

ZBA APPLICATION

REDEVELOPMENT OF 21 MURDOCK

21 MURDOCK ST, SOMERVILLE, MA 02145

PETER
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ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

REDEVELOPMENT
OF

17-25 MURDOCK ST AND
227-229 CEDAR ST
SOMERVILLE, MA 02145

PREPARED FOR

CEDAR MURDOCK
PARTNERS, LLC

6 SPICE ST, STE 10
CHARLESTOWN, MA 02129

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION	DATE
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ZBA APPL	3 NOV 2016
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DRAWN BY MY	REVIEWED BY PQ
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SHEET

T1



BUILDING 6 DRIVEWAY ELEVATION

PREPARED BY:

ARCHITECT

PETER QUINN
ARCHITECTS LLC
259 ELM ST, STE 301
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PH (617) 354 3989

SURVEYOR

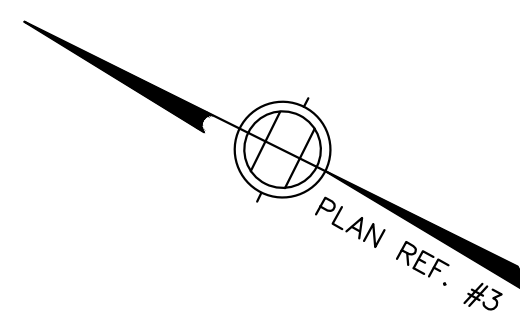
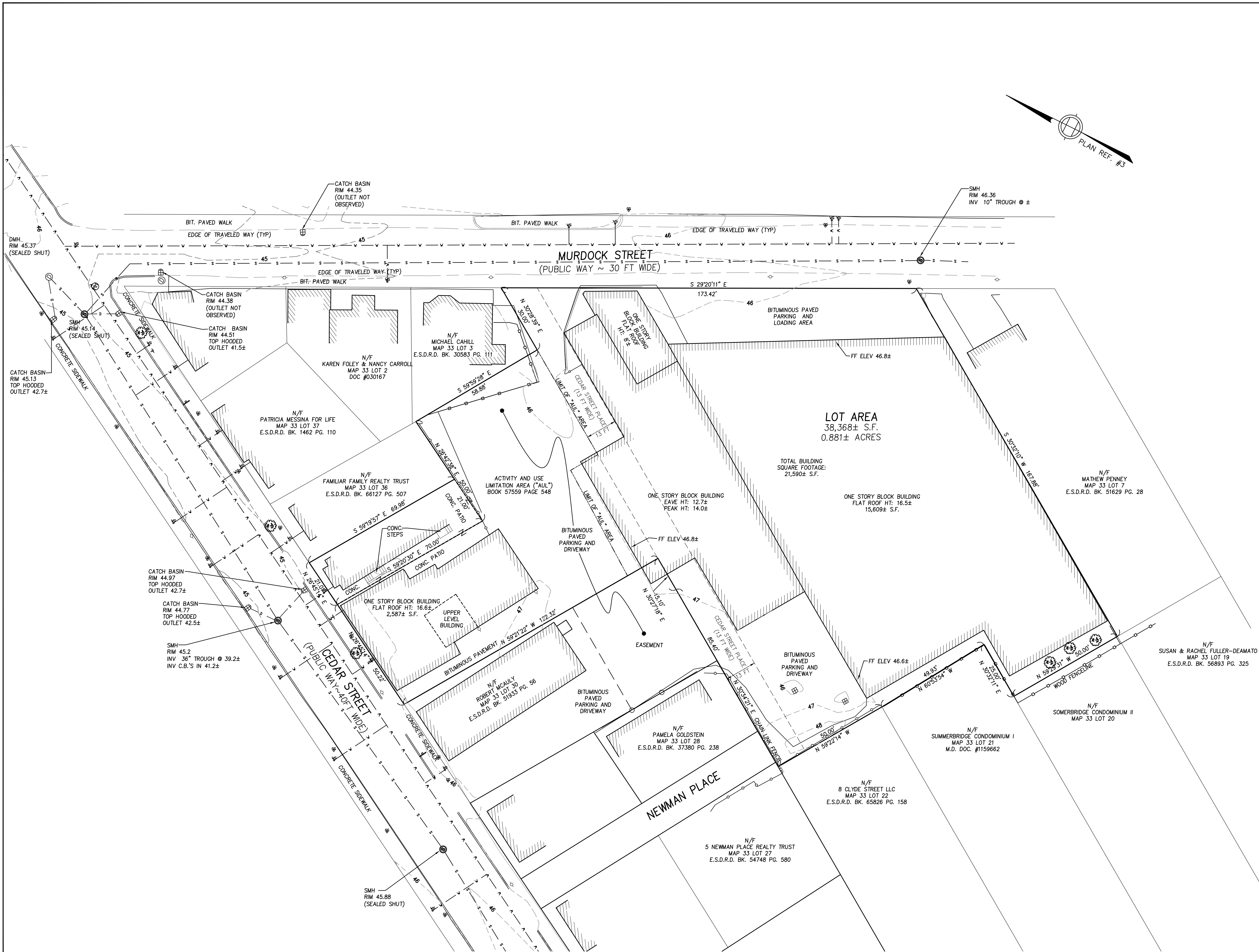
WINTER GEC, LLC
34 WINTER ST
NEWBURYPORT, MA 01950
PH (978) 270-8626

LANDSCAPE ARCHITECT

BLAIR HINES HINES
DESIGN ASSOCIATES
318 HARVARD ST, STE 25
BROOKLINE, MA 02445
PH (617) 735-1180



LOCUS PLAN



NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE LOT AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED THROUGH OCTOBER 6, 2016

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF SOMMERVILLE ASSESSOR'S OFFICES.

ELEVATION DATUM IS CITY OF SOMMERVILLE DATUM.

ALL BUILDING HEIGHTS SHOWN HEREON FOR 17-25 MURDOCK STREET ARE MEASURED FROM THE FIRST FLOOR ELEVATION OF 46.8±

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. Everett J. Chandler

EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE 11/1/16

- PLAN REFERENCES:**
- 17-25 MURDOCK STREET & 227-229 CEDAR STREET
- 1) PLAN BOOK 8 PLAN 47
 - 2) PLAN BOOK 55 PLAN 38
 - 3) PLAN 659 OF 2011
 - 4) PLAN BOOK 195 PLAN 221; CERT #12819A
 - 5) PLAN BOOK 34 PLAN 34
 - 6) PLAN BOOK 300 PLAN 325; CERT #17536A

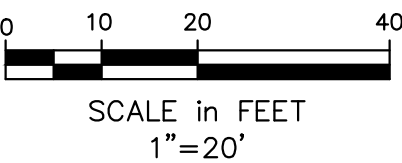
LOCUS TITLE INFORMATION

17-25 MURDOCK STREET & 227-229 CEDAR STREET

OWNER: THE MARCHIONNE REALTY TRUST,
CECIL N. & FLORINDA M. MARCHIONNE, TRS

DEED REFERENCE: BOOK 35296 PAGE 451
DOCUMENT #1206863

ASSESSORS: MAP 33 LOTS 4, 5, 6, 31, 32, 33, 34 & 38
BLOCK H



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Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

SCALE:
HORIZ: 1"= 20'
VERT: N.A.

NO.	DATE	BY	REVISIONS		

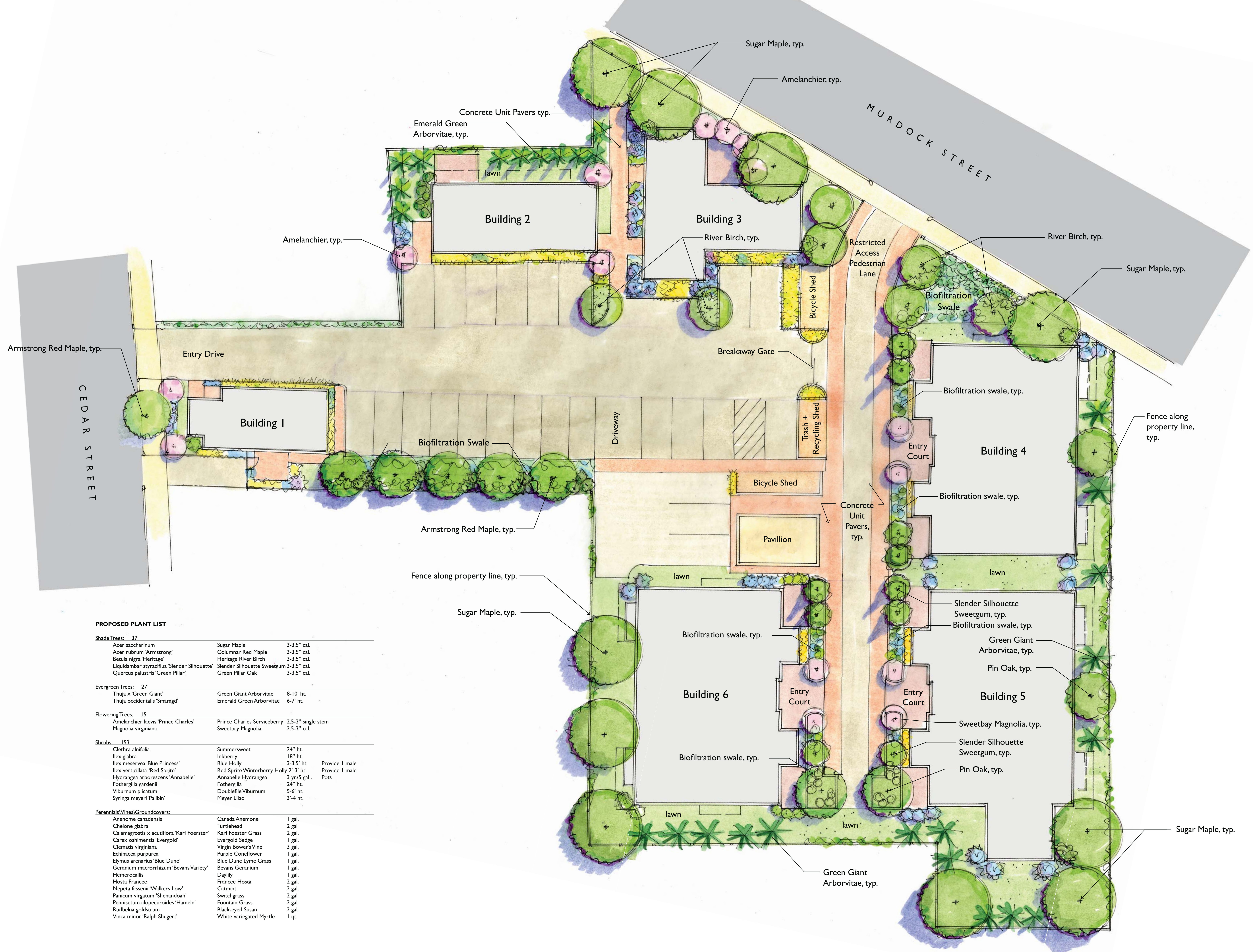
FIELD: T.P.T.
CALCS: T.P.T.
CHECKED: EJC
APPROVED: EJC

EXISTING CONDITIONS PLAN

227-229 CEDAR STREET &
17-25 MURDOCK STREET

PLAN OF LAND IN
SOMMERVILLE, MASSACHUSETTS
SURVEYED FOR
CEDAR MURDOCK PARTNERS LLC

PROJECT NO.
2016-CEDAR/MURDOCK
DATE: OCT 27, 2016
SHEET NO.
1 OF 1



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MURDOCK 21 - DIMENSIONAL TABLE - RB ZONING DISTRICT

ITEM	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	± 38,368	NO CHANGE	COMPLIES
MIN LOT AREA / UNIT 10+ UNITS (SF)	1,500	N/A	± 1,534 (25 UNITS)	COMPLIES
MAX GROUND COVERAGE (%)	50	± 63	± 31	COMPLIES
MIN LANDSCAPED AREA (% OF LOT)	25	± 0	± 32	COMPLIES
PERVIOUS AREA (% OF LOT)	35	± 0	35	COMPLIES
FLOOR AREA RATIO (FAR)	1.0	0.63	0.94	COMPLIES
NET FLOOR AREA (NSF)	± 38,368	± 24,537	± 36,150	COMPLIES
MAX HEIGHT (FT/ STORIES)	40 / 3	± 8-16.5 / 1	± 39 / 3 HIGHEST	COMPLIES
MIN FRONT YARD (FT) MURDOCK RD	15	± 1.2	± 3.8	REQUIRES SP PER §4.4.1
MIN SIDE YARD - LEFT (FT)	10	± 0.1 OVER	10	COMPLIES
MIN SIDE YARD - RIGHT (FT)	10	± 7.8 OVER	± 6.8	REQUIRES SP PER §4.4.1
MIN REAR YARD (FT)	20	± 5.2	± 10.3	REQUIRES SP PER §4.4.1
MIN FRONTAGE (FT)	50	173.42	NO CHANGE	COMPLIES
MIN NO. OF PARKING SPACES	43**	10	25 (9 COMPACT)	REQUIRES RELIEF
MIN NO. BIKE PARKING SPACES	7***	0	28	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN.

****NUMBER OF REQUIRED PARKING SPACE PER §9.5**

RESIDENTIAL

(22) 1OR2-BR UNITS AT 1.5 PER UNIT = 22X1.5 = 33
(3) 3-BR UNITS AT 2 PER UNIT = 3X2 = 6
VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 4

43 RES SPACES REQUIRED

*****NUMBER OF REQUIRED BICYCLE PARKING SPACES PER §9.15.1.A.B**

RESIDENTIAL

(1) FIRST 7 UNITS AT 1 BIKE SPACE PER FIRST 7 UNITS = 1X1 = 1
(6) 1 BIKE SPACE FOR EVERY 3 UNITS OVER FIRST 7 UNITS = 6X1 = 6

7 RES BIKE SPACES REQUIRED

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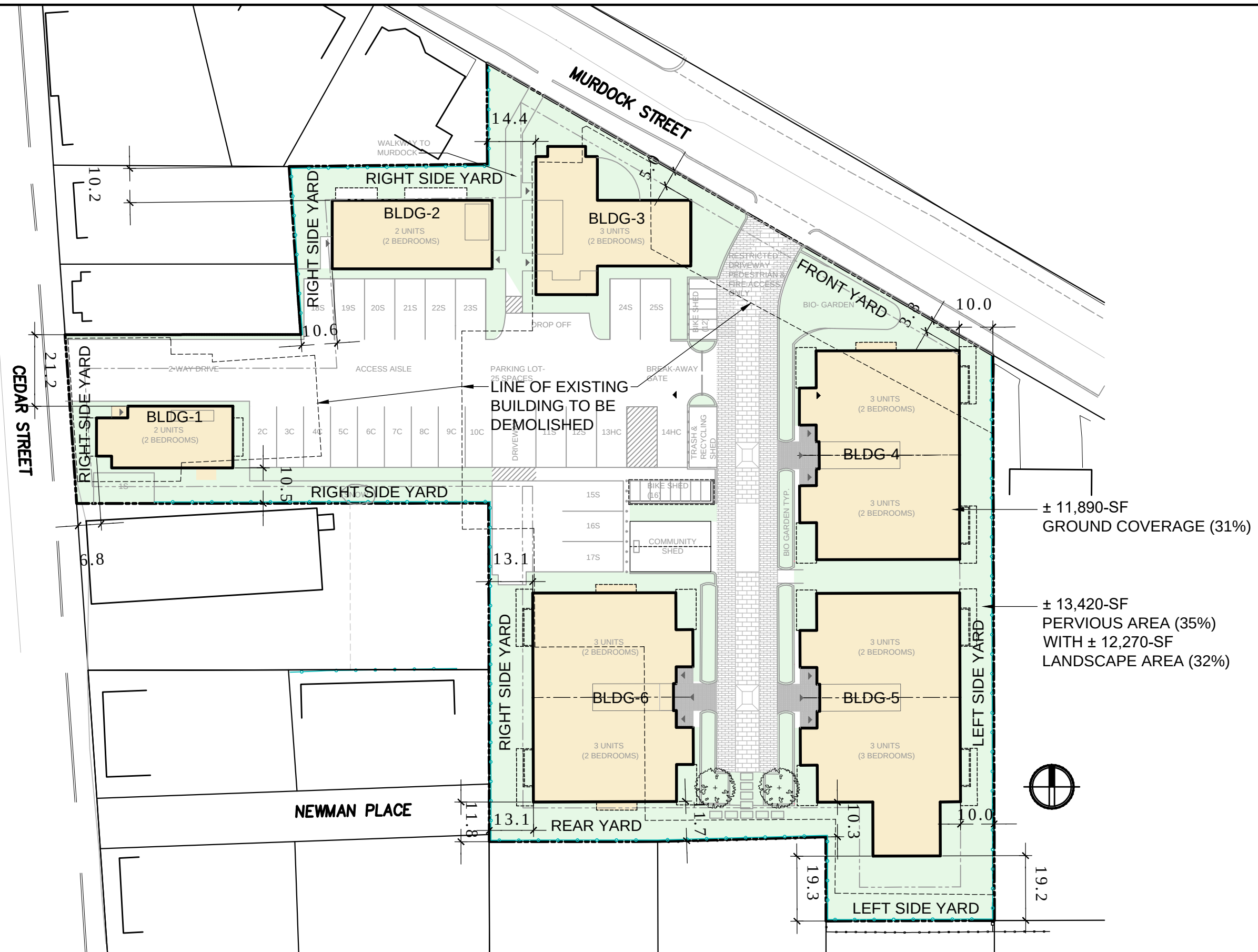
ZONING
COMPLIANCE

SCALE AS NOTED

REVISION	DATE
ZBA APPL	3 NOV 2016
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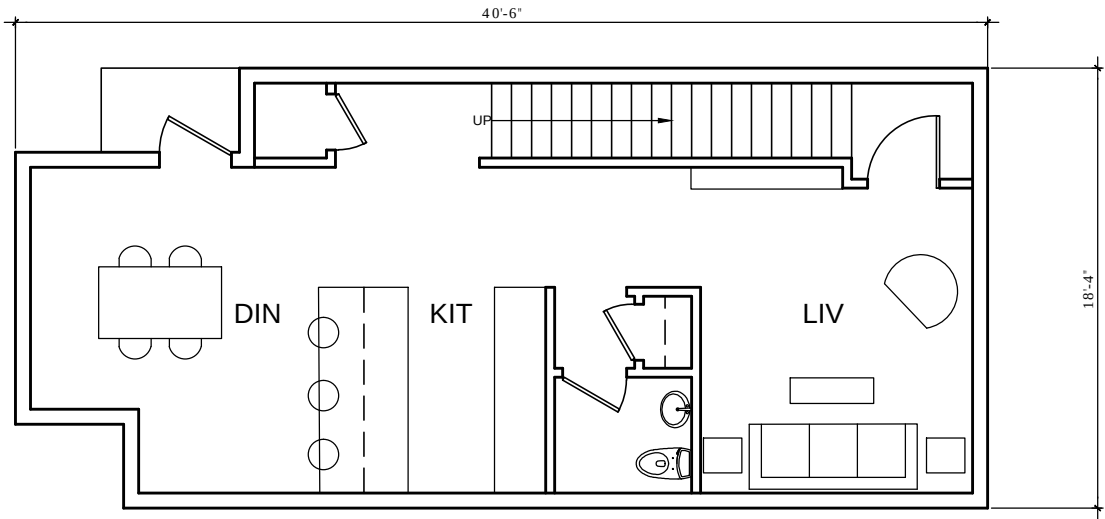
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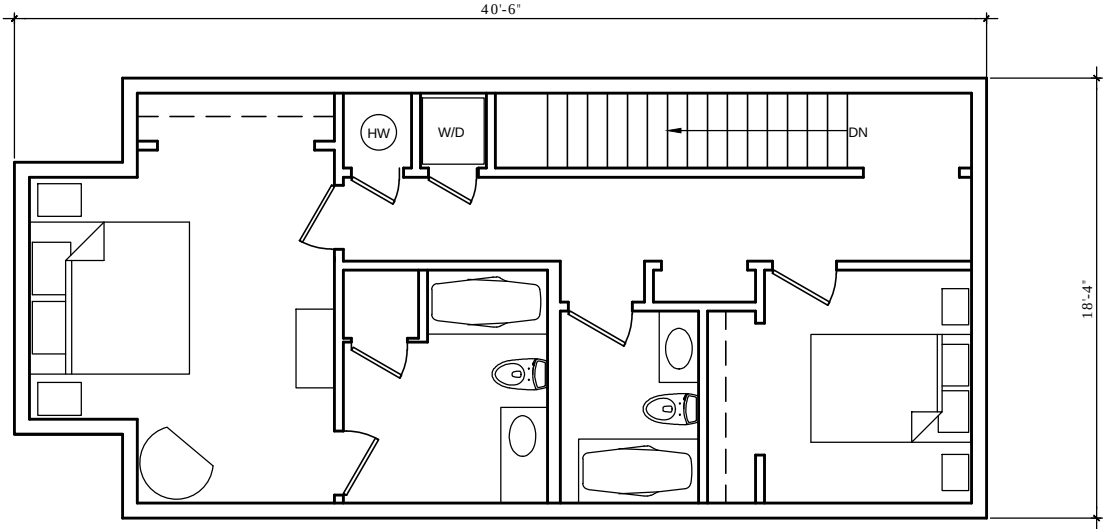


1 DIMENSIONAL SITE PLAN
SCALE: 1/32" = 1'-0"

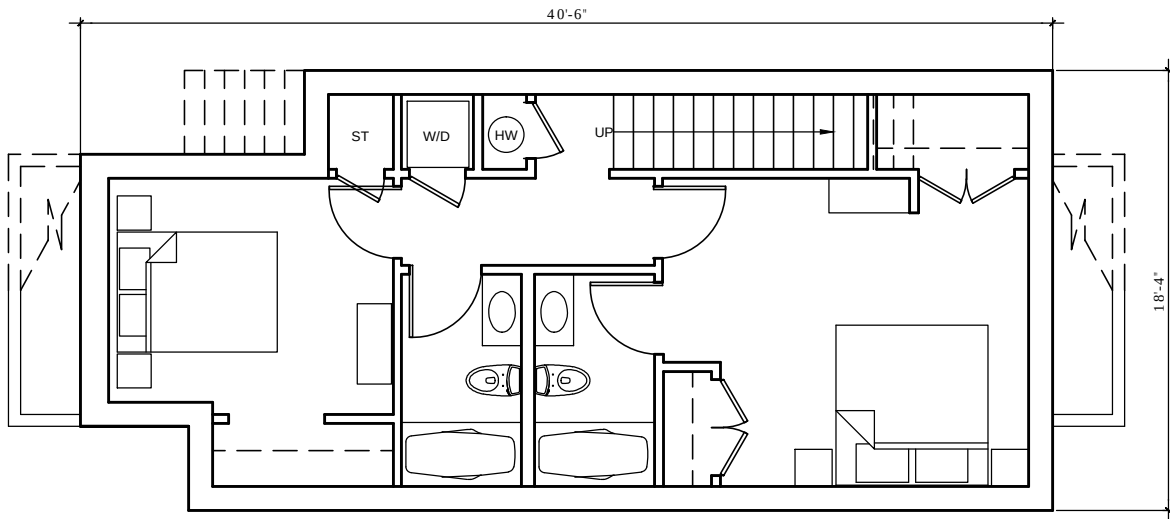
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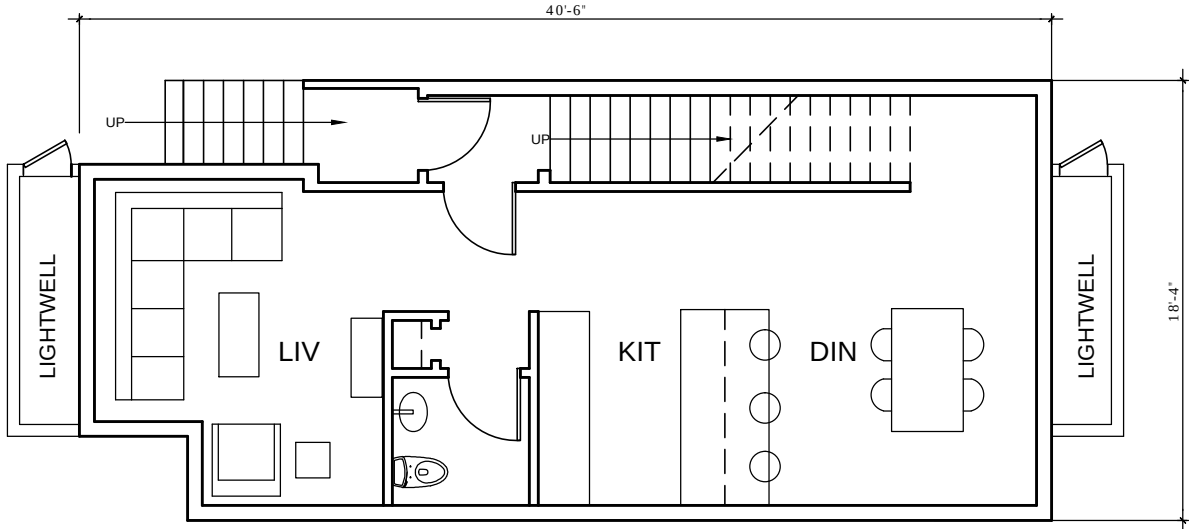
3 BLDG-1 FIRST FLOOR PLAN
SCALE: 1/8"=1'0"



4 BLDG-1 SECOND FLOOR PLAN
SCALE: 1/8"=1'0"



1 BLDG-1 BASEMENT FLOOR PLAN
SCALE: 1/8"=1'0"



2 BLDG-1 GROUND FLOOR PLAN
SCALE: 1/8"=1'0"



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BLDG-1
FLOOR PLANS

SCALE AS NOTED

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ZBA APPL	3 NOV 2016
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SHEET	

ZBA APPL

3 NOV 2016

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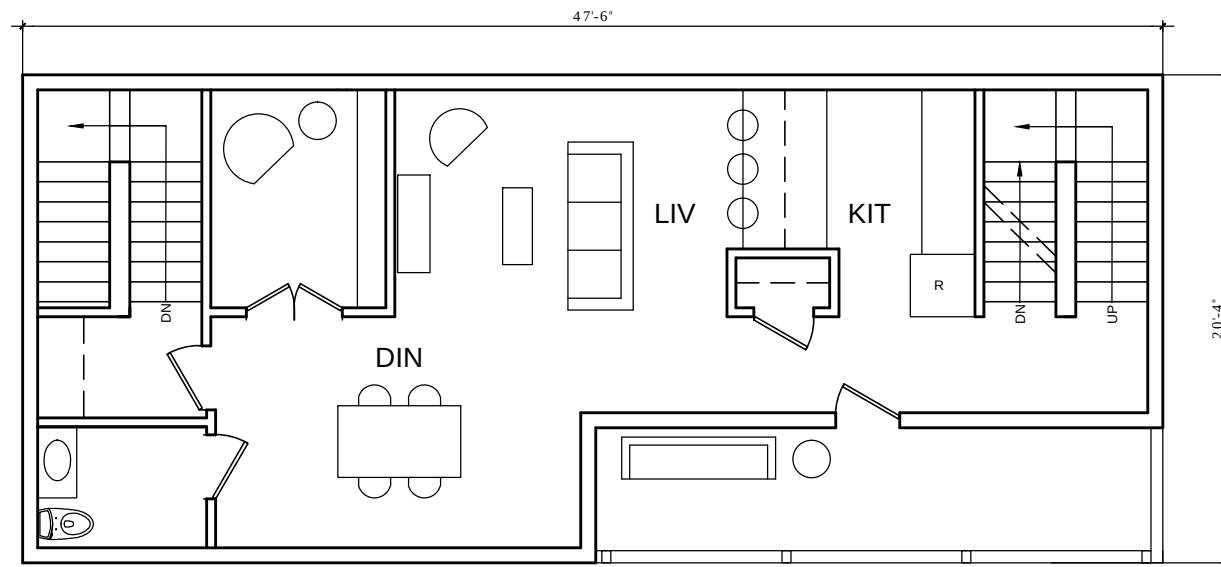
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REVIEWED BY

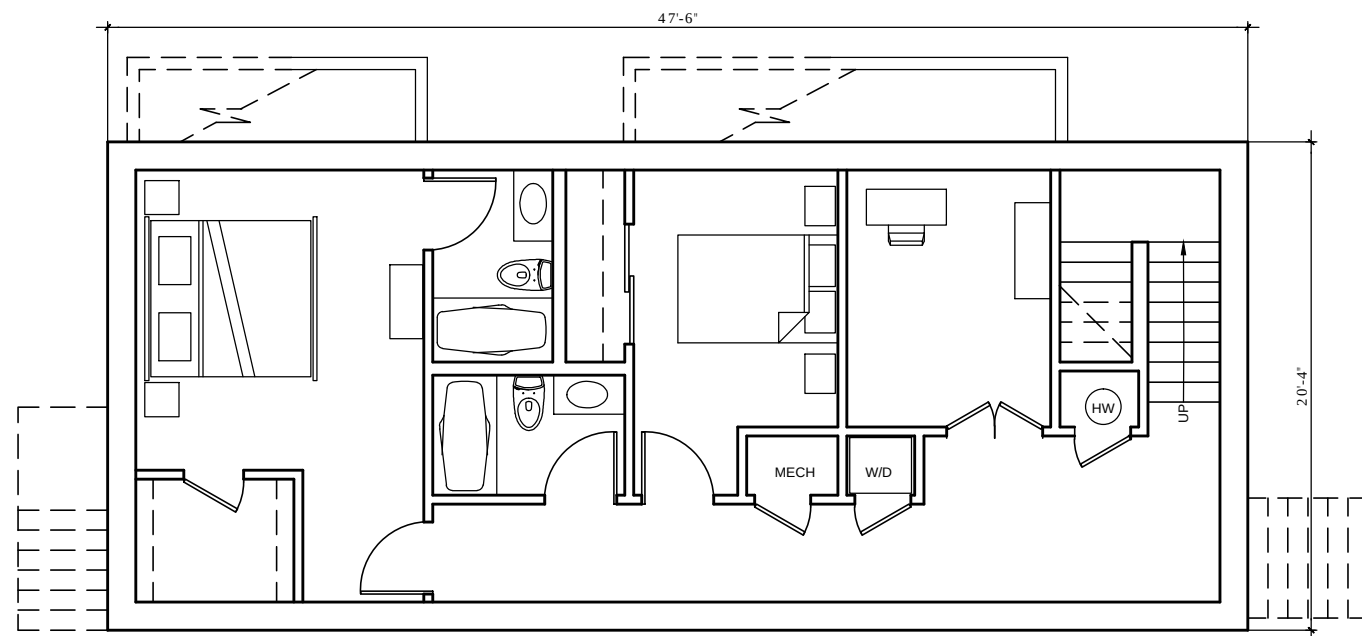
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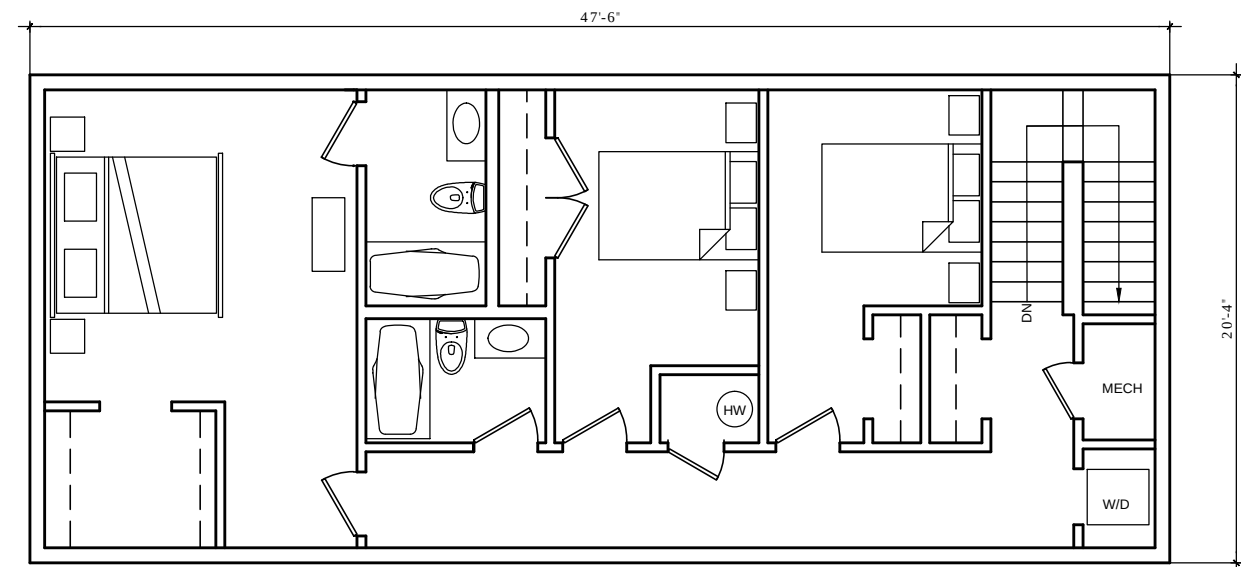
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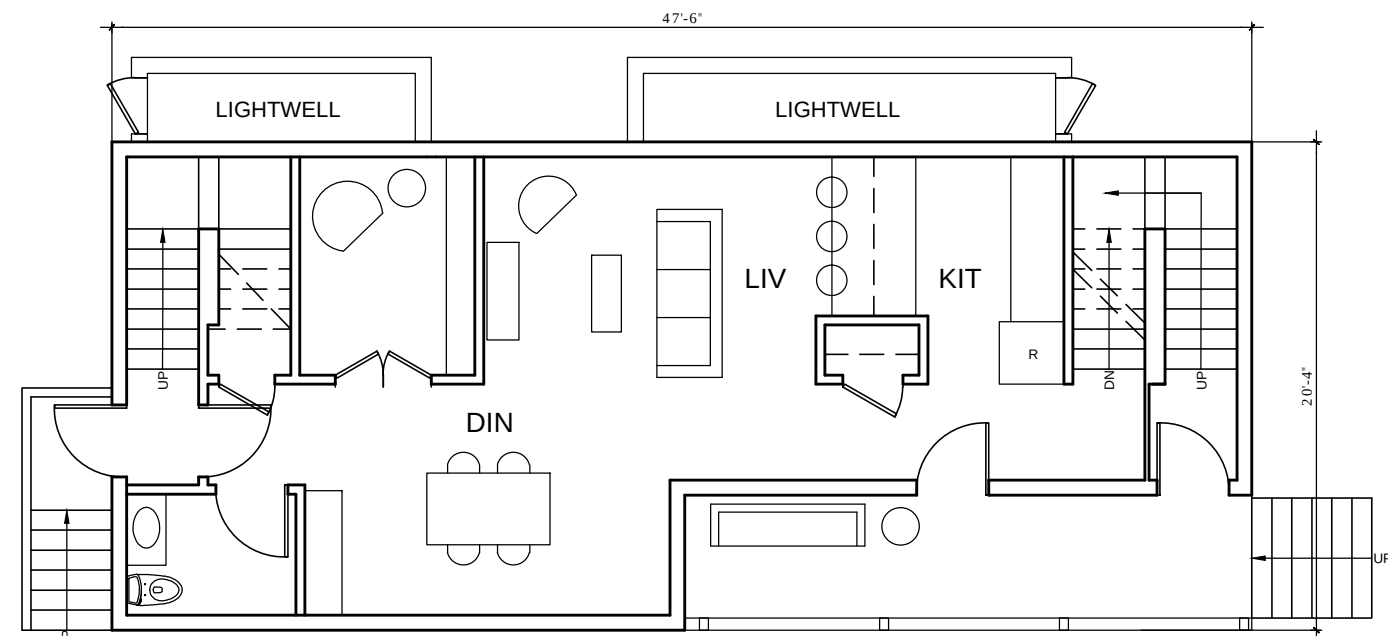
3 BLDG-2 FIRST FLOOR PLAN
SCALE: 1/8"=1'0"



1 BLDG-2 BASEMENT FLOOR PLAN
SCALE:1/8"=1'0"



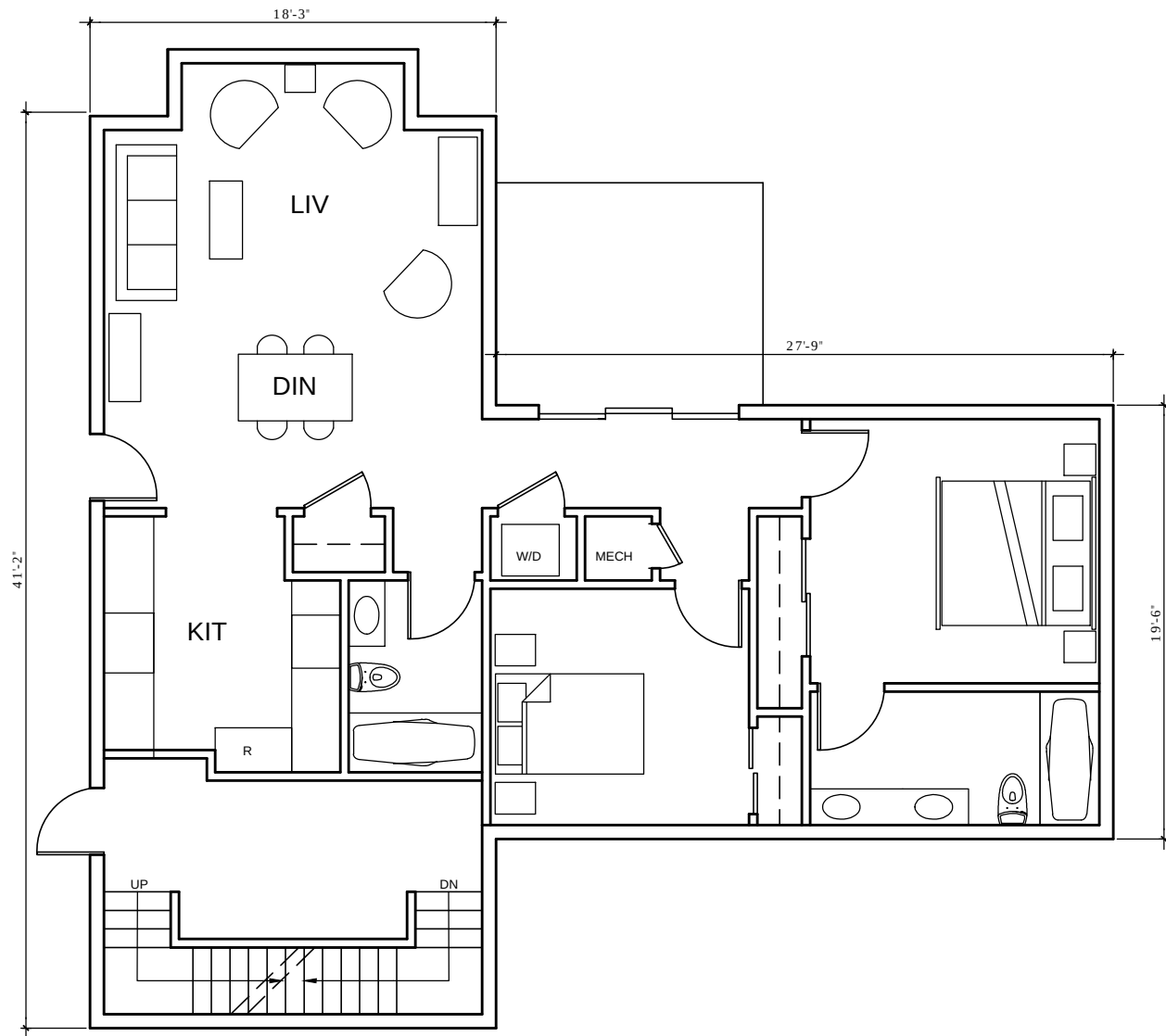
4 BLDG-2 SECOND FLOOR PLAN
SCALE: 1/8"=10"



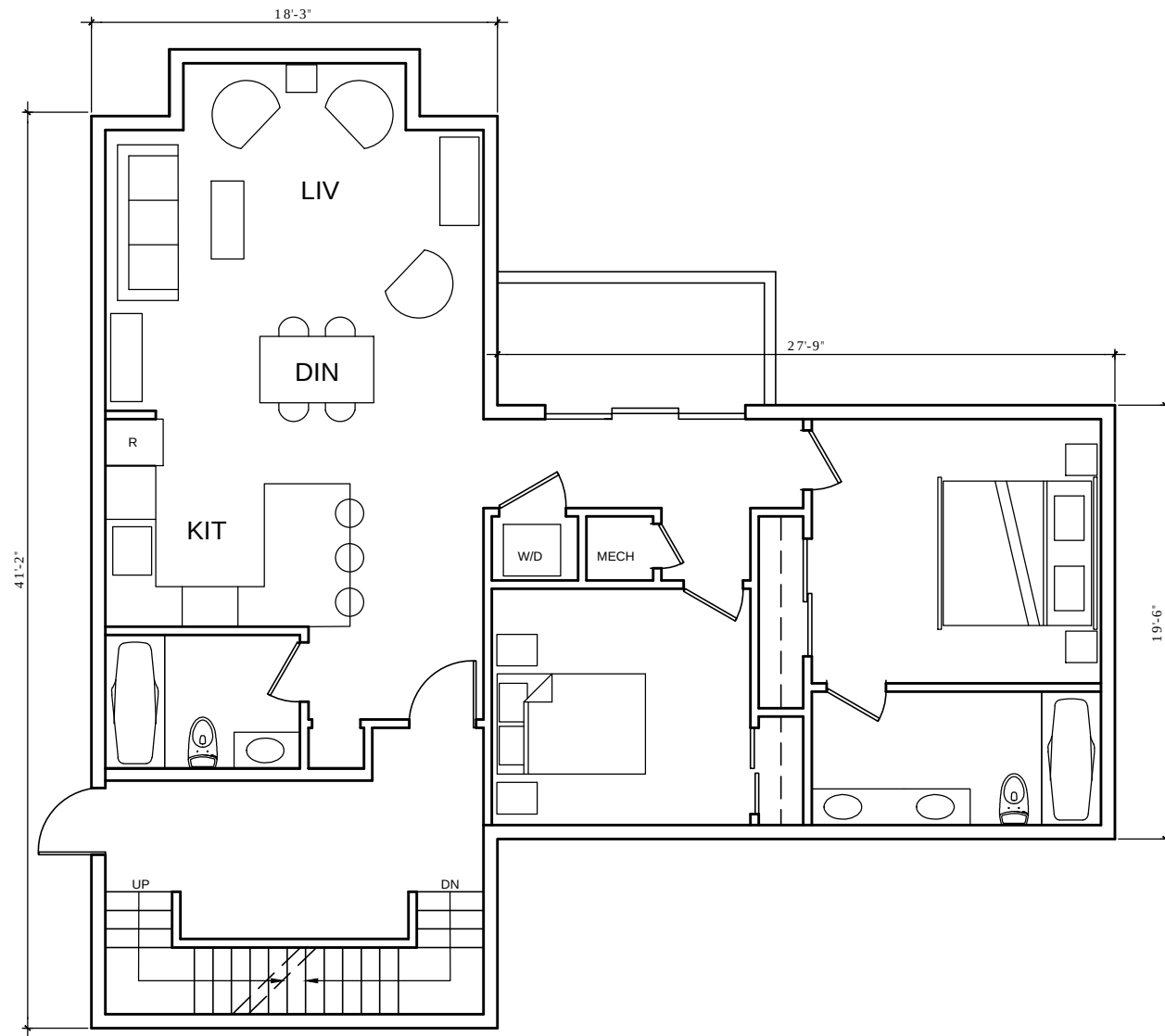
2 BLDG-2 GROUND FLOOR PLAN
SCALE: 1/8"=10"



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① **BLDG-3 GROUND FLOOR PLAN**
SCALE: 1/8"=1'0"



② **BLDG-3 SECOND & THIRD FLOOR PLAN**
SCALE: 1/8"=1'0"



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**BLDG-3
FLOOR PLANS**

SCALE AS NOTED

REVISION	DATE
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DRAWN BY	REVIEWED BY
	PQ



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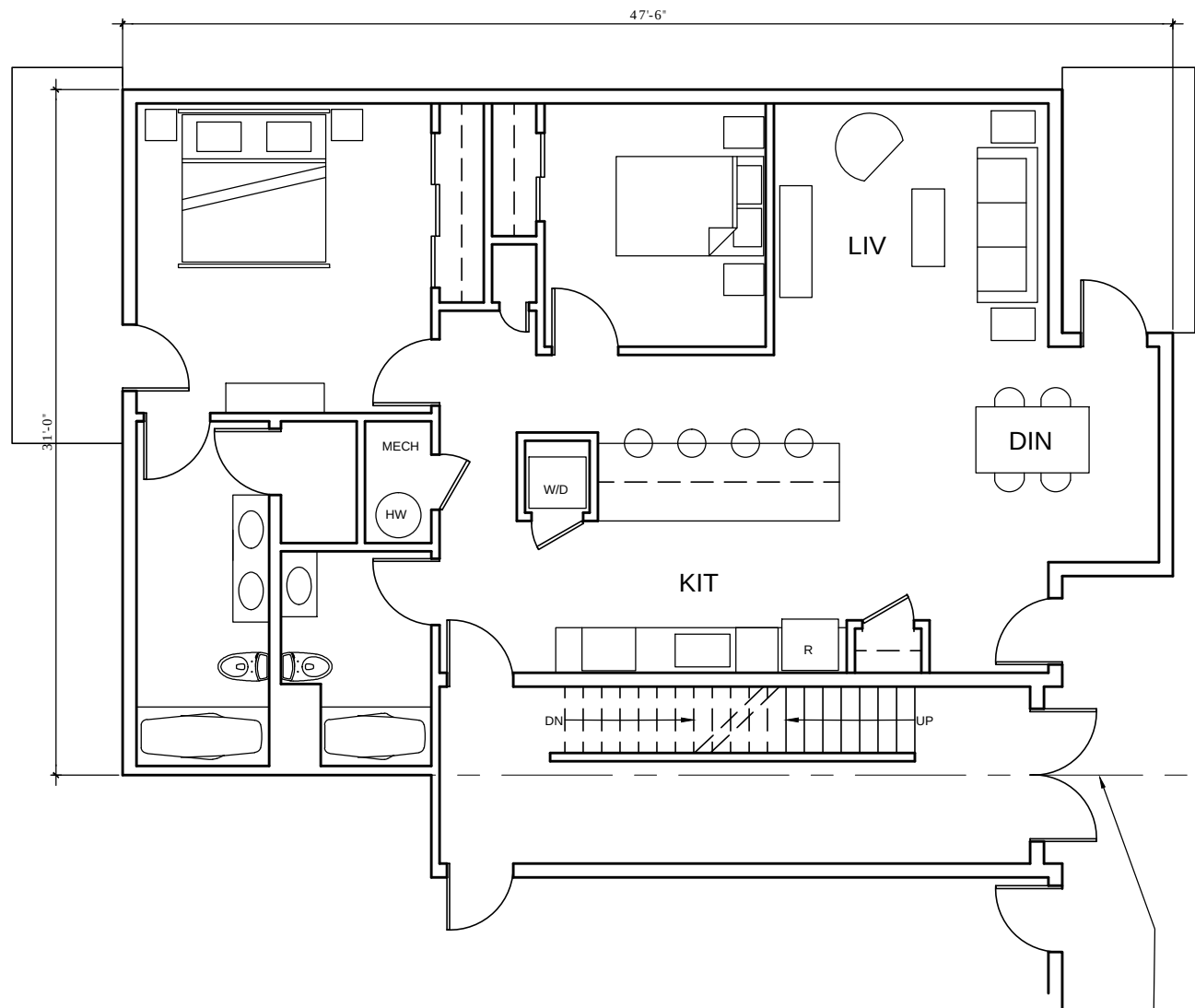
DRAWING TITLE
BLDG-4,5,6
FLOOR PLANS

SCALE AS NOTED

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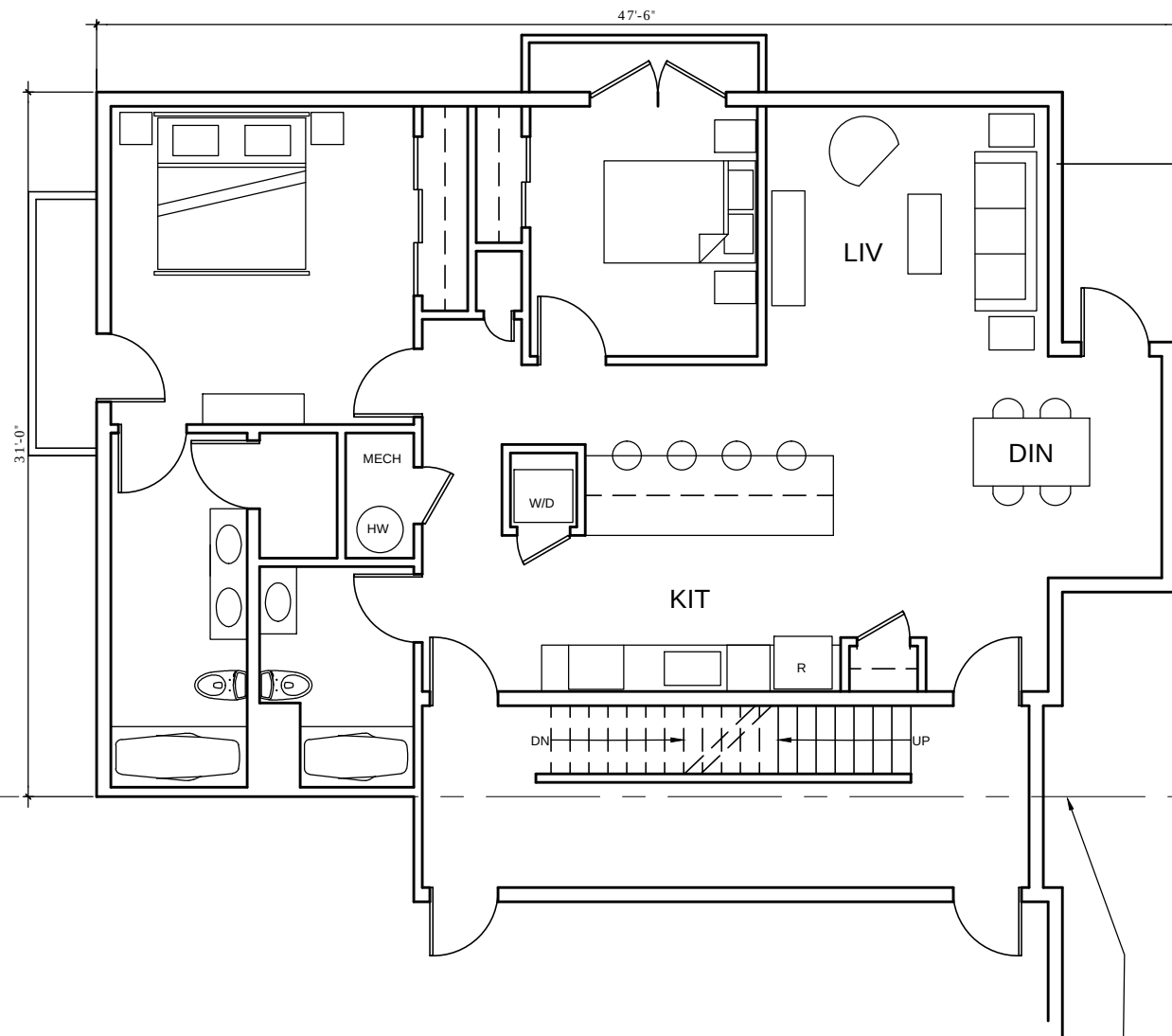
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MIRROR UNIT
ALONG
CENTERLINE

① BLDG-4,5,6 TYP. GROUND FLOOR PLAN
SCALE: 1/8"=1'0"



MIRROR UNIT
ALONG
CENTERLINE

② BLDG-4,5,6 TYP. SECOND & THIRD FLOOR PLAN
SCALE: 1/8"=1'0"





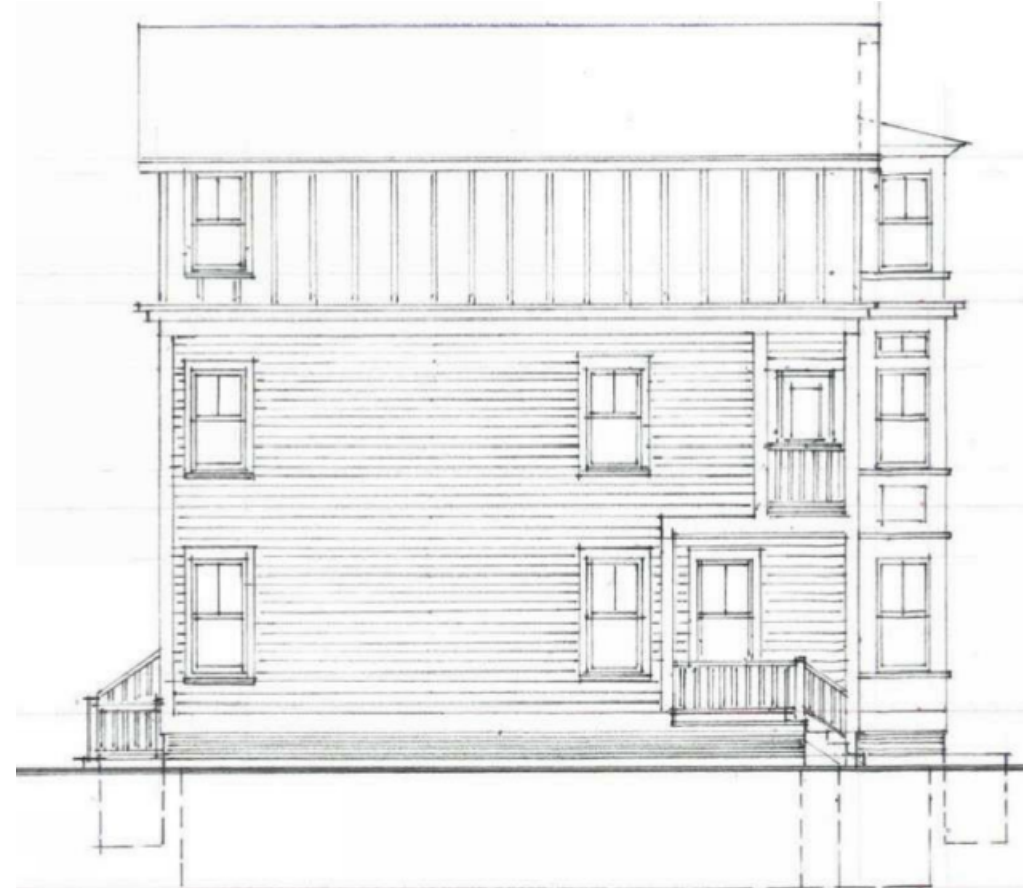
③ BLDG-1 FRONT ELEVATION
SCALE: 1"= 10'-0"



① BLDG-1 REAR ELEVATION
SCALE: 1"= 10'-0"



④ BLDG-1 RIGHT ELEVATION
SCALE: 1"= 10'-0"



② BLDG-1 LEFT ELEVATION
SCALE: 1"= 10'-0"

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BLDG-1
ELEVATIONS

SCALE AS NOTED

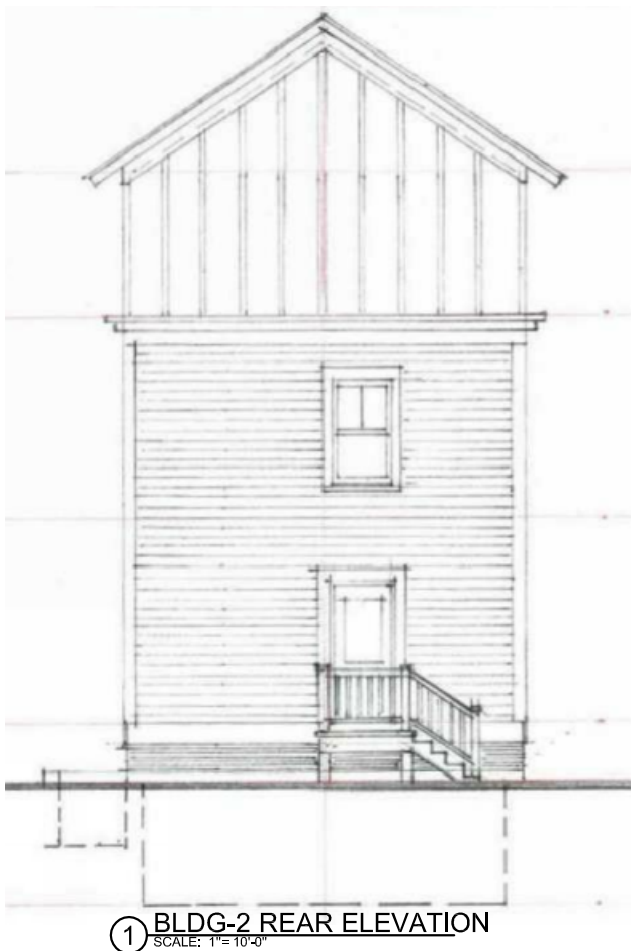
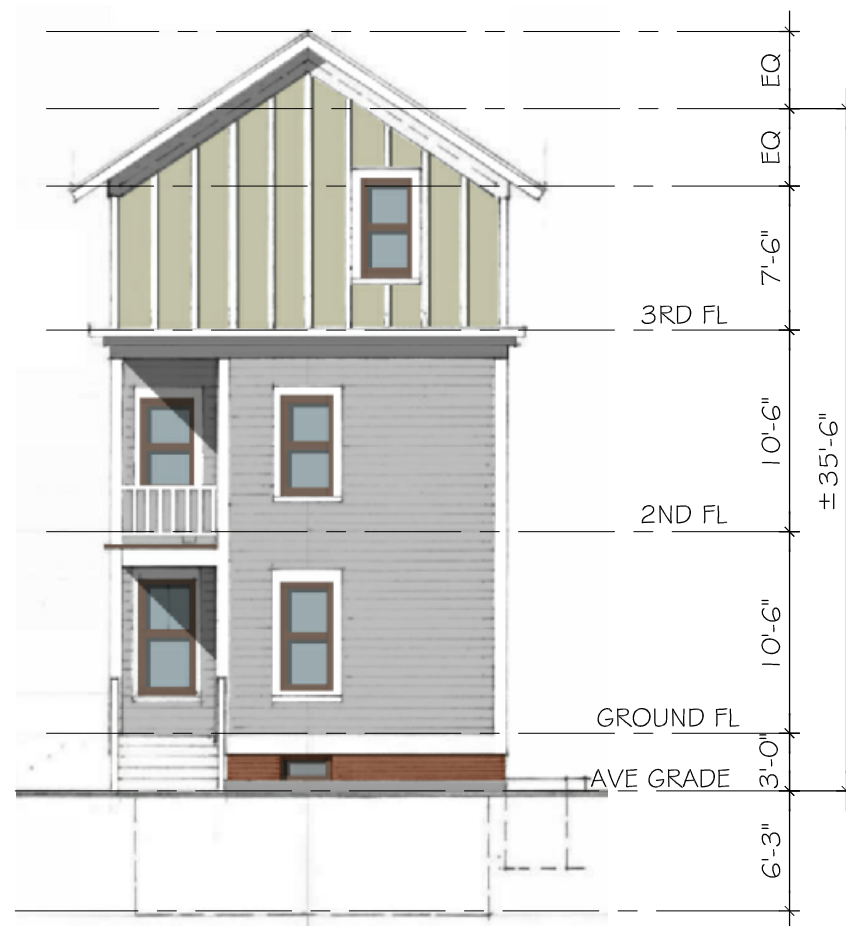
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SHEET

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BLDG-2
ELEVATIONS

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SHEET

A6

Architectural Shingles
roof 9/12 pitch

Fiber Cement
Clapboards 6" TW.
7.5" corner boards
typ.

1" TW
Fiber Cement Boards



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DRAWING TITLE

BLDG-3
ELEVATIONS

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SHEET

A7



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BLDG-4,5,6
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A8