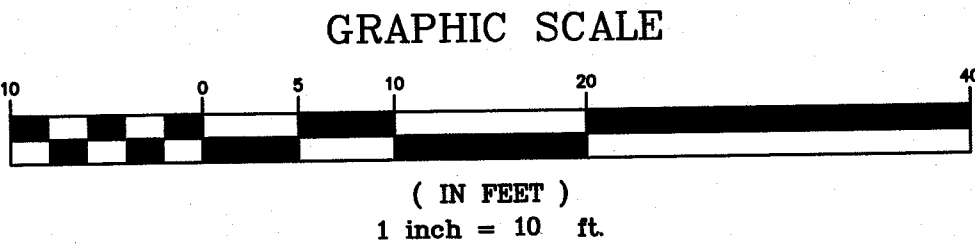
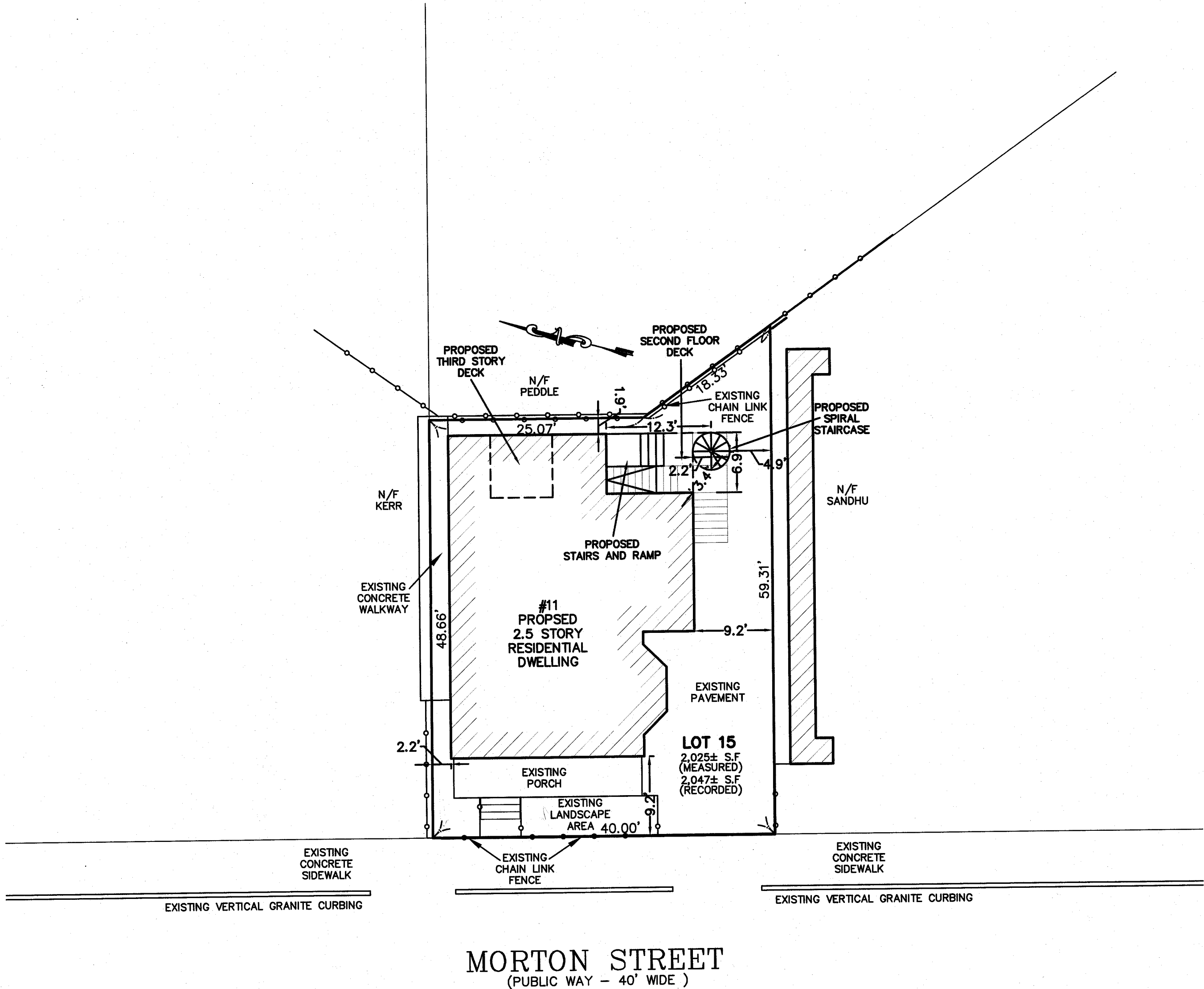


ZONING LEGEND			
ZONING DISTRICT: RESIDENCE B — TWO FAMILY			
	REQUIRED	PROPOSED	COMPLIANCE
MIN. AREA	9,000 S.F.(2 UNITS)	2,047± S.F.	EXISTING NON—CONFORMING
MIN. YARD FRONT	15'	9.2'	EXISTING NON—CONFORMING
SIDE	8.0'/17.0'	2.2'/11.4'	EXISTING NON—CONFORMING
REAR	20'	1.9'	EXISTING NON—CONFORMING
MAX. LOT COVERAGE	50%	45.8%	YES
MIN. LANDSCAPED AREA	25%	6.68%	EXISTING NON—CONFORMING
MIN. FRONTAGE	50'	40'	EXISTING NON—CONFORMING
MAX. BLDG. HEIGHT	40'	40'±	YES
MAX. STORIES	3	2.5	YES
MIN LOT AREA/DWELL. UNIT	1,500 S.F.	1,023.5 S.F.	EXISTING NON—CONFORMING

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 08-22-15.
2. DEED REFERENCE BOOK 62256 PAGE 270, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0439E, PANEL NUMBER 0439E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.

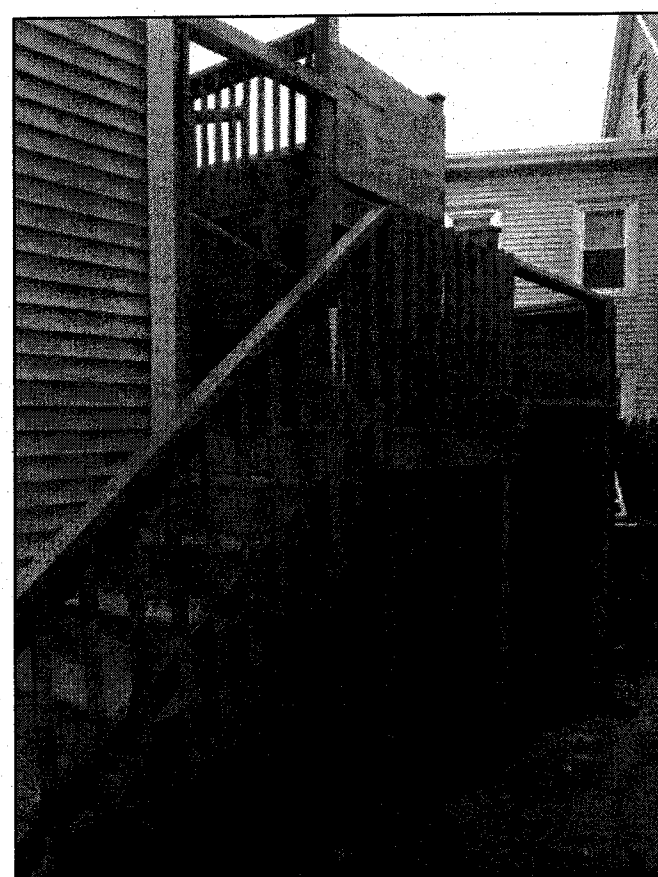


SCALE	1"=10'			
DATE	09/11/15	REV	DATE	REVISION
SHEET	1			
PLAN NO.	1 OF 1			
CLIENT:	KEVIN GORHAM			
DRAWN BY	IK			
CHKD BY	PJN			
APPD BY	PJN			
11 MORTON STREET SOMERVILLE MASSACHUSETTS PROPOSED PLOT PLAN				
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com				

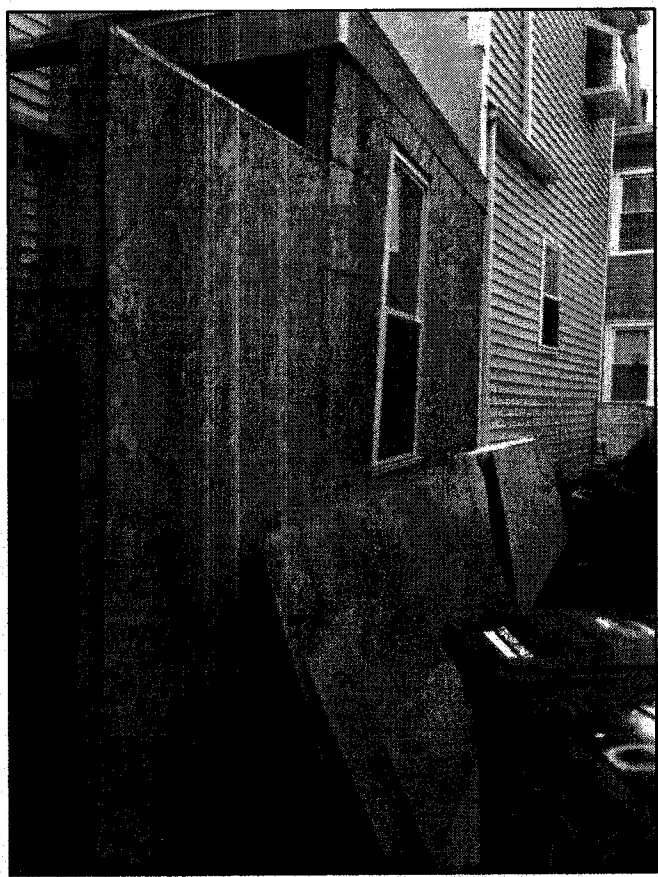
SHEET NO.

1

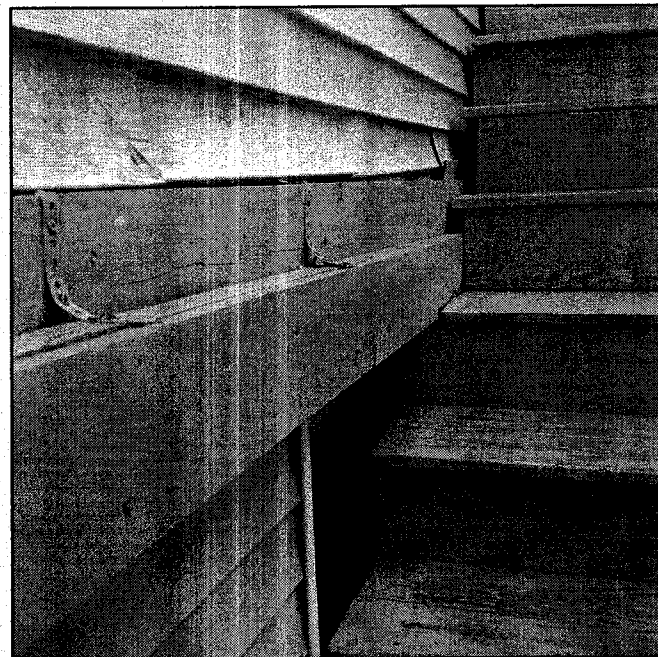
PROPOSED EGRESS STAIR & DECKS
11 MORTON STREET, SOMERVILLE, MASSACHUSETTS



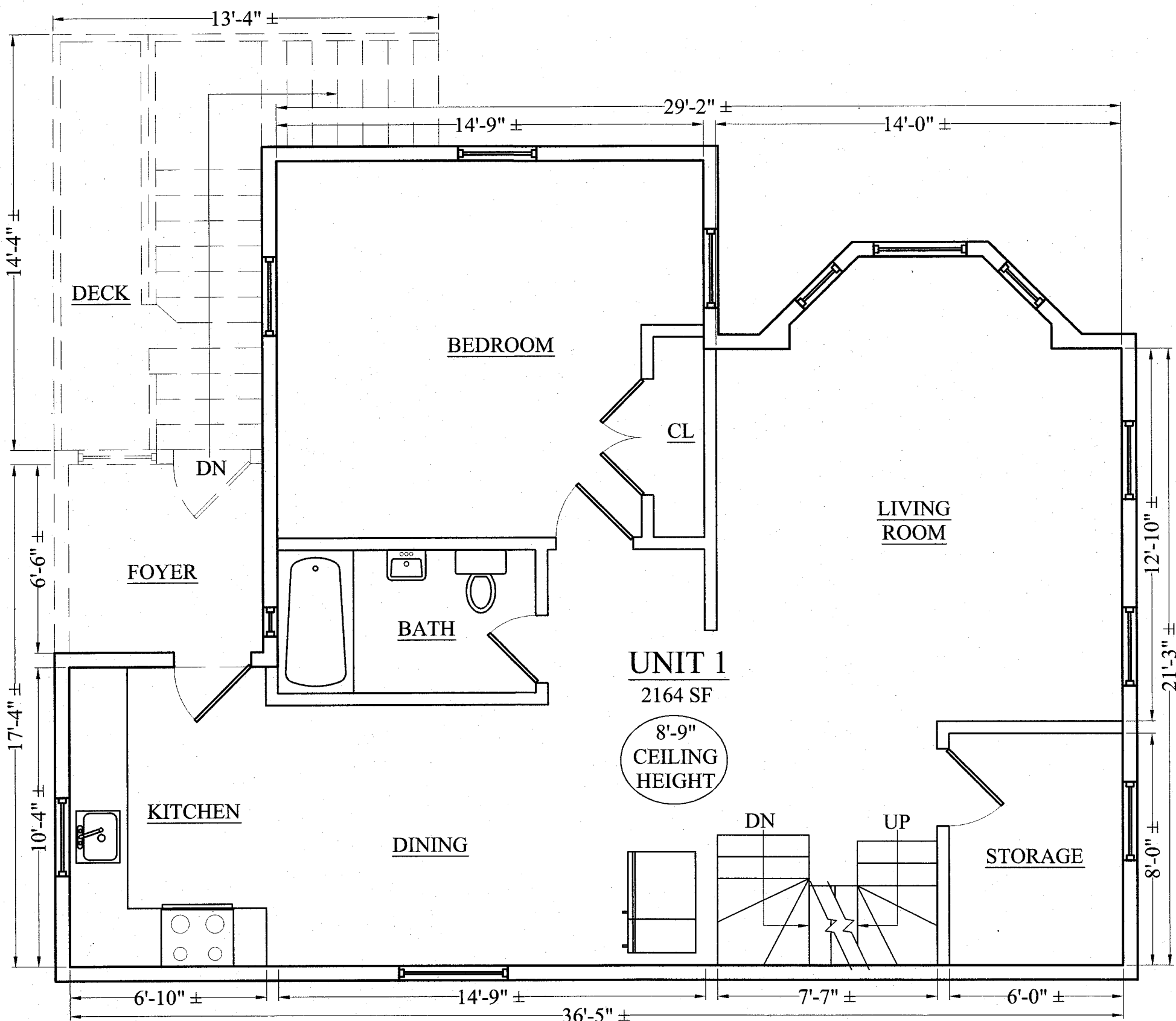
NOTE: 2x SLEEPERS IN LIEU OF FOOTINGS



NOTE: UNPROTECTED OSB SHEATHING



1 IMAGES OF REAR EGRESS STAIR



2 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"

MORTON STREET

PROPOSED EGRESS STAIR
& DECKS
11 MORTON STREET
SOMERVILLE, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

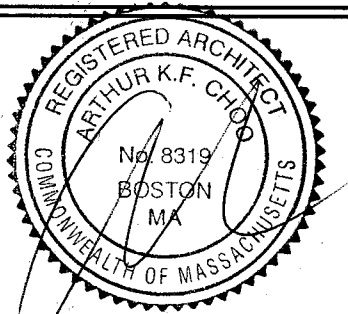


Table with 2 columns: No., Revision Date. Multiple empty rows for revisions.

Project No: 15212
Scale: AS NOTED
Date: 9-28-15
Drawn By: DF

Drawing Name
COVER SHEET
& DEMO PLAN
& IMAGES
& SUMMARIES

Sheet No.
A-O

ZONING SUMMARY

Table with 4 columns: RB DISTRICT, REQUIRED, EXISTING, PROPOSED. Rows include USE, A. MIN. LOT SIZE, E. FLOOR AREA RATIO, F. MAX. BLDG. HEIGHT, G. MIN. FRONT YARD, H. MIN. SIDE YARD, I. MIN. REAR YARD, J. MIN. FRONTAGE.

KEY

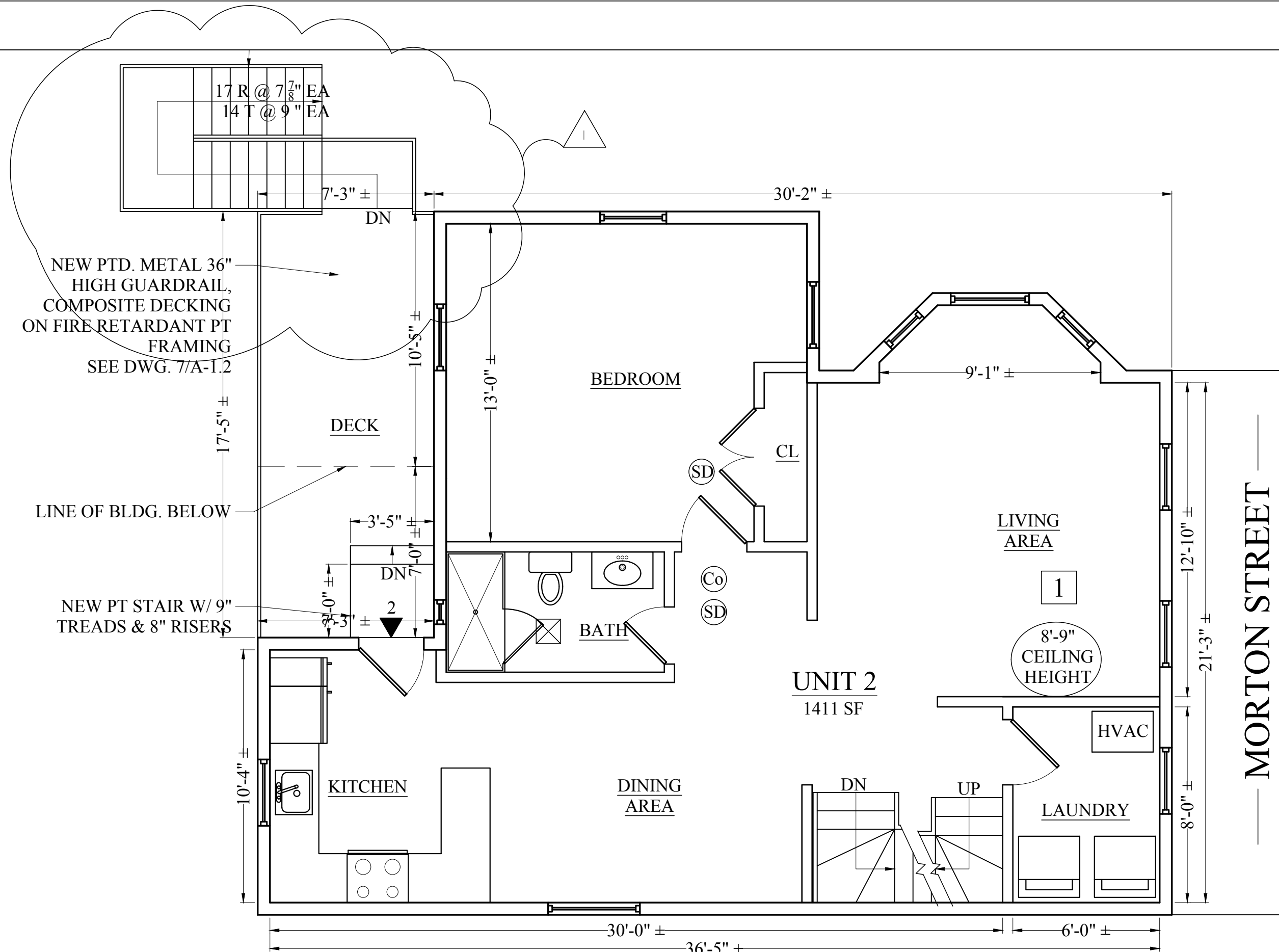
- SMOKE DETECTOR
HEAT DETECTOR
CARBON MONOXIDE DETECTOR
1 HOUR WALL
2 HOUR WALL
FAN
45 MIN. DOOR
1-1/2 HOUR DOOR
WINDOW TYPE
1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
2 HOUR CLG. WALL(SEE C.T.2/A-3.1)
FIRE EXTINGUISHER

CODE SUMMARY

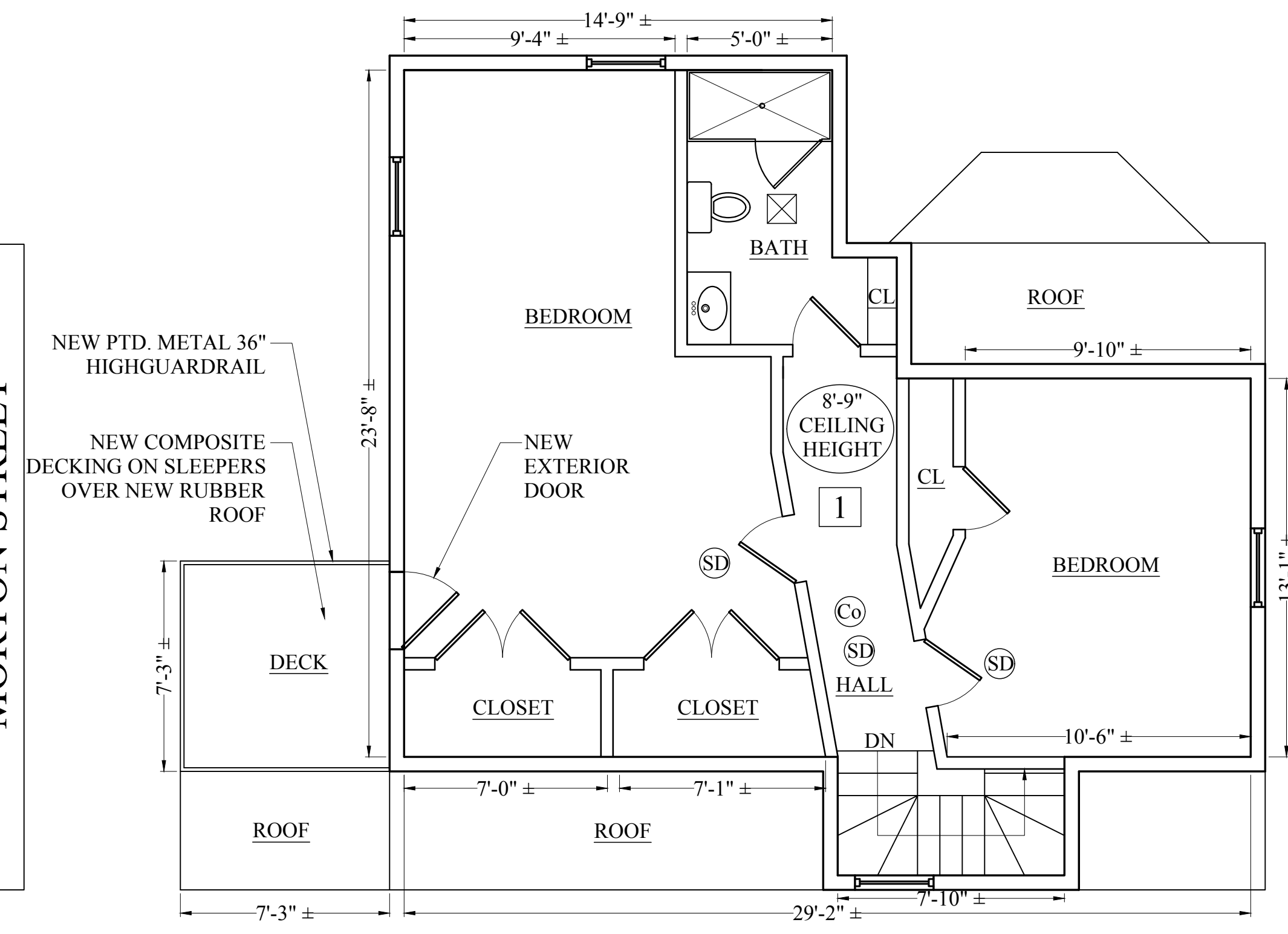
EX'G TYPE 5 CONSTRUCTION
EX'G R-3 USE GROUP (TWO-FAMILY)
EX'G 3 STORIES & BASEMENT
ZONE: RB

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM AS DESIGNED IS BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. SOIL BORINGS SHOULD BE PERFORMED TO VERIFY THAT THE MINIMUM DESIGN BEARING CAPACITIES ARE ACHIEVABLE. IF A SUITABLE SOIL THAT CAN NOT WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THAN THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.



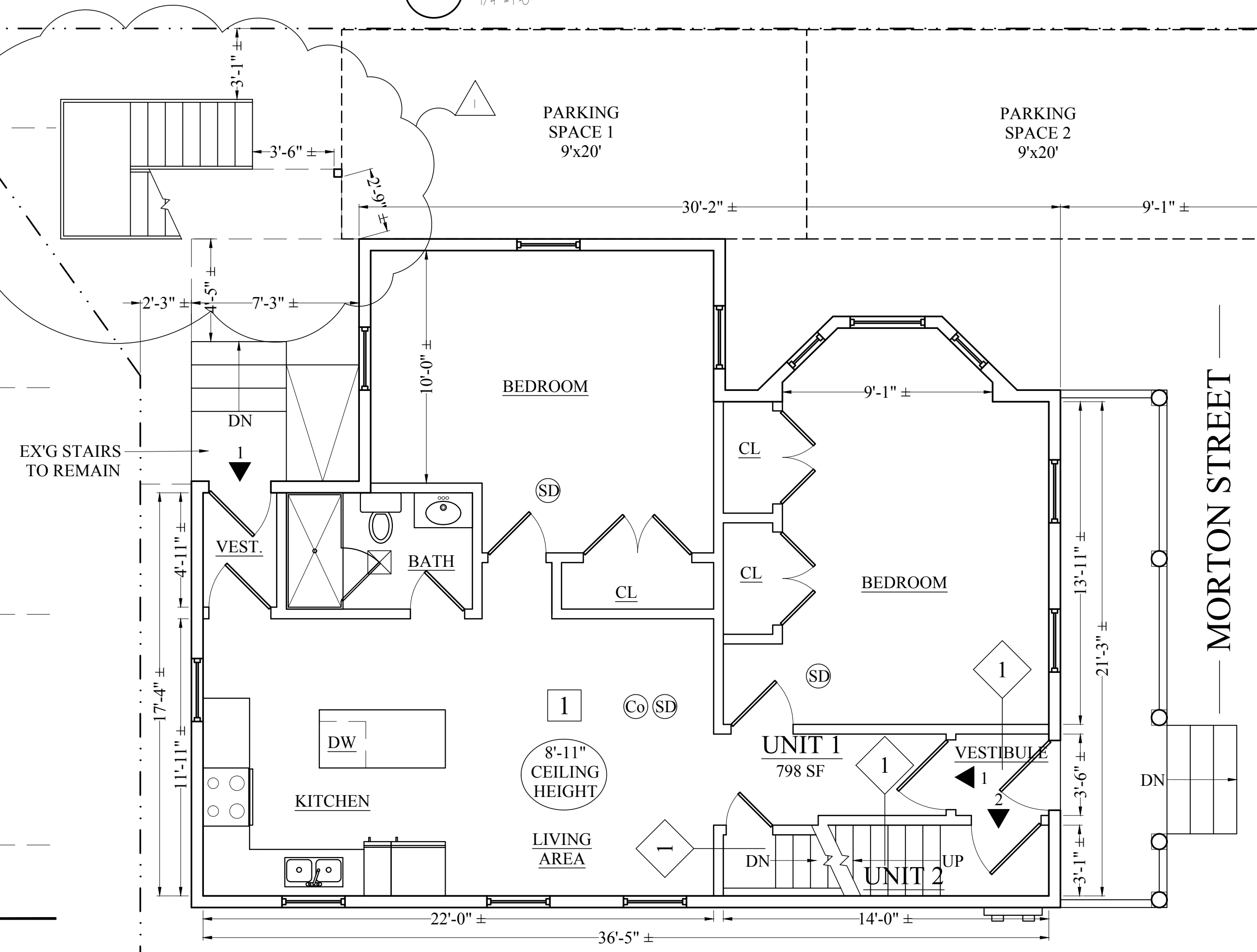
2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

PROPOSED EGRESS & DECKS
11 MORTON STREET
SOMERVILLE, MA

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date
1	10-29-15

Project No: 15212
Scale: AS NOTED
Date: 9-28-15
Drawn By: DF

Drawing Name
PROPOSED ELEVATIONS

Sheet No.
A-1.2