

Architectural Drawing List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date

A-099	Column & Footing Layout Plan	03/24/17	
SKA-1	Stair Opening Clarification	03/24/17	
SKA-2	Unnamed	03/27/17	

ARCHITECTURE

A-000	COVER SHEET	12/16/16	4.24.17
-------	-------------	----------	---------

CIVIL

C1.0	PROPOSED SITE PLAN	7/28/16	
C2.0	DETAILS	7/28/16	

ARCHITECTURE

A-001	NOTES & ABBREVIATIONS	12/16/16	
A-010	CODE REVIEW	12/16/16	
A-020	ARCHITECTURAL SITE PLAN	12/16/16	4.24.17
A-021	ZONING	12/16/16	
A-022	ZONING SECTION	12/16/16	
A-100	GARAGE FLOOR PLAN	12/16/16	4.24.17
A-100a	FOUNDATION PLAN	12/16/16	
A-101	FIRST FLOOR PLAN	12/16/16	4.24.17
A-102	SECOND FLOOR PLAN	12/16/16	4.24.17
A-103	THIRD FLOOR PLAN	12/16/16	4.24.17
A-104	ROOF PLAN	12/16/16	4.24.17
A-300	BUILDING ELEVATIONS	12/16/16	4.24.17
A-400	BUILDING SECTION	12/16/16	4.24.17
A-410	WALL SECTIONS	12/16/16	4.24.17
A-520	ROOF DETAILS	12/16/16	4.24.17
A-710	STAIR DETAILS	12/16/16	
A-800	DOOR & WINDOW SCHEDULES	12/16/16	
A-801	DOOR & WINDOW DETAILS	12/16/16	
A-900	PARTITION TYPES	12/16/16	

STRUCTURAL

S-1	BASEMENT & FLOOR FRAMING PLANS & DETAILS	7/31/16	
S-2	SECOND, THIRD & ROOF FRAMING PLANS & DETAILS	7/31/16	
S-3	SECTIONS & DETAILS	7/31/16	
S-4	SECOND, THIRD & ROOF FRAMING PLANS & DETAILS	7/31/16	
S-5	STRUCTURAL NOTES	7/31/16	

ELECTRICAL

E-001	ELECTRICAL SITE PLAN	7/15/16	
-------	----------------------	---------	--

FIRE PROTECTION

FP-1	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-2	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-3	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-4	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-5	FIRE PROTECTION DETAILS & NOTES	7/15/16	



CD SET - REVISED  
4/24/17

PROJECT:  
MYSTIC AVE. RESIDENCES

PROJECT ADDRESS:  
640 MYSTIC AVENUE  
SOMERVILLE MASSACHUSETTS

ARCHITECT  
J.L. WILSON, ARCHITECT  
12 ELLIS STREET  
NORTH ANDOVER, MA 01845  
T: 978-857-1148

CLIENT  
EL CAMINO, LLC  
PO BOX 390971  
CAMBRIDGE, MA 02139

CIVIL ENGINEER  
DESIGN CONSULTANTS, INC.  
120 MIDDLESEX AVENUE, SUITE 20  
SOMERVILLE, MA 02145

MEP/FP ENGINEER  
ZADE ASSOCIATES  
140 BEECH STREET  
BOSTON, MA 02131

PROJECT NAME

Mystic Ave  
Residences

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	1" = 1'-0"

REVISIONS

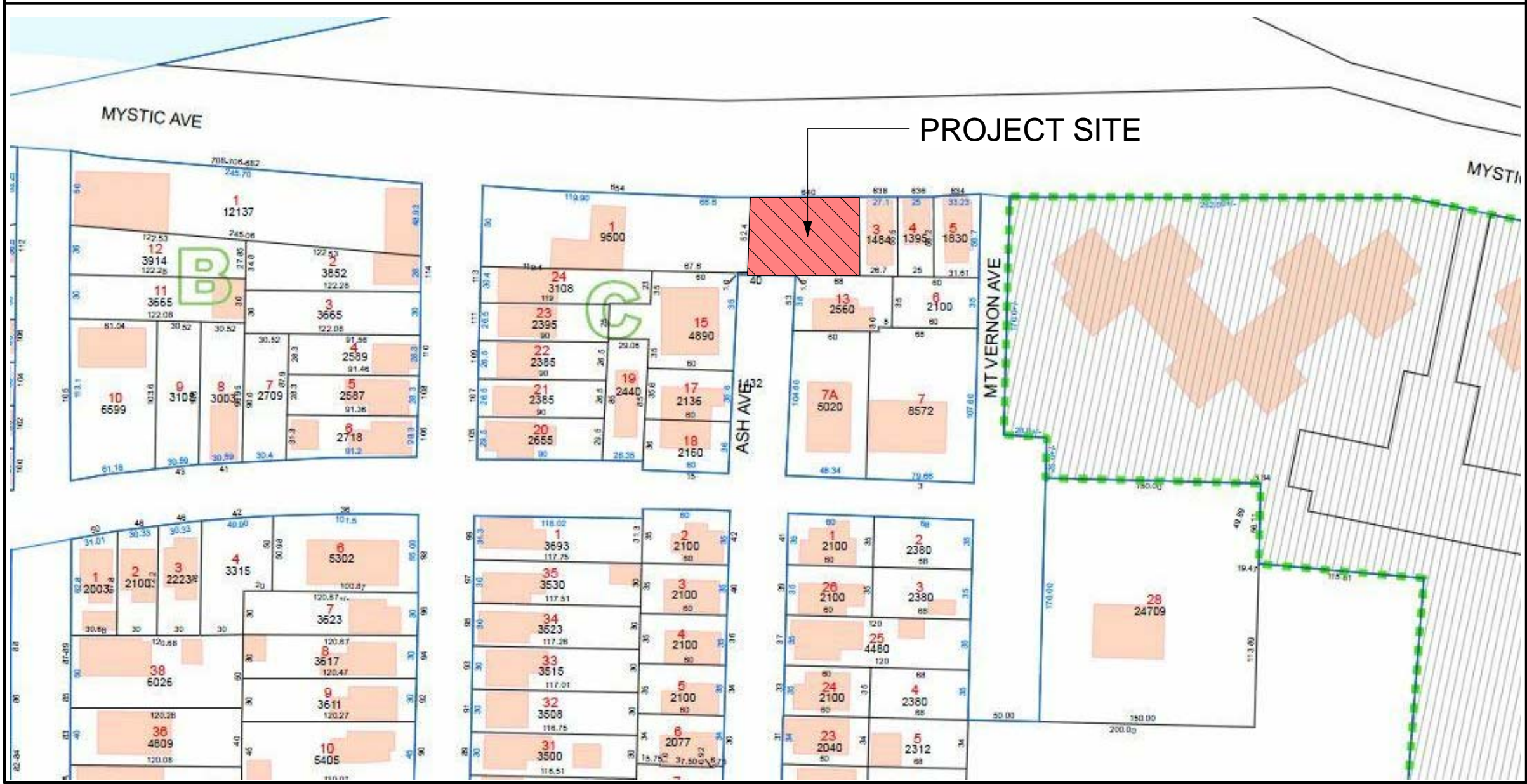
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

COVER SHEET

A-000

Mystic Ave Residences

LOCUS PLAN





ARCHITECTURAL ABBREVIATIONS

4 AND		C		E		F		J		N		R		S		W	
A		AB		CD		EJT		JAN		NA		R		STS		W	
ANCHOR BOLT		ACCESS FLOOR		COILING DOOR		EXPANSION JOINT		JUNCTION BOX		NOT APPLICABLE		RADIUS		STEEL STRUCTURE		WIDTH/WIDE	
ACOUS		ACOUSICAL		CLASS		ELEV		JOINT		NOT IN CONTRACT		RISER		SUPERVISOR		WIDE FLANGE	
ACCT		ACOUSICAL CEILING TILE		CL		EMERG		JT		NO		RA		SW		WITHOUT	
AD		AREA DRAIN		CLR		ENCL		K		NOM		RB		SW		WC	
ADD		ADDENDUM		CM		ENTR		KO		NRC		RD		SW		WC	
ADDL		ADDITIONAL		CO		EO		L		NT		REC		SW		WD	
ADJ		ADJUSTABLE		COL		EQ		LAV		NTS		REF		SYM		WDW	
ADJ		ADJACENT		COMB		EQUIP		LB		O		REG		T		WH	
ADMIN		ADMINISTRATION		CONC		E		LCD		OC		REIN		TAN		WHCH	
AFT		ABOVE FINISH FLOOR		CONF		EWC		LF		OD		REMO		TBD		WTR	
AHU		AIR HANDLING UNIT		CONN		EXA		L		OH		REQD		TBD		WR	
ALT		ALTERNATE		CONSTR		EXC		LAV		OFF		RET		TANG		WTH	
ALLUM		ALUMINUM		CONSTR		EXH		LB		OP		REV		TACK		WT	
ANUN		ANNUNCIATOR		CONT		EXH		LOC		OPG		REV		TIME		WT	
AP		ACCESS PANEL		CONTR		EXT		LOC		OFF		RH		TOWEL		WW	
APC		ARCHITECTURAL PRECAST		COORD		E		LOC		ORD		RHM		TOWEL		WWF	
APPROX		APPROXIMATE		CORR		E		LOC		ORD		RHM		TOWEL		WWF	
ARCH		ARCHITECTURAL		CORR		E		LOC		ORD		RHM		TOWEL		WWF	
AUTO		AUTOMATIC		CORR		E		LOC		ORD		RHM		TOWEL		WWF	
AWT		ACOUSICAL WALL TREATMENT		CORR		E		LOC		ORD		RHM		TOWEL		WWF	
BA		BUILDING ACCESSORY		D		E		H		M		S		U		V	
BBD		BULLETIN BOARD		DEMO		E		H		M		S		U		V	
BD		BOARD		DEPR		E		H		M		S		U		V	
BFE		BOTTOM FOOTING ELEVATION		DEPT		E		H		M		S		U		V	
BG		BUMPER GUARD		DET		E		H		M		S		U		V	
BIT		BITUMINOUS		DET		E		H		M		S		U		V	
BKT		BRACKET		DET		E		H		M		S		U		V	
BLDG		BUILDING		DET		E		H		M		S		U		V	
BLKG		BLOCKING		DET		E		H		M		S		U		V	
BLT		BORROWED LIGHT		DET		E		H		M		S		U		V	
BLW		BELOW		DET		E		H		M		S		U		V	
BM		BEAM		DET		E		H		M		S		U		V	
BO		BY OWNER		DET		E		H		M		S		U		V	
BOF		BY OWNER FUTURE		DET		E		H		M		S		U		V	
BOT		BOTTOM		DET		E		H		M		S		U		V	
BR		BRICK		DET		E		H		M		S		U		V	
BRG		BEARING		DET		E		H		M		S		U		V	
BRL		BRICK LEDGE		DET		E		H		M		S		U		V	
BSMT		BASEMENT		DET		E		H		M		S		U		V	
BTWN		BETWEEN		DET		E		H		M		S		U		V	
BUR		BUILT-UP ROOFING		DET		E		H		M		S		U		V	
C		CHANNEL		E		E		H		M		S		U		V	
C DISP		CUP DISPENSER		E		E		H		M		S		U		V	
CAB		CABINET		E		E		H		M		S		U		V	
CG		CORNER GUARD		E		E		H		M		S		U		V	
CH		COAT HOOK		E		E		H		M		S		U		V	
CJT		CONTROL JOINT		E		E		H		M		S		U		V	
CCTV		CLOSED CIRCUIT TELEVISION		E		E		H		M		S		U		V	

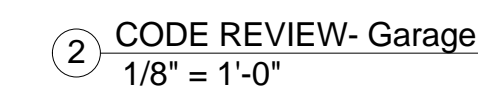
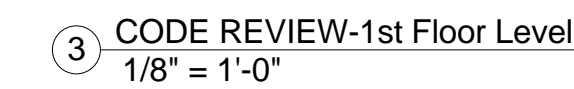
SYMBOLS

	LEVEL LINE, CONTROL OR DATUM ELEVATION		DETAIL REFERENCE DRAWING NUMBER
	REVISION NUMBER		EXTERIOR ELEVATION NUMBER
	PARTITION TYPE		INTERIOR ELEVATION KEY
	CASEWORK TYPE		ROOMSPACE NUMBER
	INTERIOR WINDOW TYPE		DOOR NUMBER
	WINDOW TYPE		SEALANT AND BACKER ROD JOINT
	COLUMN REFERENCE GRID		DASH AND DOT CENTER LINE
	BUILDING SECTION REFERENCE DRAWING NUMBER		DASH AND DOUBLE DOT LINES PROPERTY LINES, BOUNDARY LINES
	WALL SECTION REFERENCE DRAWING NUMBER		
	SECTION DETAIL REFERENCE DRAWING NUMBER		
	DIMENSION LINE		
	BREAK LINE TO BREAK OFF PARTS OF A DRAWING		
	DOTTED LINE HIDDEN OR CONSTRUCTION ABOVE, BEYOND		

INDICATION OF MATERIALS

EARTH		EARTH/COMPACT FILL		POROUS FILL/ GRAVEL
CONCRETE		CONCRETE		SAND MORTAR
MASONRY		BRICK		CONCRETE MASONRY UNIT
STONE		RUBBLE		MARBLE
METAL		STEEL/IRON		ALUMINUM
WOOD		WOOD SHIM		CONTINUOUS BLOCKING
		PLYWOOD		FINISH





— — — — — EXIT PATH

## TABLE 503:

NO	FLOOR	USE GROUP	TYPE OF CONSTRUCTION	ALLOWED		SPRINKLER INCREASE (504.2)		FRONTAGE INCREASE (506.3)		TOTAL ALLOWED		PROVIDED		REMARKS		
				AREA S.F.	STORIES/HEIGHT	AREA S.F.	STORIES/HEIGHT	AREA S.F.	STORIES/HEIGHT	STORIES/HEIGHT	AREA S.F.	STORIES/HEIGHT				
0	GARAGE	"U"	PRIVATE GARAGE	"VB"	COMBUSTIBLE UNPROTECTED	5,500	1/40'	11,000	1/20'	-	-	16,500	2/60'	1,906	-/9'	SEE NOTE #1, 2, 3 & 4.5. REVIEW FOR HEIGHT INFORMATION.
0	GARAGE	"R2"	RESIDENTIAL MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	355	-/9'	SEE NOTE #1, 2, 3 & 4.5. REVIEW FOR HEIGHT INFORMATION.
1	FIRST	"R2"	RESIDENTIAL MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,737	1/10'	SEE NOTE #1, 2, 3 & 4.5. REVIEW FOR HEIGHT INFORMATION.
2	SECOND	"R2"	RESIDENTIAL MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,638	1/10'	SEE NOTE #1, 2, 3 & 4.5. REVIEW FOR HEIGHT INFORMATION.
3	THIRD	"R2"	RESIDENTIAL MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,312	1/10'	SEE NOTE #1, 2, 3 & 4.5. REVIEW FOR HEIGHT INFORMATION.
TOTAL BUILDING AREA AND STORIES												84,000	3/60'	6,948	3/39'	

1. ALLOWABLE AREA DUE TO AUTOMATIC FIRE SUPPRESSION SYSTEM = 100%
2. ALLOWABLE HEIGHT INCREASE DUE TO AUTOMATIC SPRINKLES SYSTEM - 1 STORY
3. ALLOWABLE AREA INCREASE DUE TO STREET FRONTAGE- SECTION - 506.2 - (NOT USED)

## FIRE RESISTANCE OF STRUCTURAL ELEMENTS (HOURS):

TABLE 601:

BUILDING ELEMENT	TYPE OF CONSTRUCTION	FIRE RATING FLE
	TYPE VB UNPROTECTED/ COMBUSTIBLE	
PRIMARY STRUCTURAL FRAME g (see Section 202)	0	
BEARING WALLS	0	
EXTERIOR f,g	0	
INTERIOR	0	
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602	
NONBEARING WALLS AND PARTITIONS INTERIOR e		
FLOOR CONSTRUCTION AND SECONDARY MEMBERS (see Section 202)	0	
ROOF CONSTRUCTION AND SECONDARY MEMBERS (see Section 202)	0	

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.

**TABLE 1004.1.1**  
**RESIDENTIAL 1/200 GROSS SF**  
**PARKING GARAGES 1/200 GROSS SF**

#	FLOOR / USE GROUP	MERC-AREA/30 RES-AREA/200	OCCUPANT/ FLOOR
0	GARAGE/UTILITY (U)	1906/200	10
0	GARAGE/ RESIDENTIAL (R2)	355/200	2
1	FIRST/ RESIDENTIAL (R2)	1,737/200	9
2	SECOND / RESIDENTIAL (R2)	1,638/200	9
3	THIRD / RESIDENTIAL (R2)	1,312/200	7
	TOTAL # 0 TO 3		37

### PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

**CLIENT**

**EL CAMINO, LLC**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

**CONSULTANTS:**

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

## REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	As indicated

## REVISIONS

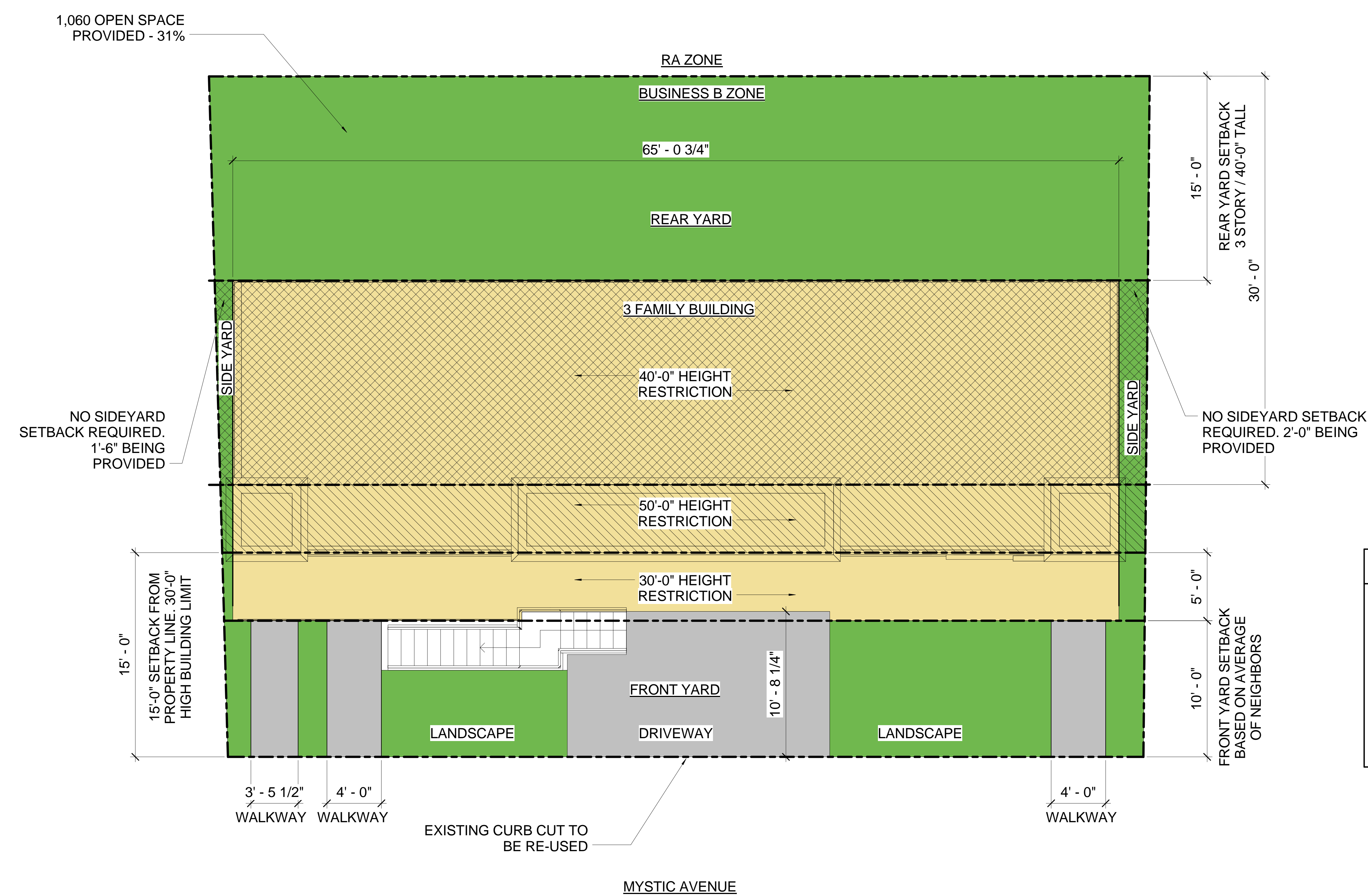
[illegible]

## CODE REVIEW

**A-010**

### Mystic Ave Residences





ZONING DIMENSIONAL TABLE:				
	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	BUSINESS B ZONE			
USE	VARIES	SINGLE FAMILY	3 FAMILY DWELLING	COMPLIES
MIN LOT SIZE	N/A	3,406 SF	3,406 SF	COMPLIES
MIN LOT PER DWELLING	875 SF (3 UNITS)	1,692 SF (1 UNIT)	3.89 (3 UNITS)	COMPLIES
MAX GROUND COVERAGE	80%	25%	49%	COMPLIES
LANDSCAPE AREA	10%	30%	31%	COMPLIES
MAX FLOOR AREA RATIO (FAR)	2.0	.49	1.16	COMPLIES
MAX BUILDING HEIGHT	50'-0"	30'-0"	VARIES	COMPLIES
MIN YARD FRONT	15'-0"	4'-0"	15'-0" / 10'-0"	COMPLIES
MIN YARD SIDE	N/A	2'-8" (L)	N/A	
MIN YARD REAR	15'-0"	5'-4"	15'-0"	
MIN FRONTAGE	N/A	N/A	N/A	COMPLIES
PERVIOUS AREA, MIN % OF LOT	NONE	30%	31%	COMPLIES
PARKING REQUIREMENTS	2 / DU = 6 SPACES	UNKNOWN	6 FULL SIZE SPACES	COMPLIES
BICYCLE PARKING	1	UNKNOWN	2 BIKE RACKS	COMPLIES

① Site  
1/4" = 1'-0"

**BUILDING STATISTICS:**

TOTAL SQUARE FOOTAGE OF BUILDING (EXCLUDING GARAGE) = 4,618 SF

TOTAL SQUARE FOOTAGE OF BUILDING INCLUDING GARAGE = 6,738 SF

UNIT 1 SQUARE FOOTAGE = 1,502 GSF

UNIT 2 SQUARE FOOTAGE = 1,627 GSF

UNIT 3 SQUARE FOOTAGE = 1,489 GSF

6 FULL SIZE PARKING SPOTS PROVIDED

3 STORIES PLUS BASEMENT

PROJECT NAME  
**Mystic Ave Residences**

PROJECT ADDRESS  
640 Mystic Ave.  
Somerville, MA

CLIENT  
  
**EL CAMINO, LLC**

ARCHITECT  
  
  
**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION  


Project number16.08

Date4-24-17

Drawn byJLW

Checked byJLW

ScaleAs indicated

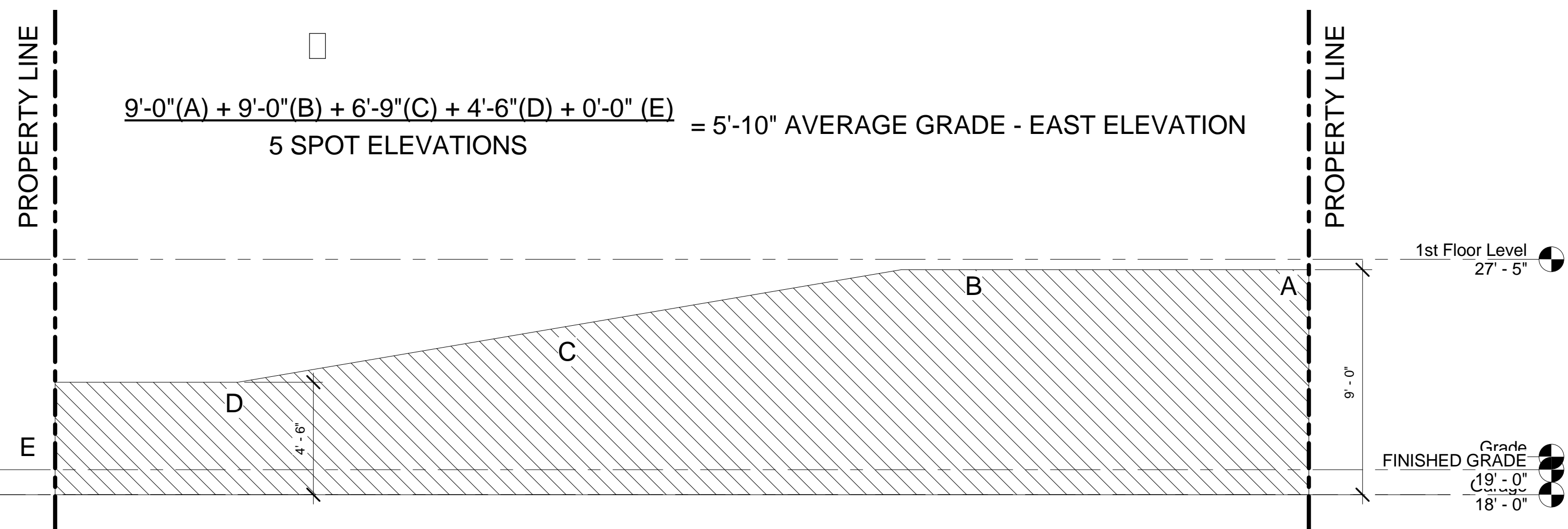
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

ARCHITECTURAL  
SITE PLAN

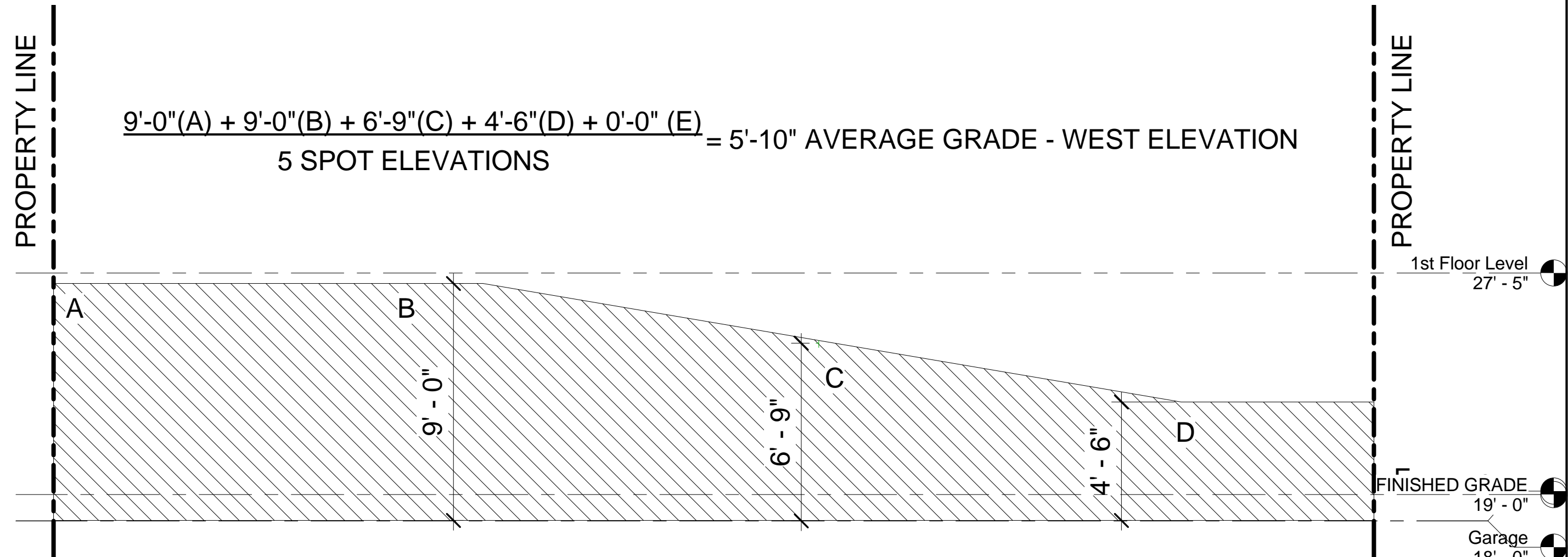
**A-020**  
Mystic Ave Residences

G:\1515090\_640 Mystic Ave\_Khalsa\03 Drawings\01\_ARCH\_CD640 Mystic - FINAL REVISIONS.dwg 4/24/2017 4:00:00 PM

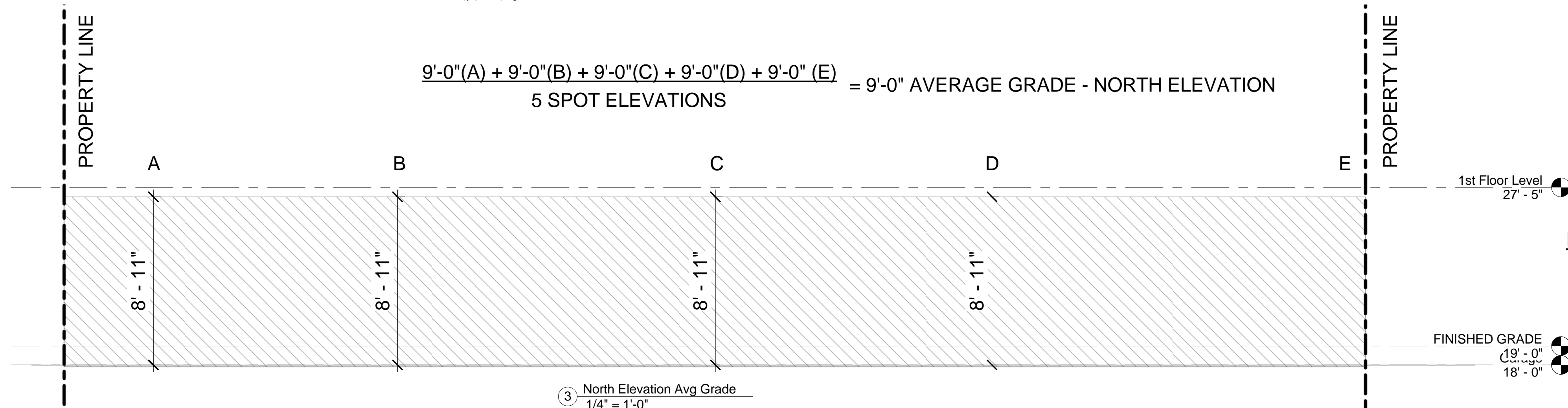




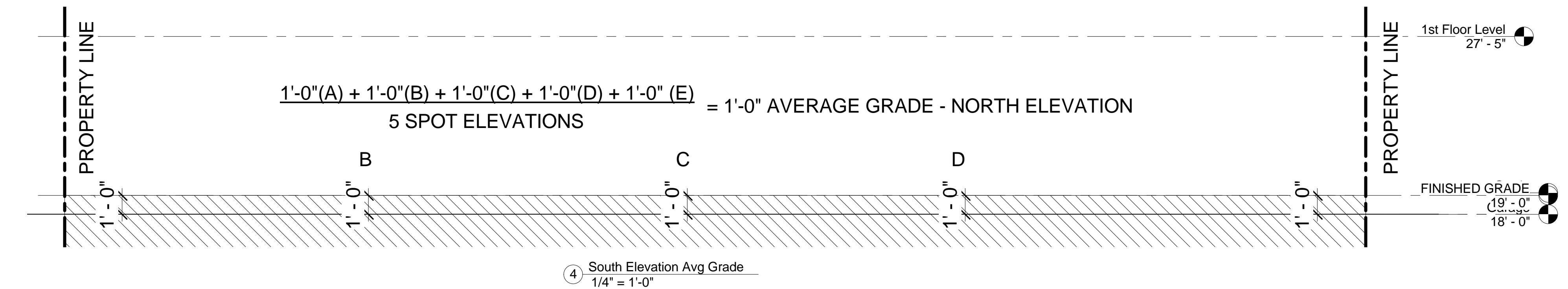
① East Elevation Avg Grade  
1/4" = 1'-0"



② West Elevation Avg Grade  
1/4" = 1'-0"



③ North Elevation Avg Grade  
1/4" = 1'-0"

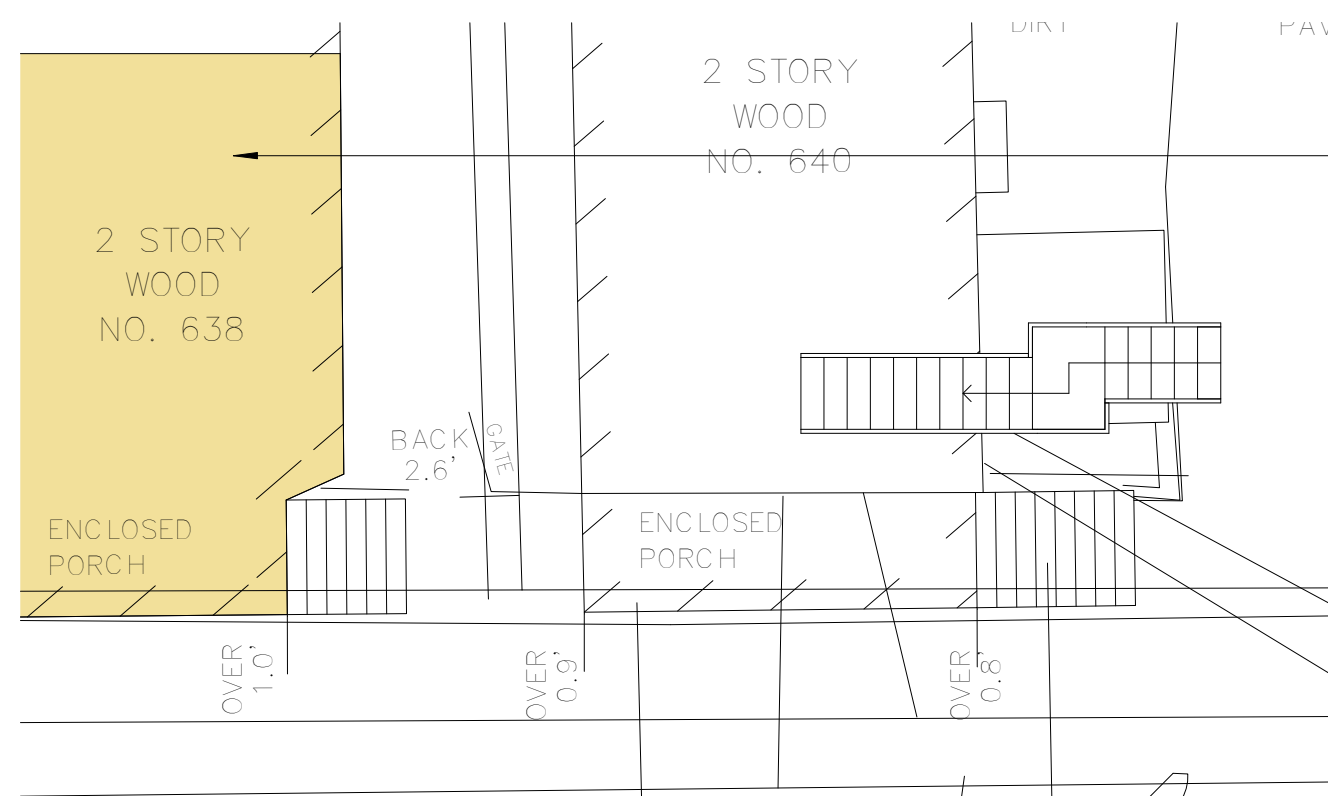


④ South Elevation Avg Grade  
1/4" = 1'-0"

**EAST ELEV (5'-10") + WEST ELEV (5'-10") + NORTH ELEV (9'-0") + SOUTH ELEV (1'-0")**  
**4 ELEVATIONS**

**= 5'-5" AVERAGE GRADE AROUND GARAGE**

638 MYSTIC AVE.



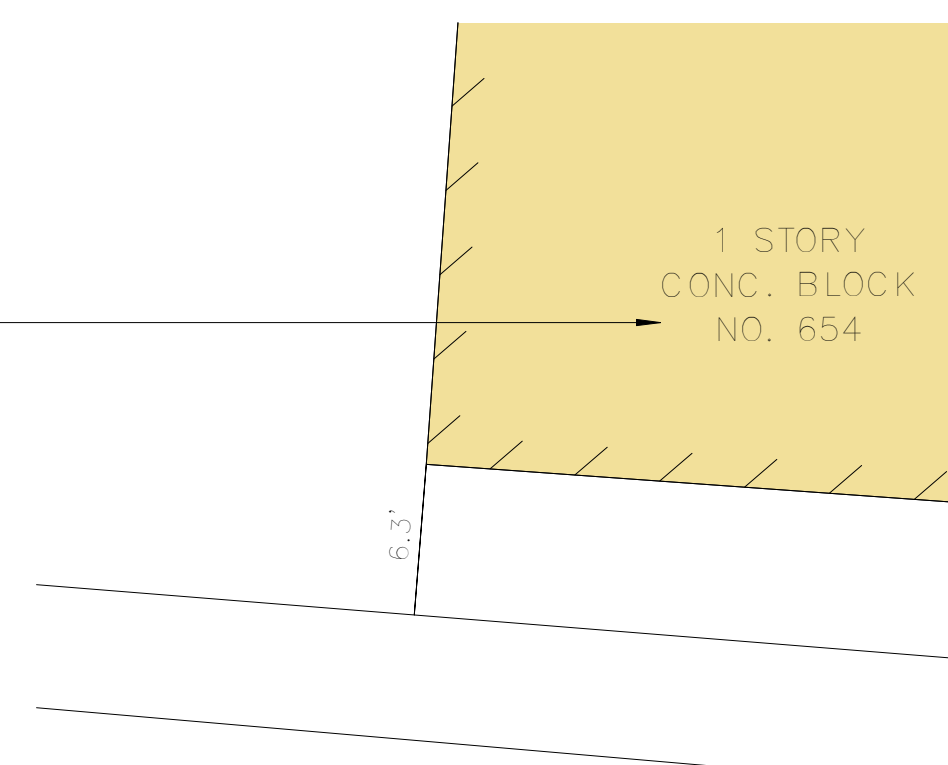
NEIGHBORING FRONT  
YARD SETBACKS  
ARE LESS THAN THE  
ALLOWED 15'-0"

**SECTION 8 NOTE 5**

FRONT YARD: IF THE AVERAGE FRONT YARD DEPTH OF TWO (2) OR MORE EXISTING BUILDINGS ON EACH SIDE OF A LOT WITHIN ONE HUNDRED (100) FEET AND WITHIN THE DISTRICT AND SAME BLOCK, UNINTERUPTED BU AN INTERSECTION, IS LESS THAN THE REQUIRED FRONT YARD, THE AVERAGE OF SUCH EXISTING FRONT YARD DEPTHS MAY BE THE REQUIRED FRONT YARD DEPTH FOR BUILDINGS OF THREE (3) STORIES OR LESS, BUT IN NO CASE MAY THE FRONT YARD DEPTH BE LESS THAN TEN (10) FEET

⑤ Front Setback Plan  
1/8" = 1'-0"

654 MYSTIC AVE.



PROJECT NAME

**Mystic Ave  
Residences**

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

**EL CAMINO, LLC**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale As indicated

REVISIONS

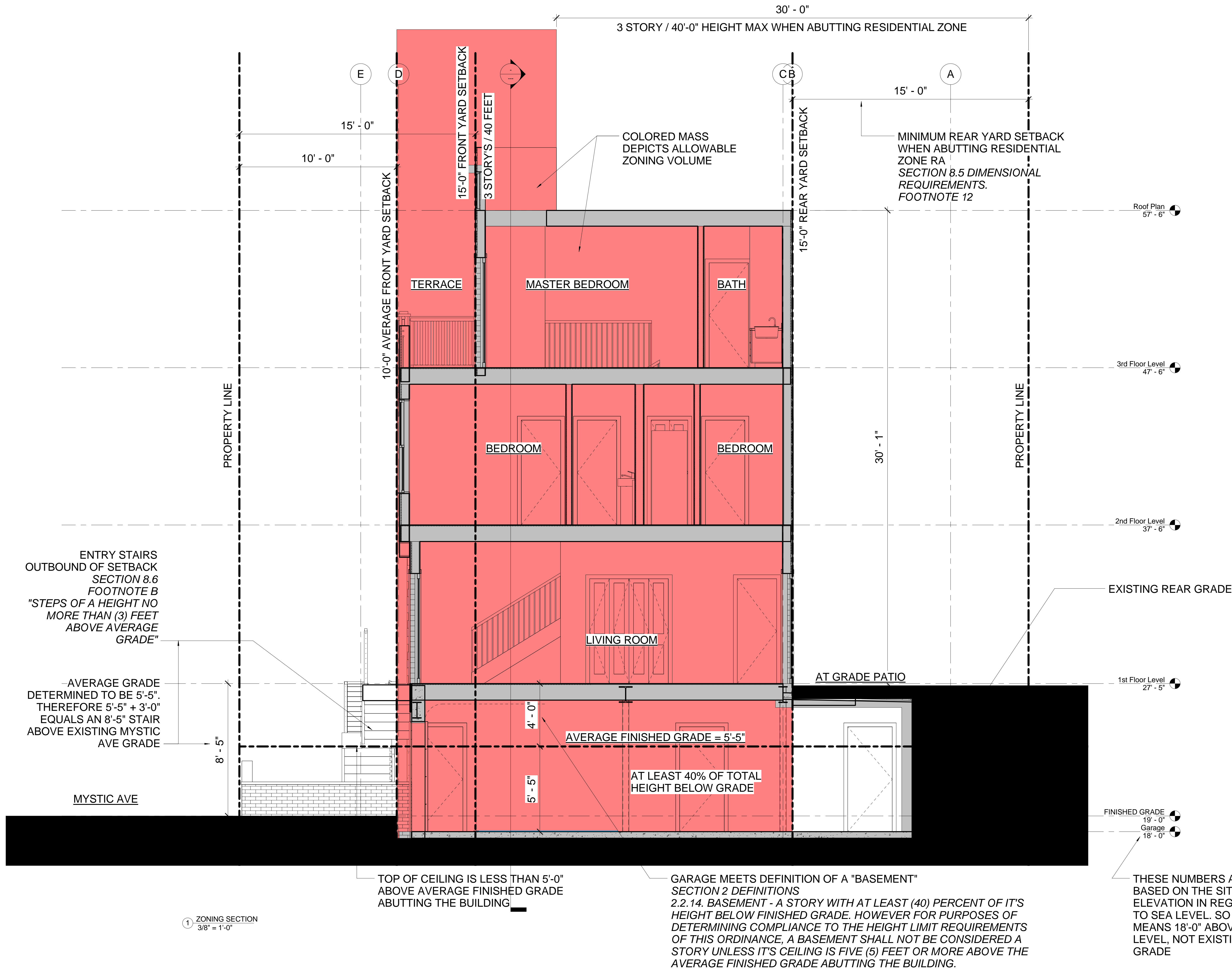
No.	Description	Date

**ZONING**

**A-021**

Mystic Ave Residences





PROJECT NAME  
**Mystic Ave  
Residences**

PROJECT ADDRESS  
640 Mystic Ave.  
Somerville, MA

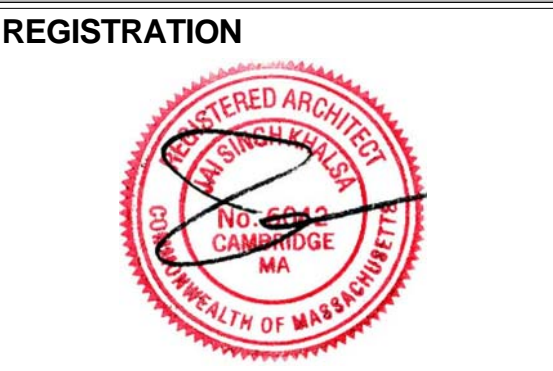
CLIENT  
**EL CAMINO, LLC**

ARCHITECT  
  
**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED. AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW



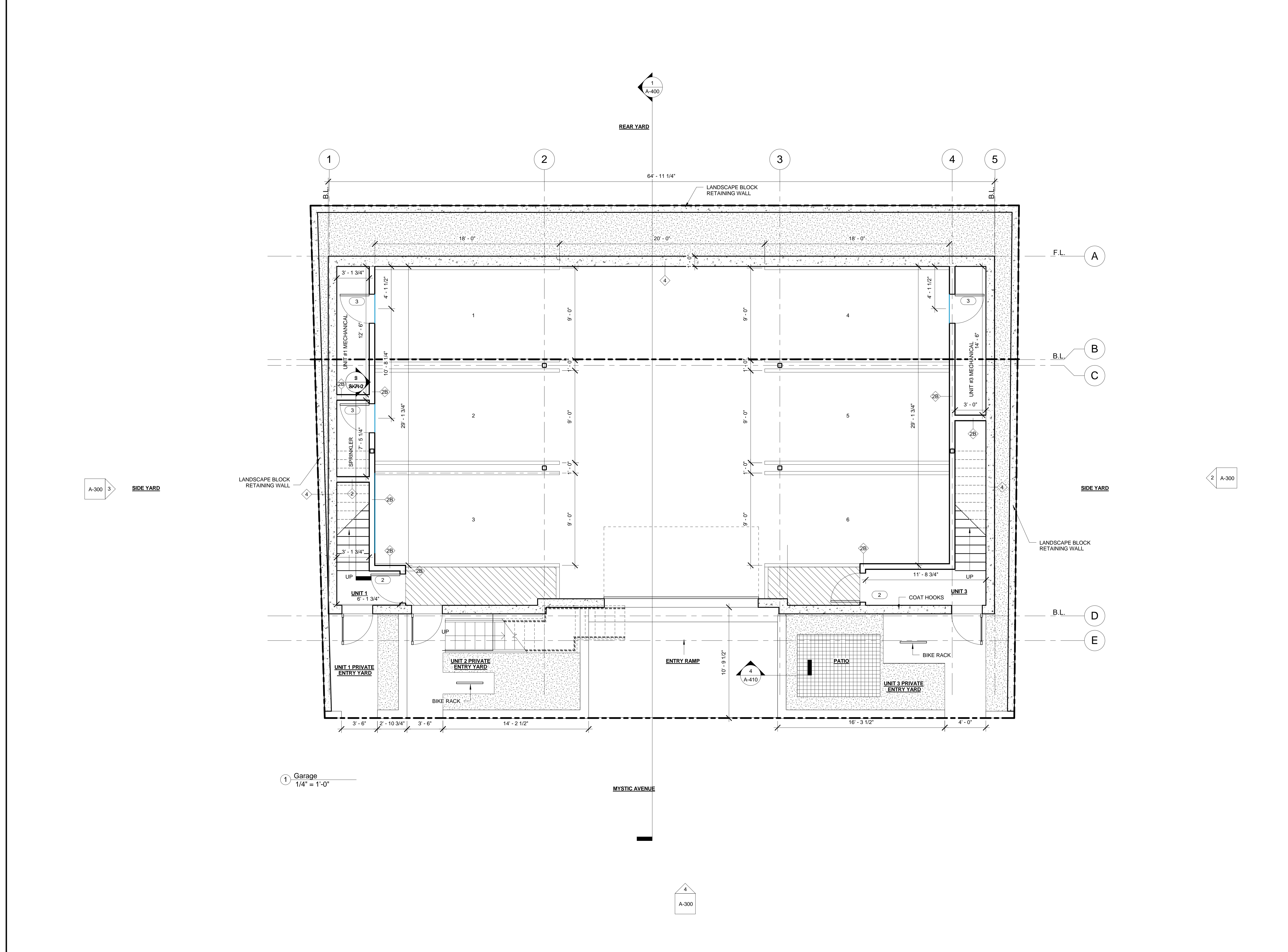
Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	3/8" = 1'-0"

REVISIONS		
No.	Description	Date

ZONING SECTION

**A-022**

Mystic Ave Residences



PROJECT NAME  
**Mystic Ave  
Residences**

PROJECT ADDRESS  
640 Mystic Ave.  
Somerville, MA

CLIENT  
  
**EL CAMINO, LLC**



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale 1/4" = 1'-0"

REVISIONS

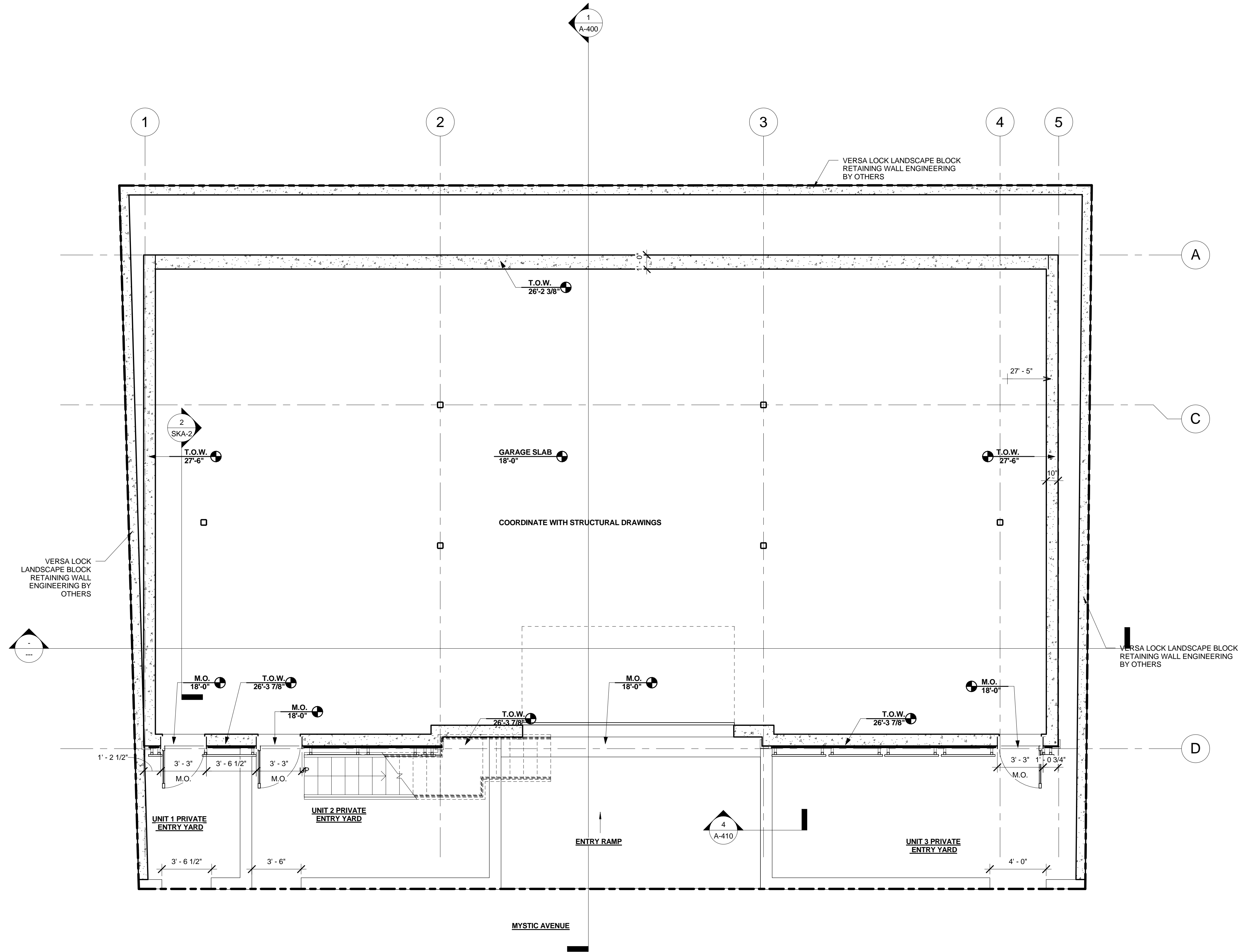
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

**GARAGE FLOOR  
PLAN**

**A-100**

Mystic Ave Residences





PROJECT NAME

Mystic Ave  
Residences

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale 1/4" = 1'-0"

REVISIONS

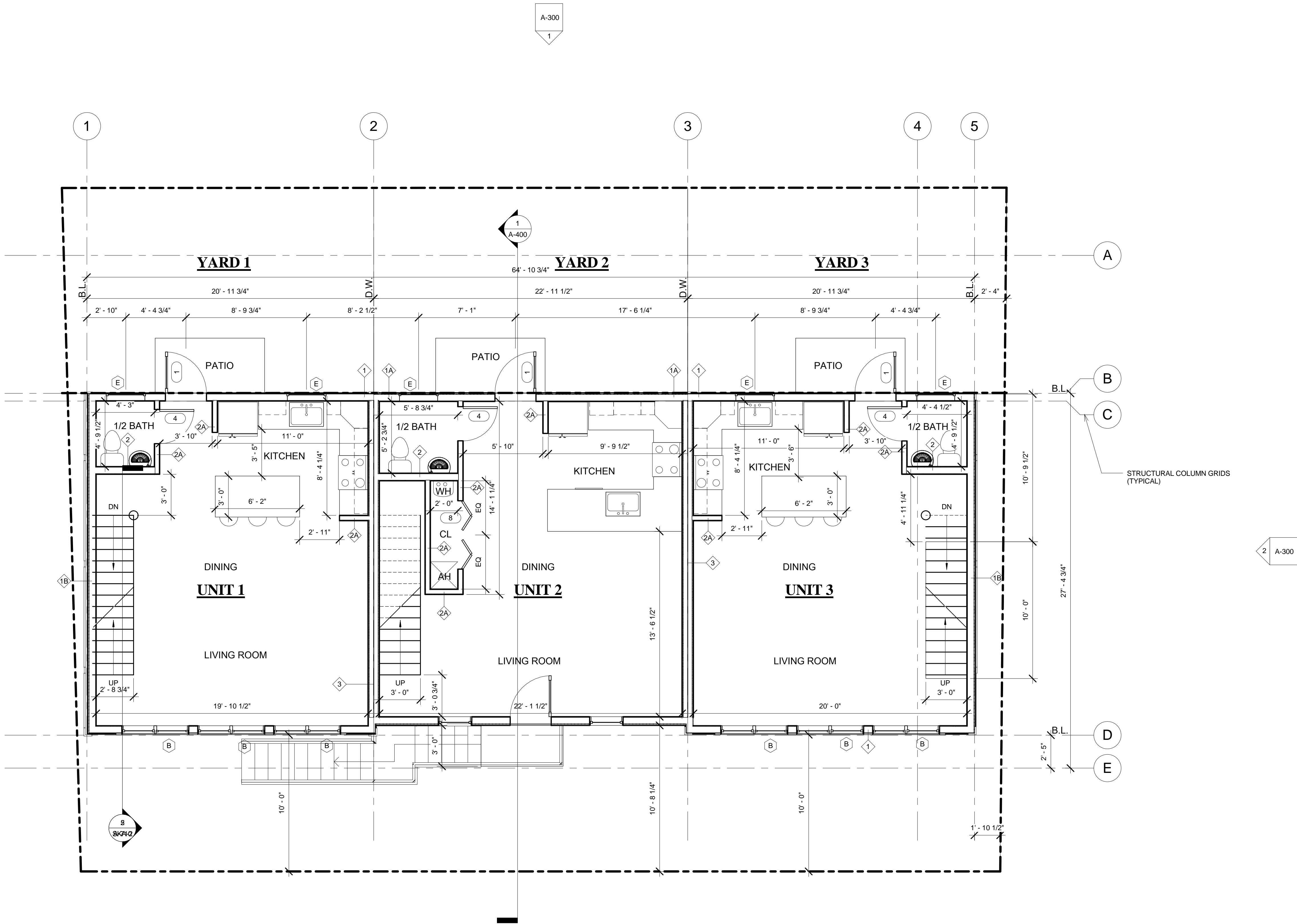
No.	Description	Date

FOUNDATION  
PLAN

A-100a

Mystic Ave Residences





1 1st Floor Level  
1/4" = 1'-0"

PROJECT NAME

Mystic Ave  
Residences

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400

SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale 1/4" = 1'-0"

REVISIONS

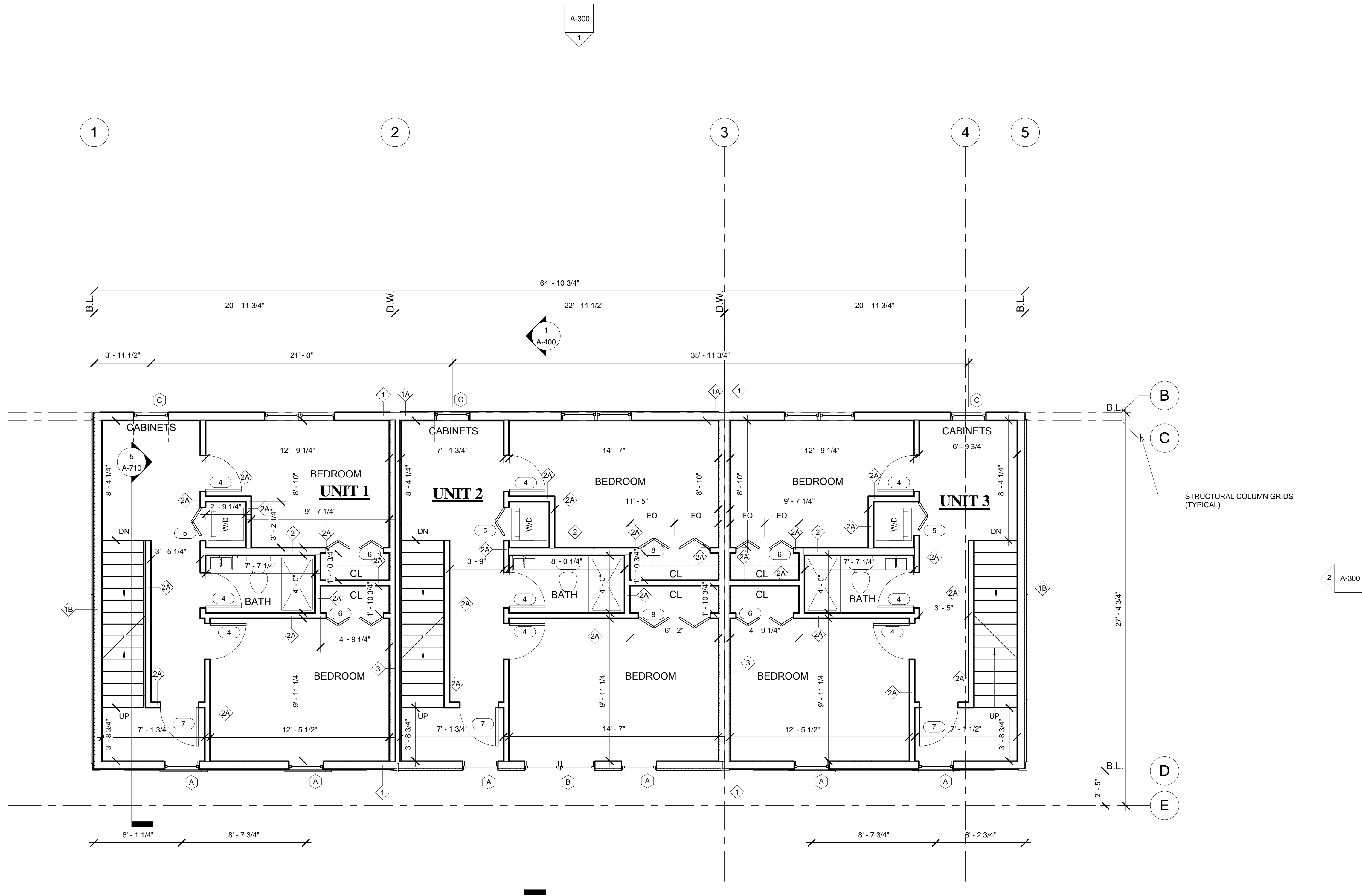
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

FIRST FLOOR  
PLAN

A-101

Mystic Ave Residences





PROJECT NAME  
**Mystic Ave  
Residences**

PROJECT ADDRESS  
640 Mystic Ave.  
Somerville, MA

CLIENT  
  
**EL CAMINO, LLC**

ARCHITECT  
  
**DESIGN  
KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale 1/4" = 1'-0"

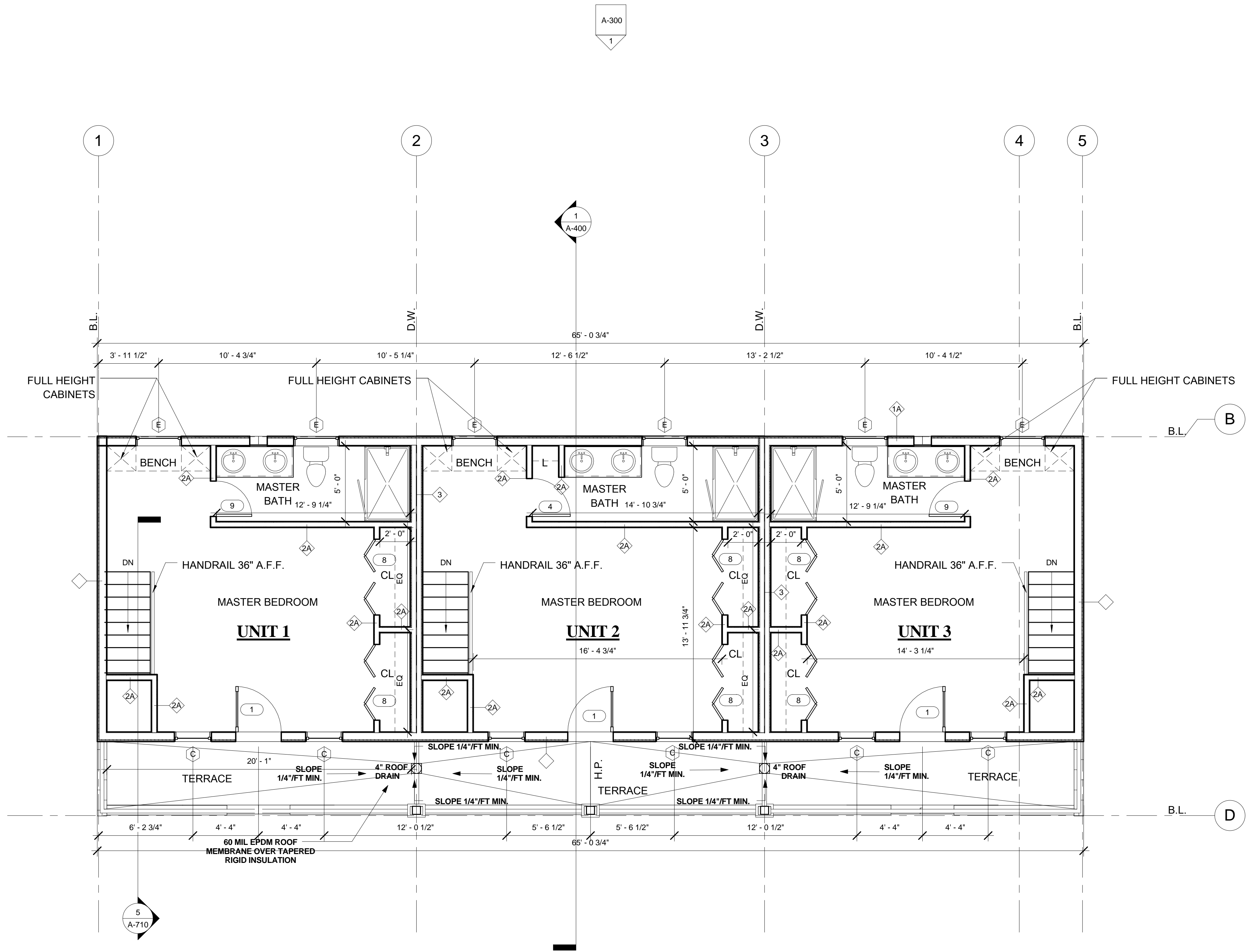
REVISIONS		
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

**SECOND FLOOR  
PLAN**

**A-102**

Mystic Ave Residences





1 3rd Floor Level  
1/4" = 1'-0"

PROJECT NAME  
**Mystic Ave  
Residences**

PROJECT ADDRESS  
640 Mystic Ave.  
Somerville, MA

CLIENT  
  
**EL CAMINO, LLC**



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	1/4" = 1'-0"

REVISIONS

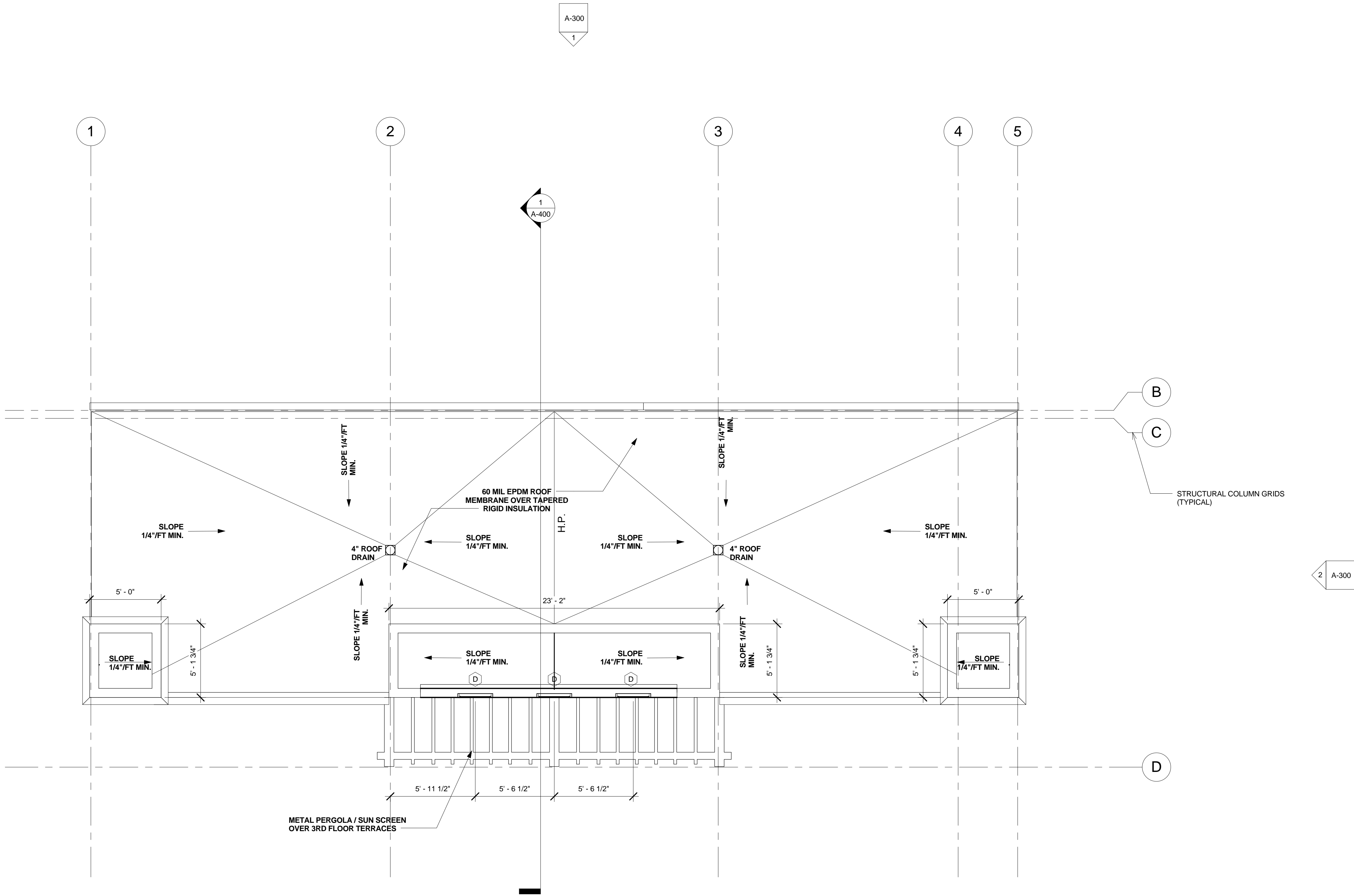
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

**THIRD FLOOR  
PLAN**

**A-103**

Mystic Ave Residences





1 Roof Plan  
1/4" = 1'-0"

PROJECT NAME

**Mystic Ave  
Residences**

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

**EL CAMINO, LLC**

ARCHITECT



**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale 1/4" = 1'-0"

REVISIONS

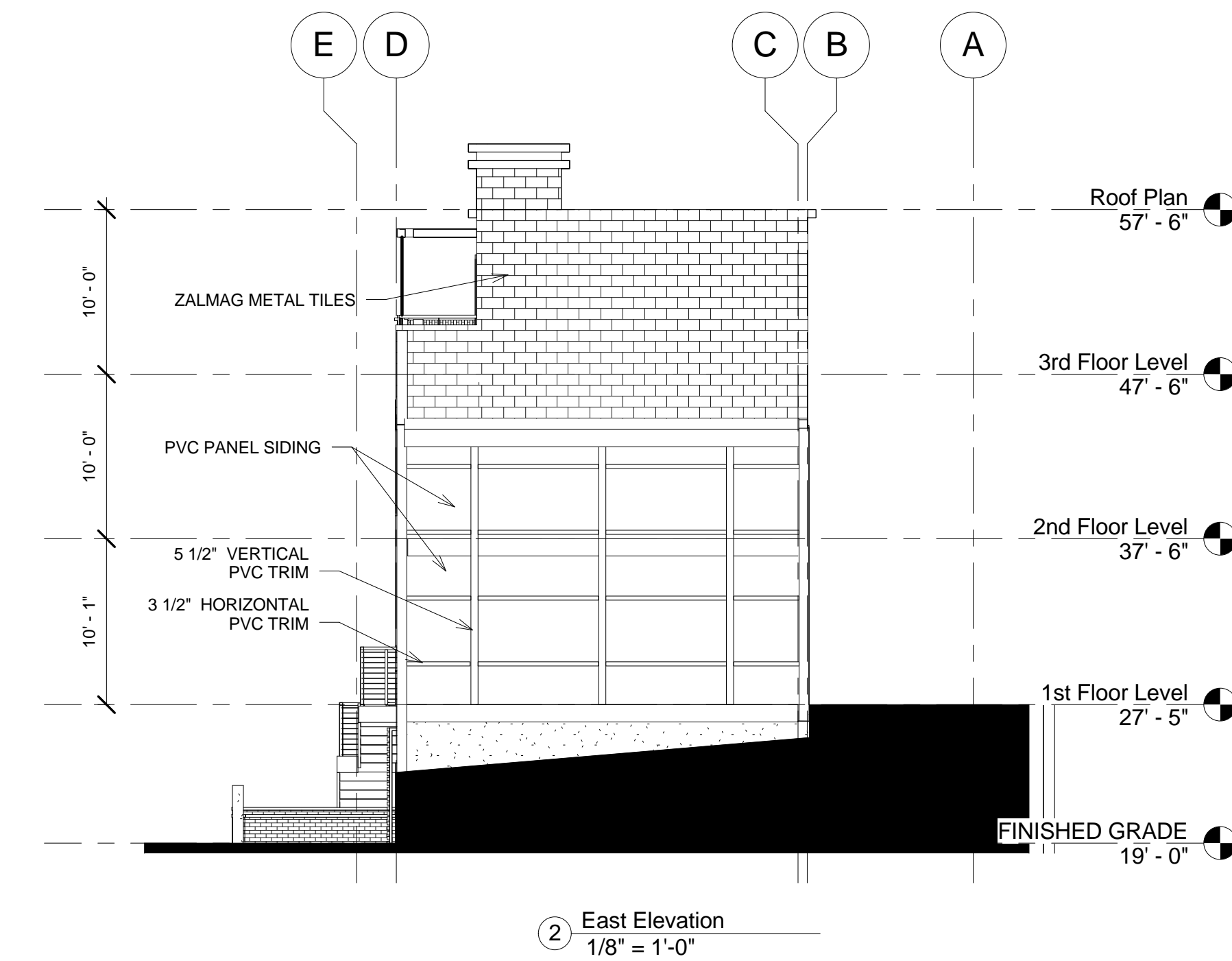
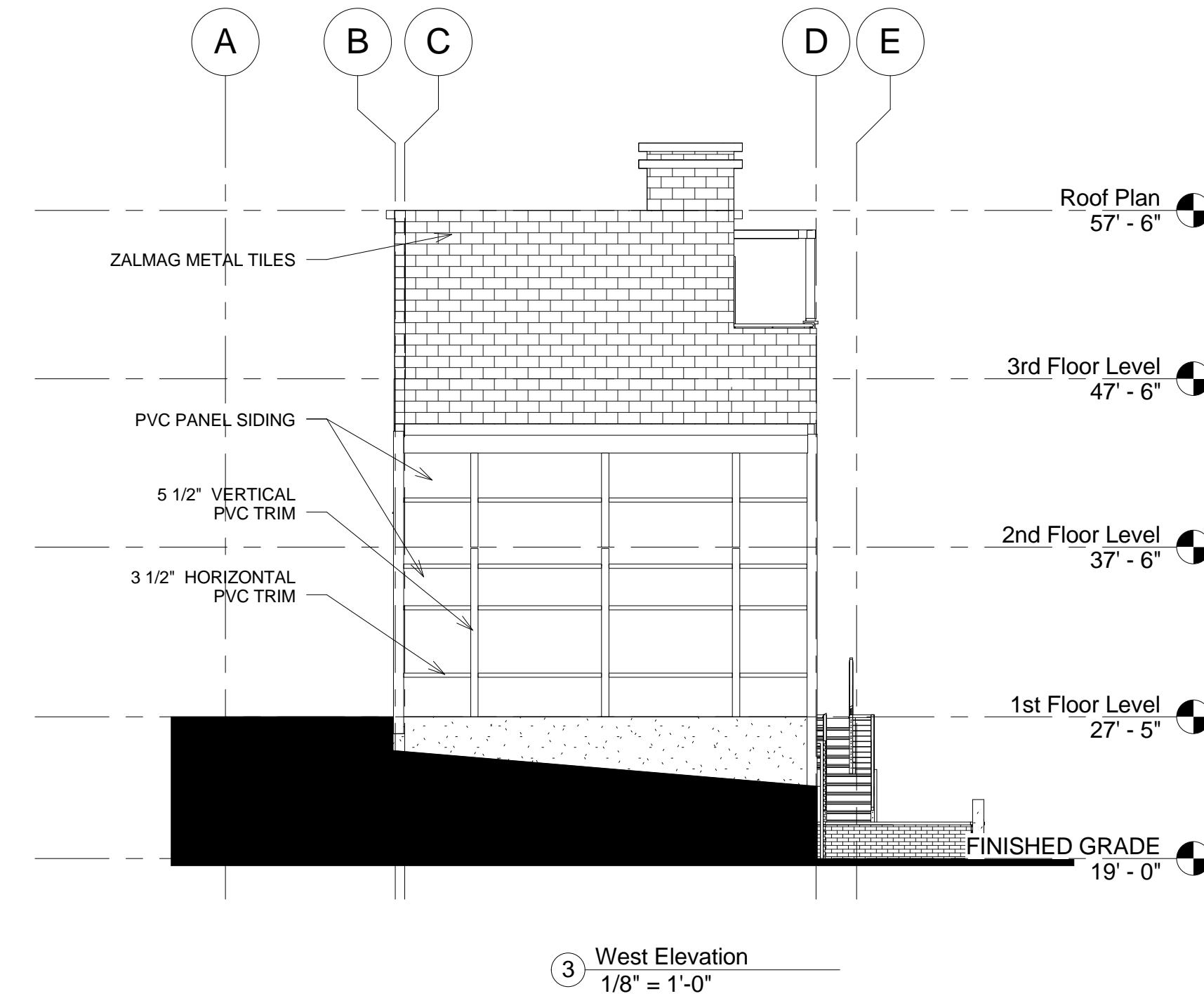
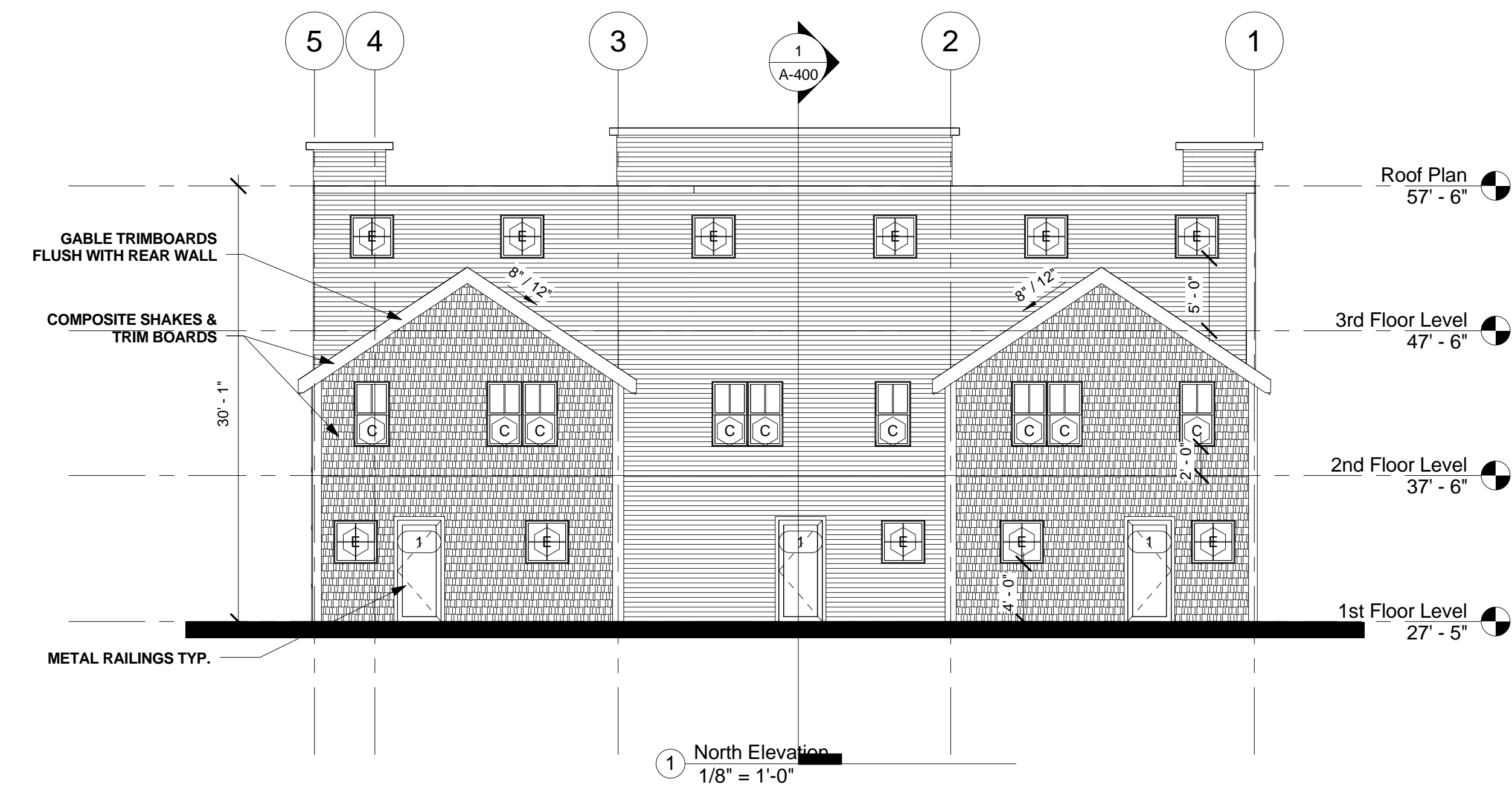
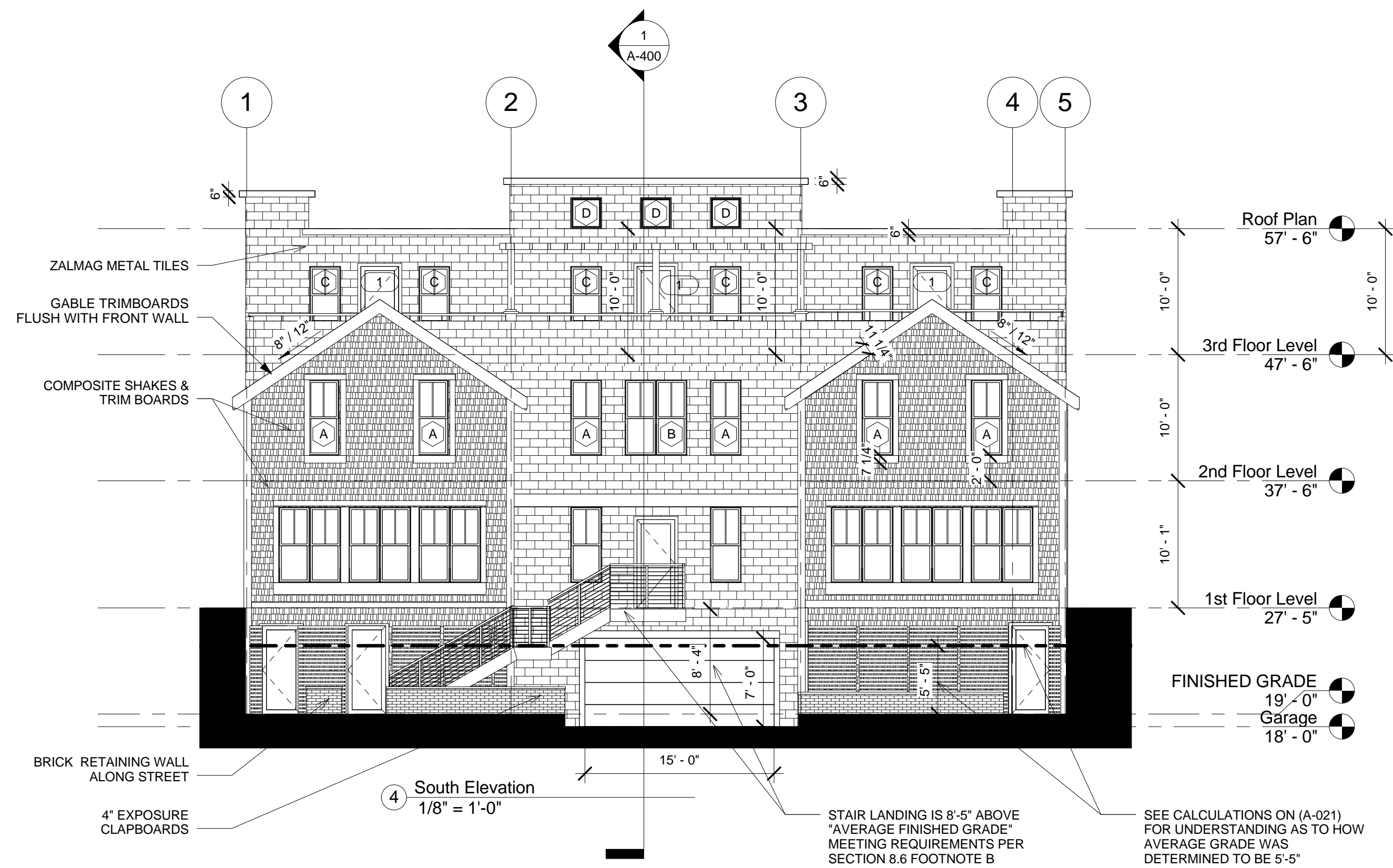
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

ROOF PLAN

**A-104**

Mystic Ave Residences





PROJECT NAME  
**Mystic Ave  
Residences**

PROJECT ADDRESS  
640 Mystic Ave.  
Somerville, MA

CLIENT  
**EL CAMINO, LLC**

ARCHITECT  
**DESIGN  
KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale 1/8" = 1'-0"

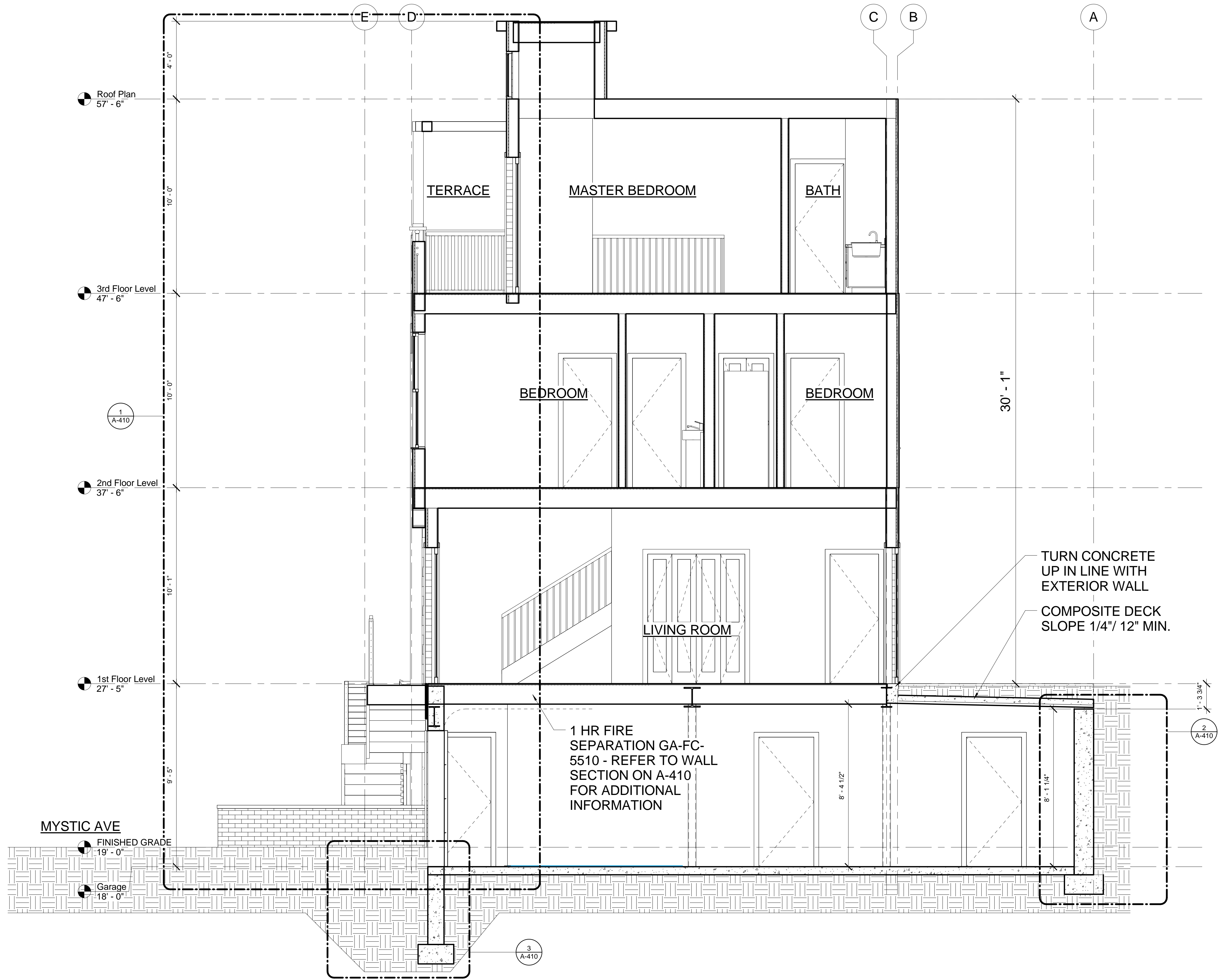
REVISIONS

No.	Description	Date
1	GENERAL REVISIONS	4.24.17

**BUILDING  
ELEVATIONS**

**A-300**  
Mystic Ave Residences





1 BUILDING SECTION  
3/8" = 1'-0"

PROJECT NAME

Mystic Ave  
Residences

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	3/8" = 1'-0"

REVISIONS

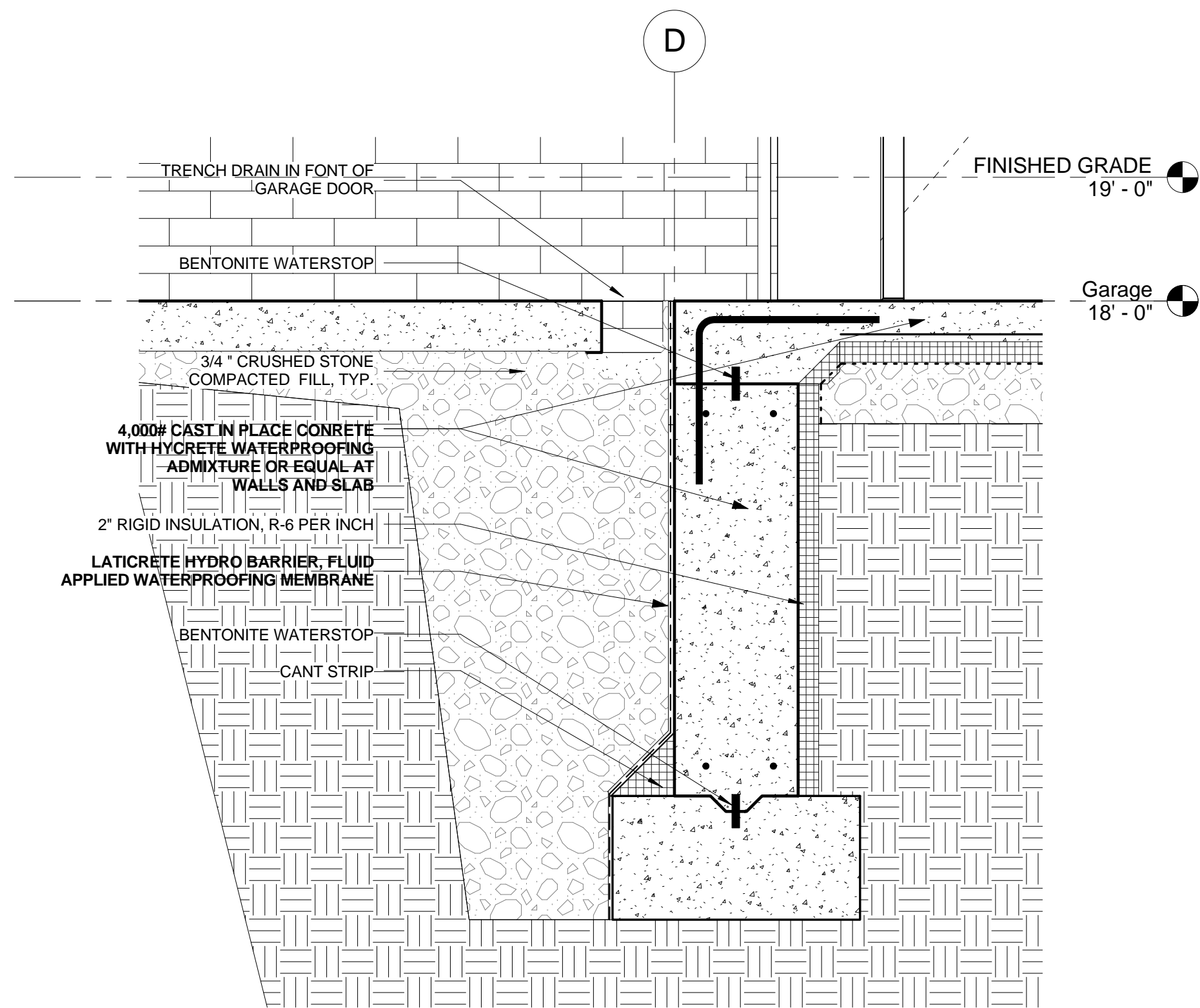
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

BUILDING  
SECTION

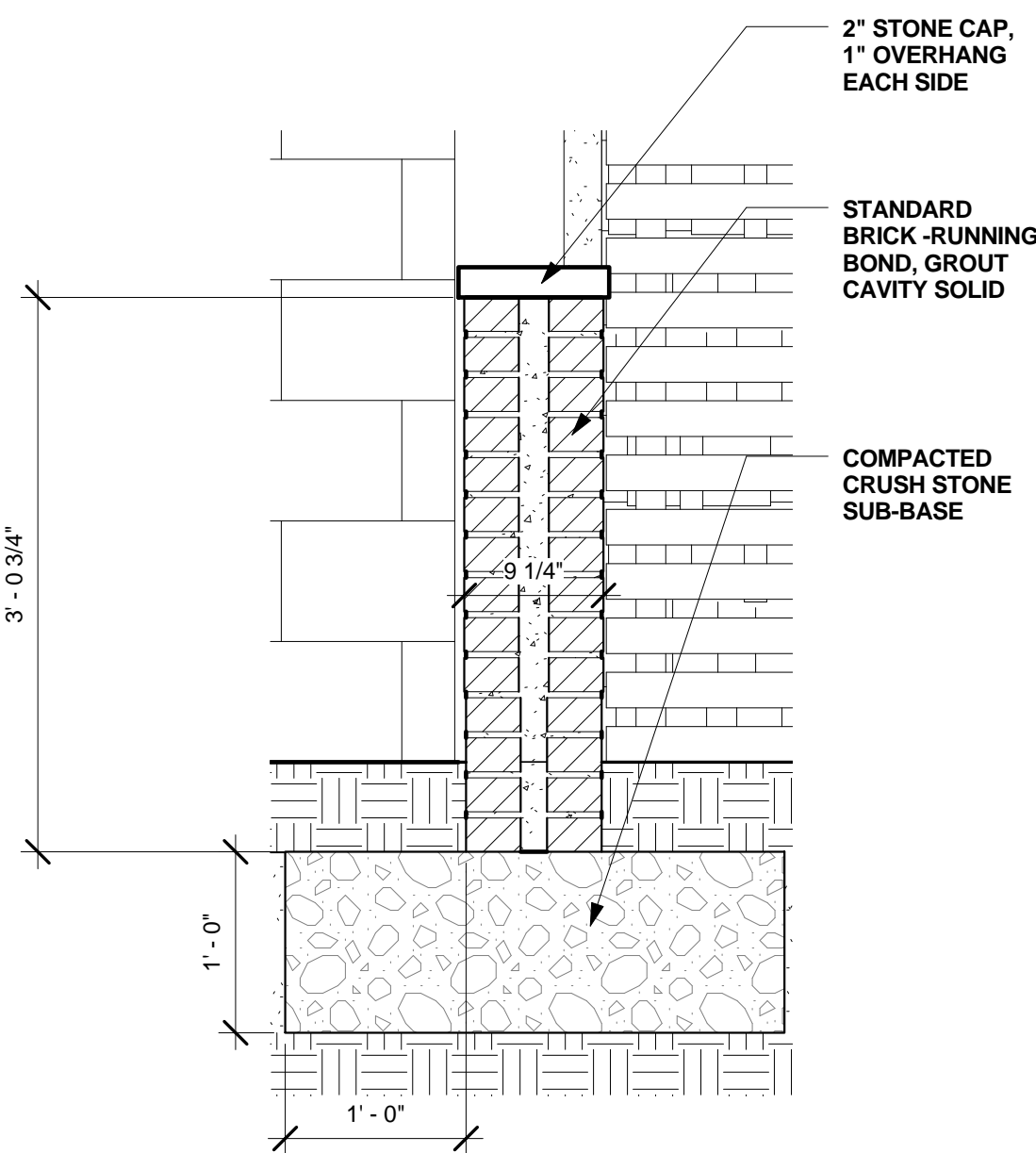
A-400

Mystic Ave Residences

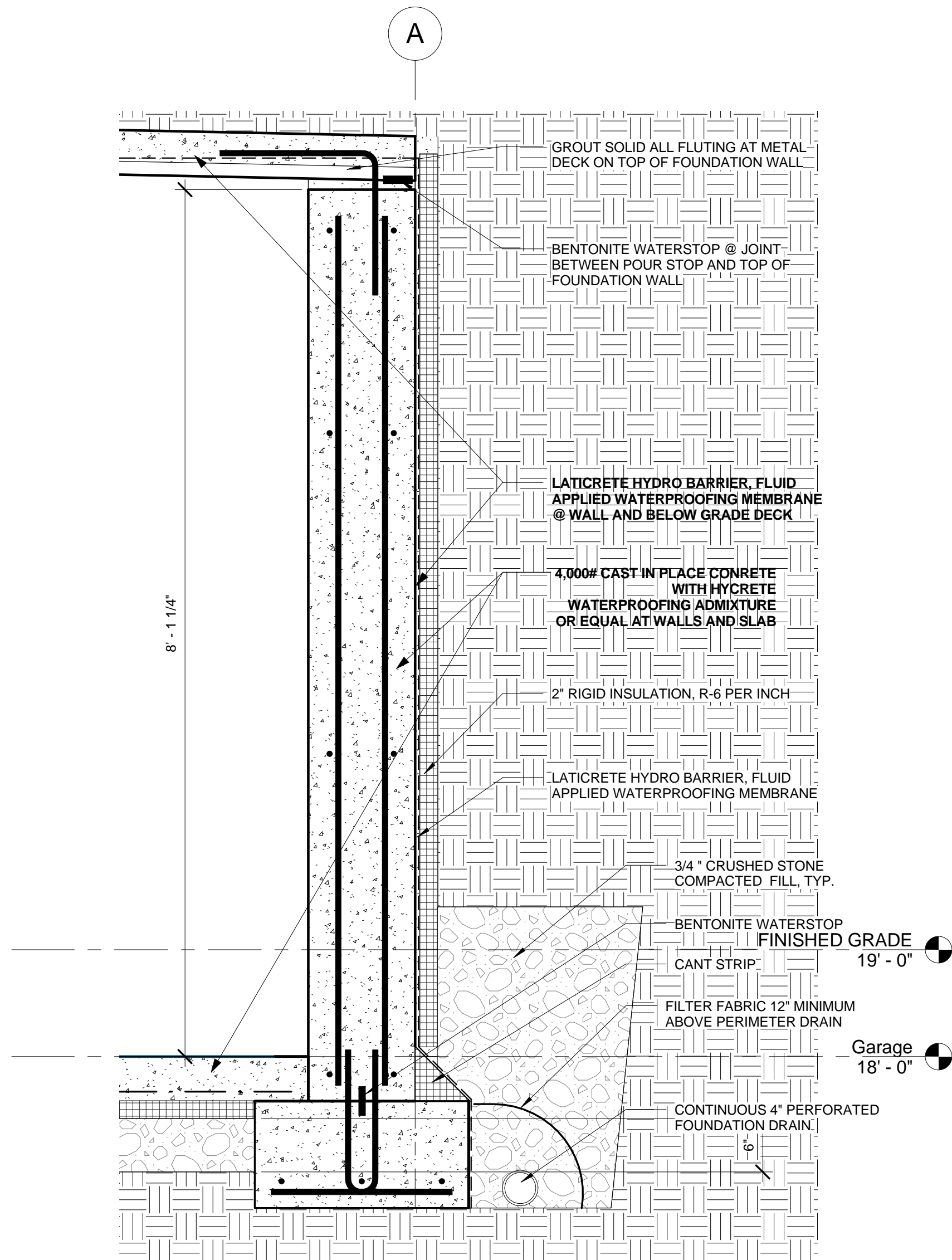




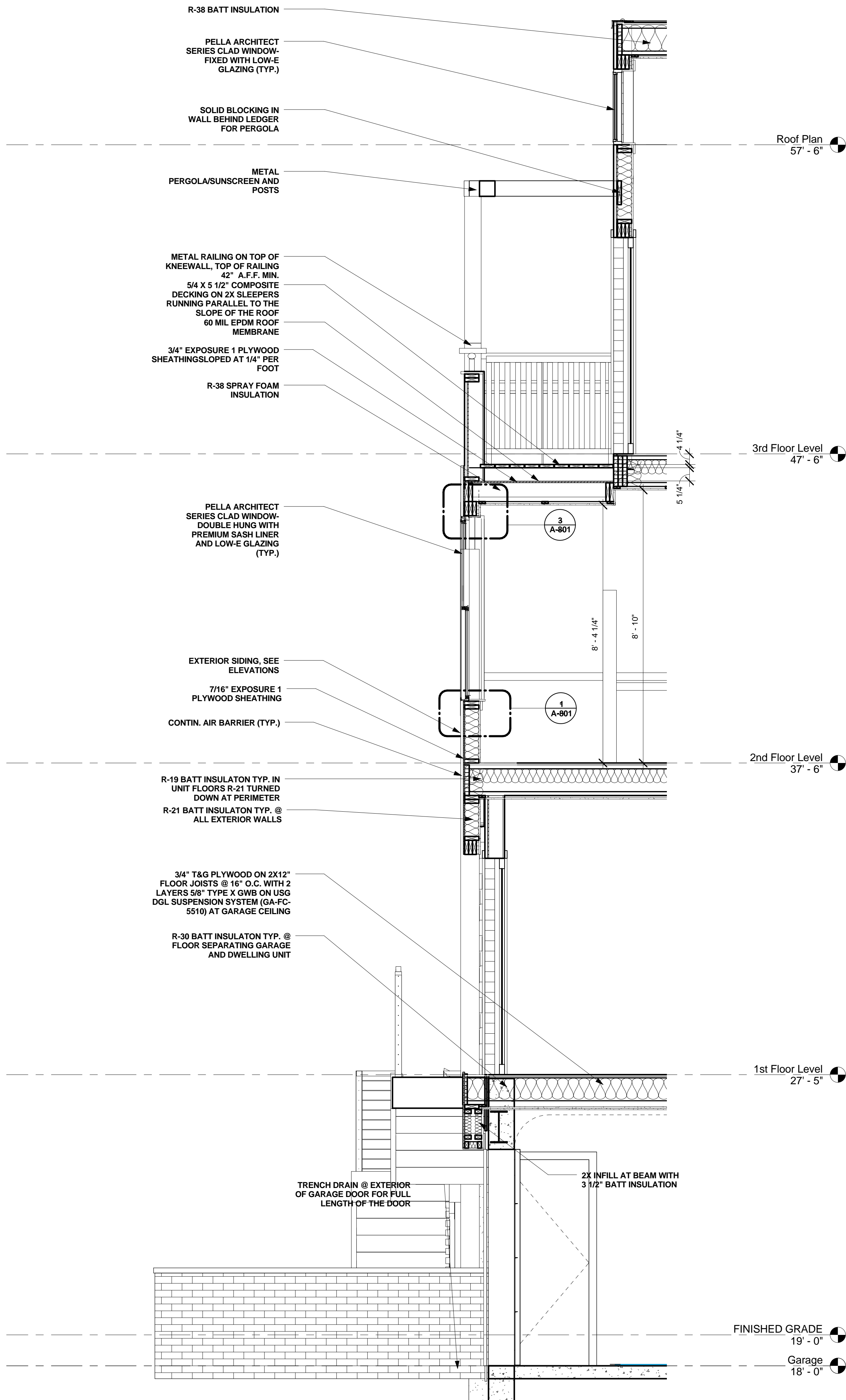
SECTION DETAIL - FOUNDATION @ GARAGE DOOR  
1" = 1'-0"



LANDSCAPE WALL  
1" = 1'-0"



SECTION DETAIL - FOUNDATION @ GARAGE BELOW GRADE  
1" = 1'-0"



WALL SECTION  
1/2" = 1'-0"

PROJECT NAME

**Mystic Ave  
Residences**

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

**EL CAMINO, LLC**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale As indicated

REVISIONS

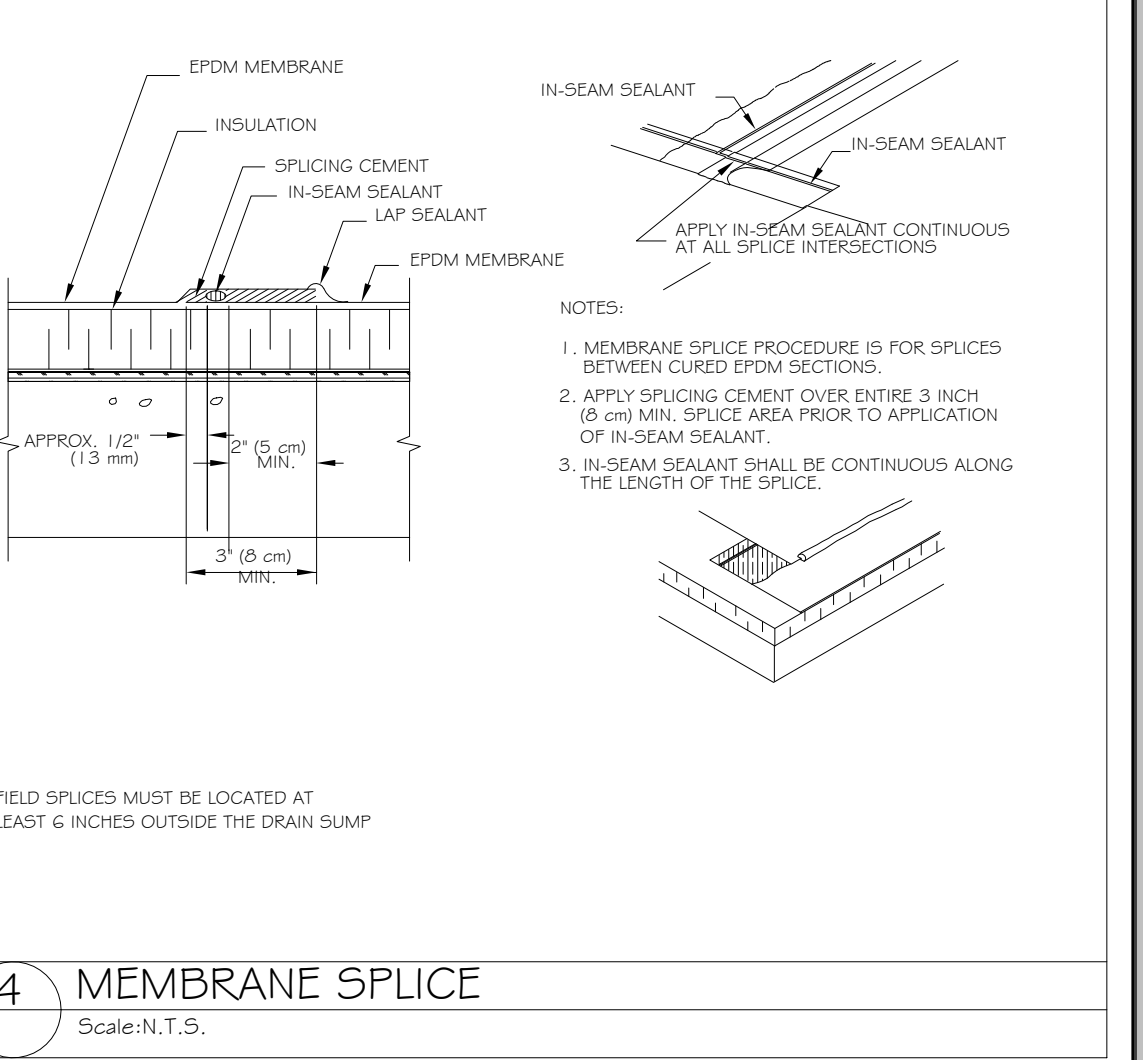
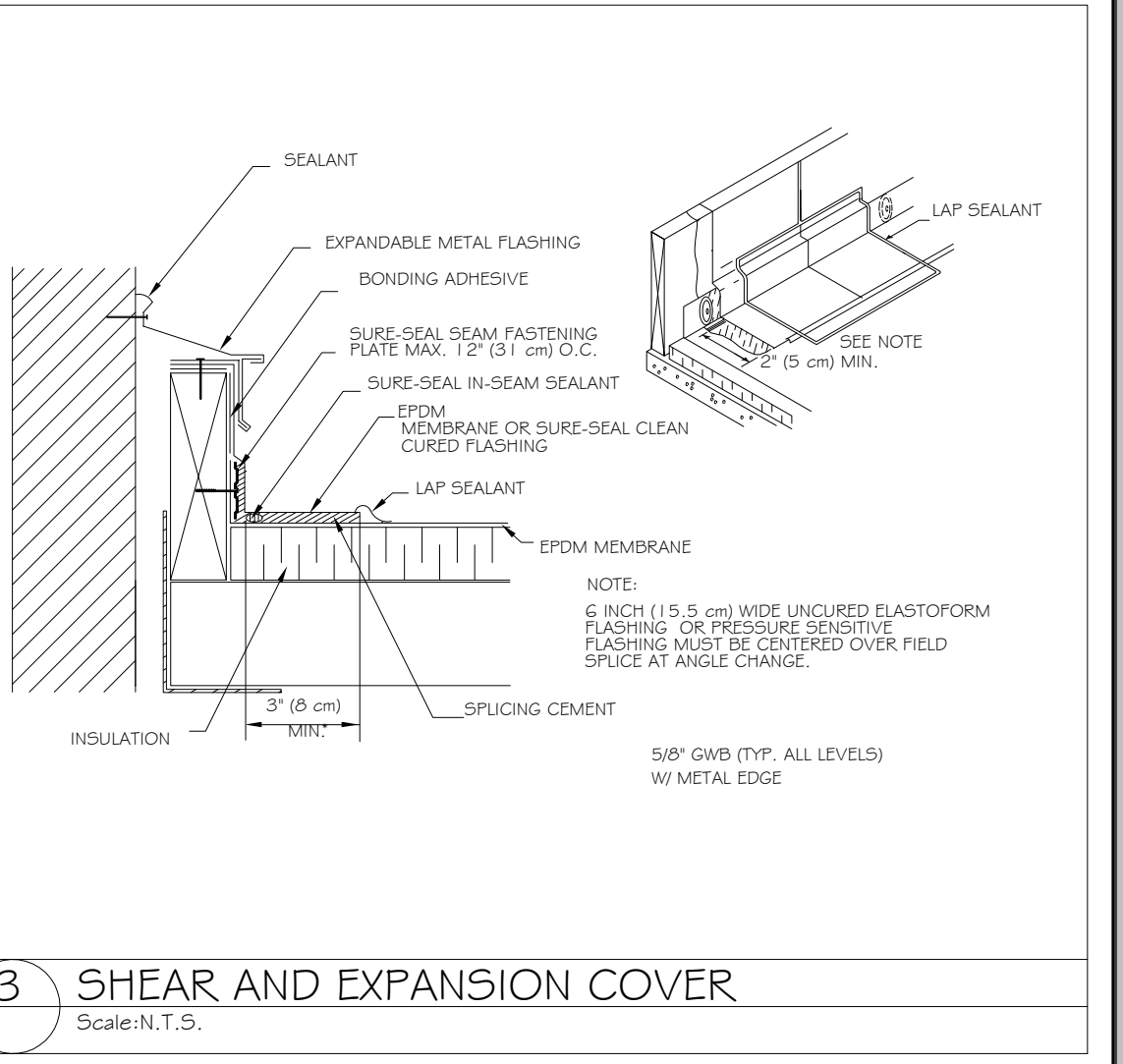
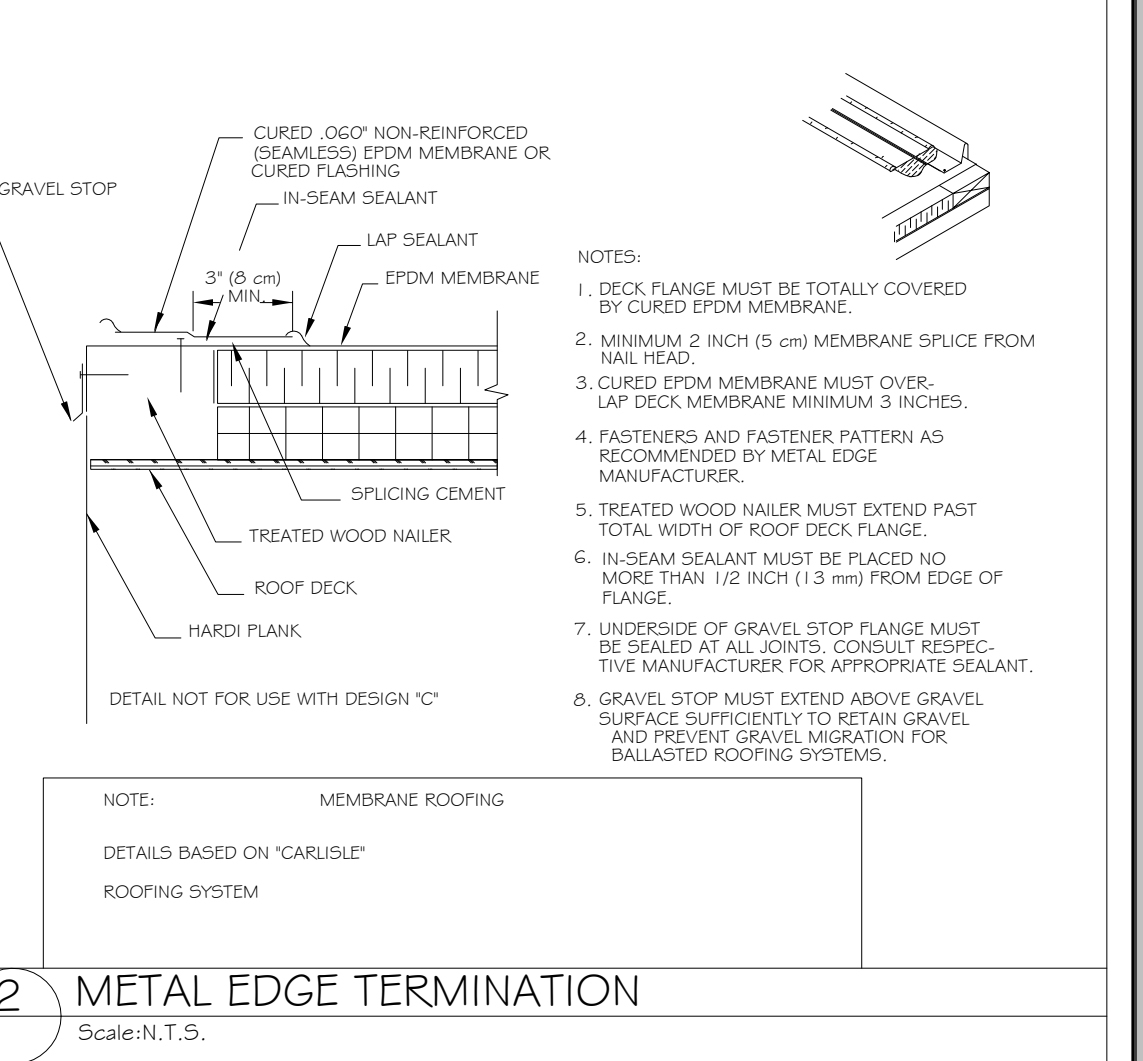
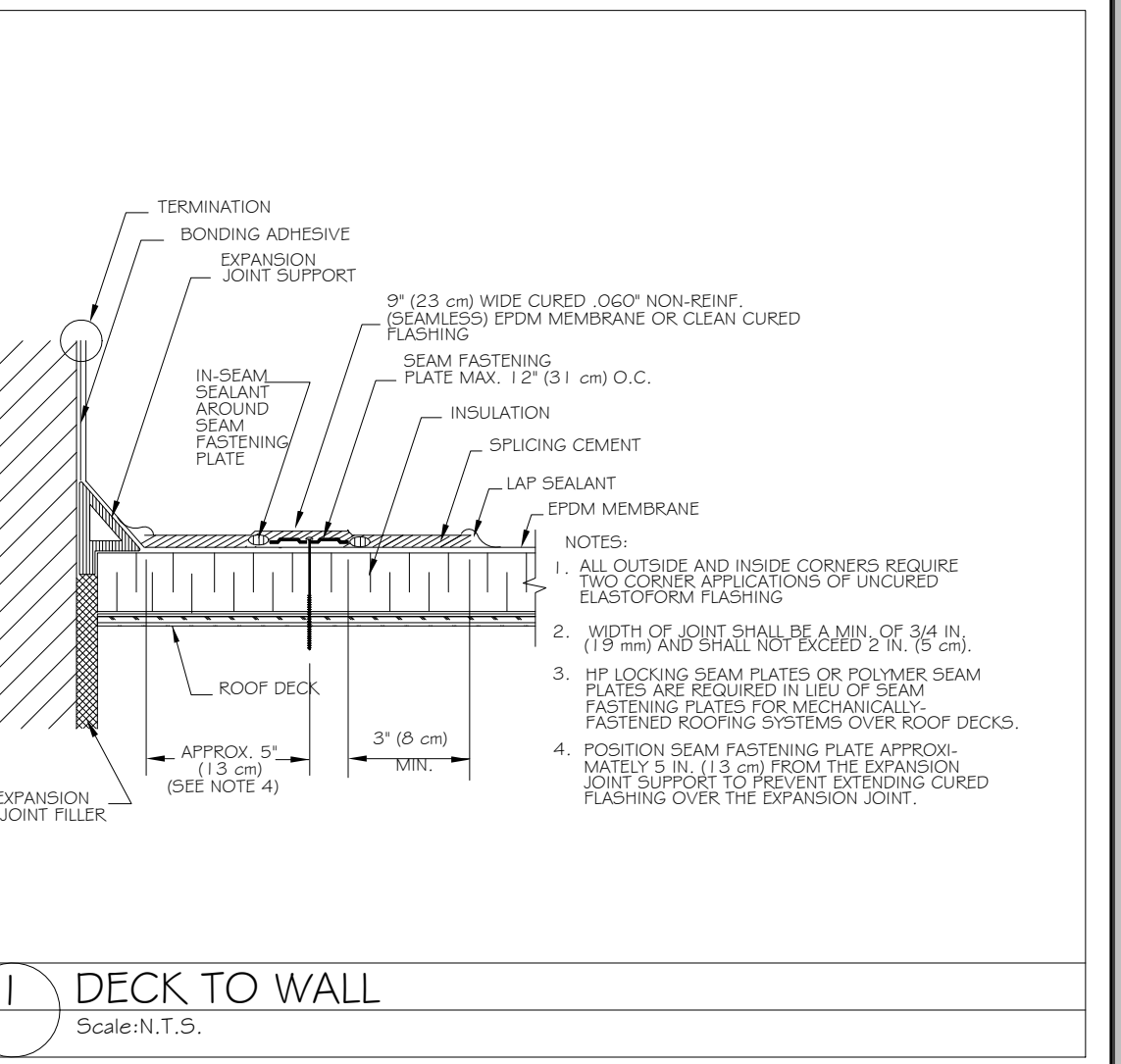
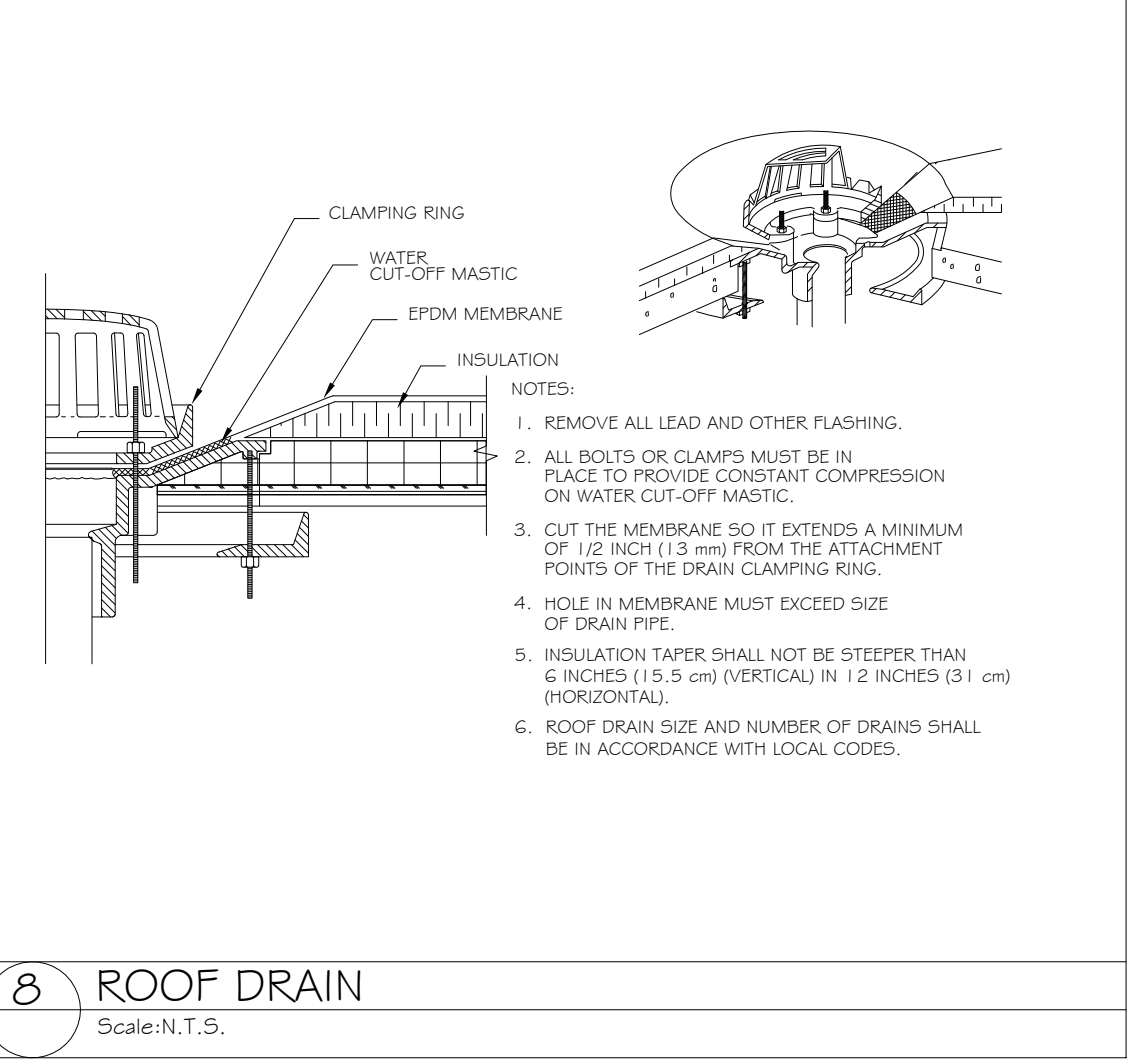
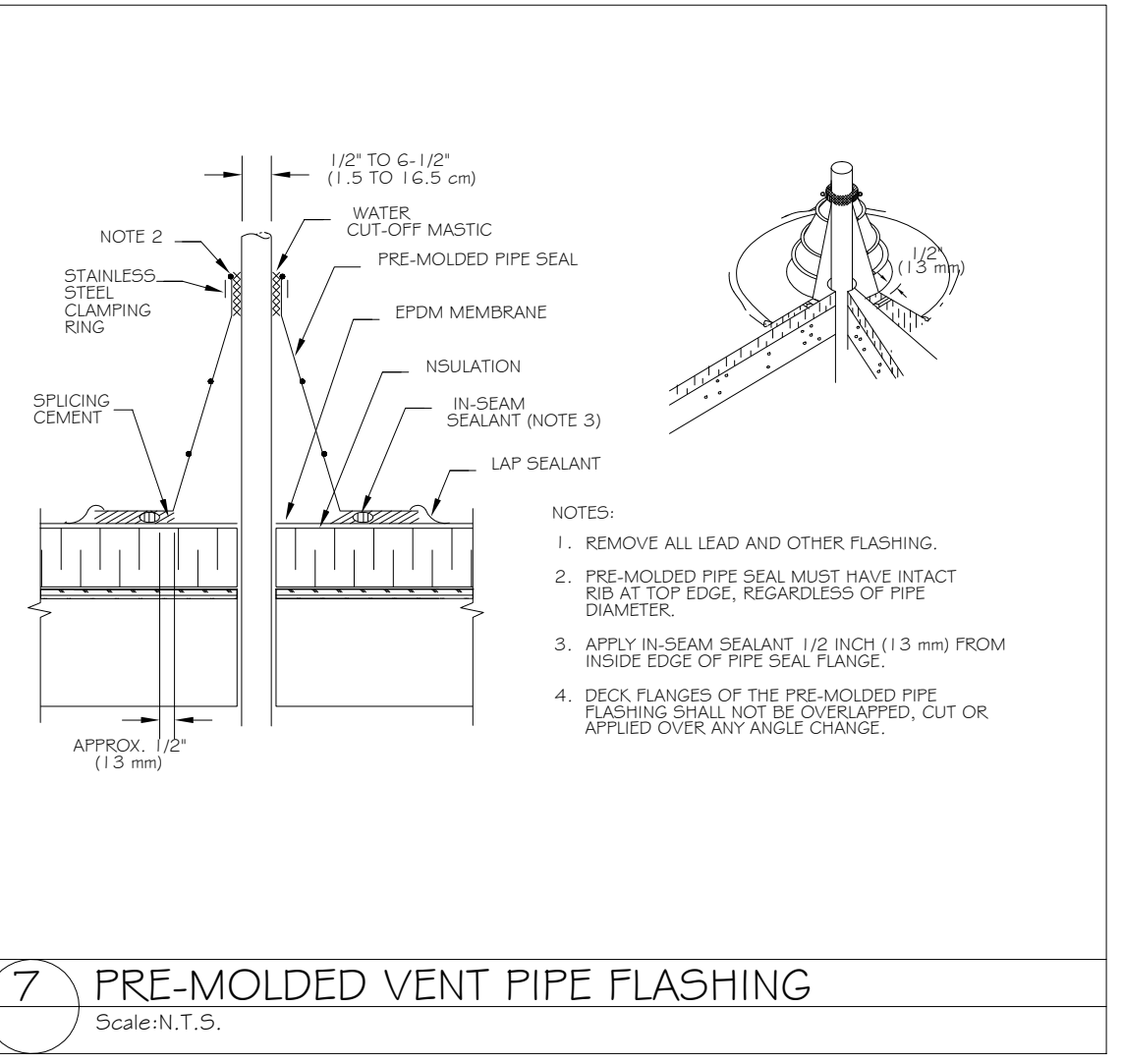
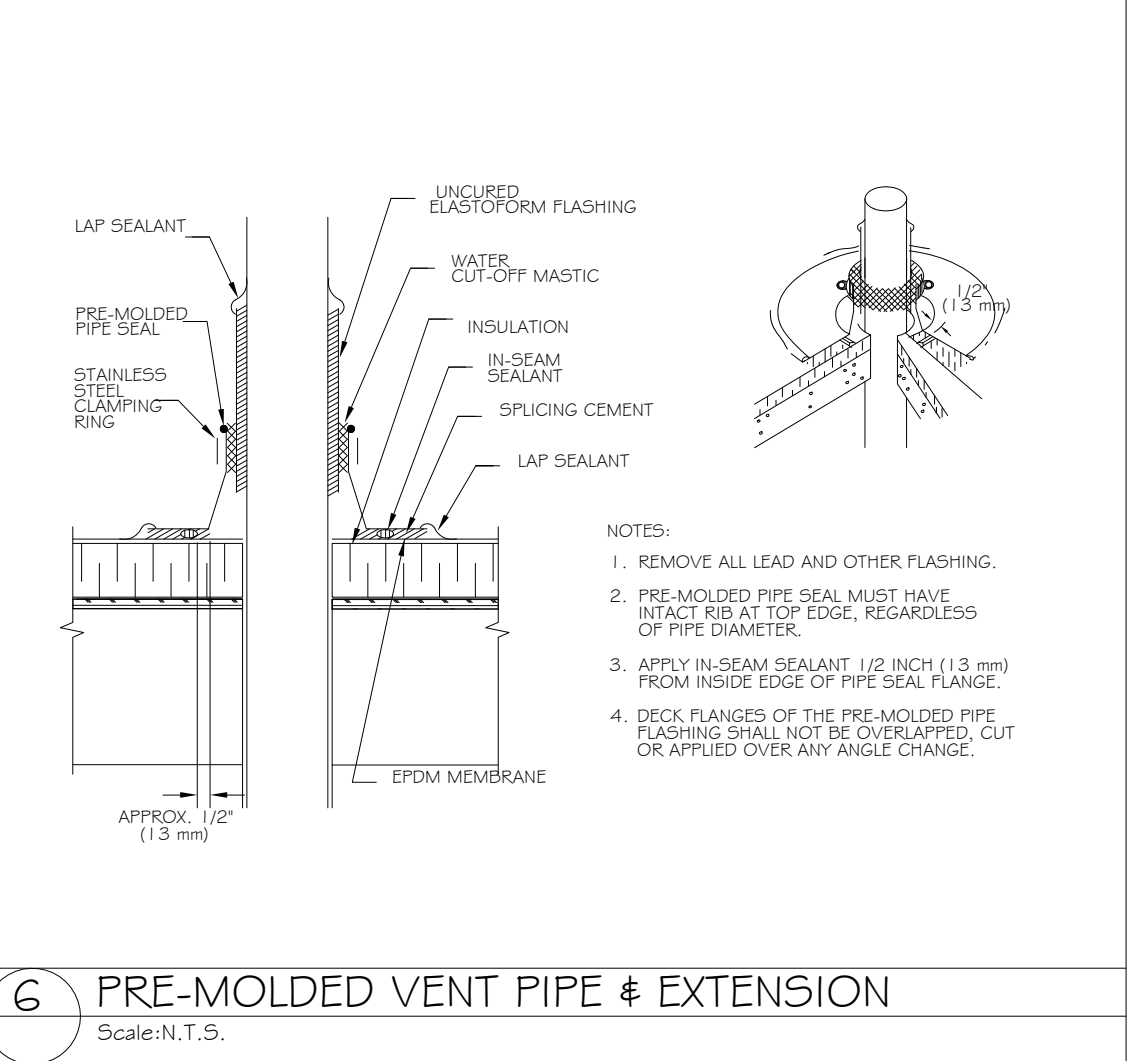
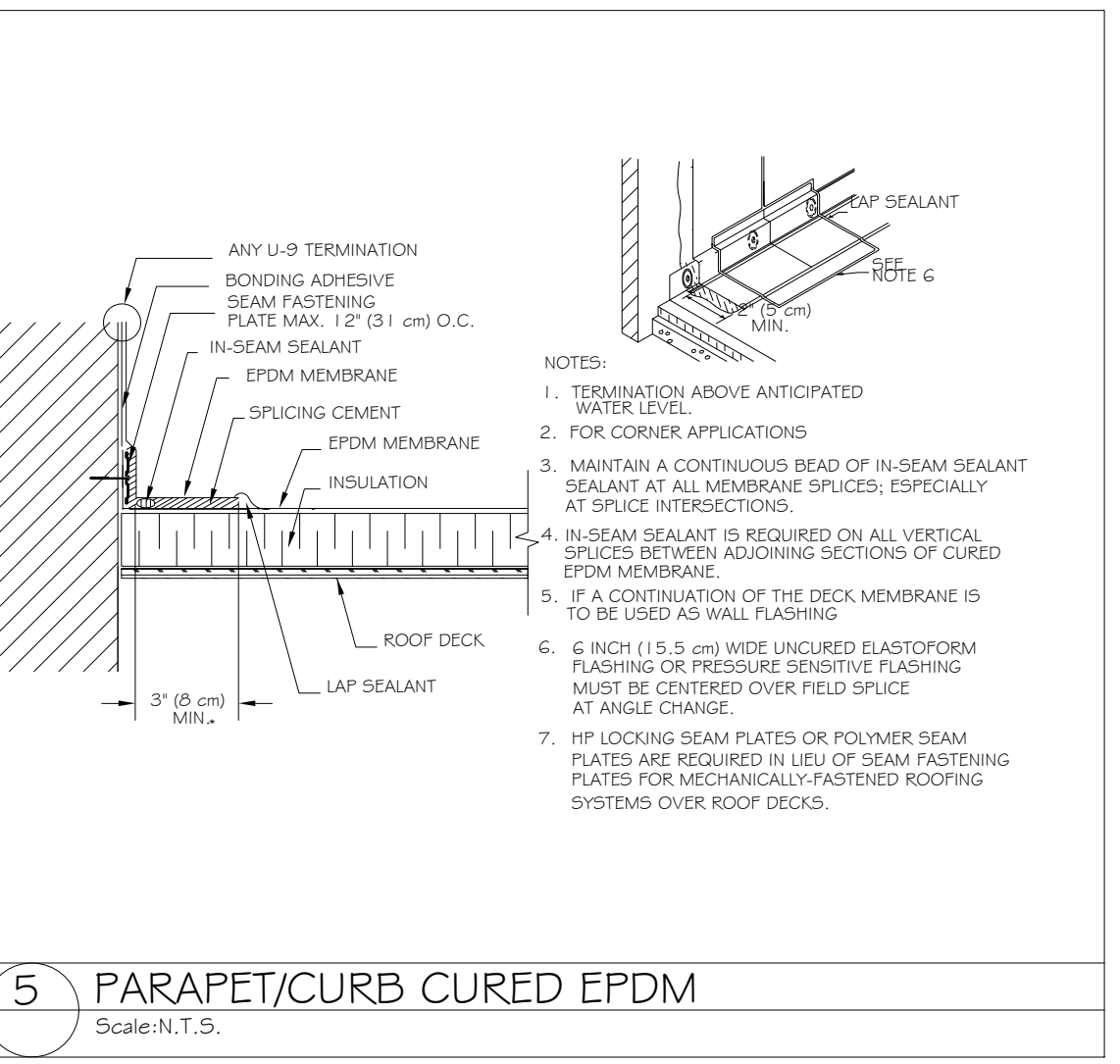
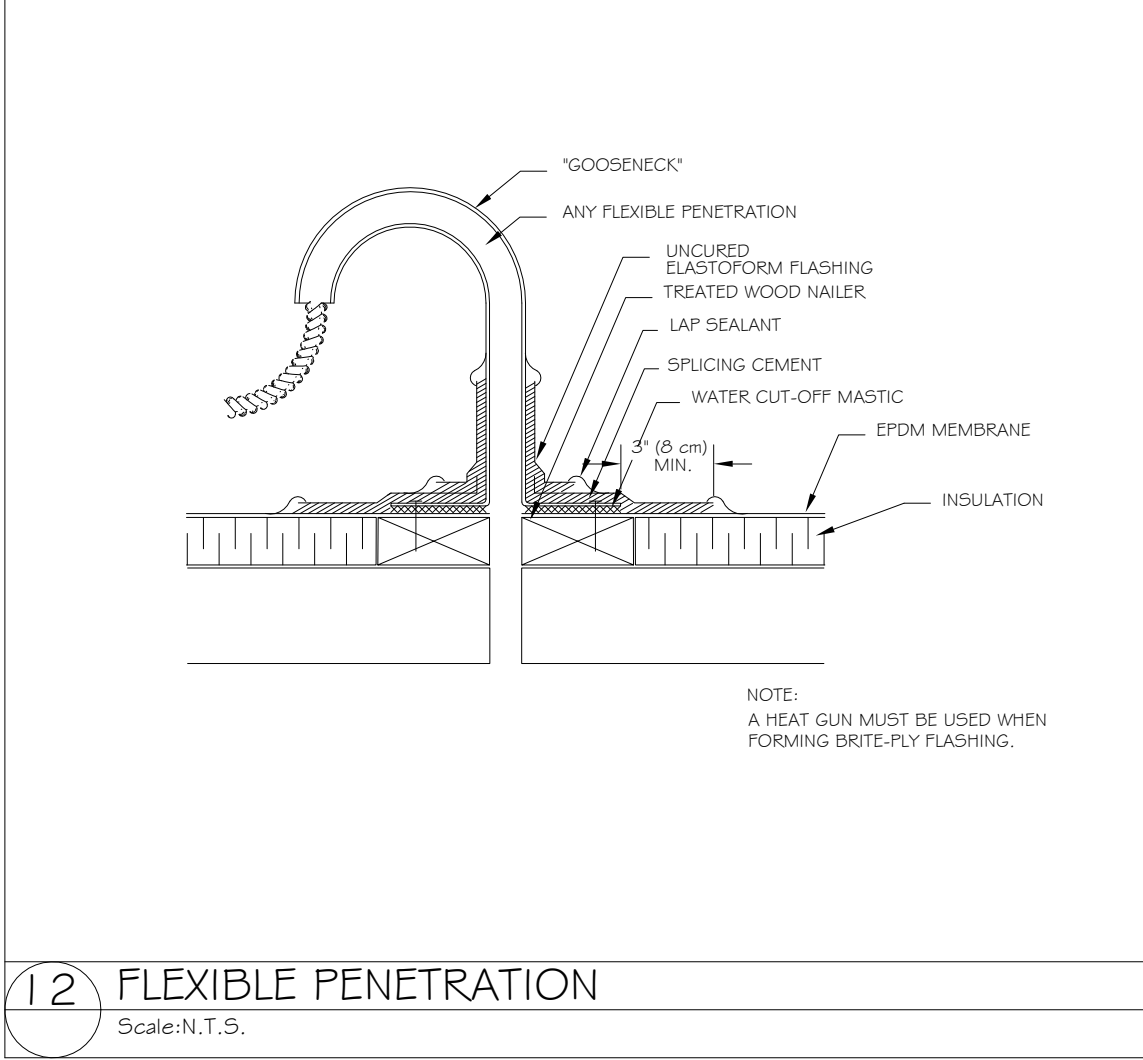
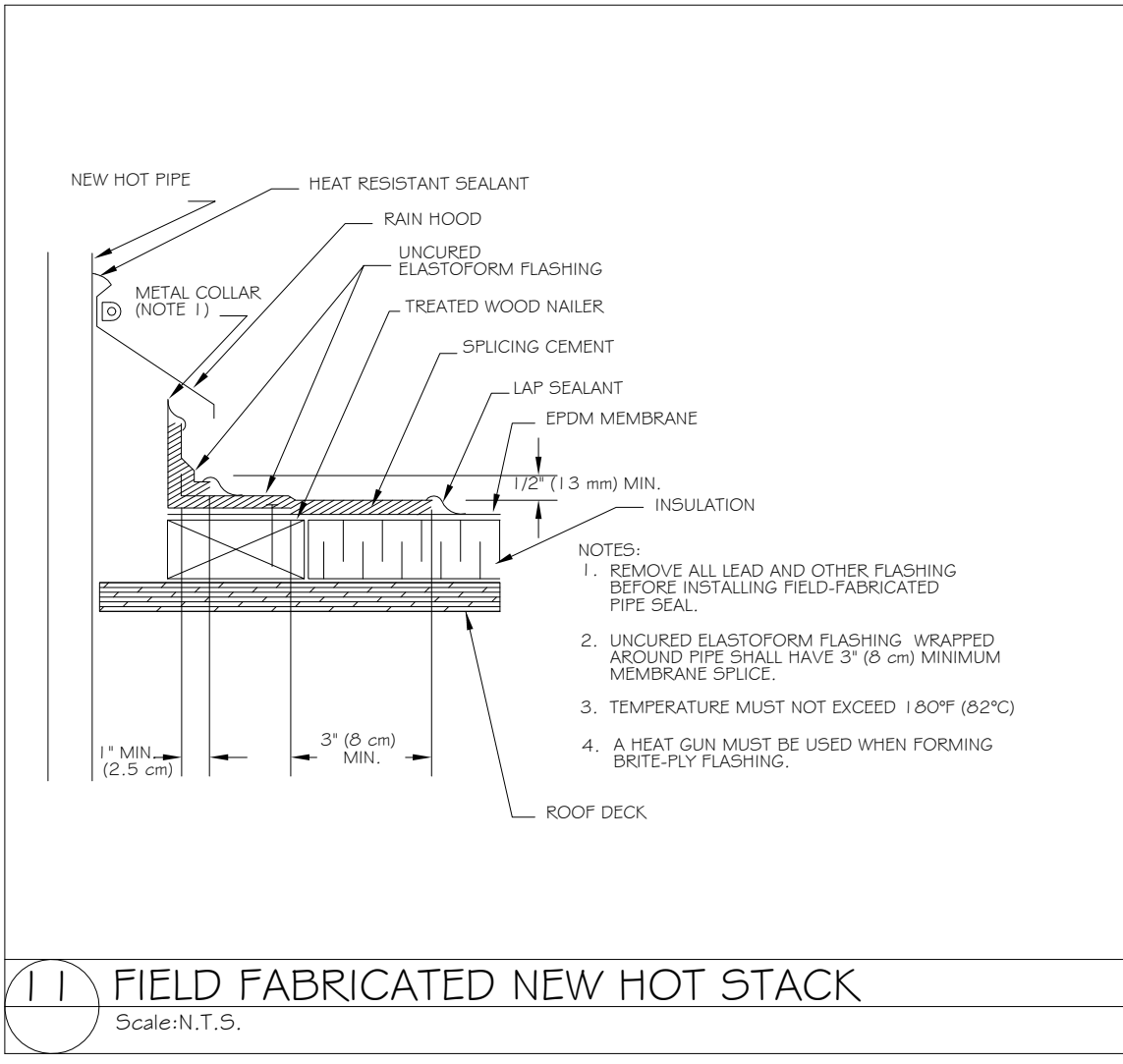
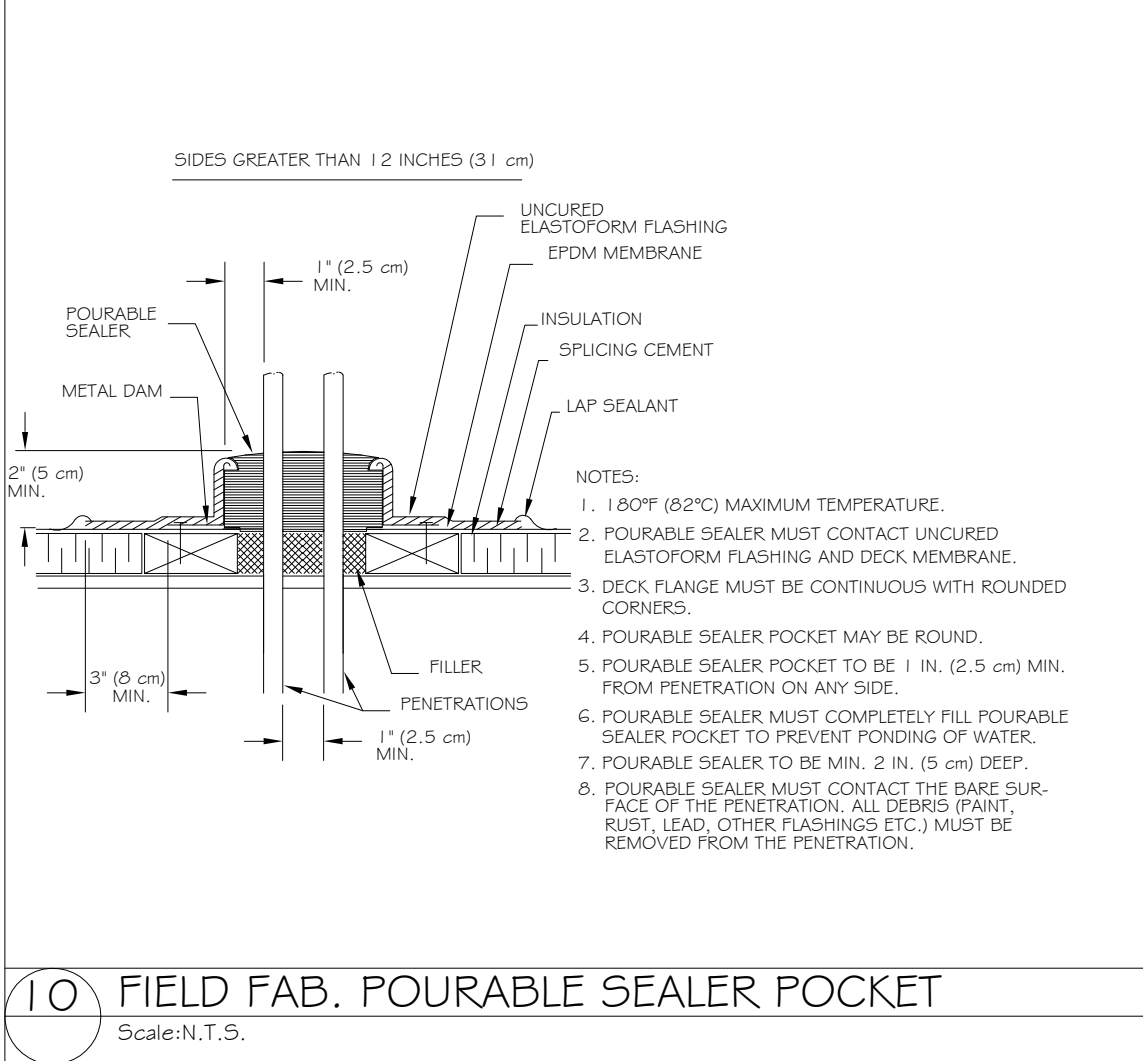
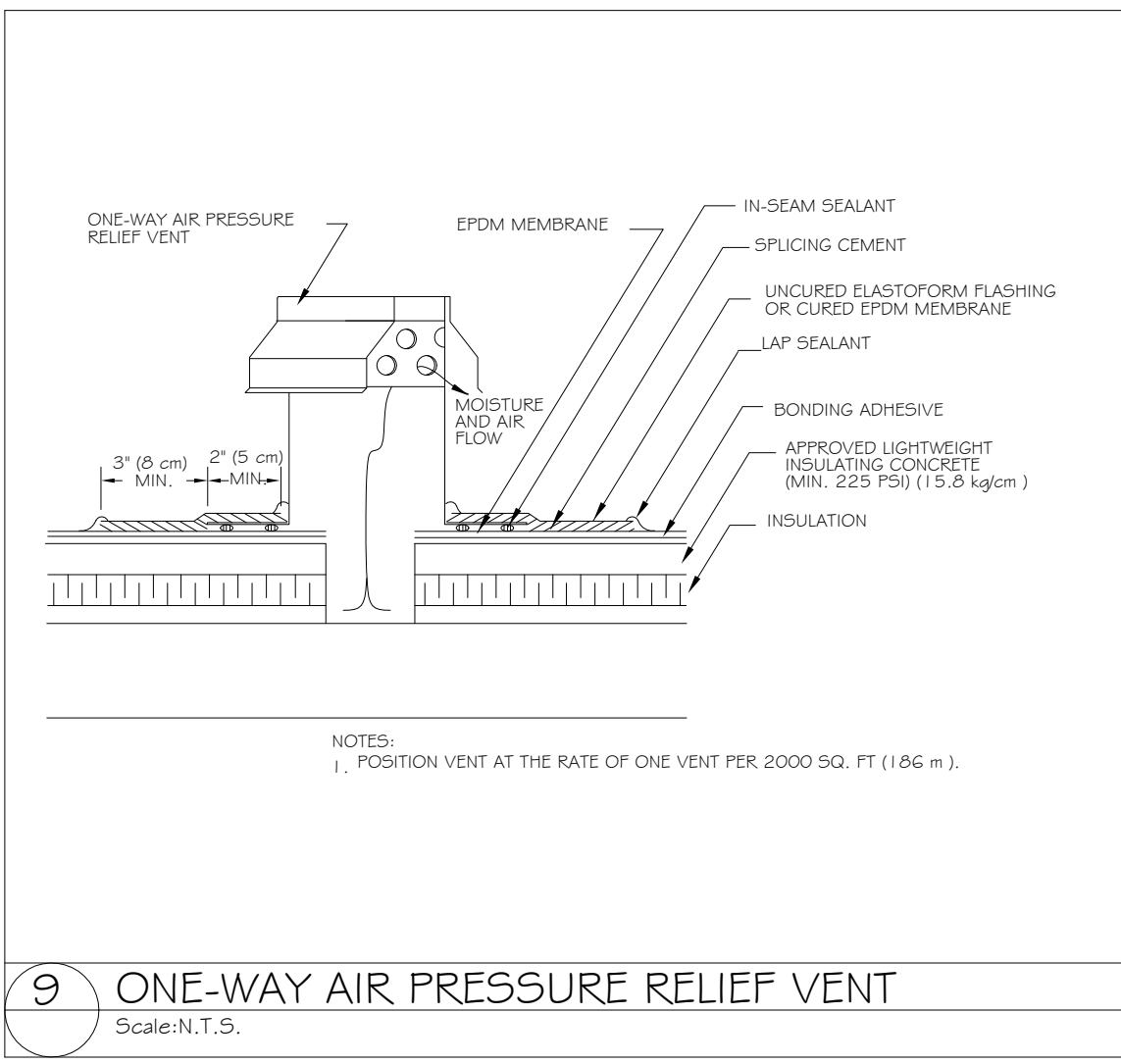
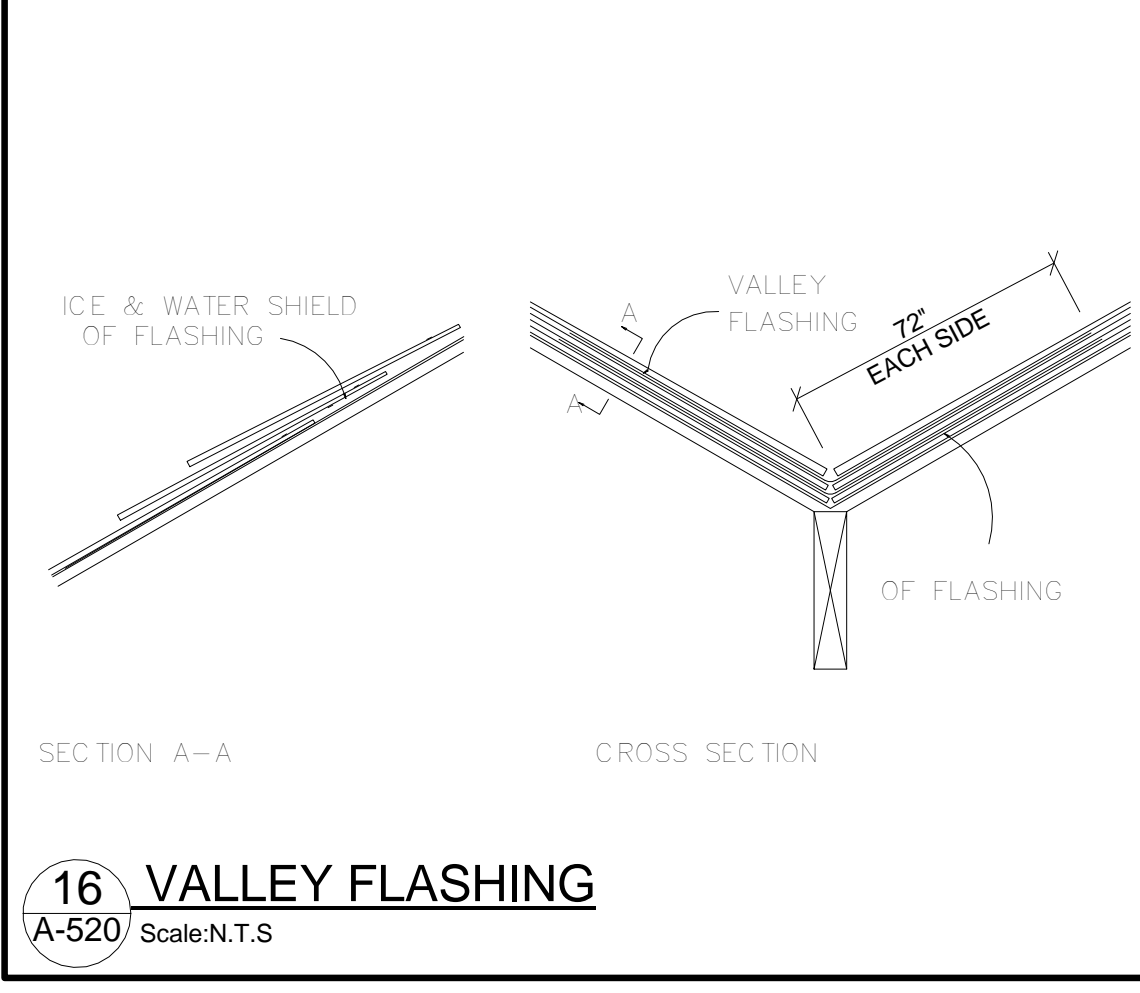
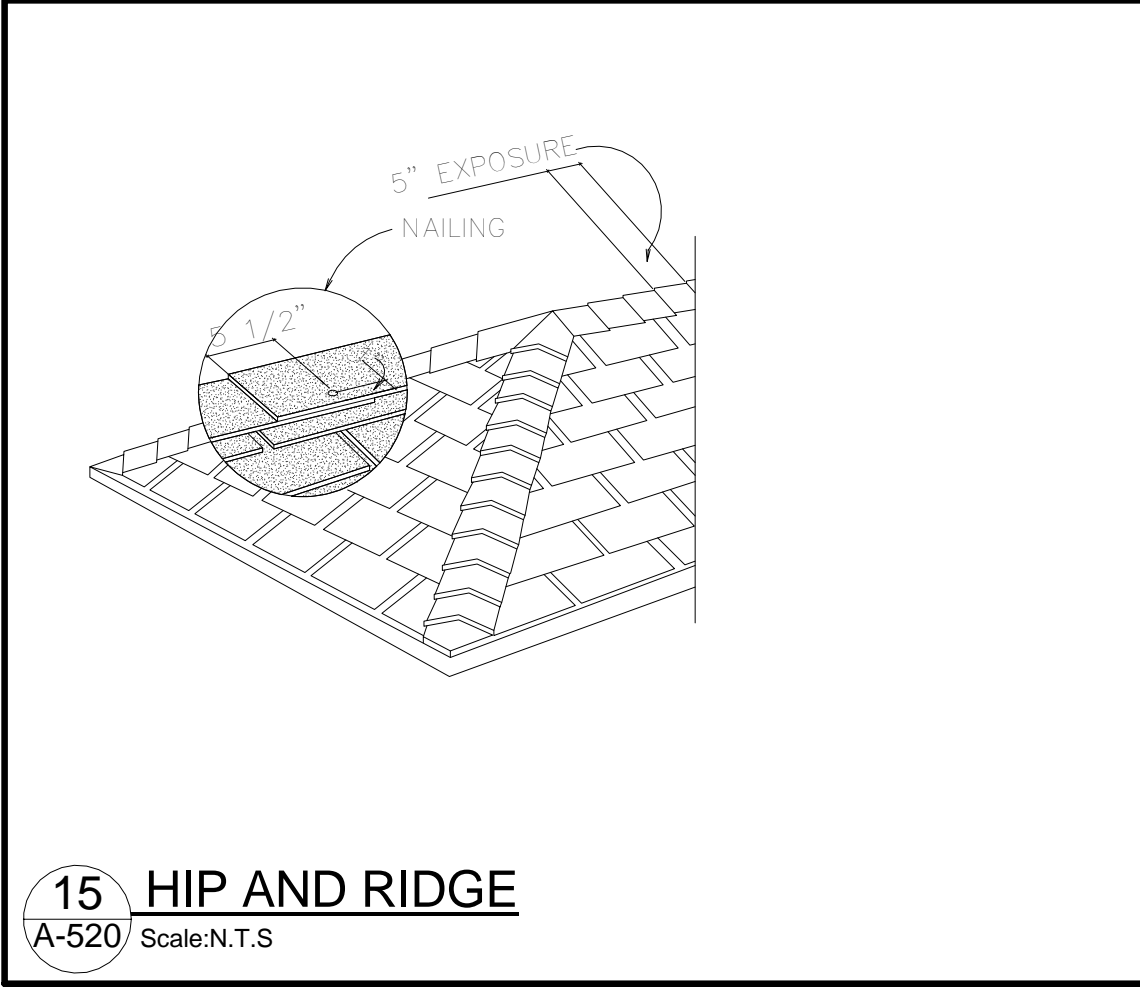
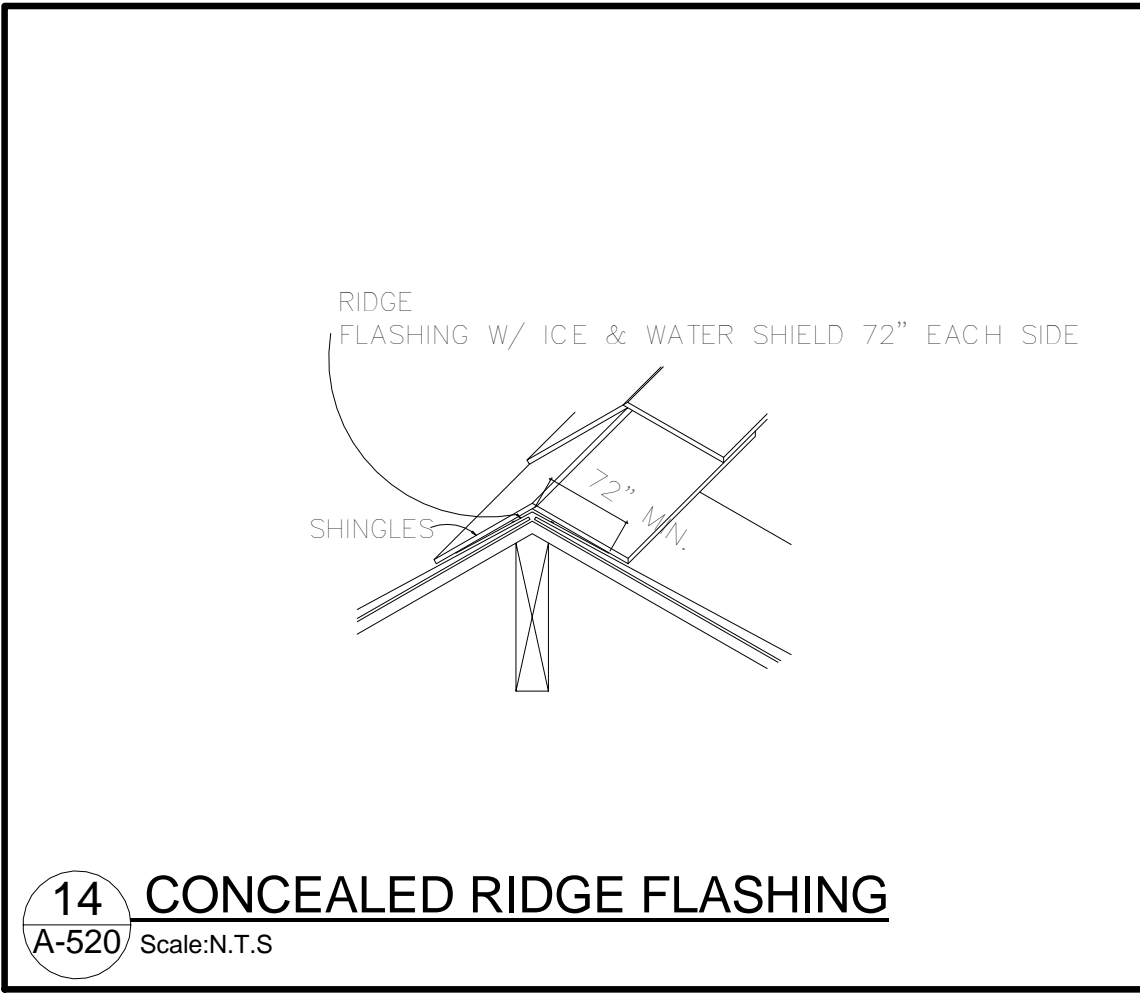
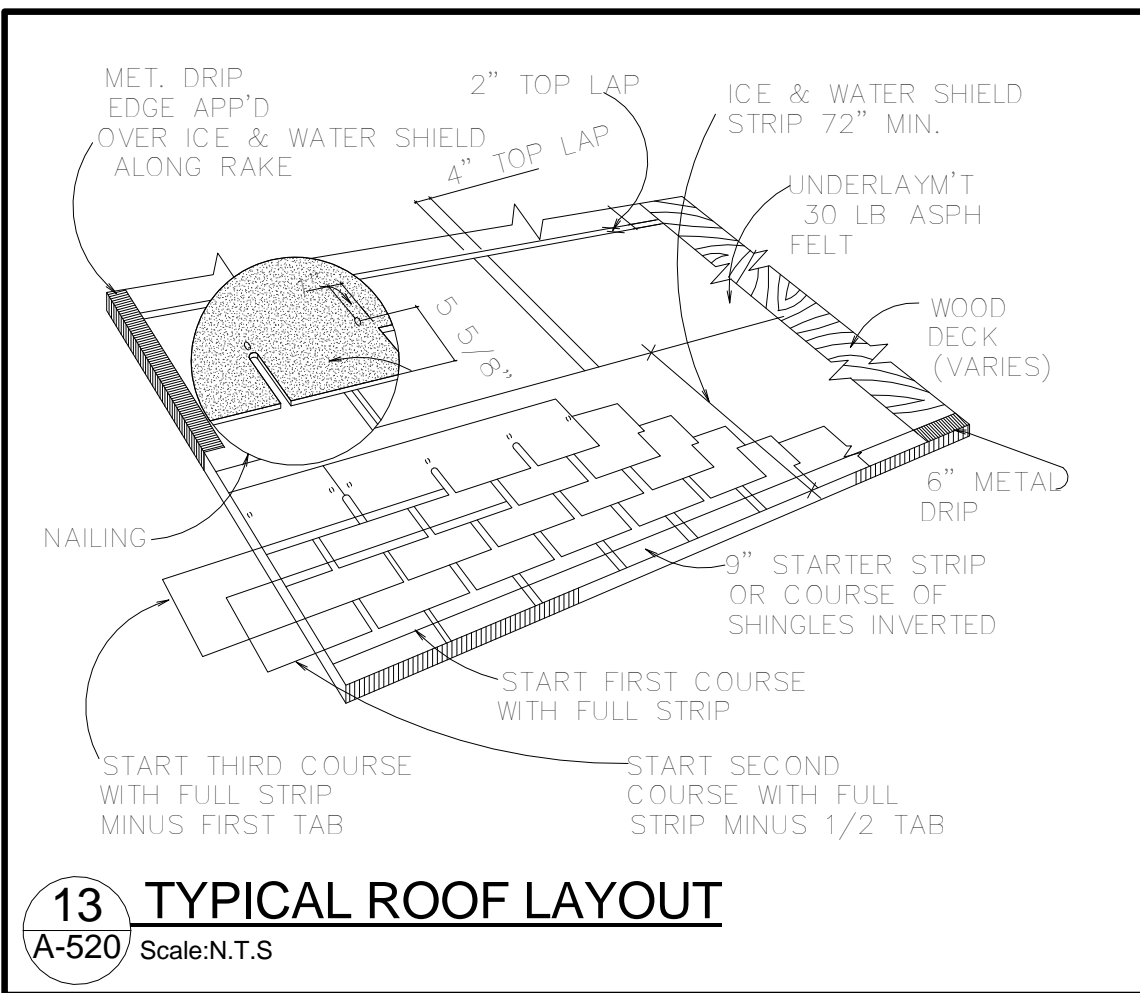
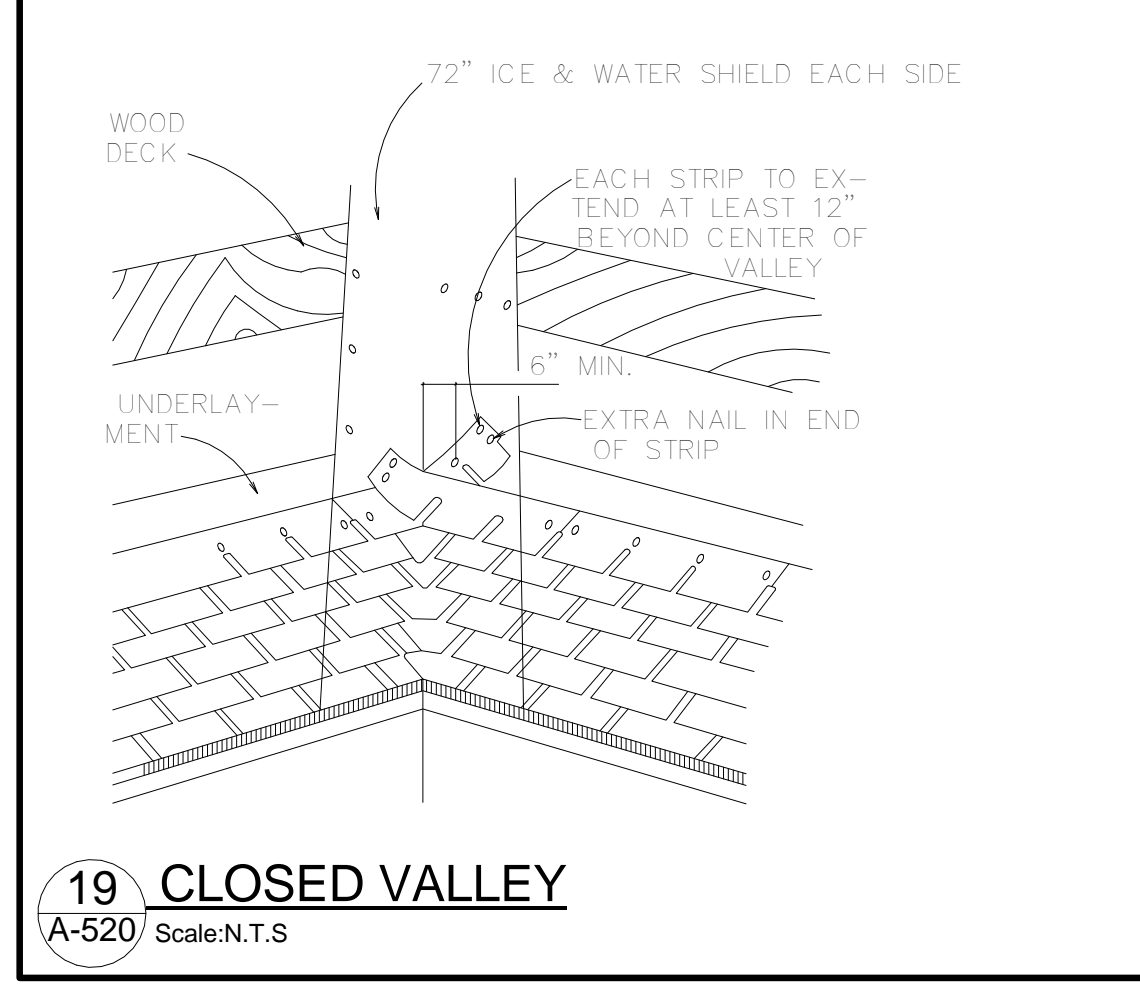
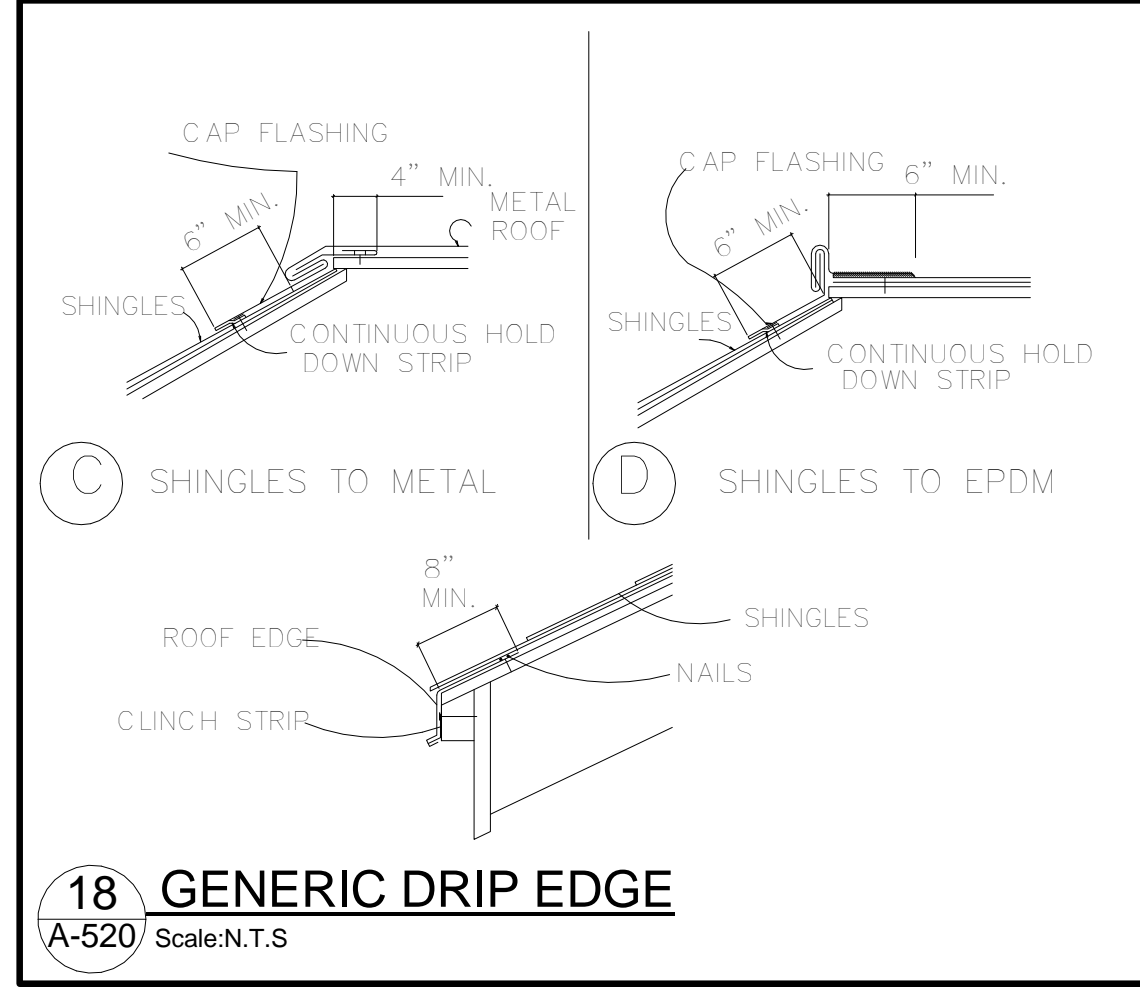
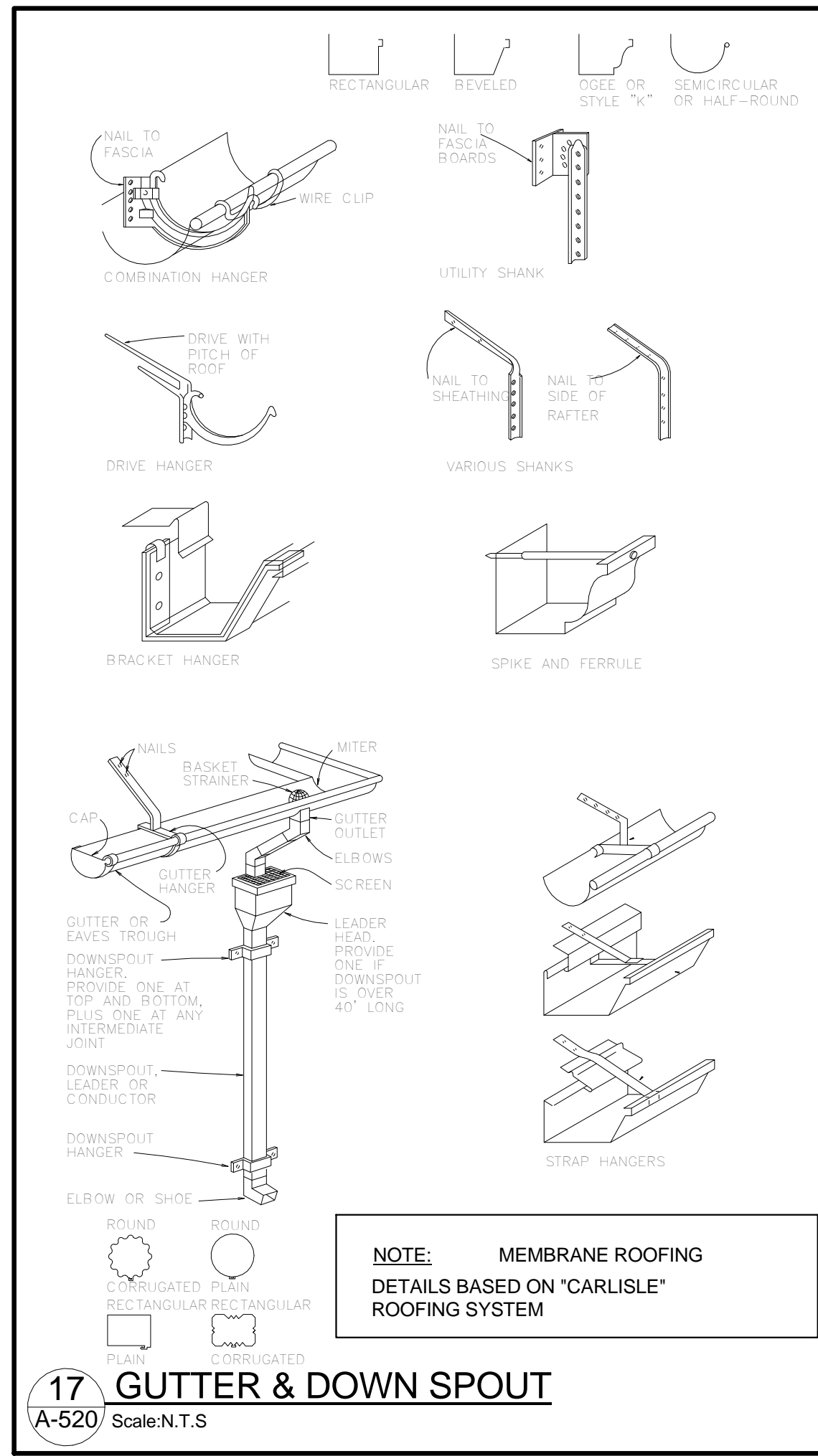
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

**WALL SECTIONS**

**A-410**

Mystic Ave Residences





**PROJECT NAME**  
**Mystic Ave Residences**

**PROJECT ADDRESS**  
640 Mystic Ave.  
Somerville, MA

**CLIENT**  
**EL CAMINO, LLC**

**ARCHITECT**  
**DESIGN KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

**CONSULTANTS:**

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

**REGISTRATION**

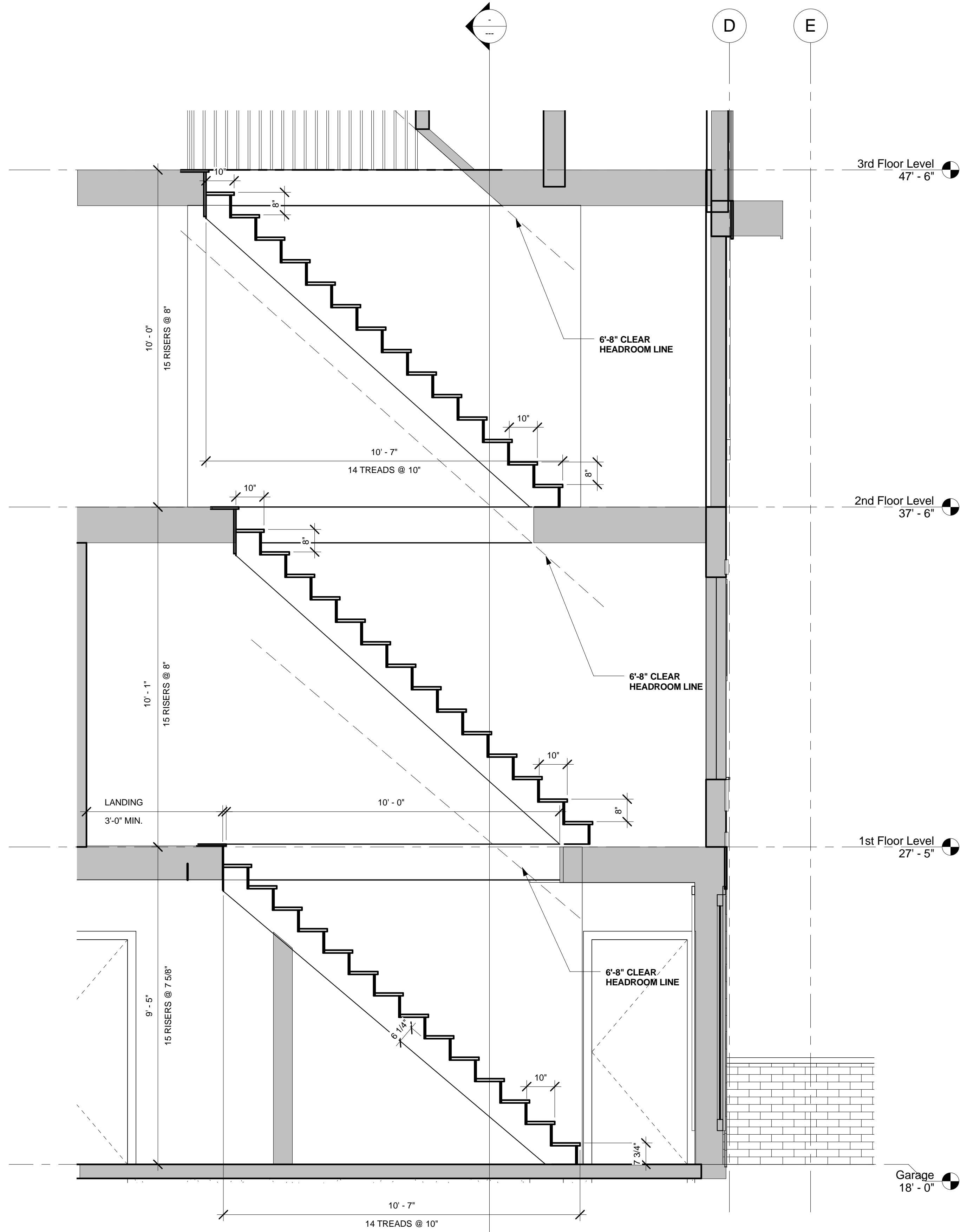
Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	As indicated

REVISIONS		
No.	Description	Date
1	GENERAL REVISIONS	4.24.17

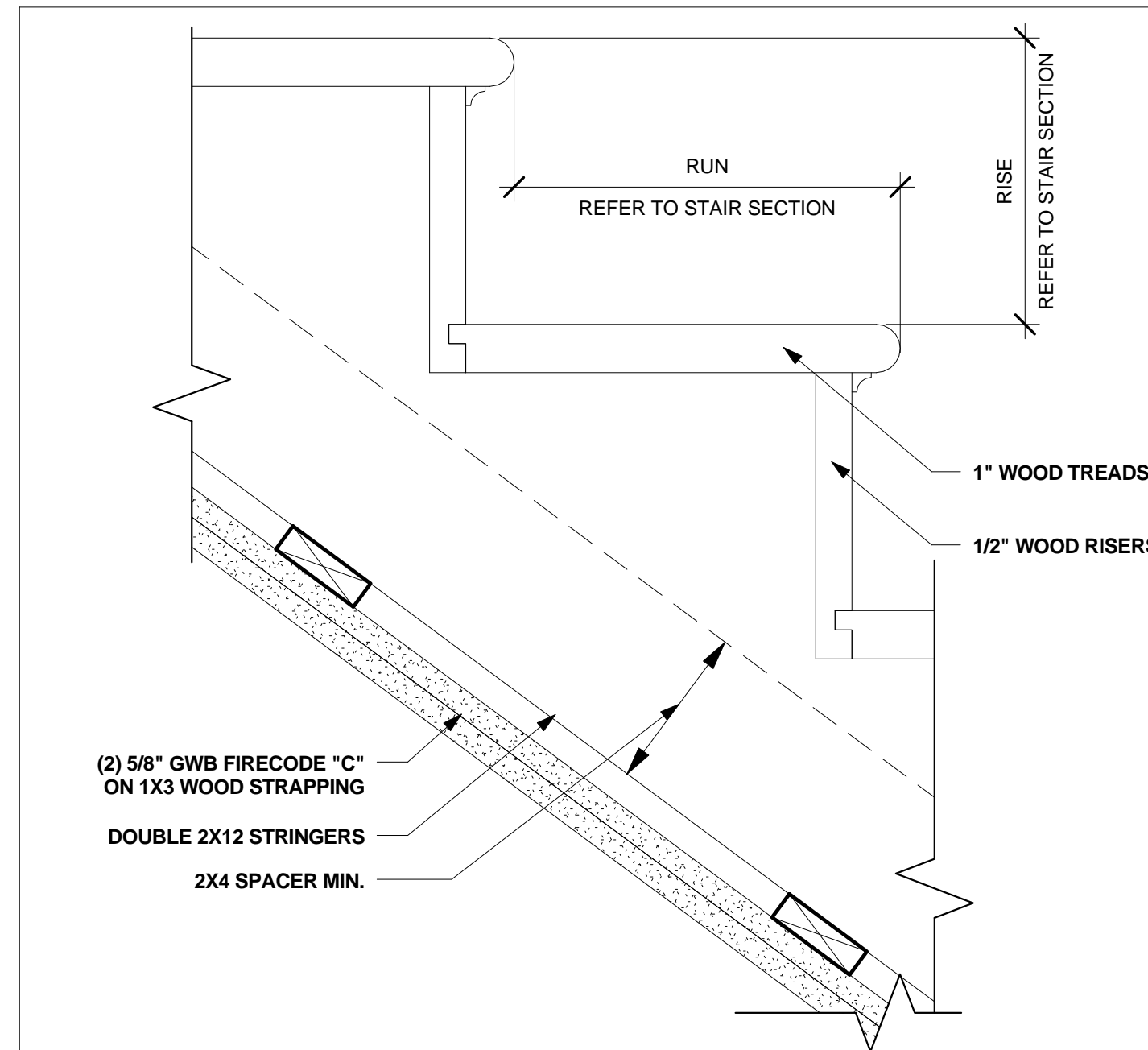
**ROOF DETAILS**

**A-520**  
Mystic Ave Residences

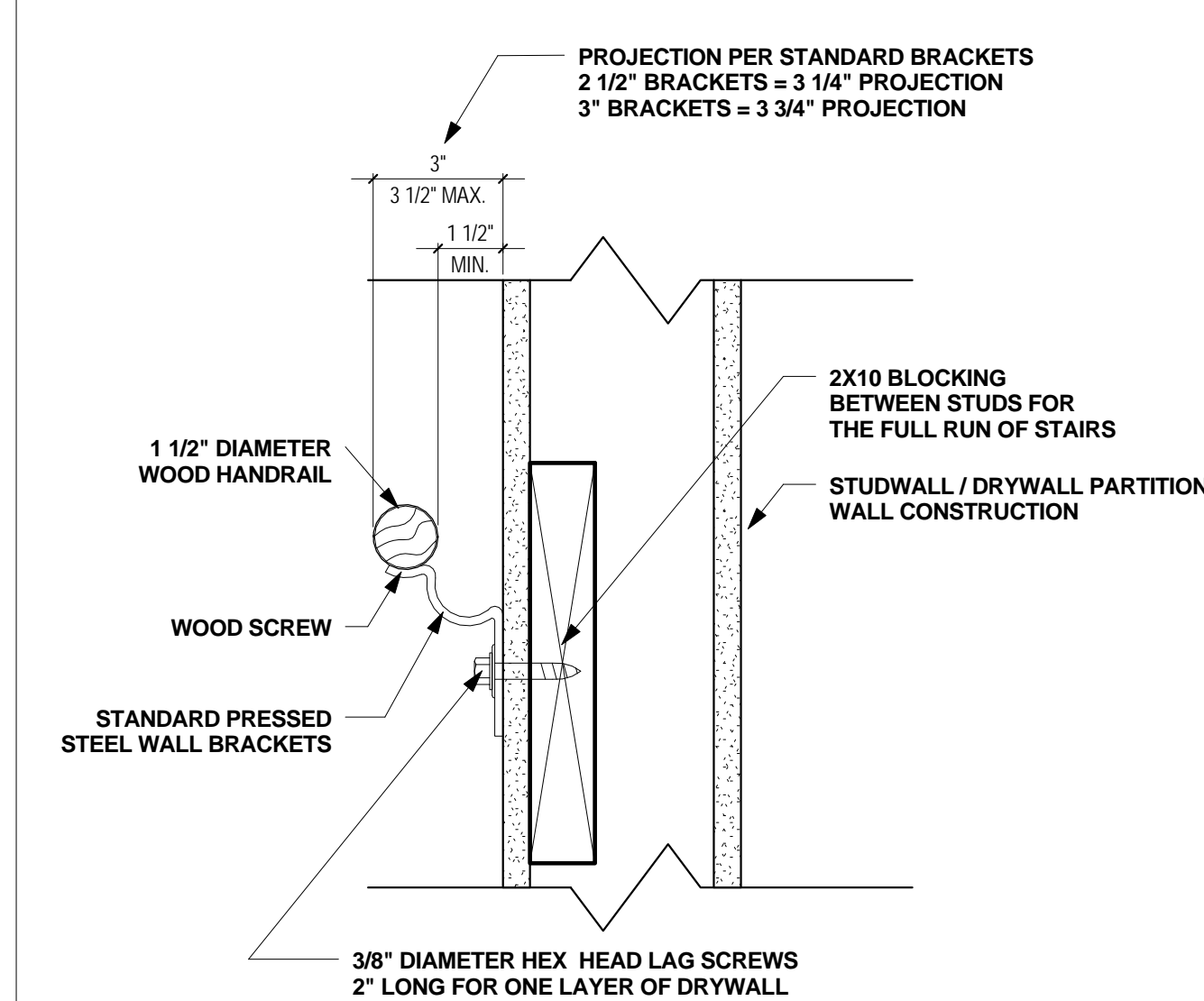




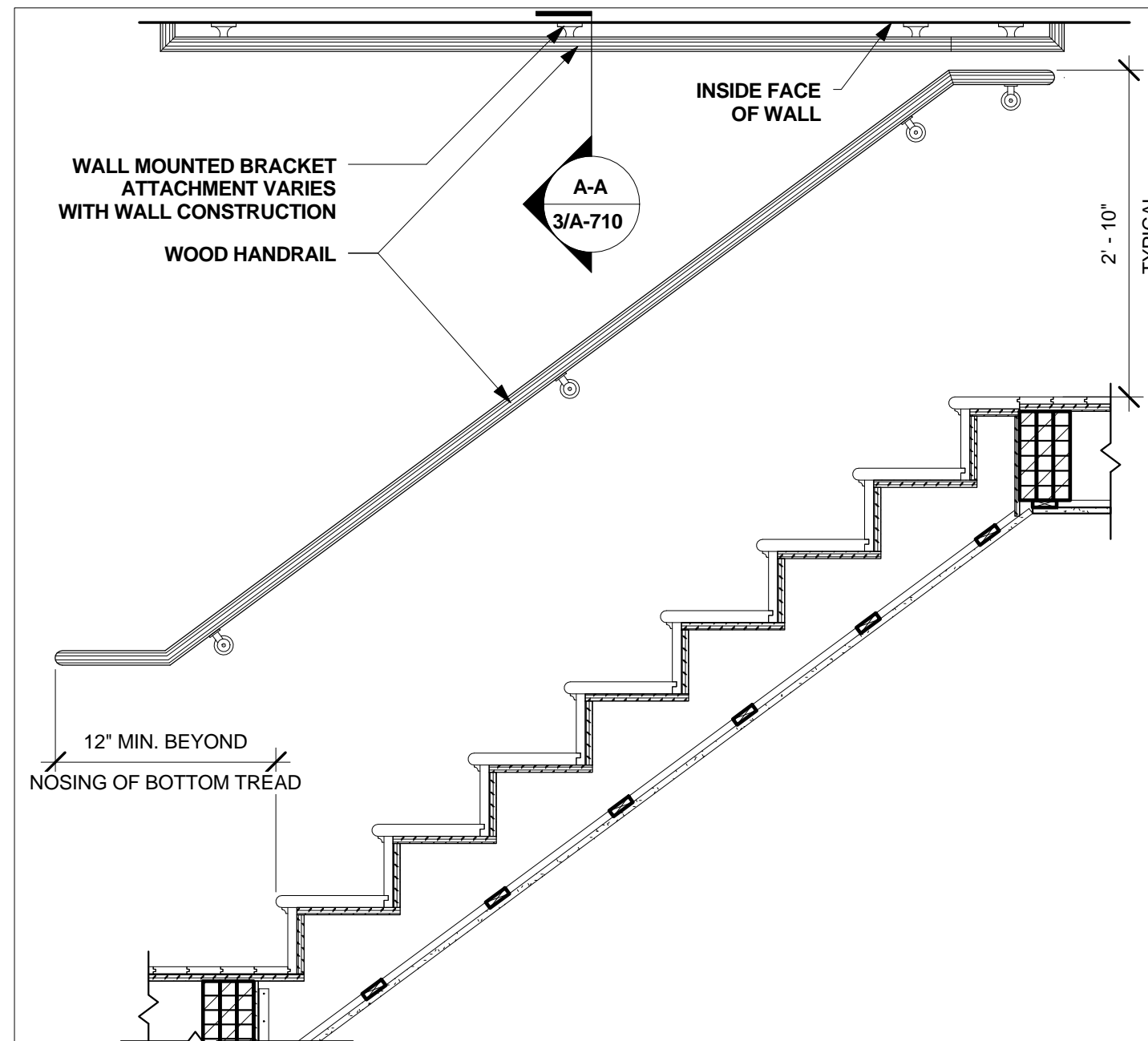
5 STAIR SECTION  
1/2" = 1'-0"



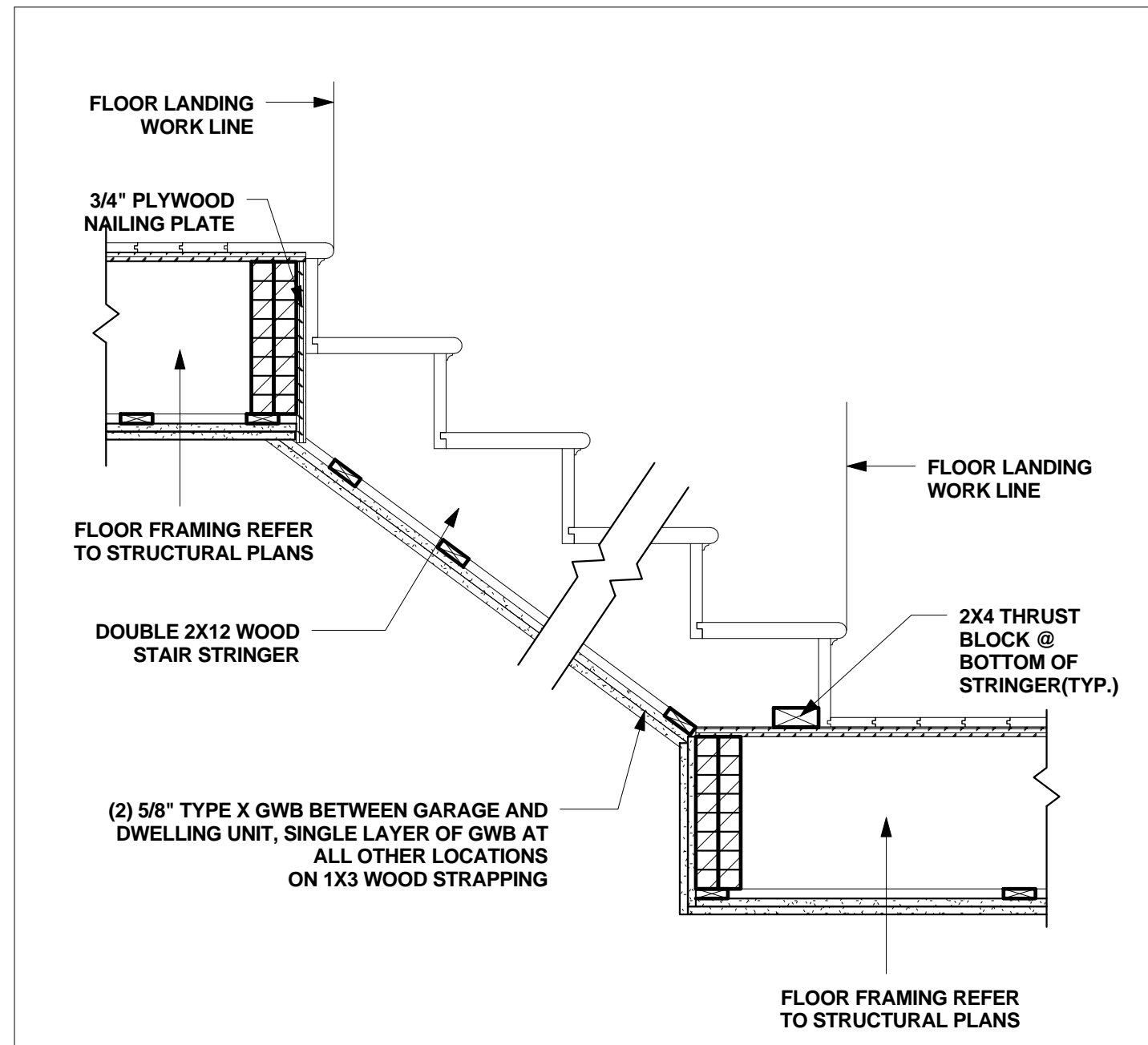
4 TREAD/RISE DETAIL  
A-710 SCALE: 3" = 1'-0"



3 WALL HANDRAIL MOUNTING BRACKET DETAIL  
A-710 SCALE: 3" = 1'-0"



2 WALL HANDRAIL DETAIL  
A-710 SCALE: 3/4" = 1'-0"



1 TYPICAL STAIR SECTION  
A-710 SCALE: 1" = 1'-0"

PROJECT NAME

**Mystic Ave  
Residences**

PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

CLIENT

**EL CAMINO, LLC**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number 16.08  
Date 4-24-17  
Drawn by JLW  
Checked by JLW  
Scale As indicated

REVISIONS

No.	Description	Date

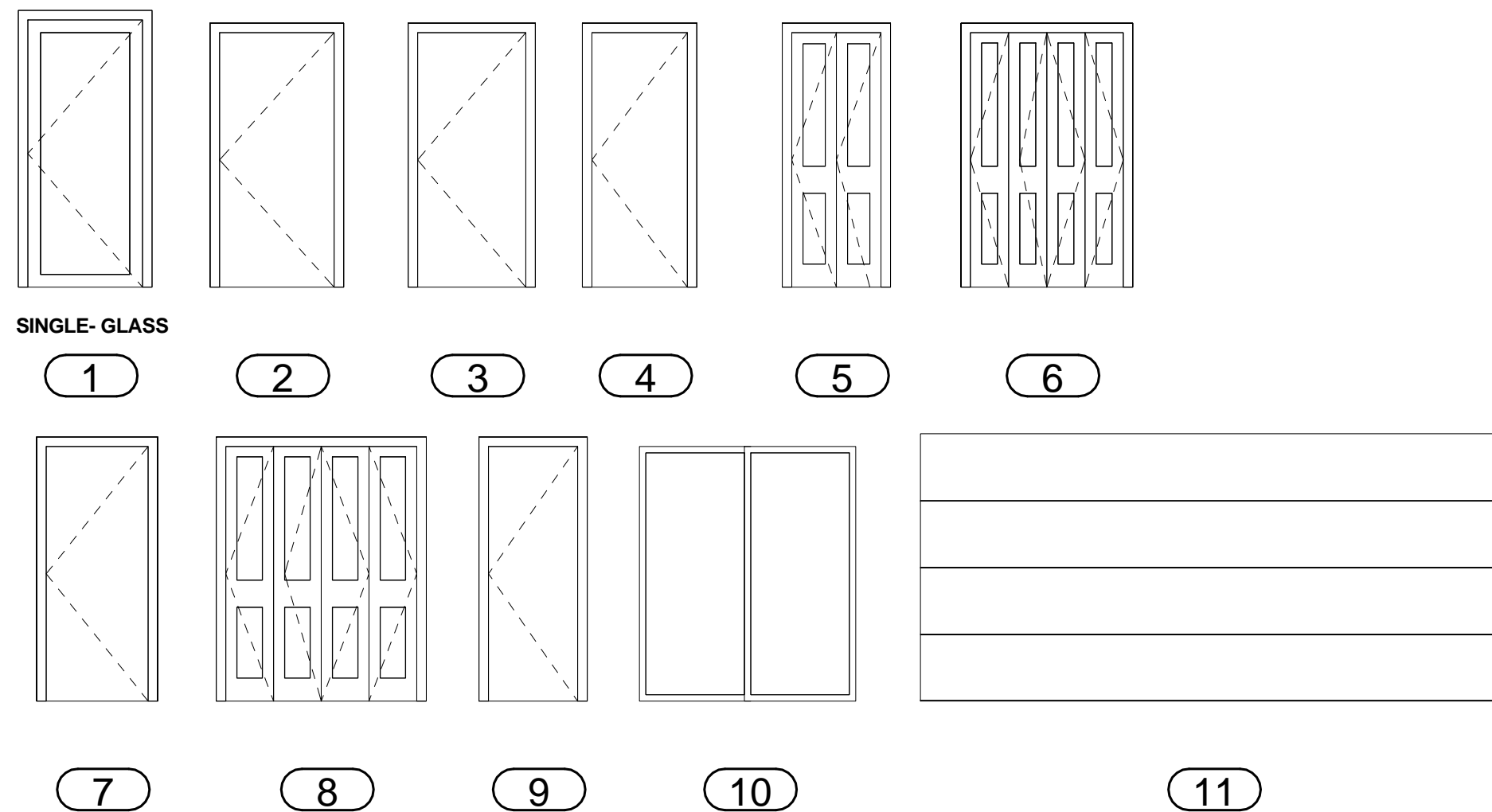
**STAIR DETAILS**

**A-710**

Mystic Ave Residences



Door Schedule									
Mark	Family	DOOR SIZE	Elevation	Fire Rating	Frame Material	Details			Comments
						Head	Jamb	Sill	
1	Single-Glass 1	36" x 84"		-	FIBERGLASS				
2	Single-Flush	34" x 80"		1 HR	METAL	7/A801			
3	Single-Flush	34" x 80"		1 HR	METAL	7/A801			
4	Single-Flush	30" x 80"		-	WOOD	6/A801			
5	Bifold-2 Panel	28" x 80"		-	WOOD	6/A801			
6	Bifold-4 Panel	48" x 80"		-	WOOD	6/A801			
7	Single-Flush	32" x 80"		-	WOOD	6/A801			
8	Bifold-4 Panel	60" x 80"		-	WOOD	6/A801			
9	Single-Flush	28" x 80"		-	WOOD	6/A801			
12	Single-Glass 1	36" x 84"		-	FIBERGLASS				
13	Overhead-Sectional-Flush	180" x 84"		-	PVC				
22	Single-Glass 1	36" x 84"		-	FIBERGLASS				
23	Single-Glass 1	36" x 84"		-	FIBERGLASS				
24	Single-Glass 1	36" x 84"		-	FIBERGLASS				



Mark	Description	Rough Opening		Material	Details		
		Width	Height		Head	Jamb	Sill
A	DOUBLE HUNG	2' - 5 3/8"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
AA	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
B	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
BB	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
C	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
D	FIXED	2' - 5 3/8"	2' - 5 3/8"	WOOD CLAD	3/A301	2/A801	1/A801
E	FIXED	3' - 0"	3' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
F	DOUBLE HUNG	2' - 5 3/8"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
P	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
Q	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
R	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
S	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
T	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
U	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
V	DOUBLE HUNG	2' - 5 3/8"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
W	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
X	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
Y	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801 <sup>(1)</sup>	1/A801
Z	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801

**PROJECT NAME**

# Mystic Ave Residences

### PROJECT ADDRESS

640 Mystic Ave.  
Somerville, MA

## CLIENT

**EL CAMINO, LLC**

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

**CONSULTANTS:**

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

## REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	1/4" = 1'-0"

## REVISIONS

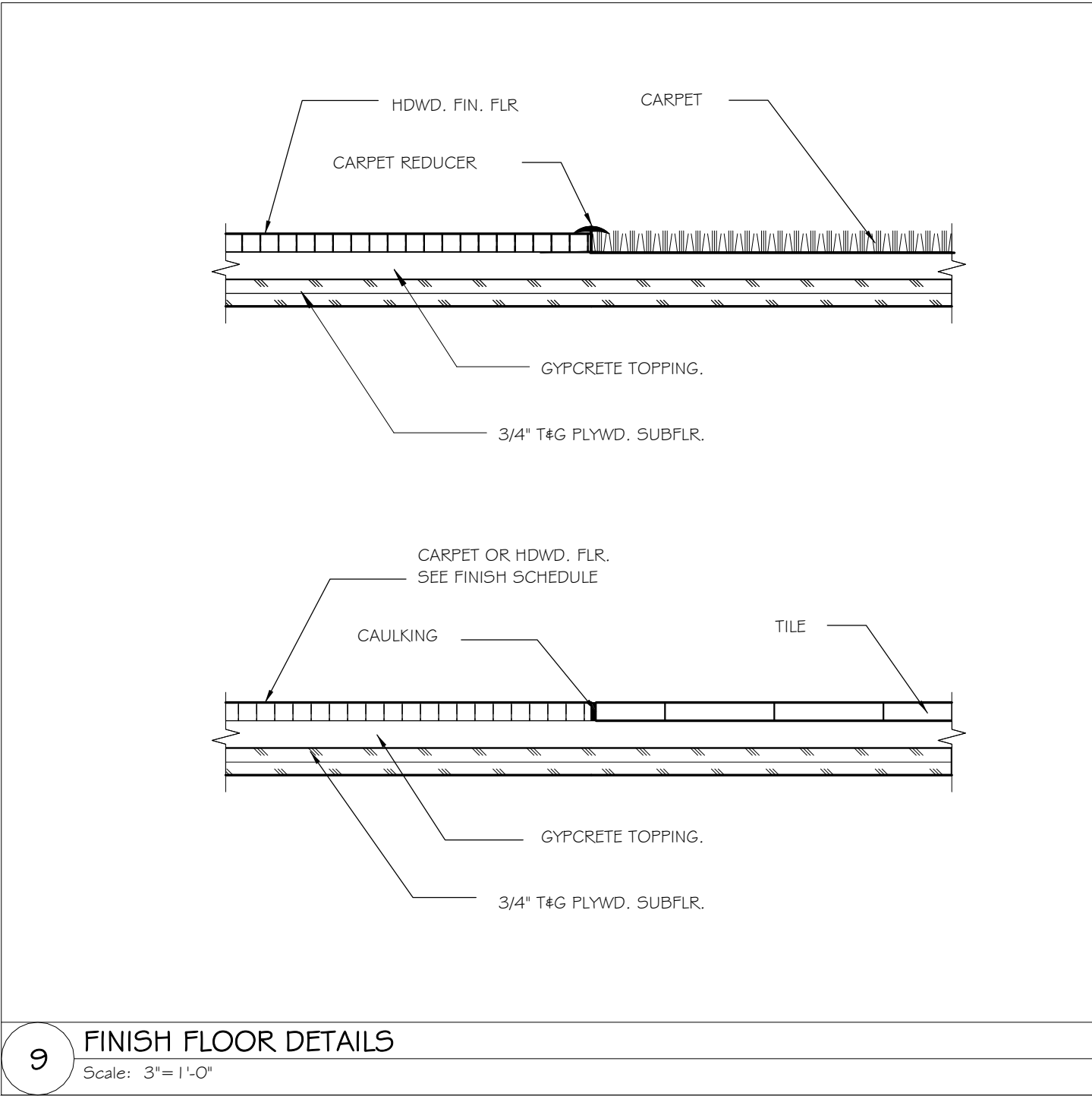
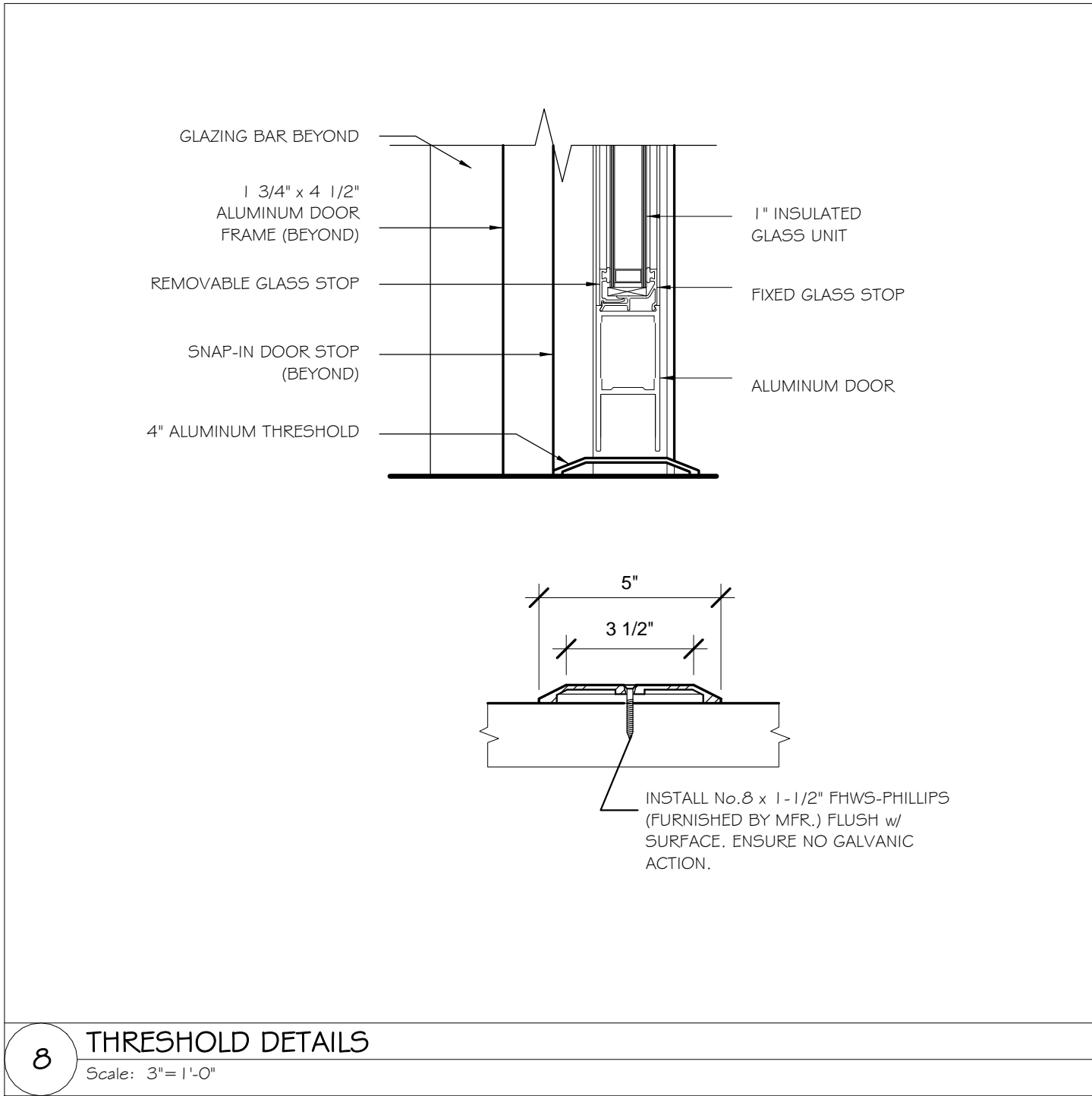
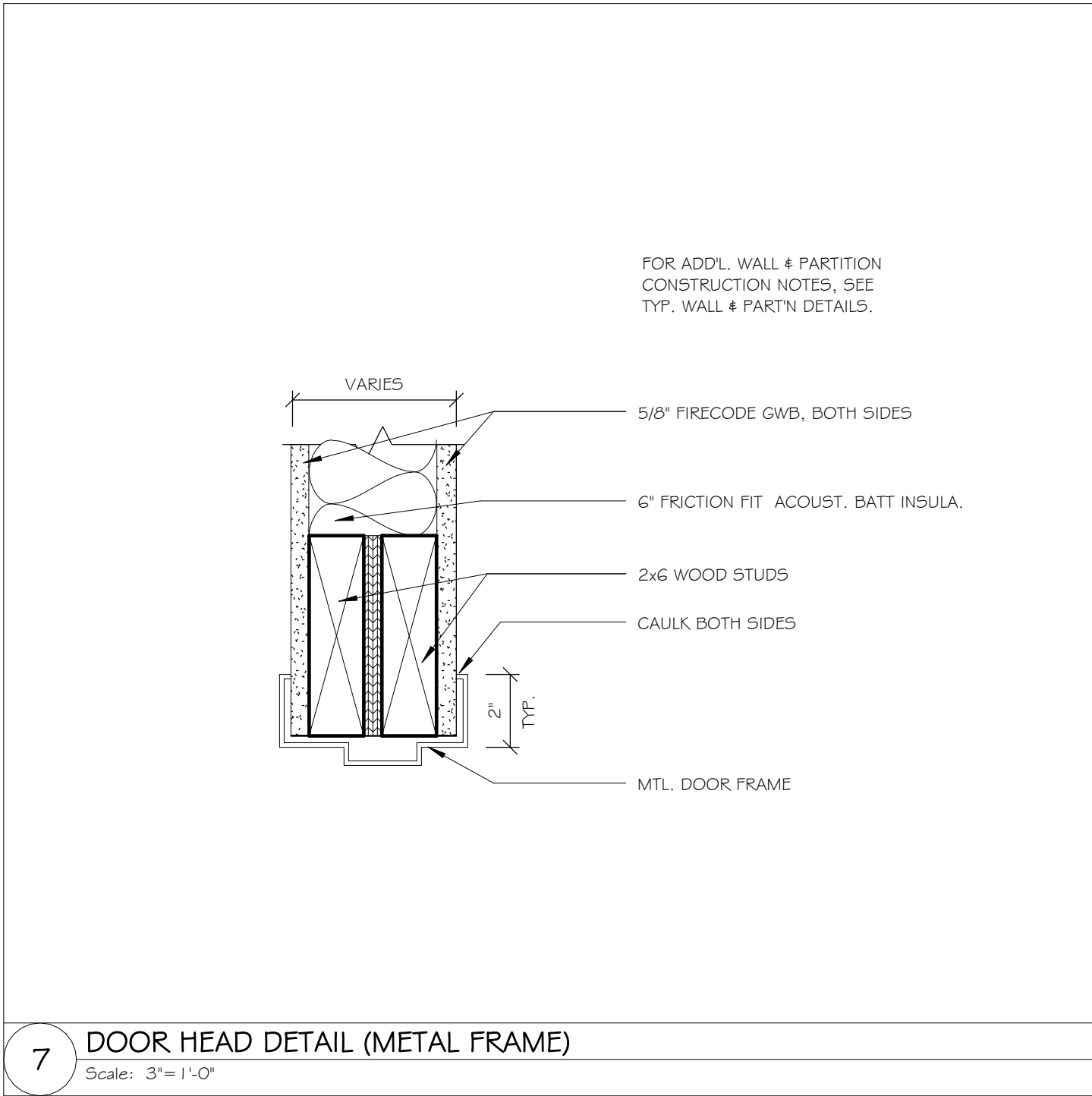
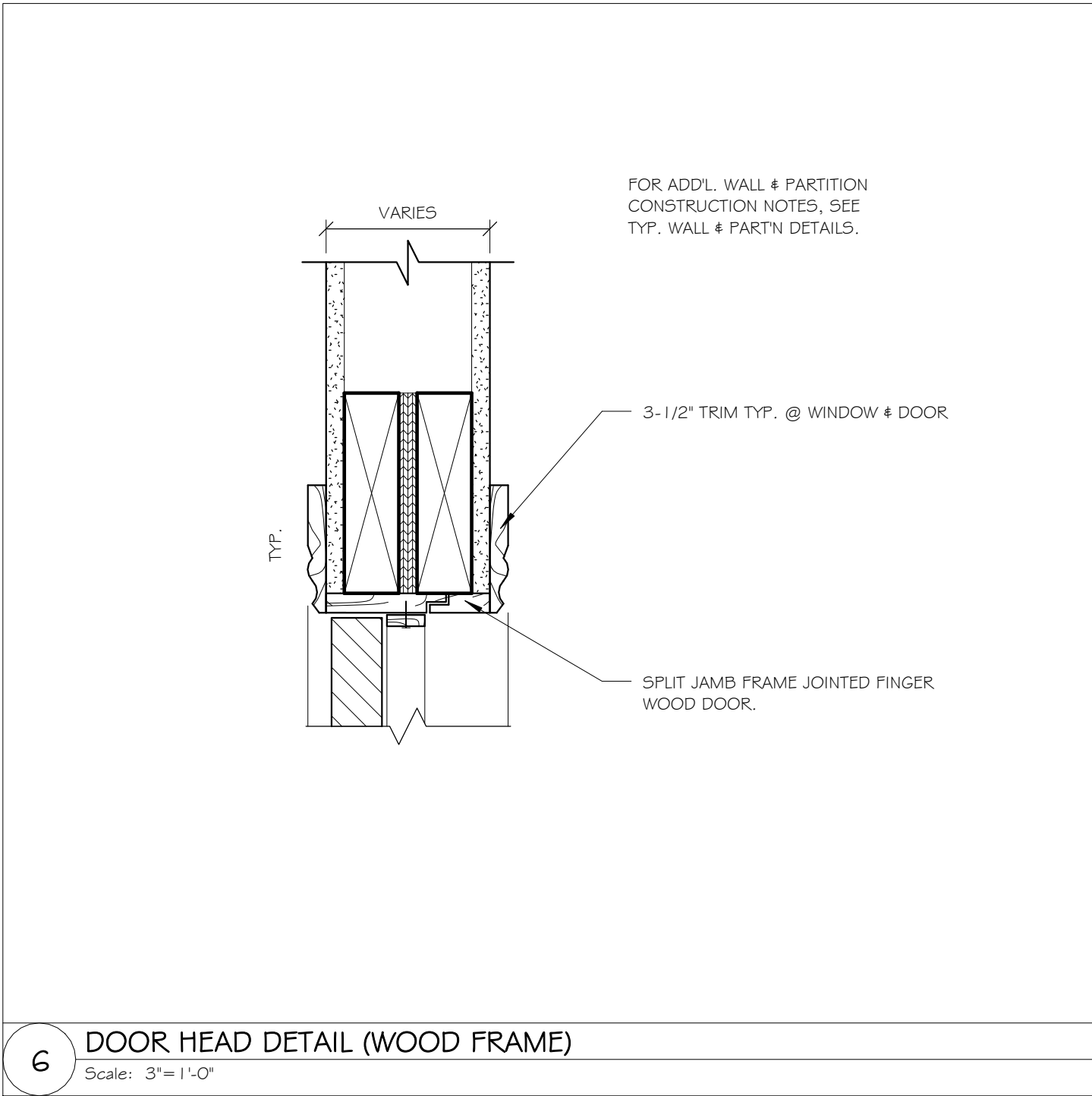
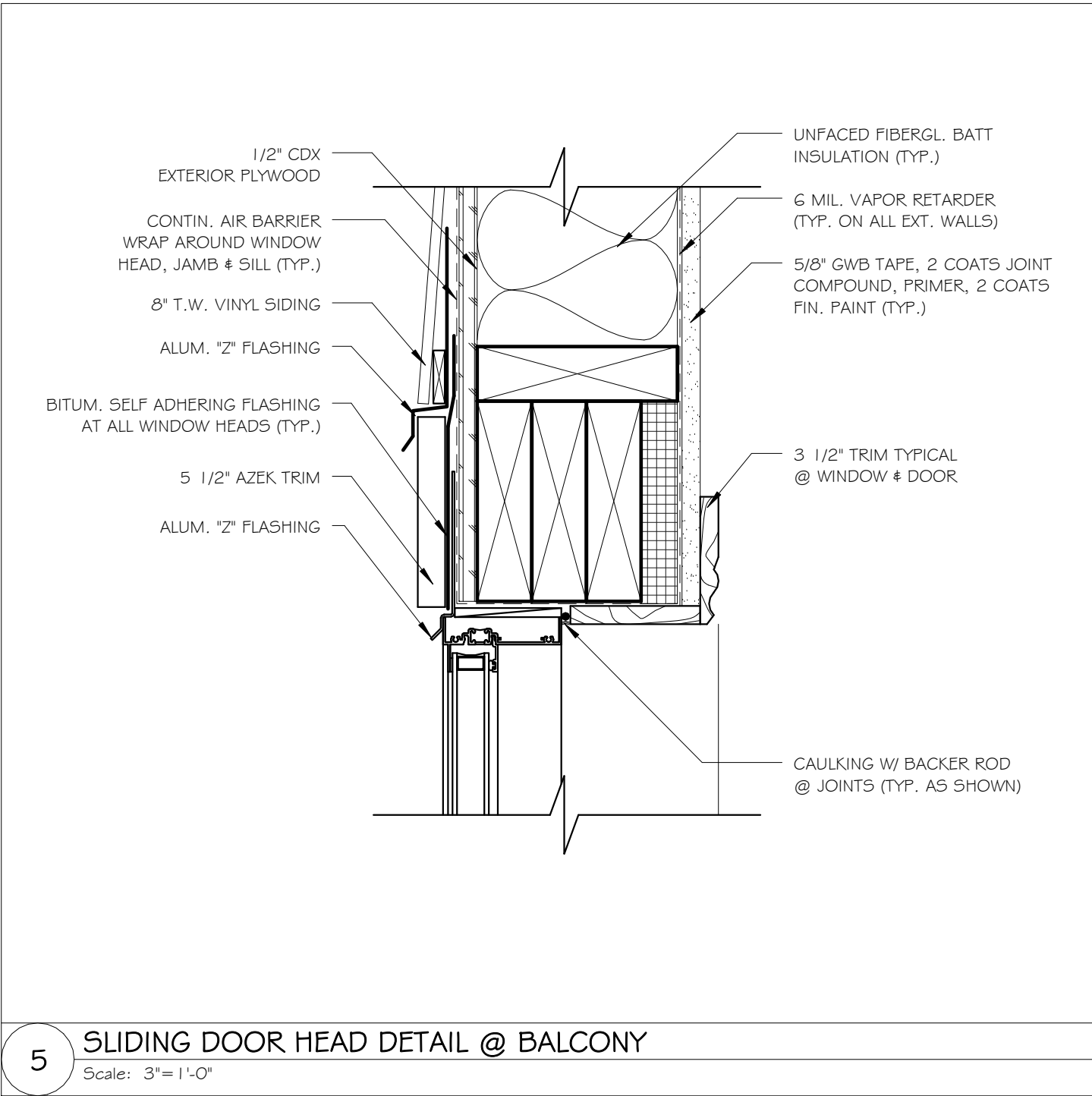
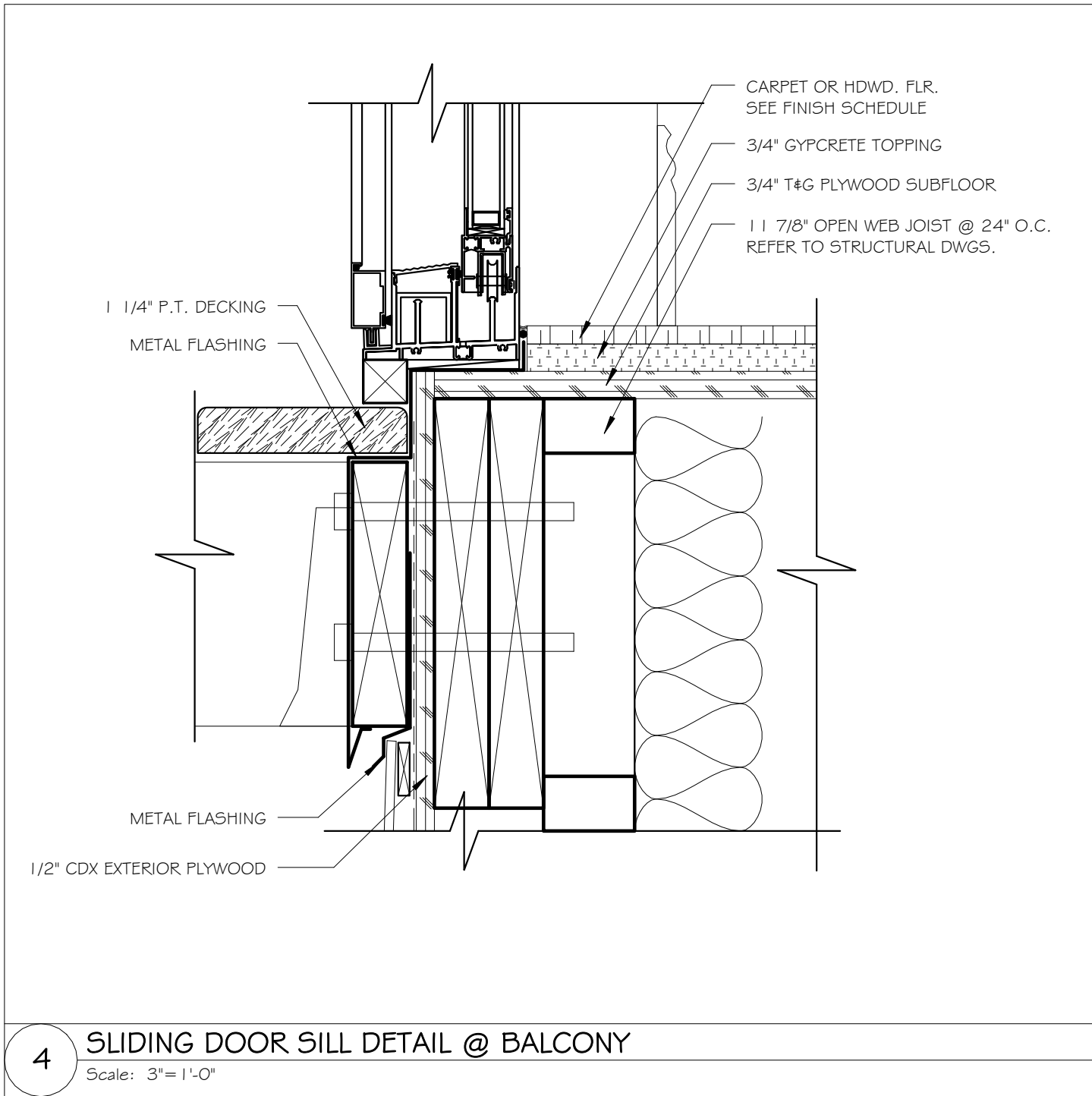
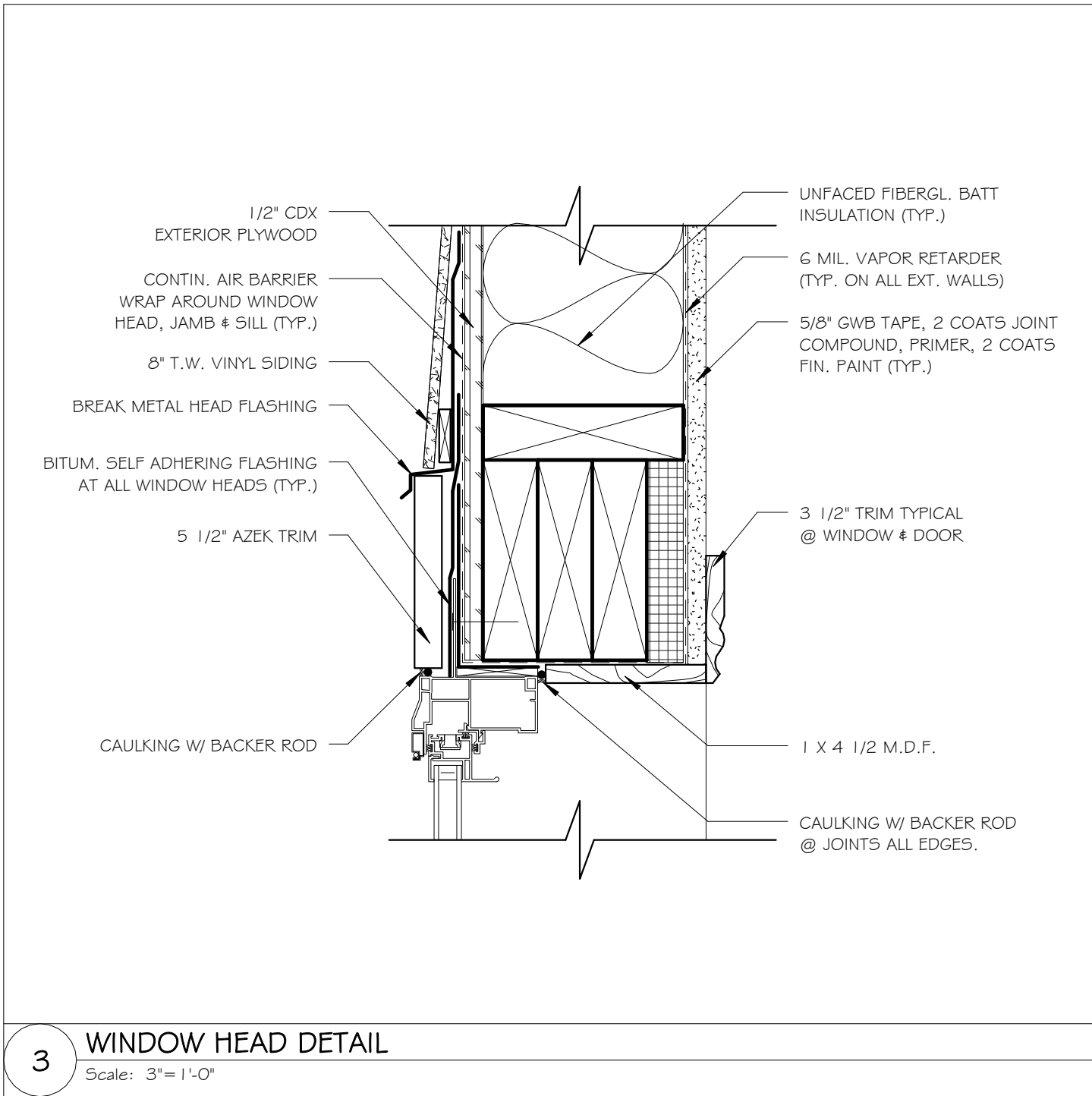
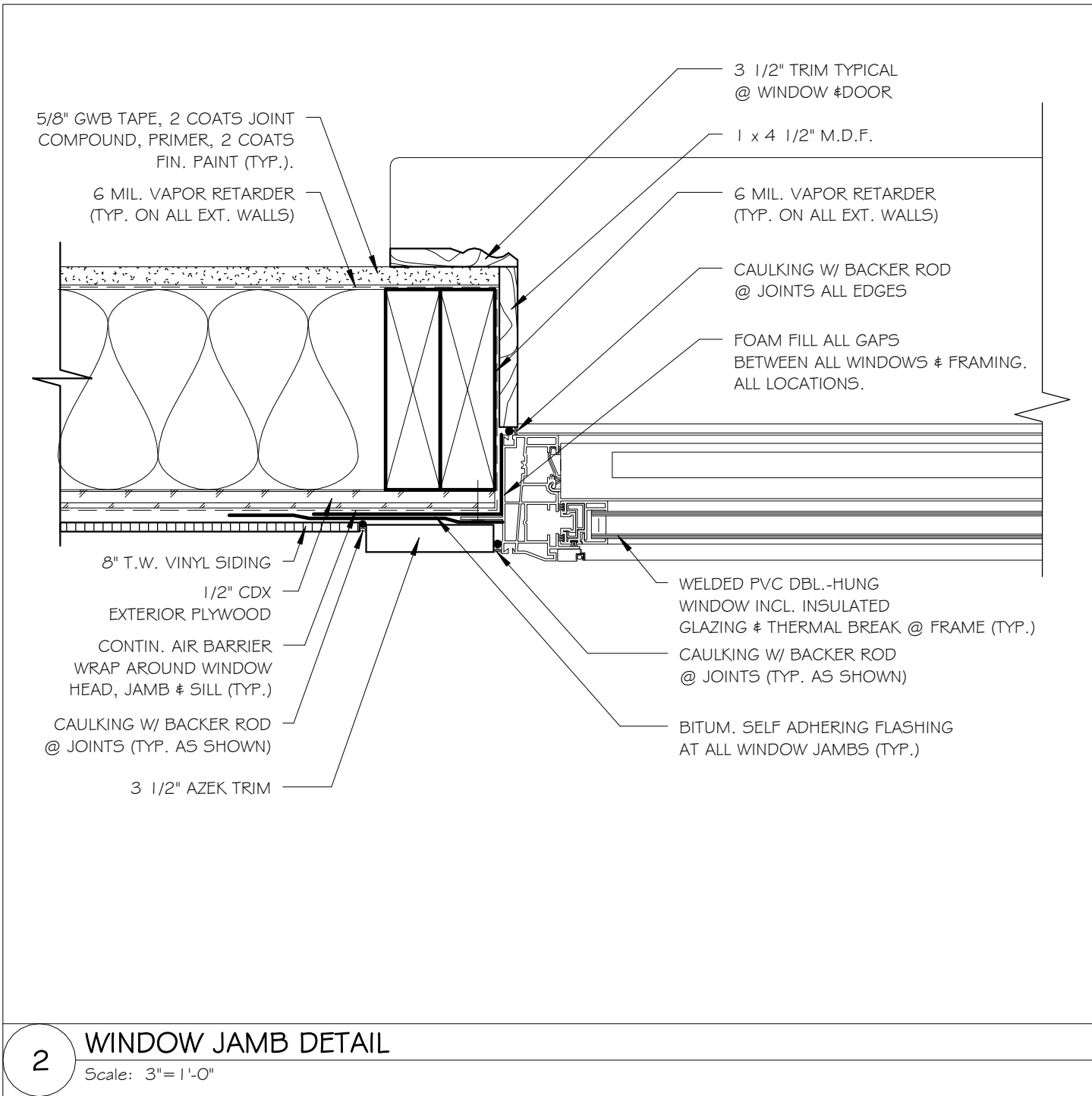
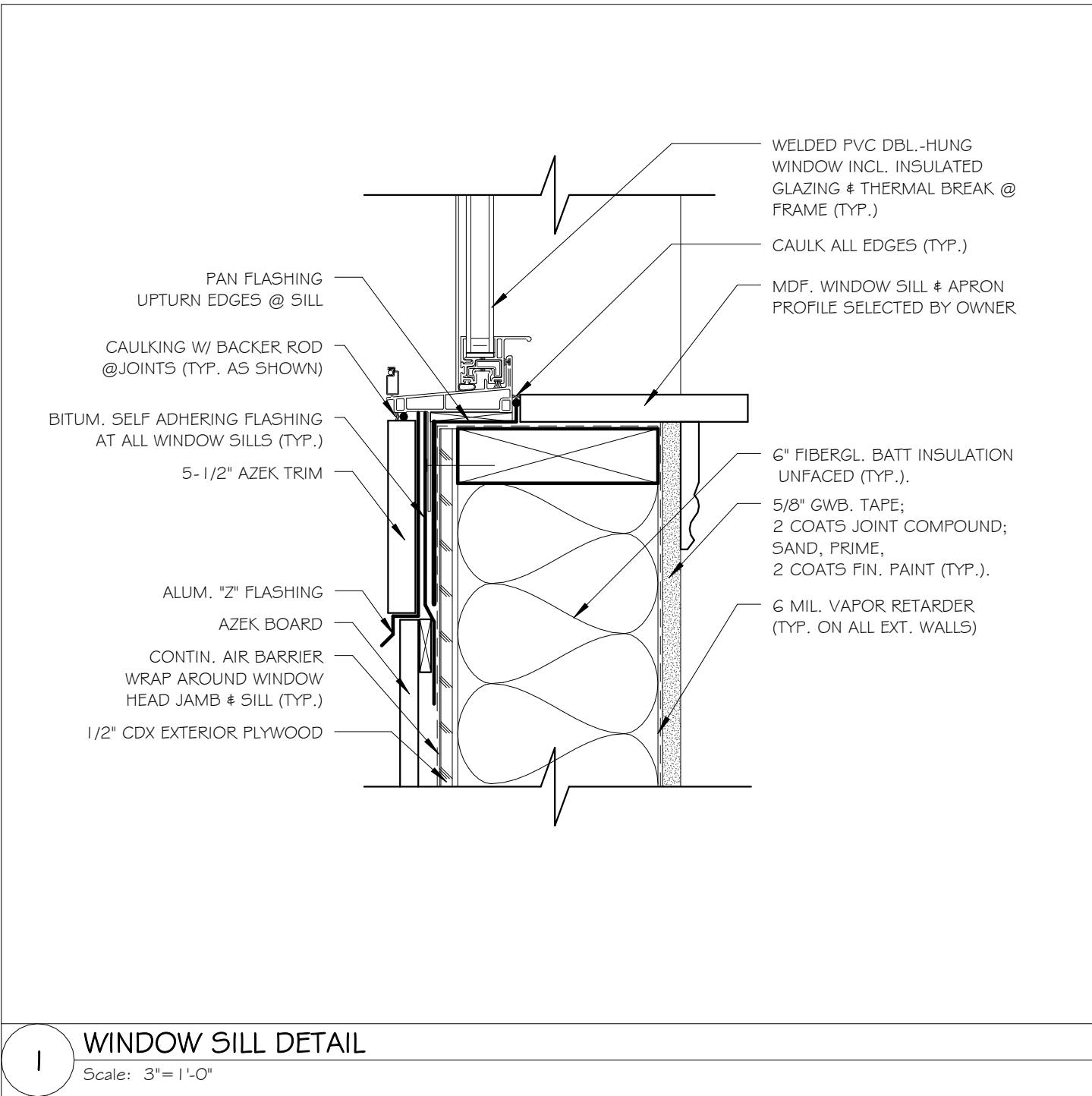
[illegible]

# DOOR & WINDOW SCHEDULES

# A-800

## Mystic Ave Residences





PROJECT NAME  
**Mystic Ave Residences**

PROJECT ADDRESS  
**640 Mystic Ave.  
Somerville, MA**

CLIENT  
**EL CAMINO, LLC**



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	3" = 1'-0"

REVISIONS

No.	Description	Date

DOOR & WINDOW  
DETAILS

**A-801**

Mystic Ave Residences



**PROJECT NAME**

## Mystic Ave Residences

**PROJECT ADDRESS**

640 Mystic Ave.  
Somerville, MA

**CLIENT**

**EL CAMINO, LLC**

## ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

**CONSULTANTS:**

COPYRIGHT KDI © 2015  
THESE DRAWINGS ARE NOW AND DO  
REMAIN THE SOLE PROPERTY OF KHALSA  
DESIGN INC. USE OF THESE PLANS OR ANY  
FORM OF REPRODUCTION OF THIS DESIGN  
IN WHOLE OR IN PART WITHOUT EXPRESS  
WRITTEN CONSENT IS PROHIBITED AND  
SHALL RESULT IN THE FULLEST EXTENT OF  
PROSECUTION UNDER LAW

## REGISTRATION



Project number	16.08
Date	4-24-17
Drawn by	JLW
Checked by	JLW
Scale	1 1/2" = 1'-0"

## REVISIONS

[illegible]

## PARTITION TYPES

# A-900

## Mystic Ave Residences

