16 LINDEN AVE

SOMERVILLE, MA

LIST OF DRAWINGS

ARCHITECTURAL		REVD SP APPL 04/30/12	REVD #2 SP APPL 05/29/12
	COVER SHEET/ DRAWING LIST	X	X
Z-1	ZONING COMPLIANCE SHEET 1 OF 2	X	X
Z-2	ZONING COMPLIANCE SHEET 2 OF 2	X	X
A0.1	VIEWS	X	X
A1.0	ARCHITECTURAL SITE PLAN	X	X
A1.1-A1.4	FLOOR PLANS	X	X
A2.0	ELEVATIONS	X	X

PREPARED BY:

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CIVIL ENGINEER
JOHN A. BARROWS, P.E.
90 PINE STREET
DANVERS, MA 01923
PH (978) 204-2390

PREPARED FOR:

OWNER
NEWMARKET PROPERTIES
65 PARK STREET
ARLINGTON, MA 02474

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ARCHITECTURE
PLANNING
COMMUNITY DESIGN

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65 PARK STREET
ARLINGTON, MA 02474

DRAWING TITLE

COVER SHEET

SCALE AS NOTED

REVISION	DATE
REVD #2 SP	5/29/12
REVD SP APPL	4/30/12
NEIGB. MTG.	4/17/12

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PN	PQ

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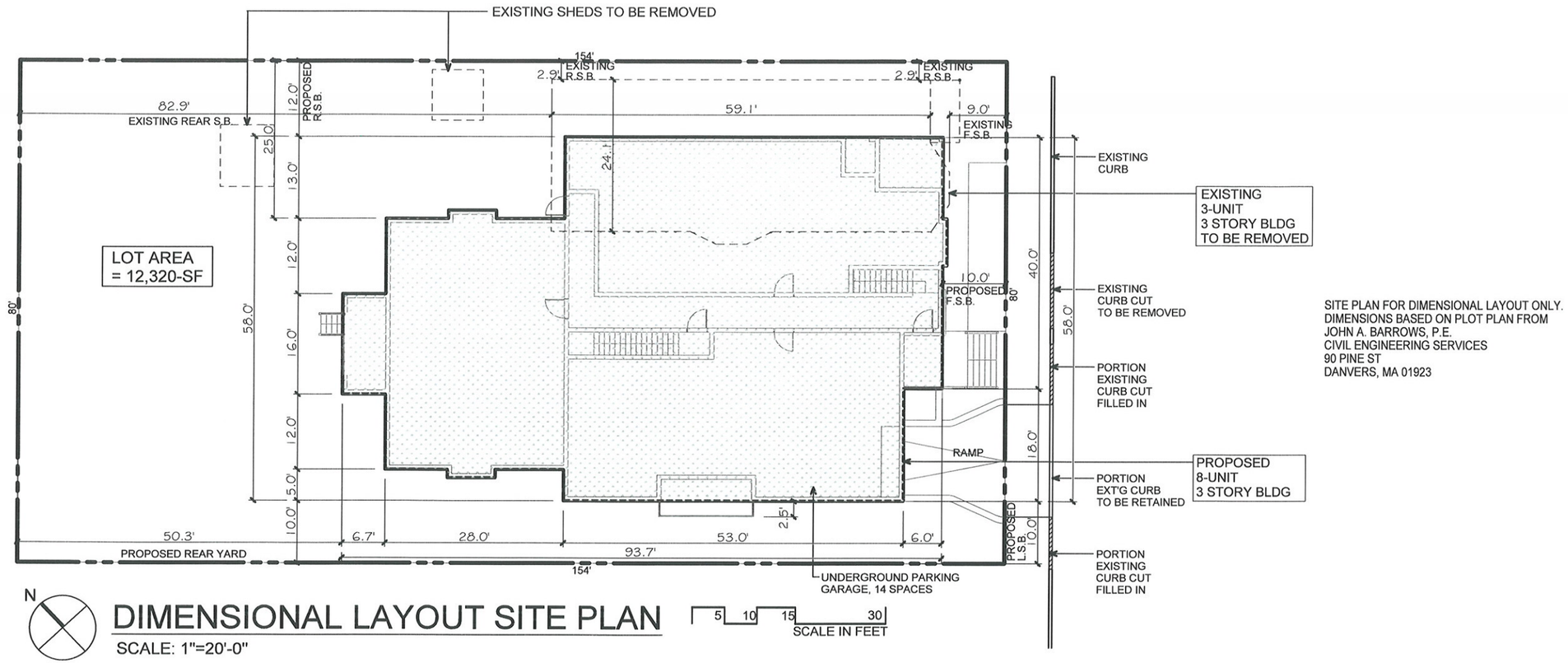
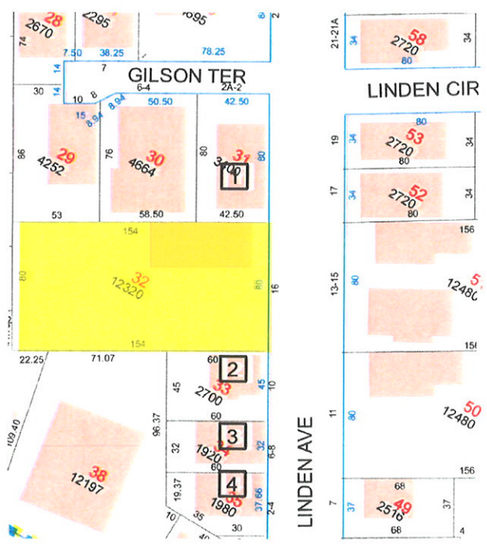


SITE PLAN FOR DIMENSIONAL LAYOUT ONLY.
DIMENSIONS BASED ON PLOT PLAN FROM
JOHN A. BARROWS, P.E.
CIVIL ENGINEERING SERVICES
90 PINE ST
DANVERS, MA 01923

DIMENSIONAL LAYOUT SITE PLAN

SCALE: 1"=20'-0"



FRONT YARD CALCULATION
BASED ON ACCESSOR'S MAP

FRONT YARDS WITHIN 100' FT OF SITE

1	4'
2	6'
3	3'
4	4'

17' / 4 = 4.25'

FRONT YARD CALC = 4.25'
MIN = 10'

16 LINDEN AVENUE
DIMENSIONAL TABLE - RESIDENTAL-B ZONING DISTRICT-7.3 SPSR APPLICATION

ITEM	ALLOWED/ REQUIRED	PROPOSED	COMPLIANCE
MIN LOT SIZE	7,500 SF	12,320-SF	COMPLIES
MIN LOT AREA / UNIT	1500 SF/UNIT MIN	1,540-SF/UNIT	COMPLIES
TOTAL ALLOWABLE BLDG AREA (EXCL GAR'S & BSMT)	LOT AREA X 1.0 = 12,320-SF	12,285-SF	COMPLIES
MAX FLR AREA RATIO	1.0 (MAX ALWD)	1.00	COMPLIES
GROUND COVERAGE	50.0% (MAX ALWD)	37.7%	COMPLIES
MIN LANDSCAPED AREA	25.0% (MIN RQD)	58.5%	COMPLIES
MAX HT FT - STORIES	40.0'/ 3-STY	36.5 '/ 3-STY	COMPLIES
MIN FRONT YD	15.0' (10.0' BY CALC)	10.0'	COMPLIES
MIN SIDE YD - L	8' (2.5-STY) X 1.5 (PER 7.3)	10.0'	COMPLIES
MIN SIDE YD - R	10' (3-STY) X 1.5 (PER 7.3)	12.0'	COMPLIES
MIN REAR YD	20.0'	50.3'	COMPLIES
MIN FRONTAGE	50.0'	80.0'	COMPLIES
PARKING REQUIREMENTS	(6) UNITS, 2 BDRM = 1.5 SPACES REQ'D/PER UNIT = 9 (2) UNITS, 3 BDRM = 2 SPACES REQ'D/PER UNIT = 4 TOTAL PARKING REQUIRED = 13 SPACES + 1 VISITOR SPACES = 14 SPACES TOTAL PARKING PROVIDED = 14 SPACES		COMPLIES

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ZONING COMPLIANCE
SHEET 1 OF 2

SCALE AS NOTED

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Z-1

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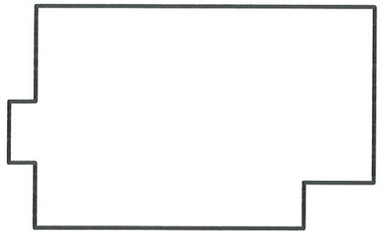
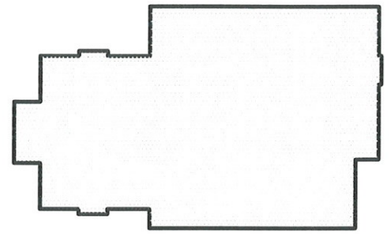


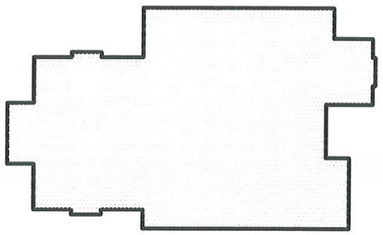
PROPOSED BLDG, BASEMENT AREA CALC.

SCALE: 1"=40'-0"
HATCHED AREA = +/- 4,937 SF



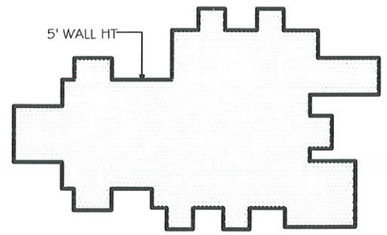
PROPOSED BLDG, FIRST FLOOR AREA CALC.

SCALE: 1"=40'-0"
HATCHED AREA = +/- 4,566



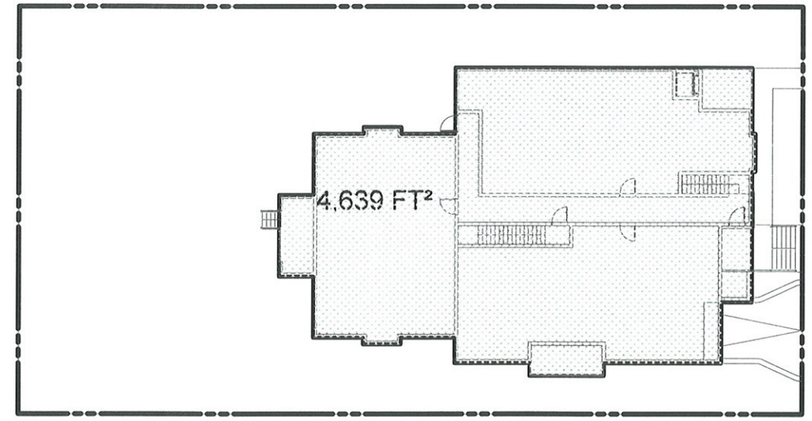
PROPOSED BLDG, SECOND FLOOR AREA CALC.

SCALE: 1"=40'-0"
HATCHED AREA = +/- 4,314 SF



PROPOSED BLDG, THIRD FLOOR AREA CALC.

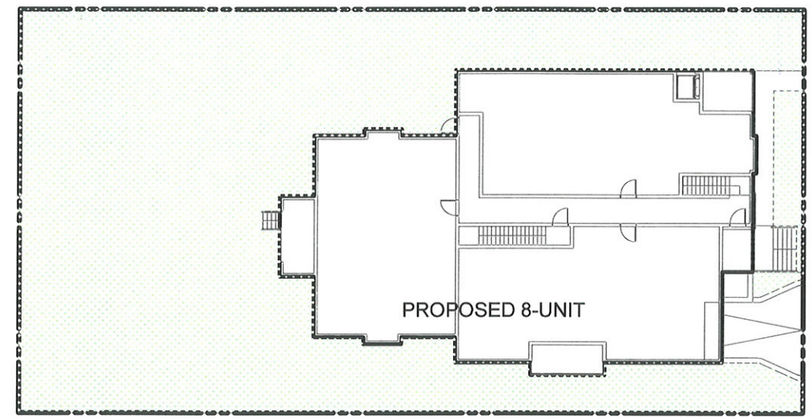
SCALE: 1"=40'-0"
HATCHED AREA = +/- 3,405 SF



MAXIMUM BLDG GROUND COVERAGE AREA = 4,639 SF (HATCHED) / LOT AREA = 12,320 SF =37.7%

MAXIMUM BLDG GROUND COVERAGE AREA CALCULATION

SCALE: 1"=30'-0"



LANDSCAPE AREA = 7,212 SF (HATCHED) / LOT AREA = 12,320 SF =58.5%

LANDSCAPE AREA CALCULATION

SCALE: 1"=30'-0"

LANDSCAPED AREA

		PROPOSED BLDG NET FLOOR AREA
	THIRD FLOOR	3,405 SF
	SECOND FLOOR	4,314 SF
	FIRST FLOOR	4,566 SF
	BLDG TOTAL	12,285 SF
	TOTAL	12,285 SF
EXCLUDED AREA PER THE BYLAW	BASEMENT/PKG	4,937 SF

BUILDING AREA CALCULATIONS
PER SOMERVILLE DEFINITION OF NET FLOOR AREA

BUILDING HEIGHT DIAGRAM - PROPOSED BLDG
SCALE: 1" = 20'-0"
NOTE - EXT'G 3-UNIT = +/- 36'

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PREPARED FOR
NEW MARKET PROPERTIES

65 PARK STREET
ARLINGTON, MA 02474

DRAWING TITLE
ZONING COMPLIANCE SHEET 2 OF 2

SCALE AS NOTED

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SHEET
Z-2

Z:\IDCADdwgs\Linden-16\Dcad Drwgs\Schematic Design Multifamily\Zoning\120426-Zoning

FRONT VIEW (LINDEN AVE)

REAR VIEW

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VIEWS

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MY	PQ

SHEET

A0.1

1 SITE PLAN
SCALE: 1/16"= 1'-0"

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SITE PLAN

SCALE AS NOTED

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ACW	PQ

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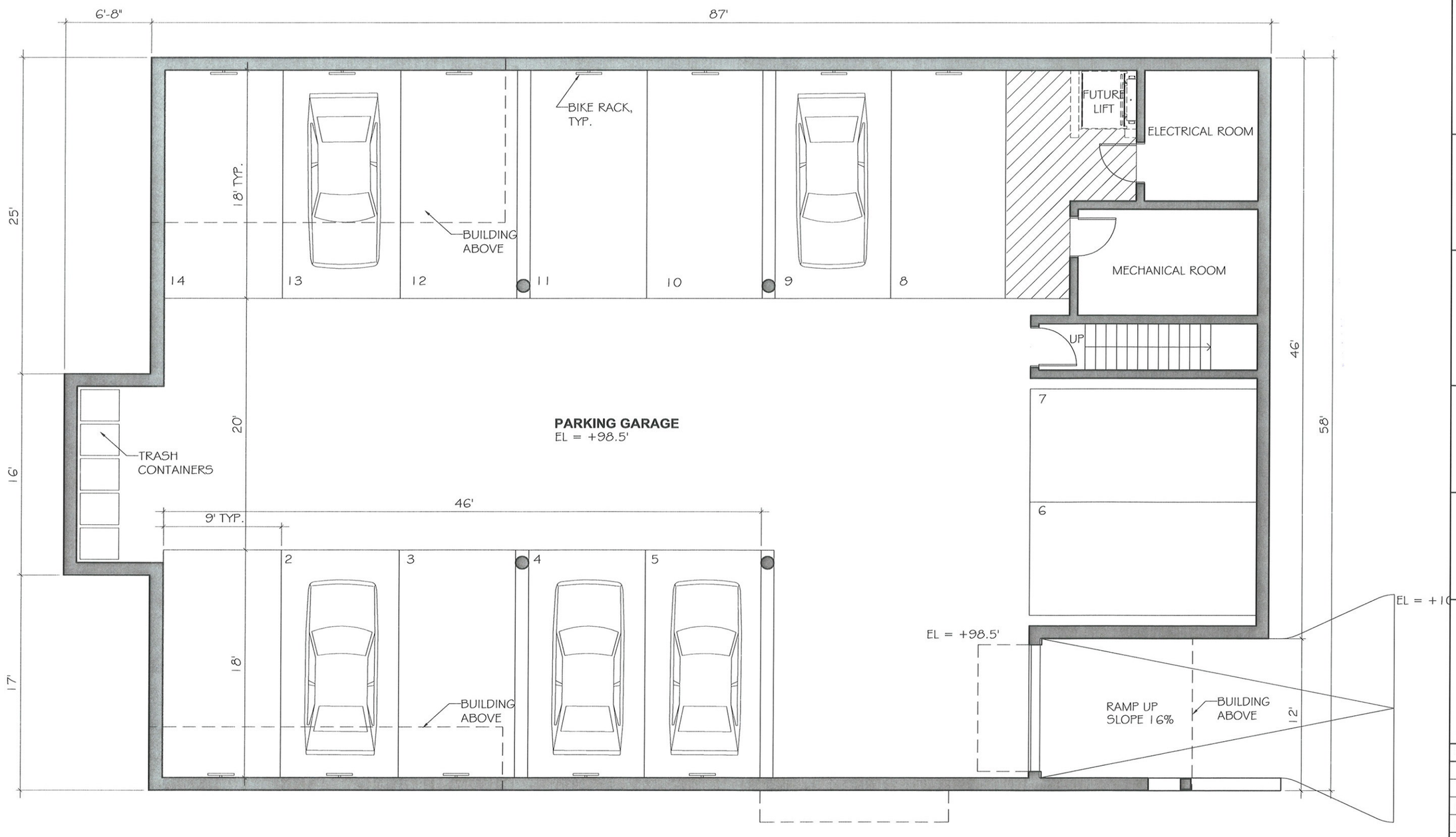
A1.0



1 PARKING FLOOR PLAN

SCALE: 1/8"= 1'-0"

NORTH

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PARKING

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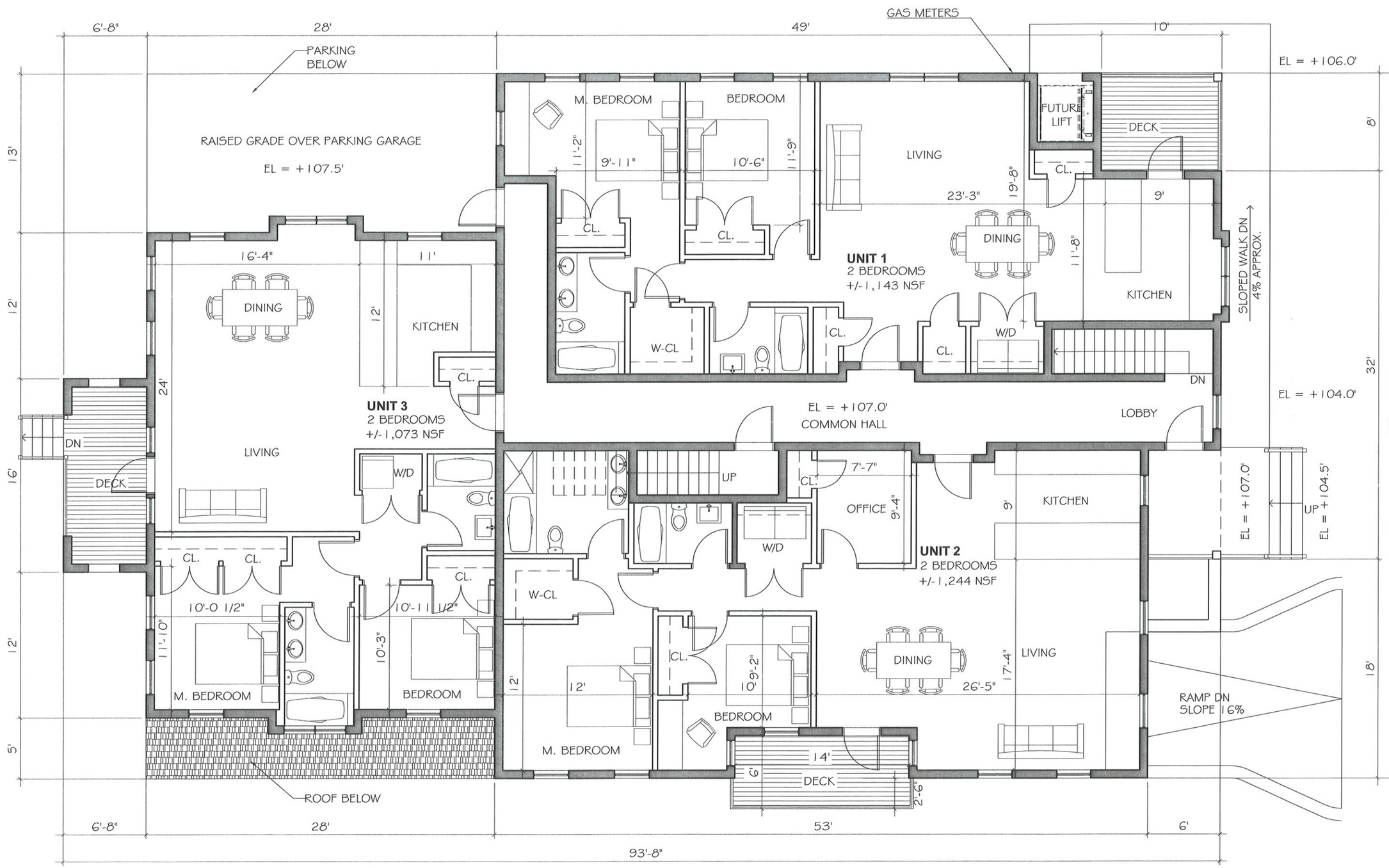
A1.1



1 FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

NORTH

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1ST FLOOR

SCALE AS NOTED

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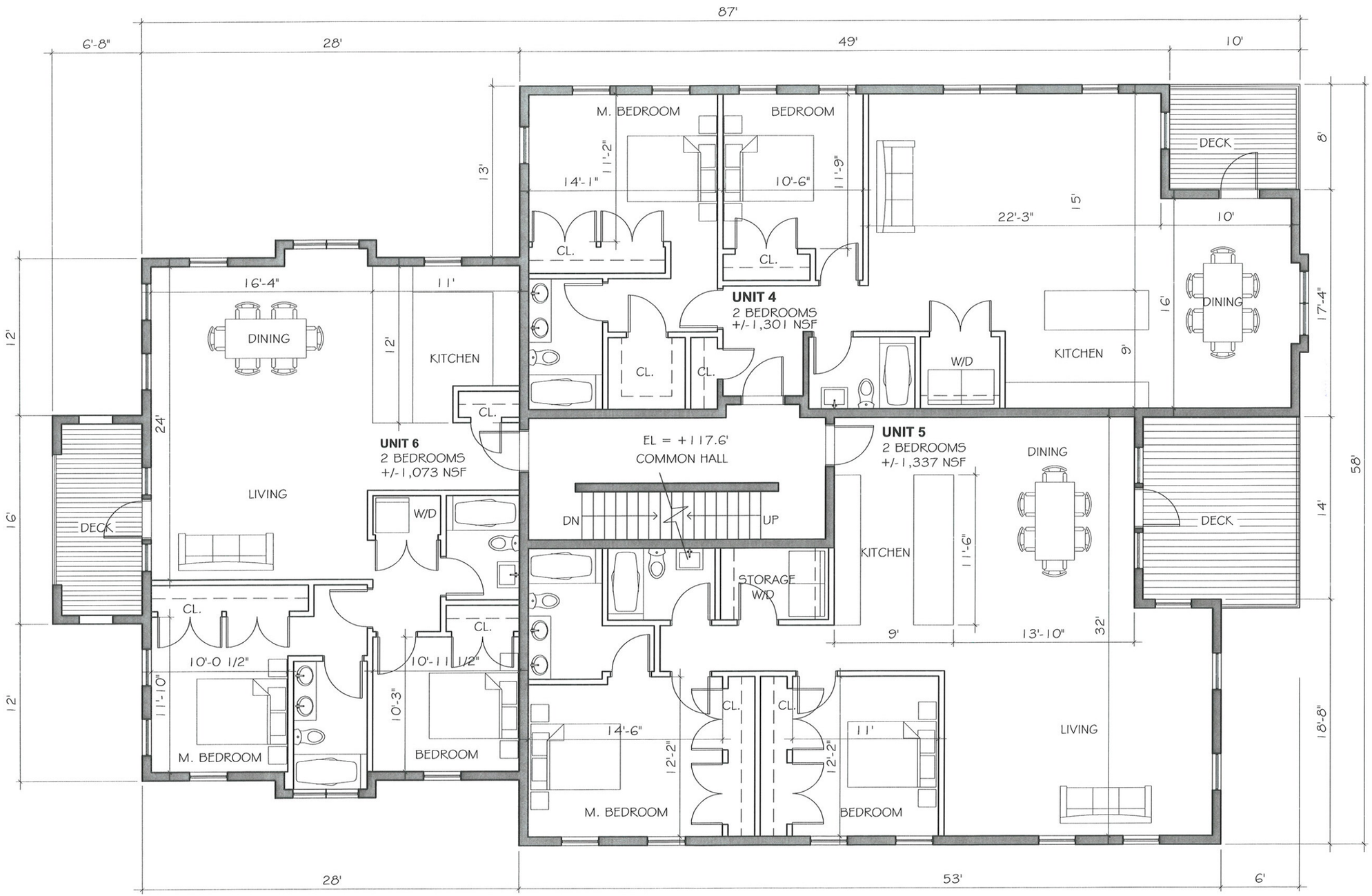
A1.2



1 SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

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2ND FLOOR

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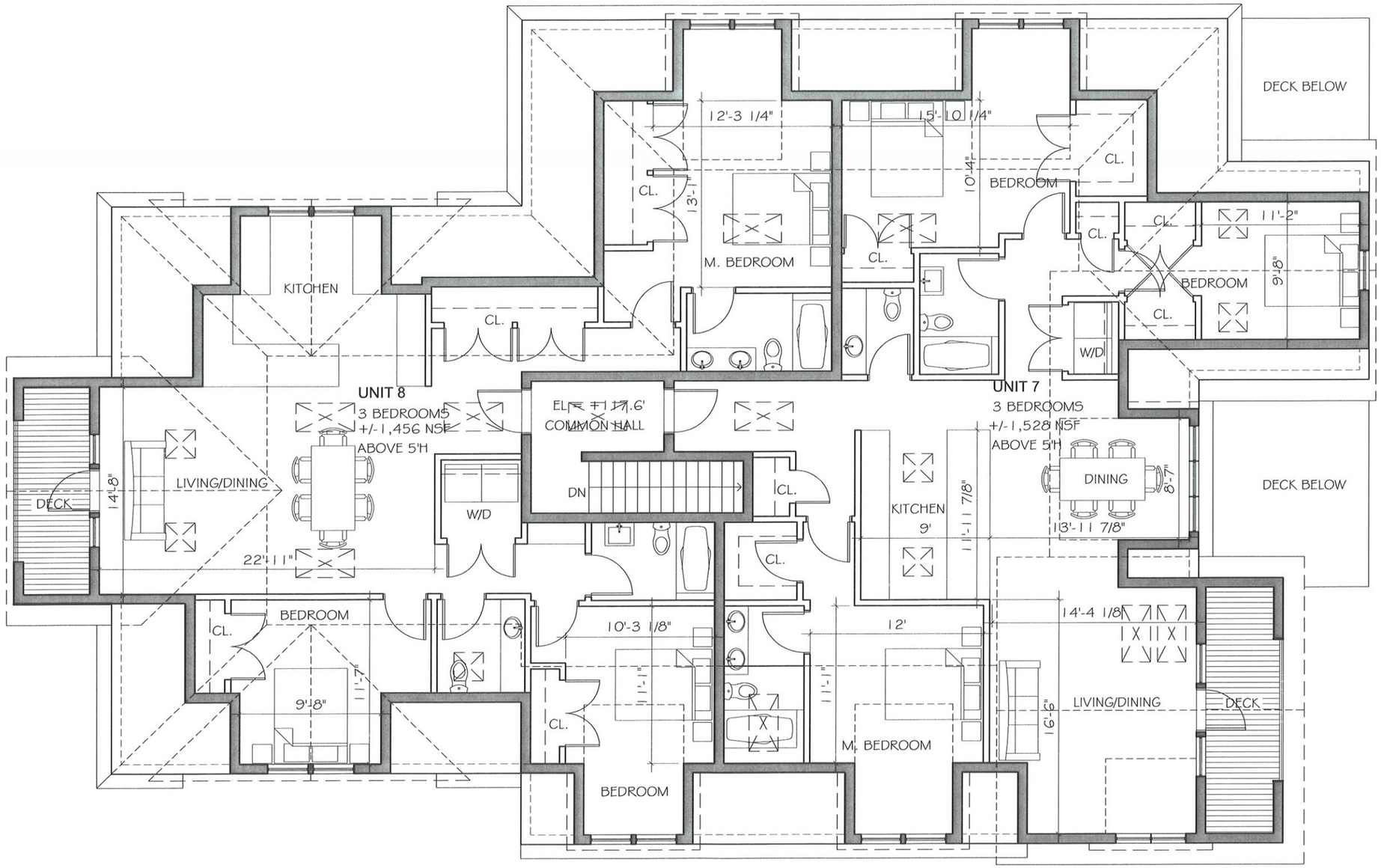
A1.3



1 THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

NORTH

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3RD FLOOR

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A1.4

4 SOUTH ELEVATION (LEFT SIDE)
SCALE: 1/16"= 1'-0"

3 EAST ELEVATION (FRONT/STREET)
SCALE: 1/16"= 1'-0"

2 NORTH ELEVATION (RIGHT SIDE)
SCALE: 1/16"= 1'-0"

1 WEST ELEVATION (REAR)
SCALE: 1/16"= 1'-0"

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