

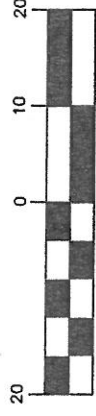
## LOWELL STREET

LOT AREA = 3,628 S.F.±  
EXISTING BUILDING = 1,447 S.F.±  
EXISTING PAVEMENT= 620 S.F.±  
PROPOSED PORCH= 77 S.F.±  
EXISTING BUILD. COV.=39.9 %  
PROP BUILD COV=42.0 %

SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS  
IN DEED BOOK 62876 PAGE 408.

SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS  
IN DEED PLAN BOOK 103, PLAN 20.

SUBJECT PARCEL IS LOCATED IN ZONE RA.

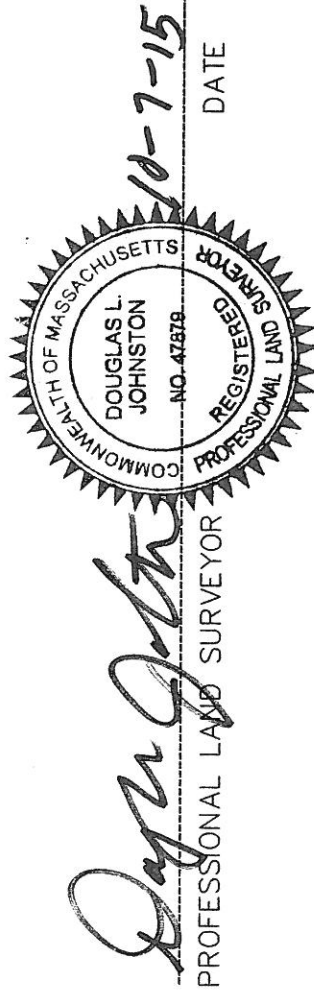


( IN FEET )  
1 inch = 20 ft.

CERTIFIED PLOT PLAN  
IN SOMERVILLE, MA

SCALE: 1" = 20' OCTOBER 7, 2015

DLJ GEOMATICS  
PROFESSIONAL LAND SURVEYING  
276 NORTH STREET  
WEYMOUTH, MA 02191  
(781) 812-0457  
165 LOWELL ST SOMERVILLE.dwg





GENERAL NOTES:

1. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
2. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
3. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
4. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
5. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
6. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.

7. CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE, UNLESS OTHERWISE NOTED.

8. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.

9. ALL DOORS TO BE SELECTED AND PURCHASED BY OWNER WITH DELIVERY AND INSTALL BY CONTRACTOR.

STRUCTURAL NOTES:

GENERAL CONDITIONS

1. G. C. MUST BUILD EXACTLY WHAT IS SHOWN ON FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
2. DESIGN IS DERIVED FROM ASSUMED FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON OUR DOCUMENTS AND WHAT IS FOUND IN THE FIELD MAY CHANGE THE STRUCTURAL DESIGN, AND MUST IMMEDIATELY BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DOCUMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ARCHITECT IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
5. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC., SEE ARCHITECTURAL DRAWINGS.

FOUNDATIONS

1. EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
2. EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
3. SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
4. BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D.
5. BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED, UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
6. PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
7. PROVIDE METAL OR PVC SLEEVES IN THE FOUNDATION WALLS FOR SEWER, GAS, ELECTRIC, MECHANICAL AND WATER LINES, AS REQUIRED.

CONCRETE

1. ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS: FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE, AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
3. SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5".
4. REINFORCING STEEL: TYPICAL - ASTM A615, GRADE 60, FIELD BENT - ASTM A615, GRADE 40, WELDED WIRE FABRIC - ASTM A185.
5. NON-SHRINK GROUT SHALL BE "EMBECO 153" BY MASTER BUILDERS, "SONOGROUT" BY SONNEBORN BUILDING PRODUCTS, "FIVE STAR GROUT" BY U.S. GROUT CORPORATION, OR EQUAL AS APPROVED BY THE OWNER.
6. THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN TO THE OWNER FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE FIRST PLACEMENT.
7. INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROVIDE QUALITY CONTROL, MATERIALS, AND WORKMANSHIP FULLY INSURING THAT THIS WORK WILL CONFORM TO THE CONTRACT REQUIREMENTS.

ROUGH CARPENTRY

1. ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION STANDARDS" - AITC 100.
2. WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fv = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,4000,000 PSI OR BETTER.
3. WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "ST"/D" GRADE, #2 OR BETTER.
4. LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3080 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
5. WOOD "I" BEAMS SHALL BE "BCI" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
6. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
7. PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4" THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 5/8" THICK WHEN SUPPORTS ARE SPACED AT 16" CENTERS. FOR 24" CENTERS, SHEATHING SHALL BE 5/8" THICK, AND SHALL BE TONGUE AND GROOVE OR ALIGNED WITH METAL H CLIPS BETWEEN RAFTERS. WALL SHEATHING SHALL BE 1/2" THICK.
8. ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED. BEAM ENDS IN CONCRETE BEAM POCKETS SHALL BE WRAPPED IN A SELF-ADHERING RUBBER MEMBRANE.
9. JOIST AND BEAM HANGERS SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS.
10. UNLESS DETAILED OR SPECIFIED OTHERWISE, PROVIDE AT LEAST TWO JACK STUDS BENEATH ENDS OF 2X12, LVL, AND PARALLAM HEADERS AND BEAMS. WHERE POSTS ARE CALLED OUT AS MULTIPLE 2XS, SUCH AS 2-2X6, 3-2X6, 4-2X6, ETC., ONE 2X SHALL BE POSITIONED AS A KING STUD AND THE BALANCE SHALL BE JACK STUDS.
11. FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
12. GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
13. MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER SHALL ONLY BE SPLICED OVER SUPPORTS.
14. PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
15. UNLESS ANOTHER CONNECTOR IS CALLED OUT, PROVIDE ONE SIMPSON A34 FRAMING ANCHOR AT EACH RAFTER/RIDGE BEAM INTERSECTION, AND TWO WHEN RAFTERS ARE DOUBLED OR TRIPLED (ONE EACH SIDE).
16. CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUTS AND BORE HOLES IN FRAMING LUMBER. IN GIRDERS, BEAMS, OR JOISTS, CUTS AND BORE HOLES SHALL NOT BE DEEPER THAN 1/5 THE MEMBER DEPTH NOR MORE THAN 2" IN DIAMETER., AND SHALL NOT BE LOCATED NEARER TO THE END OF THE SPAN THAN THREE TIMES THE MEMBER DEPTH NOR WITHIN THE CENTER THIRD OF THE SPAN UNLESS REINFORCED TO MEET STRESS CALCULATIONS.
17. AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
18. SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
19. RAFTERS TO BE CONNECTED TO HIP AND VALLEY MEMBERS WITH A MINIMUM OF 6-16d EQSP (UNLESS NOTED OTHERWISE ON PLAN).
20. ALL RAFTERS TO LVL RIDGE CONNECTIONS TO BE MADE WITH A MINIMUM OF 6-16d TOENAILS EQSP AND A SINGLE A34 SIMPSON ANGLE WHERE INDICATED ON PLAN.
21. VALLEYS AND HIPs TO BE CONNECTED TO SUPPORTING ELEMENTS WITH A MIN OF 8-16d, UNLESS NOTED OTHERWISE ON PLAN.
22. ROOF SHEATHING TO EXTEND FULLY UNDER OVER FRAMED AREAS.
23. POST IDENTIFICATION AT HEADERS AS FOLLOWS: POST DN (AT END OF SPAN) - UNLESS NOTED OTHERWISE, PROVIDE SINGLE JACK STUD & SINGLE KING STUD, IF THREE OR MORE STUDS ARE CALLED OUT, ONE OF THEM IS A KING STUD AND THE BALANCE ARE JACK STUDS.
24. POST UP & DN - SOLID VERTICAL BLOCKING THRU FLOOR REQUIRED.
25. HEADERS TO BE 2-2X8 W/ 2-2X4 POST DN EACH SIDE, UNLESS NOTED OTHERWISE.
26. ALL 2X6S USED AS RAFTERS, BEAMS, JOISTS TO BE STRUCTURAL #1 OR #2 NOT STD GRADE.
27. ALL CONNECTING ELEMENTS, JOIST HANGERS, CAP PLATES, ETC BY SIMPSON.










CONSTRUCTION DOCUMENTS  
SEPTEMBER 14, 2015

PROJECT: NEW REAR BULKHEAD  
ENTRANCE AND DECK.

DRAWING LIST

- A1 COVER SHEET  
A2 EXISTING DEMOLITION PLAN  
A3 NEW LAYOUT PLAN

SYMBOL LEGEND

-  WALL TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN
-  NEW WALL
-  SECTION
-  WINDOW TAG
-  DOOR TAG
-  RECESSED CAN LIGHT AS SELECTED BY OWNER
-  WALL MOUNTED SCONCES AS SELECTED BY OWNER
-  CEILING MOUNTED LIGHT AS SELECTED BY OWNER
-  ELEVATION MARKER

PROJECT INFORMATION: PER ZONING ORDINANCE NO. 2011-12  
DATED 02/10/2011  
SOMERVILLE ZONING DISTRICT RA:  
NOTE: EXISTING 3 FAMILY (UNCHANGED) - NON COMPLAINT

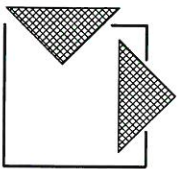
FRONT YARD SETBACK: 15'-0" (UNCHANGED)  
REAR YARD SETBACK: 18'-0" (PER 8.6.13) - SEE SITE PLAN FOR NEW  
SIDE YARD SETBACK: 2'-9"/9'-5" (UNCHANGED - NON CONFORMING)  
FRONTAGE: 43'-0" (UNCHANGED - NON CONFORMING)  
LOT AREA: 3628 (10000SQFT NON CONFORMING (UNCHANGED))  
MAX HEIGHT: 36'/2.5 STORIES (UNCHANGED)  
LOT COVERAGE (MAX): 25% - SEE SURVEY  
OPEN AREA (MIN): 50% - SEE SURVEY

ENERGY AUDIT: NOTE: PER SECTION 808.1 LEVEL 3 ALTERATIONS DO NOT NEED TO COMPLY

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2009 W/ MASSACHUSETTS AMENDMENTS 780 CMR 115.11).

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):  
1- ALL SPACES ARE UNCONDITIONED & UNINSULATED

MILLER  
DESIGN LLC



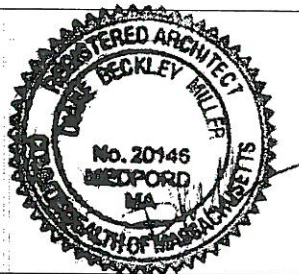
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Architect:  
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52 Statler Road  
Belmont MA 02478  
617-993-3157

Date: Issued for:

7/27/15 SCHEMATIC DESIGN

9/14/15 PERMIT DRAWINGS



FISCHER RESIDENCE  
165 LOWELL STREET  
SOMERVILLE, MA

COVER SHEET

Sheet  
Number:

A1

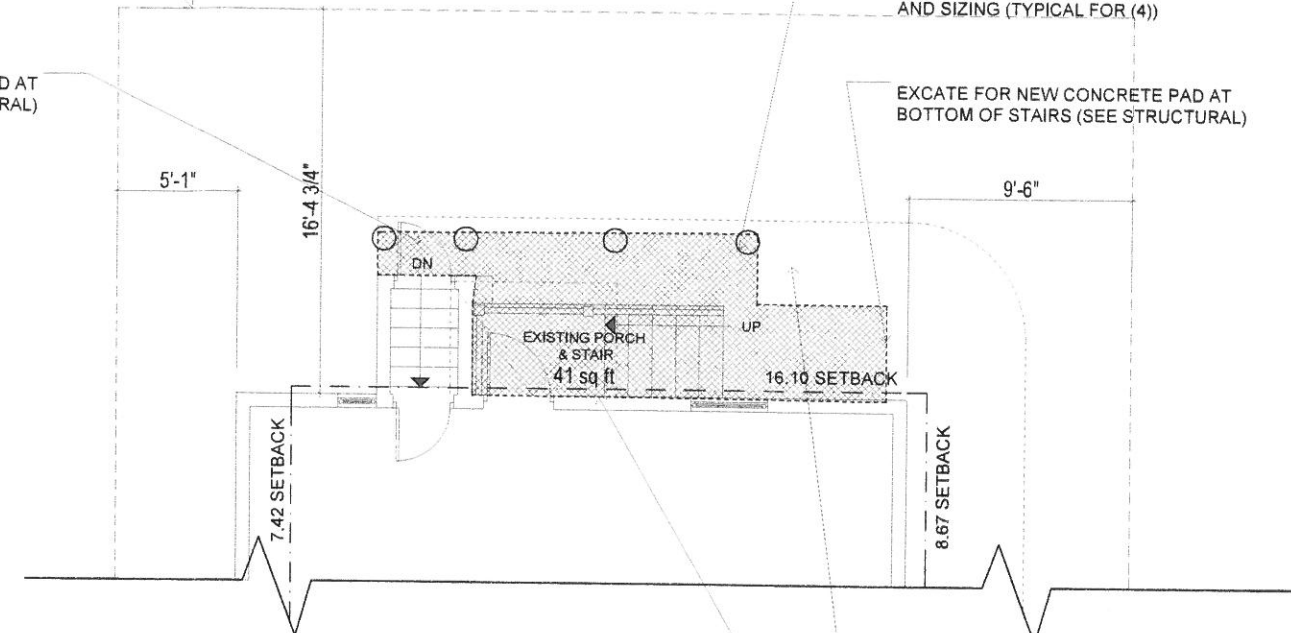


SEE SURVEY FOR ALL SITE INFORMATION

EXCATE FOR NEW CONCRETE PAD AT  
TOP OF STAIRS (SEE STRUCTURAL)

EXCATE FOR NEW SONOTUBE FOOTINGS  
SEE STRUCTURAL PLANS FOR DEPTH  
AND SIZING (TYPICAL FOR (4))

EXCATE FOR NEW CONCRETE PAD AT  
BOTTOM OF STAIRS (SEE STRUCTURAL)



REVIEW OPTIONS FOR FRENCH DRAIN  
WITH OWNER

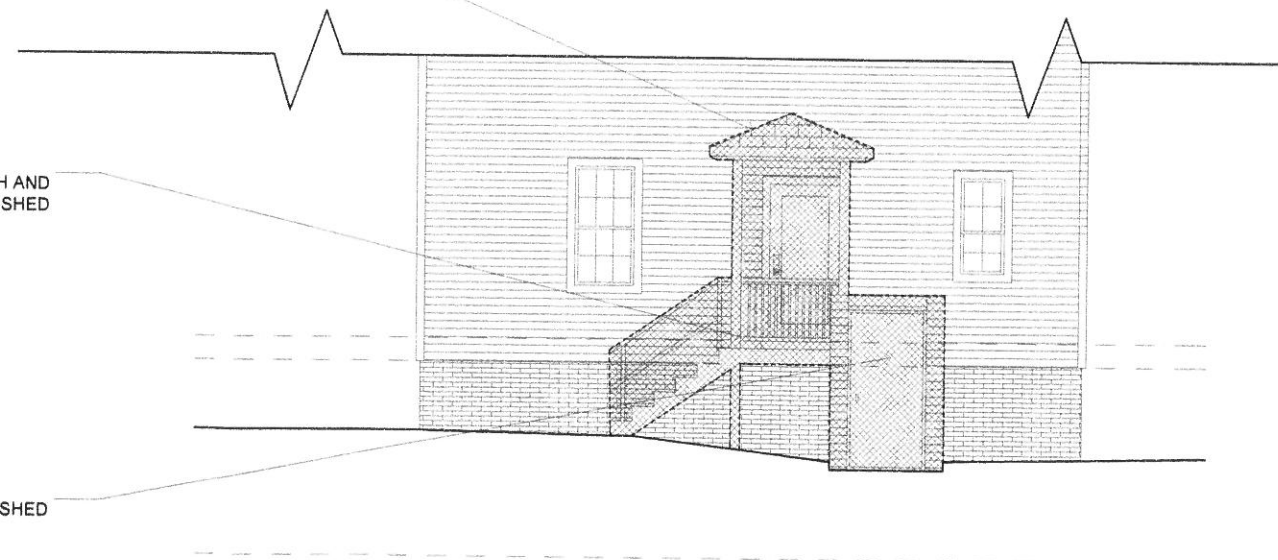
CLEAR AND EXCAVATE UNDER NEW  
DECK AND PORCH FOR NEW 4"  
STONE BED W/ LANDSCAPE SCREENING  
UNDERNEATH

2 EXISTING PLANS  
SCALE: 1/8" = 1'

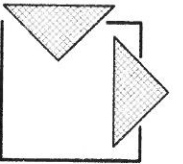
EXISTING ROOF TO BE DEMOLISHED

EXISTING STAIRS, PORCH AND  
ASSOCIATED RAILINGS TO BE DEMOLISHED

EXISTING BULKHEAD CLOSURE TO BE DEMOLISHED



**MILLER  
DESIGN LLC**

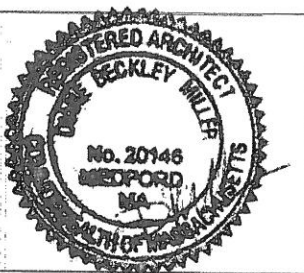


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FISCHER RESIDENCE  
165 LOWELL STREET  
SOMERVILLE, MA

**NEW DECK**

Sheet  
Number:

**A02**

4X4 PT POSTS ANCORED TO 12" DIAM  
CONCRETE PIERS ATOP  
BIG FOOT TYPW FOOTING, BEARING AT 4'-0"  
BELOW GRADE, MIN

NEW 3'-0" CEDAR RAILING W/TOP AND BOTTOM RAIL.  
BOTTOM RAIL 4" ABOVE DECK. 1" PICKETS LOCATED 4"  
OC PER CODE. DECORATIVE CEDAR POSTS WITH CAPS  
TO MATCH RAILING STYLE (SELECTED BY OWNER)

NEW CEDAR DECKING W/CONCEALED  
FASTENERS. PROVIDE INSECT SCREENING  
ON UNDERSIDE OF DECKING. (AT SCREEN  
PORCH ONLY). SWICKING 6" BELOW FF

Architectural drawing of a new porch and stair. The drawing shows a rectangular porch area with a circular stair in the center. Dimensions include 4'-0 1/4" and 12'-0" for the top section, 6'-0" and 10'-3 1/4" for the middle section, and 9'-6" and 3'-0" for the right section. The porch area is labeled "NEW PORCH & STAIR" and "106 sq ft". The stair is labeled "DN". The drawing also shows "7.42 SETBACK" and "8.67 SETBACK" on the left side, and "15.10 SETBACK" on the right side. The drawing is a technical sketch with dashed lines indicating boundaries and dimensions.

4" DEEP CONCRETE PAD AT  
BASE OF STAIRS

2 NEW LAYOUT PLANS  
SCALE: 1/8" = 1'

NEW 4'-0" WIDE DECK STAIRS:  
3' H RAILING W/ VERTICAL BALUSTERS AT 4" OC  
CEDAR DECKING TO BE SELECTED BY OWNER  
PT 2X12 STRINGERS AT 2' OC  
(6)11" TREADS, (5)7.5" RISERS (VIF)

ROOF ASSEMBLY: OVER PORCH  
50 YEAR ASPHALT ROOF SHINGLES  
NO. 15 BUILDING PAPER  
PITCH 3:12  
BITUTHENE ICE AND WATER BARRIER  
PLYWOOD SHEATHING  
SEE FRAMING PLAN FOR STRUCTURE

Diagram illustrating the roof truss structure. The rafters are labeled PT 2x6 RAFTERS AT 16" OC. The joists are labeled PT 2x4 JOISTS AT 16" OC. The nailers are labeled 2 x 10 NAILER. The diagram shows a cross-section of the roof with rafters and joists meeting at a central point.

PROVIDE 2 NEW EXTERIOR WALL SCONCES LOCATED 5'-6" AFF  
SCONCES TO BE SELECTED BY OWNER (ARTS AND CRAFTS STYLE)

NEW 3'-0" CEDAR RAILING W/TOP AND BOTTOM RAIL.  
BOTTOM RAIL 4" ABOVE DECK. 1" PICKETS LOCATED 4"  
OC PER CODE. DECORATIVE CEDAR POSTS WITH CAPS  
TO MATCH RAILING STYLE (SELECTED BY OWNER)

NEW VERTICLE SIDING TO BE SELECTED BY OWNER.

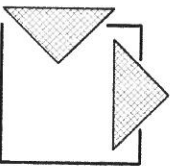
1 NEW ELEVATIONS  
SCALE: 1/8" = 1'

LATTICE PANEL BY acuriolattice  
FINAL DESIGN AND COLOR TO  
BE SELECTED BY OWNER. NOTE  
LATTICE PANELS RO BE CUT TO FIT  
(CENTER BEHIND TRIM BOARDS)

**NEW DECORATIVE RAIL AT TOP OF WALL TO MATCH EXISTING RAILING SYSTEM**

NEW CUSTOM BULKHEAD DOOR TO MATCH  
NEW VERTICLE SIDING FINISH. LOCKABLE  
W/HEAVY DUTY EXTERIOR HARDWARE

MILLER  
DESIGN LLC



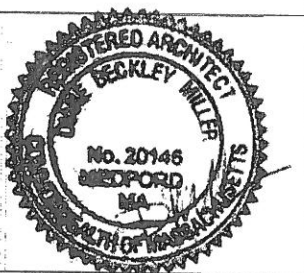
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NEW DECK

Sheet  
Number:

A03

