

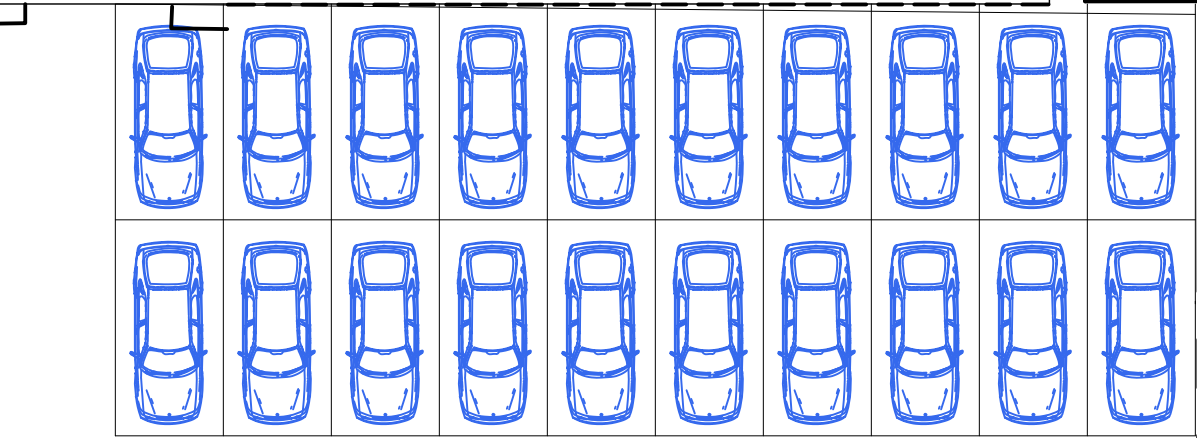
WASHINGTON STREET  
(PUBLIC - VARIABLE WIDTH)

MSGR. McGRATH HIGHWAY

N/F  
ROMANOW REAL ESTATE  
BK 23897, PG 426  
160 WASHINGTON STREET  
MAP 94 BLOCK B LOT 1

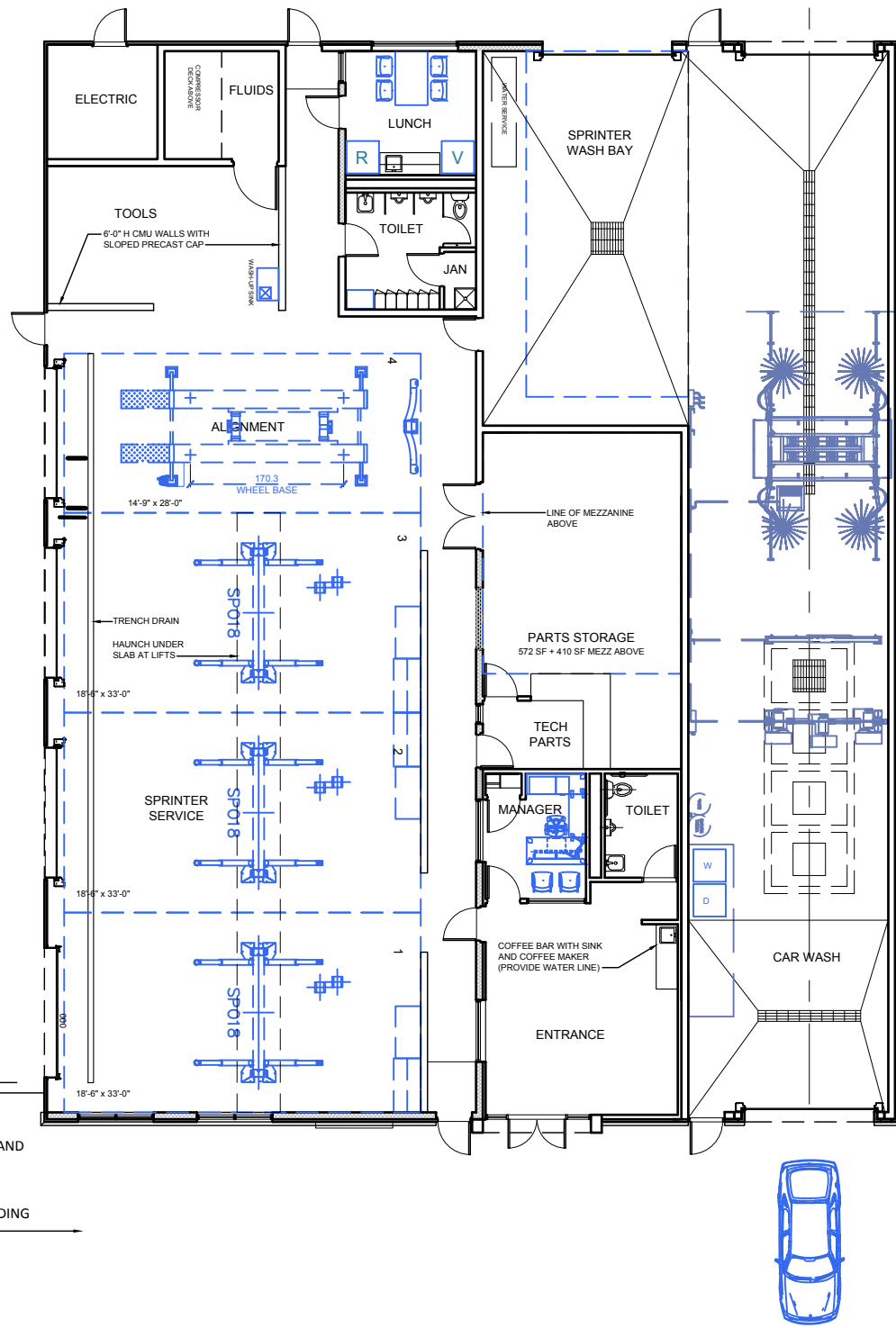
ONE-STORY  
CONC. BLOCK BLDG

MERCEDES-BENZ LOANER  
AND PREP CENTER



FOOTPRINT OF EXISTING BUILDING  
TO BE DEMOLISHED

31 - 9' x 18' Parking spaces

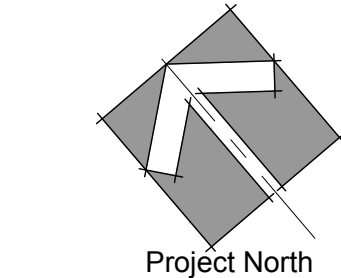


BLACK ORNAMENTAL FENCE AND  
SLIDING GATE, 72" HIGH  
FOOTPRINT OF EXISTING BUILDING  
TO BE DEMOLISHED

PROPERTY LINE  
LIMIT OF EXISTING RIGHT-OF-WAY  
STAMPED CONCRETE PAVING  
BLACK ORNAMENTAL FENCE,  
42" HIGH  
60" WIDE LANDSCAPING BED  
60" WIDE BROOMED CONCRETE  
SIDEWALK

N/F  
AMERCO REAL ESTATE COMPANY  
BK. 50400 PG. 569  
PLAN NO. 929 OF 1977

151 LINWOOD STREET  
ASSESSOR MAP 94 BLOCK B  
LOTS 8, 9, 10 & 11



Herb Chambers  
Mercedes-Benz

161 Linwood Street  
Somerville, MA 02143

PROJECT 2014-21  
DRAWN MIO  
SCALE AS NOTED  
DATE 12.03.15

PROGRESS  
ONLY  
NOT FOR CONSTRUCTION

Site Plan and  
Zoning  
Information

AS1.1

R

REGENT

ASSOCIATES, INC.

ARCHITECTS

24 PRIME PKWY, STE 202

NATICK, MA 01760

508.655.5553 ■ www.regentassociates.com

NOTE:

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TO AVOID LOSS OF READABLE

PERTINENT INFORMATION, THIS

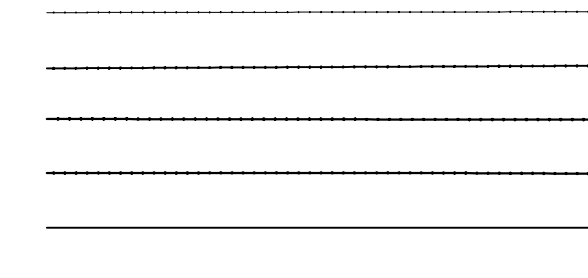
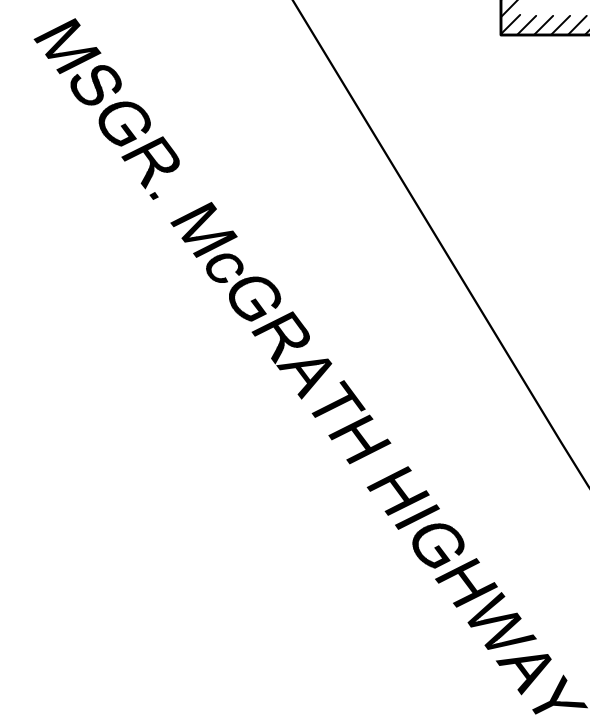
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APPLICATION For Planning Board and Zoning Board of Appeals Approval							
9. Zoning Data							
Refer to the SZO § 2.2 Definitions and SZO § 8 Dimensional Requirements for more information.							
Data	Existing	Proposed	Allowed	Existing or Permitted Nonconformity	New Violation	SZO Section Cited	
	Fill in both columns: numbers must match those on plans and other attached documentation.			Office Use			
A. Use	S-1	S-1					
B. # of Dwelling Units**	N/A units	N/A units					
C. Lot Area	38,012 square feet	38,012 square feet					
D. Lot Area ÷ # of Dwelling Units	--- sf per du	--- sf per du					
E. Gross Floor Area of Footprints of All Buildings	25,212 square feet	17,189 square feet					
F. Ground Coverage (E ÷ C)	66.30%	45.20%					
G. Landscaped Area (landscaped area ÷ C.)	0%	0%					
H. Pervious Area (pervious area ÷ C.)	0%	0%					
I. Net Floor Area**/ *** (sum of all usable square feet)	25,212 square feet	17,189 square feet					
J. Floor Area Ratio (FAR) (I ÷ C)	0.66	0.45					
K. Building Height	7 feet	26'-11 1/2"					
L. Front Yard Setback	7.9 feet	21' - 3 3/4" feet					
M. Rear Yard Setback	0 feet	0 feet					
N. Side Yard Setback (left when you face property)	60.85 feet	57' - 10 1/4" feet					
O. Side Yard Setback (right when you face property)	0 feet	5 feet					
P. Street Frontage	81 feet	81 feet					
Q. # of Parking Spaces	?	35					
R. # of Bicycle Parking Spaces	0	0					
S. # of Loading Spaces	0	0					
* 8 or more dwelling units - determine if inclusionary Housing, Article 13, applies ** In CCD and TOD use GROSS floor area *** 30,000+ square feet - determine if Linkage, Article 15, applies							

LINWOOD STREET  
(PUBLIC - 50.00' WIDE)

1 Site Plan 1/16" = 1'-0"





- LEGEND**
- |       |                   |
|-------|-------------------|
| 9/8   | GAS GATE          |
| ----- | WATER GATE        |
| ----- | WATER SHUT-OFF    |
| ----- | FIRE HYDRANT      |
| ----- | SEWER MANHOLE     |
| ----- | TELEPHONE MANHOLE |
| ----- | ELECTRIC MANHOLE  |
| ----- | DRAIN MANHOLE     |
| ----- | CATCH BASIN       |
| ----- | ROOF DRAIN        |
| ----- | MONITOR WELL      |
| ----- | STUMP             |
| ----- | GAS METER         |
| ----- | SEWER LINE        |
| ----- | DRAIN LINE        |
| ----- | WATER LINE        |
| ----- | GAS LINE          |
| ----- | ELECTRIC LINE     |
| ----- | TELEPHONE LINE    |



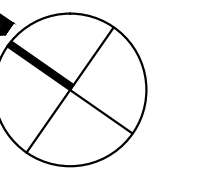
**Design Consultants, Inc.**  
CIVIL ENGINEERS and LAND SURVEYORS  
120 Middlesex Avenue, Suite 20  
Somerville, MA 02145  
617-776-3350 617-776-7710f

[illegible]

# EXISTING CONDITIONS PLAN

SHEET NAME:	
C1.0	
SHT NO:	
DR BY: RB	
CHK BY: WK	
PROJ NO: 2014-106.00	
DATE: 9.10.15	
SCALE: 1"=20'	





NORTH

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CIVIL ENGINEERS and LAND SURVEYORS  
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617-776-3350p 617-776-7710f

PROJECT TEAM

PROJECT INFO

REV	DESCRIPTION	DATE
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STAMP:

LAYOUT &  
MATERIALS  
PLAN

SHEET NAME:

C2.0

SHT NO:

DR BY: RB

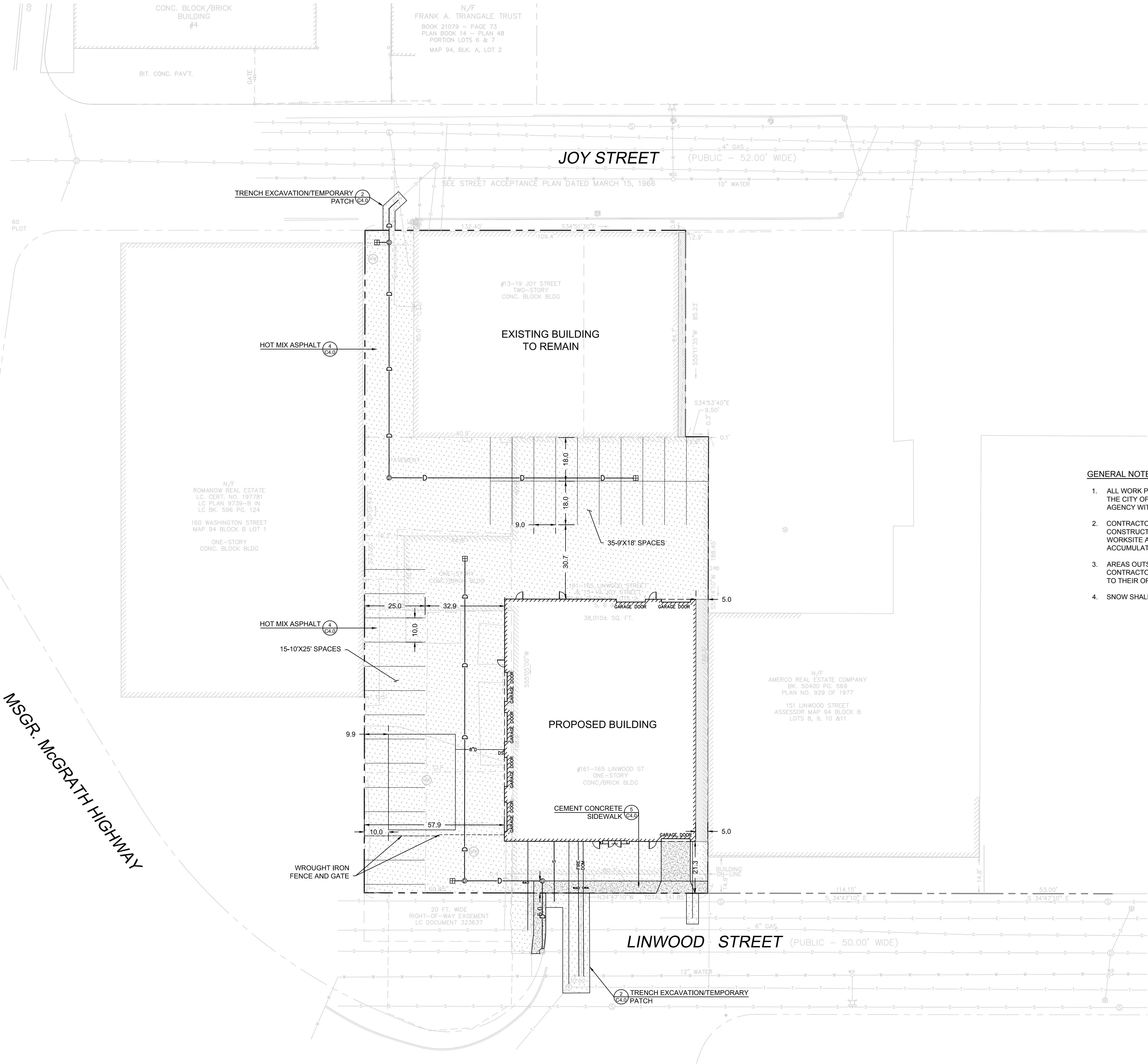
CHK BY: WK

PROJ NO: 2014-106.00

DATE: 9.10.15

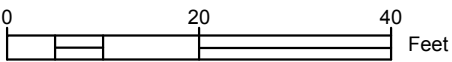
SCALE: 1"=20'

WASHINGTON STREET  
(PUBLIC - VARIABLE WIDTH)



GENERAL NOTES

- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE CITY OF SOMERVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
- CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- SNOW SHALL BE REMOVED OFF-SITE DURING EACH SNOW STORM.





PROJECT TEAM

PROJECT INFO

REV DESCRIPTION DATE

STAMP:

GRADING & UTILITIES PLAN

SHEET NAME:

C3.0

SHT NO:

DR BY: RB

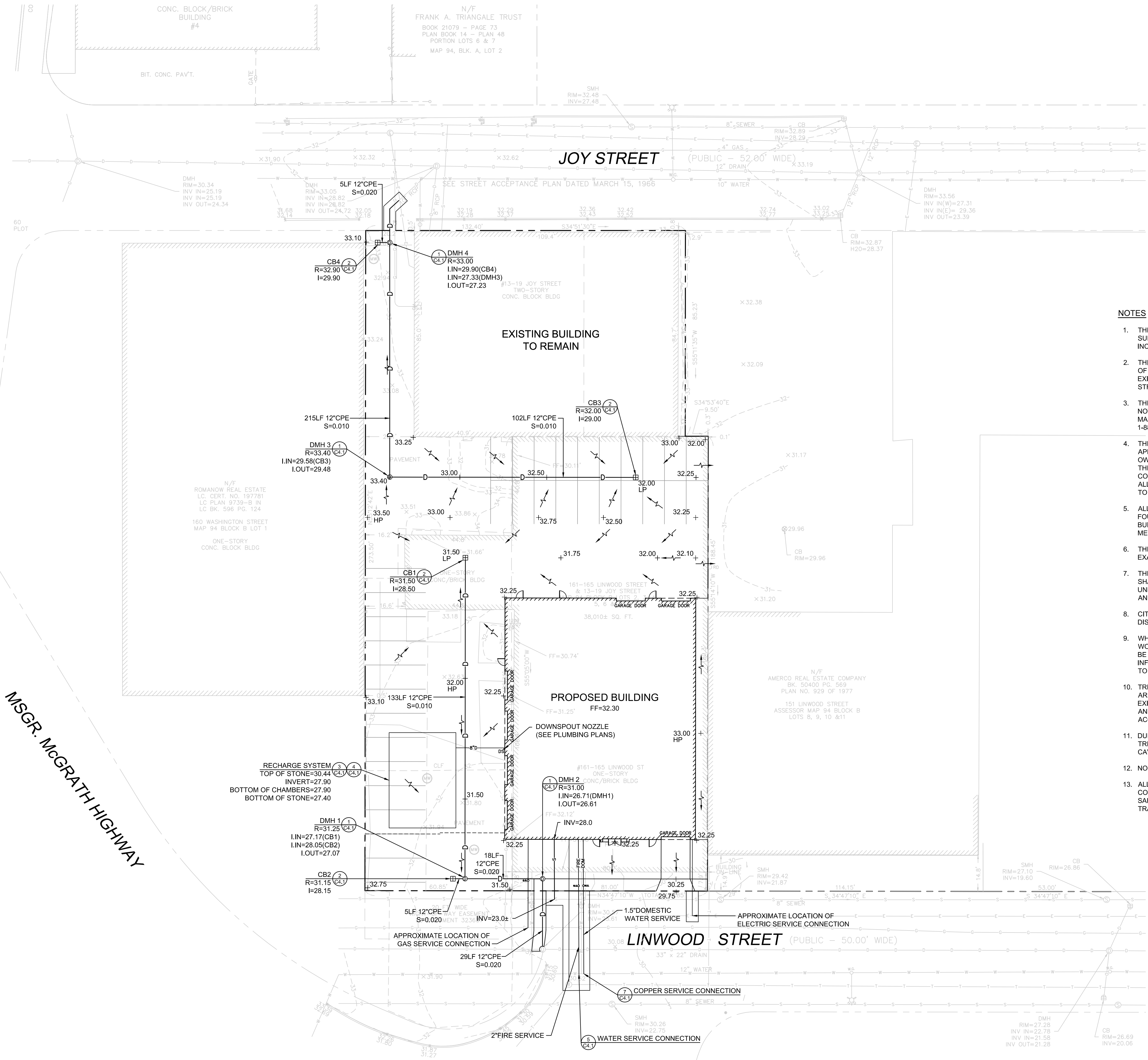
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PROJ NO: 2014-106.00

DATE: 9.10.15

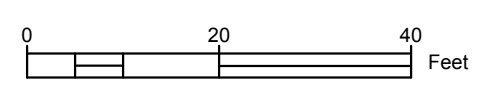
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WASHINGTON STREET  
(PUBLIC - VARIABLE WIDTH)

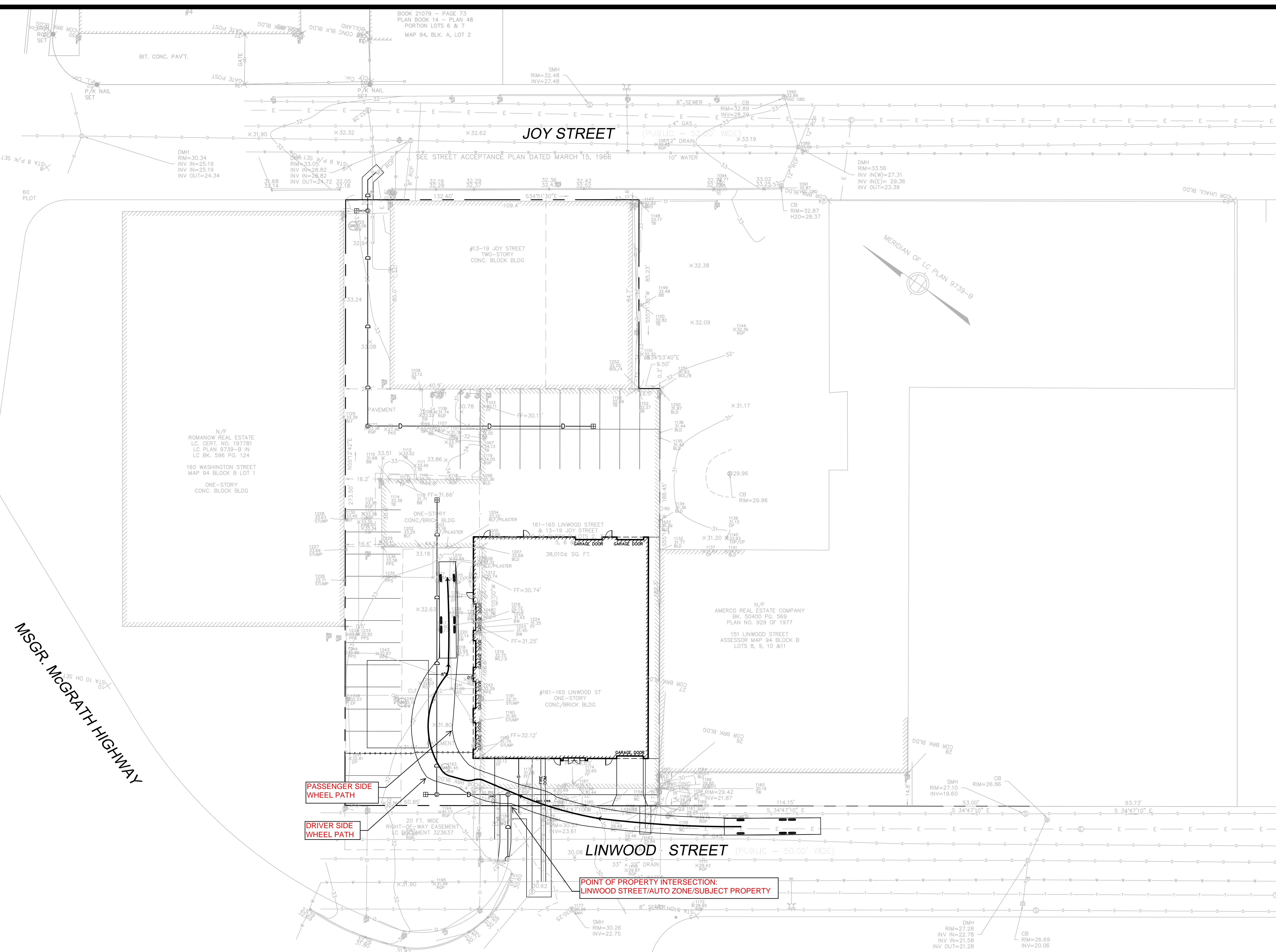


NOTES

- THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE CITY OF SOMERVILLE DRAIN AND/ OR SEWER SYSTEMS.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE EXISTING UTILITY SHALL BE INVESTIGATED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION AND/OR ANY DISCREPANCIES WITH THE PLAN SHALL REPORT TO THE ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT.
- TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW REPATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- NO TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50 FEET.





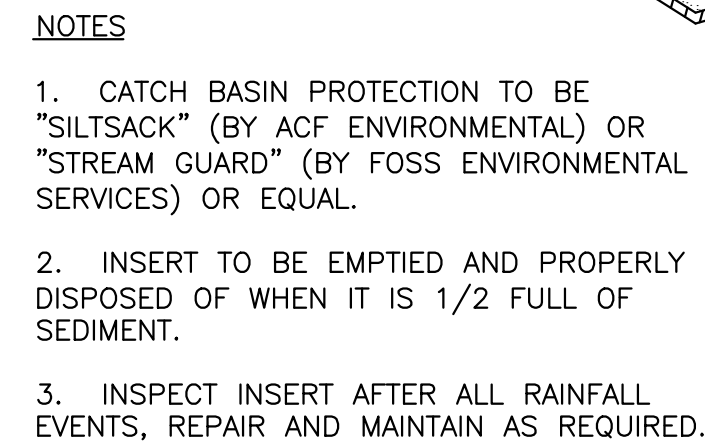


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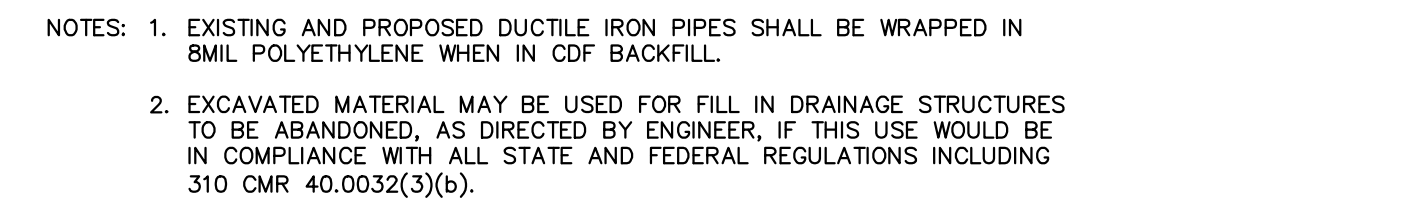
DATE: -

POINT OF PROPERTY INTERSECTION:  
LINWOOD STREET/AUTO ZONE/SUBJECT PROPERTY





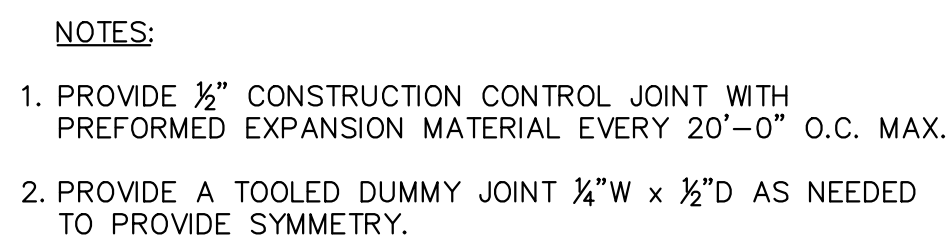
1 SILT SACK  
NOT TO SCALE



2 TRENCH EAVES/CAVATION/TEMPORARY PATCH  
NOT TO SCALE



### 3 GRANITE CURB IN EXISTING PAVEMENT



5 CEMENT CONCRETE SIDEWALK  
NOT TO SCALE



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## PROJECT TEAM

PROJECT INFO

REV	DESCRIPTION	DATE
-----	-------------	------

STAMP:

## DETAILS I

SHEET NAME:

# C4.0

SHT NO:

OR BY: RB

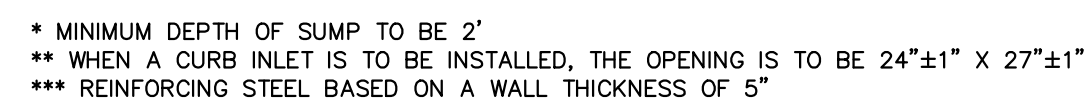
CHK BY: WK

PROJ NO: 2014-106.00

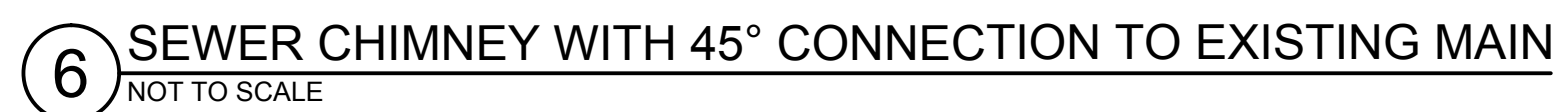
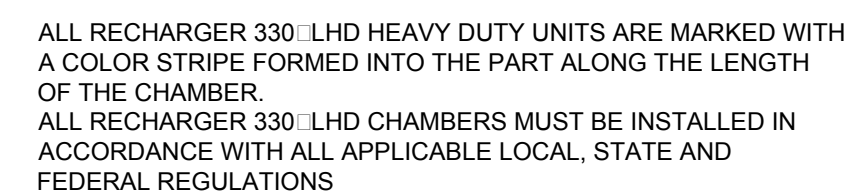
DATE: 9.10.15

SCALE: NOT TO SCALE





1. DETAILS NOT INDICATED ABOVE ARE TO BE SIMILAR TO THOSE SHOWN ON E 201.3.0
2. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE
3. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE STANDARD SPECIFICATIONS
4. ALL CONCRETE TO BE AIR ENTRAINED



SCALE: NOT TO SCALE

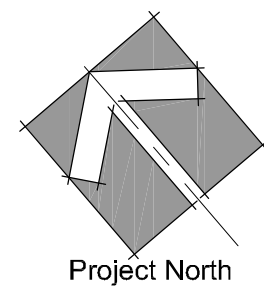




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**ARCHITECTS**  
24 PRIME PKWY, STE 202  
NATICK, MA 01760

508.655.5553 ■ www.regentassociates.com

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**Herb Chambers  
Sprinter Boston**

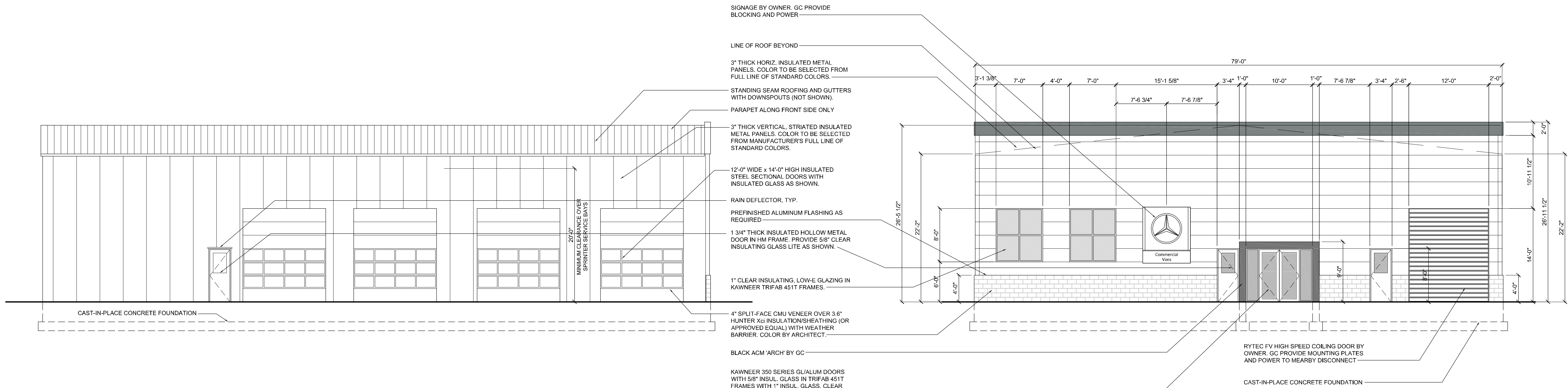
259 McGrath Highway  
Somerville, MA 02143

PROJECT 2014-21  
DRAWN MFR  
SCALE AS NOTED  
DATE 10.15.15

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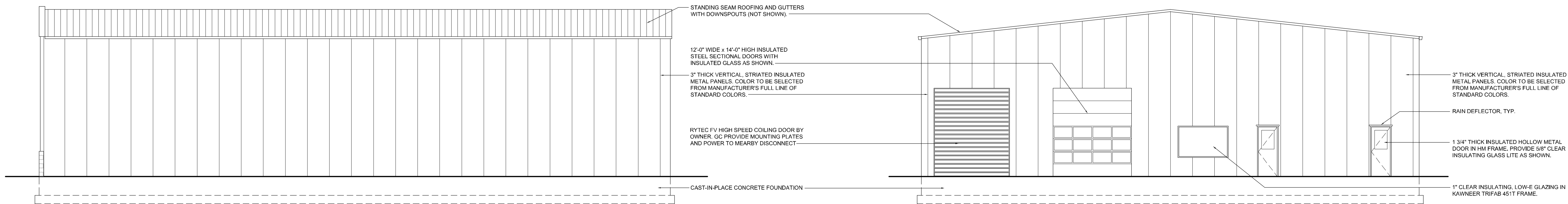
**Exterior  
Elevations**

**A1.2**



② Left Side Elevation

① Front Elevation



④ Right Side Elevation

③ Rear Elevation

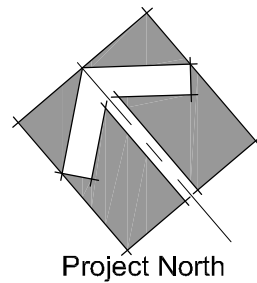




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Floor Plan

A1.1

