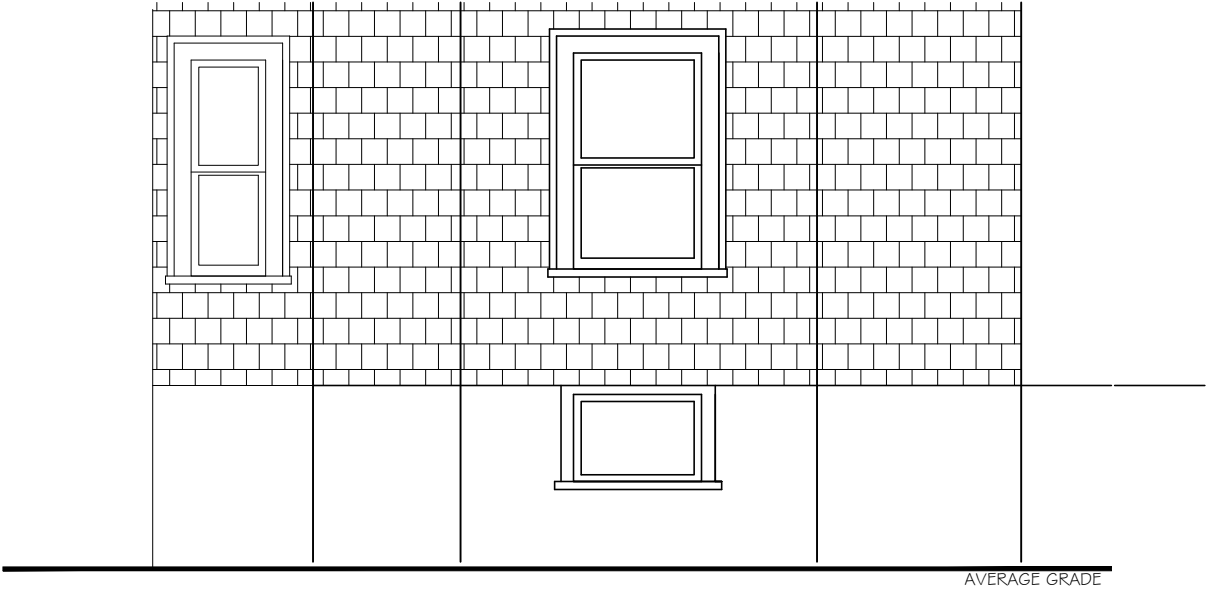
1/8" = 1'-0"

DRAWING

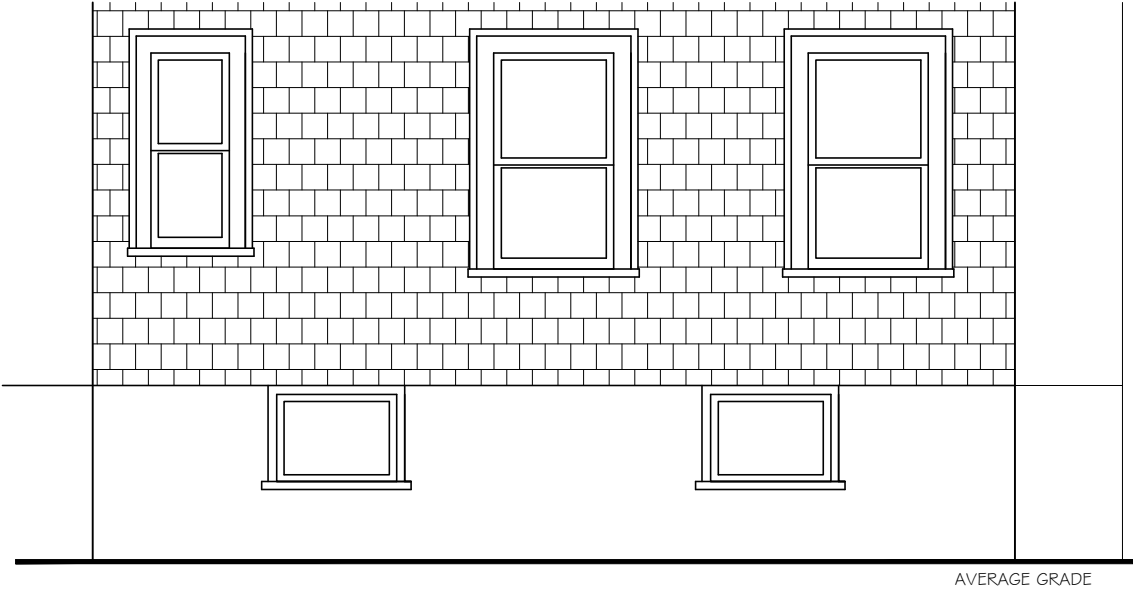
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09/12/2015 ZBA SUBMIT PLOT - 1

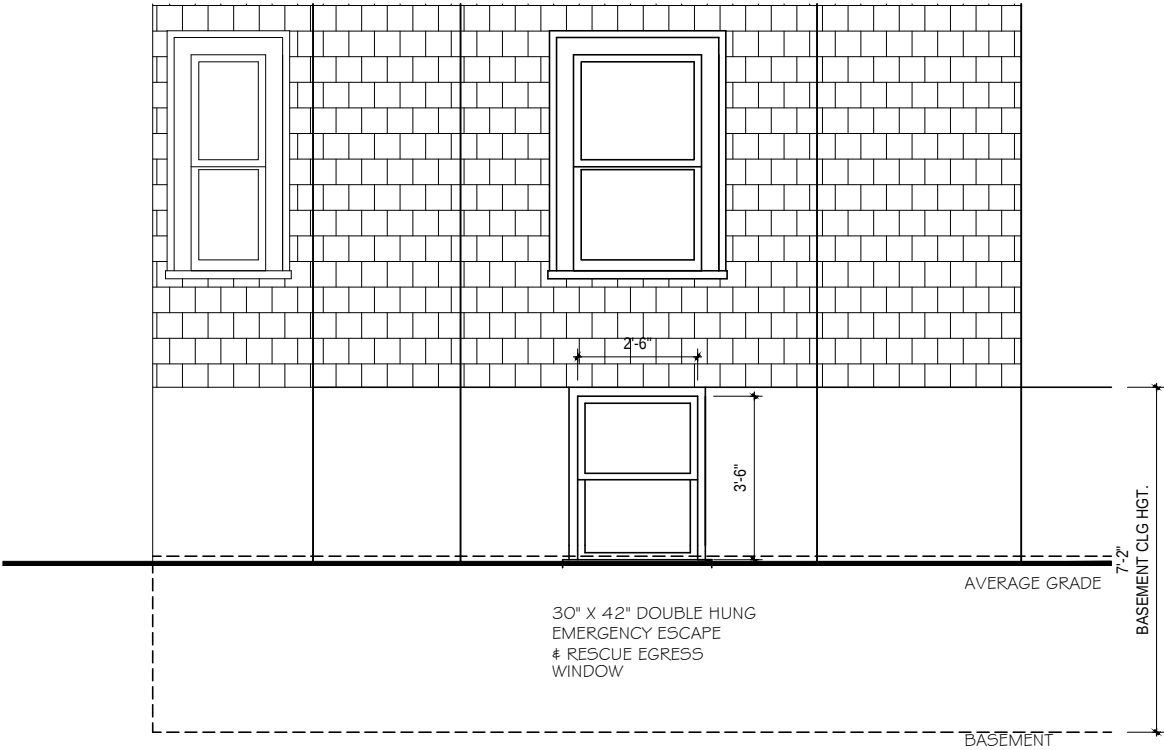


FRONT BAY ELEVATION

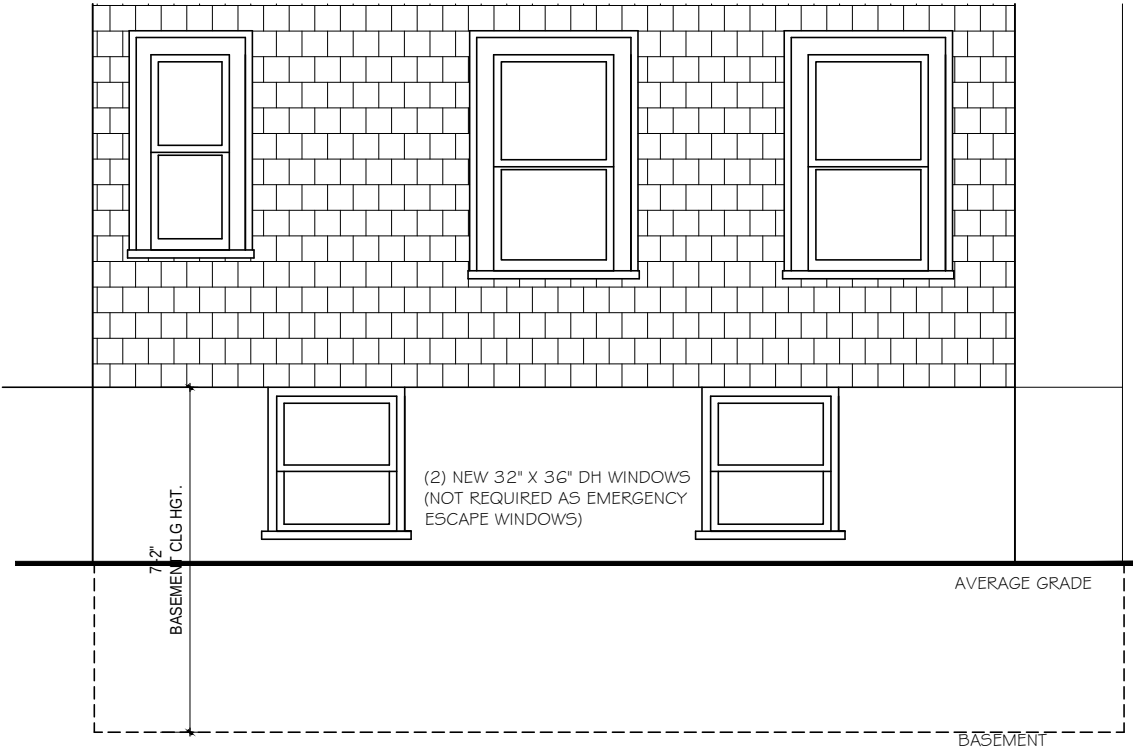


DRIVEWAY ELEVATION

EXISTING



FRONT BAY ELEVATION



DRIVEWAY ELEVATION

PROPOSED

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INTERIOR RENOVATIONS

32 LEXINGTON AVE
SOMERVILLE, MA

BASEMENT WINDOW ELEVATIONS

REVISIONS

1. 10/26/15 EER WINDOW SIZE CHANGED

OWNER

FARIBA ABBASI
MICHAEL LAGASSE
14 CHAMBERLAIN RD
NEWTON, MA
02458

DRAWN BY

SFG

DATE

09/12/2015

PROJECT
No.

SCALE

1/4" = 1'-0"

DRAWING
No.

SKA-1