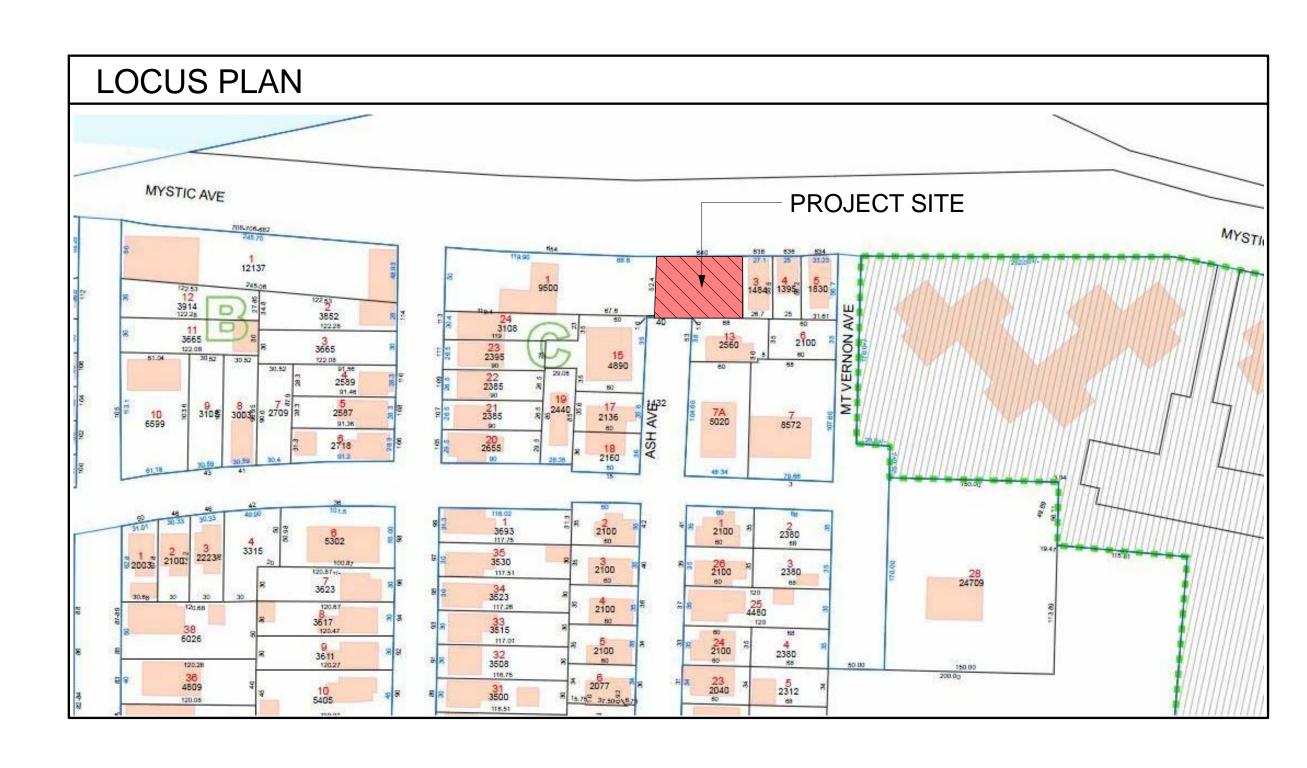
A-099	Column & Footing Layout Plan	03/24/17	
SKA-1	Stair Opening Clarification	03/24/17	
SKA-2	Unnamed	03/27/17	
ARCHITEC	TURE		
A-000	COVER SHEET	12/16/16	4.24.17
CIVIL			
C1.0	PROPOSED SITE PLAN	7/28/16	
C2.0	DETAILS	7/28/16	
ARCHITEC'	TURE		
A-001	NOTES & ABBREVIATIONS	12/16/16	
A-010	CODE REVIEW	12/16/16	
A-020	ARCHITECTURAL SITE PLAN	12/16/16	4.24.17
A-021	ZONING	12/16/16	
A-022	ZONING SECTION	12/16/16	
A-100	GARAGE FLOOR PLAN	12/16/16	4.24.17
A-100a	FOUNDATION PLAN	12/16/16	
A-101	FIRST FLOOR PLAN	12/16/16	4.24.17
A-102	SECOND FLOOR PLAN	12/16/16	4.24.17
A-103	THIRD FLOOR PLAN	12/16/16	4.24.17
A-104	ROOF PLAN	12/16/16	4.24.17
A-300	BUILDING ELEVATIONS	12/16/16	4.24.17
A-400	BUILDING SECTION	12/16/16	4.24.17
A-410	WALL SECTIONS	12/16/16	4.24.17
A-520	ROOF DETAILS	12/16/16	4.24.17
A-710	STAIR DETAILS	12/16/16	
A-800	DOOR & WINDOW SCHEDULES	12/16/16	
A-801	DOOR & WINDOW DETAILS	12/16/16	
A-900	PARTITION TYPES	12/16/16	
STRUCTUF	RAL		
S-1	BASEMENT & FLOOR FRAMING PLANS & DETAILS	7/31/16	
S-2	SECOND, THIRD & ROOF FRAMING PLANS & DETAILS	7/31/16	
S-3	SECTIONS & DETAILS	7/31/16	
S-4	SECOND, THIRD & ROOF FRAMING PLANS & DETAILS	7/31/16	
S-5	STRUCTURAL NOTES	7/31/16	
ELECTRICA	AL		
E-001	ELECTRICAL SITE PLAN	7/15/16	
FIRE PROT	ECTION		
FP-1	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-2	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-3	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-4	PROPOSED FIRE PROTECTION PLANS	7/15/16	
FP-5	FIRE PROTECTION DETAILS & NOTES	7/15/16	





CD SET - REVISED 4/24/17

PROJECT: MYSTIC AVE. RESIDENCES

PROJECT ADDRESS: 640 MYSTIC AVENUE SOMERVILLE MASSACHUSETTS

ARCHITECT J.L. WILSON, ARCHITECT 12 ELLIS STREET NORTH ANDOVER, MA 01845 T: 978-857-1148

CLIENT EL CAMINO, LLC PO BOX 390971 CAMBRIDGE, MA 02139

CIVIL ENGINEER DESIGN CONSULTANTS, INC. 120 MIDDLESEX AVENUE, SUITE 20 SOMERVILLE, MA 02145

MEP/FP ENGINEER ZADE ASSOCIATES 140 BEECH STREET BOSTON, MA 02131

PROJECT NAME **Mystic Ave** Residences

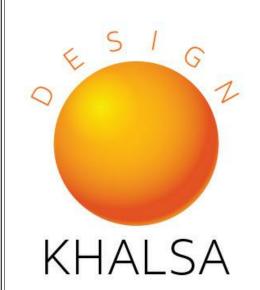
PROJECT ADDRESS

640 Mystic Ave. Somerville, MA

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ARCHITECT



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1	GENERAL REVISIONS	4.24.17
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COVER SHEET

A-000 Mystic Ave Residences

PARTITION TYPE INTERIOR ELEVATION KEY CASEWORK TYPE 141 ROOM/SPACE NUMBER DOOR NUMBER INTERIOR WINDOW TYPE SEALANT AND WINDOW TYPE BACKER ROD JOINT (A)——— — COLUMN REFERENCE GRID DASH AND DOT CENTER LINE DASH AND DOUBLE DOT REFERENCE DRAWING PROPERTY LINES, BOUNDARY

WALL SECTION

SECTION DETAIL

DIMENSION LINE

BREAK LINE

DRAWING

DOTTED LINE

ABOVE, BEYOND

TO BREAK OFF PARTS OF A

HIDDEN OR CONSTRUCTION

REFERENCE DRAWING

REFERENCE DRAWING

CONCRETE MASONRY MASONRY UNIT STONE STEEL/IRON ALUMINUM WOOD SHIM CONTINUOUS BLOCKING PLYWOOD FINISH GLASS BLOCK INSULATION ACOUSTICAL **FINISHES**

- INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY
- SUCH CODE OR REGULATION. 4. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND
- OUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL
- CONFORM TO THE MANUFACTURERS SPECIFICATIONS. 6. COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY
- ALL TRADES. MECHANICAL TRADES: THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER
- TRADES HAVE FINISHED. 8. EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS. TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS. ^{10.} GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR
- FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
- TRASH REMOVAL: PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNER). AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ^{13.} ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- 14. THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- $^{15\cdot}$ It is not the intent of these drawings to show nor indicate any or all fastening or FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- 16. ALL WORK IS NEW UNLESS OTHERWISE NOTED. 17. ALL WALLS AND CEILINGS TO BE 5/8 in FIRE CODE OR 1/2 in GYPSUM BOARD, 5/8 in MOISTURE RESISTANT TYPE X OR 5/8 IN CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, VWC, OR PANELING.
- 18. STORAGE: THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.: TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.

- OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE
- OBTAINED FROM PROPER AUTHORITIES. 22. ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, \$ SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- 23. ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- DAMAGE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH
- EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER. 25. THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING: LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
- ^{26.} CARPET AND/OR TILE: CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
- HANDICAPPED REQUIREMENTS: THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
- SPRINKLER HEAD LOCATION: REFER TO N.F.P.A. STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- 29. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
- 30. ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS I In WITH A FLAME SPREAD RATING OF 0 TO .25.
- 31. SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
- 32. BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
- 33. ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.

PROJECT NAME

Mystic Ave Residences

PROJECT ADDRESS

640 Mystic Ave. Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT



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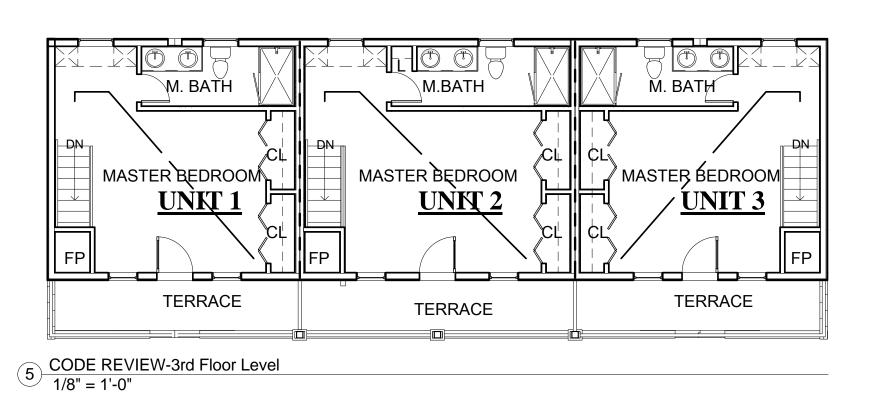
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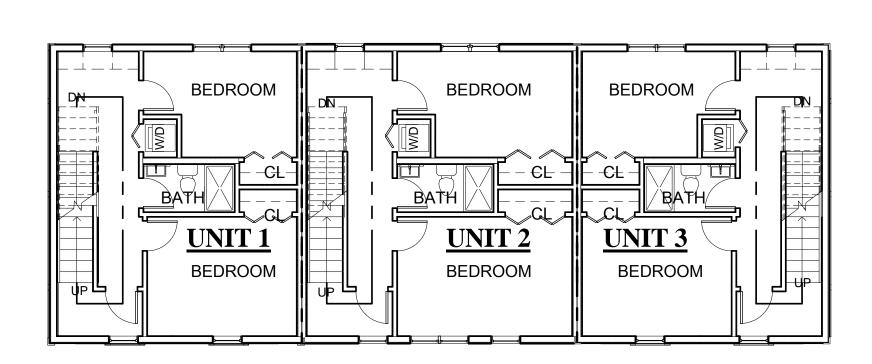
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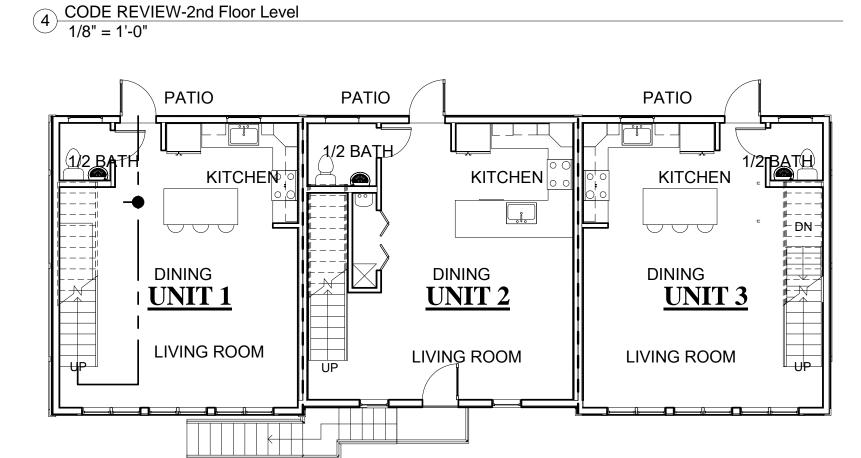


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NOTES & **ABBREVIATIONS**







3 CODE REVIEW-1st Floor Level 1/8" = 1'-0" 0 r-----ELECTRICAL SERVICE UNIT 1 PRIVATE ENTRY RAMP BIKE RACK ──

2 CODE REVIEW- Garage 1/8" = 1'-0"

FIRE PROTECTION LEGEND 1HR FIRE RATED WALL/ **PARTITION EXIT PATH**

BUILDING CODE REVIEW MASSACHUSETTS STATE BUILDING CODE-8TH EDITION

	MASSACHUSETTS STATE BUILDING CODE-8TH EDITION																
TAI	TABLE 503:																
NO FLOOR USE GROUP TYPE OF				ALLO	OWED	_	NKLER SE (504.2)	_	NTAGE SE (506.3)	TOTA ALLOW		PRO	VIDED	REMARKS			
NO	FLOOR	USI	E GROUP	СО	NSTRUCTION	AREA S.F.	STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT		STORIES/ HEIGHT	AREA S.F.	STORIES/ HEIGHT	KEWAKKO	1
0	GARAGE	"U"	PRIVATE GARAGE	"VB"	COMBUSTIBLE UNPROTECTED	5,500	1/40'	11,000	1/20'	-	-	16,500	2/60'	1,906	-/9'	SEE NOTE #1,2,3,4,5,6 BELOW FOR INCREASE INFORMATION	
0	GARAGE	"R2"	RESIDENTIAL, MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	355	-/9'	FOR INCREASE INFORMATION	
1	FIRST	"R2"	RESIDENTIAL, MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,737	1/10'	SEE NOTE #1,2,3,4,5,6 BELOW FOR INCREASE INFORMATION	
2	SECOND	"R2"	RESIDENTIAL, MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,638	1/10'	SEE NOTE #1,2,3,4,5,6 BELOW FOR INCREASE INFORMATION	
3	THIRD	"R2"	RESIDENTIAL, MULTIFAMILY	"VB"	COMBUSTIBLE UNPROTECTED	7,000	2/40'	14,000	1/20'	-	-	21,000	3/60'	1,312	1/10'	SEE NOTE #1,2,3,4,5,6 BELOW FOR INCREASE INFORMATION	
		•				•		TOTAL B	UILDING AF	REA AND	STORIES	84,000	3/60'	6,948	3/39'		

1. ALLOWABLE AREA DUE TO AUTOMATIC FIRE SUPPRESSION SYSTEM = 100%
2. ALLOWABLE HEIGHT INCREASE DUE TO AUTOMATIC SPRINKLES SYSTEM - 1 STORY
3. ALLOWABLE AREA INCREASE DUE TO STREET FRONTAGE- SECTION - 506.2 - (NOT USED)

FIRE RESISTANCE OF STRUCTURAL ELEMENTS (HOURS):

DUIL DING ELEMENT	TYPE OF CONSTRUCTION	FIDE DATING FILE "
BUILDING ELEMENT	TYPE VB UNPROTECTED/ COMBUSTIBLE	FIRE RATING FILE #
PRIMARY STRUCTURAL FRAME g (see Section 202)	0	
BEARING WALLS EXTERIOR f,g INTERIOR	0	
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602	
NONBEARING WALLS AND PARTITIONS INTERIOR e	0	
FLOOR CONSTRUCTION AND SECONDARY MEMBERS (see Section 202)	0	
ROOF CONSTRUCTION AND SECONDARY MEMBERS (see Section 202)	0	

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only. b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treatedwood members shall be allowed to be used for such unprotected members.

c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.

EGRESS CALCULATIONS:

TABLE 1004.1.1 RESIDENTIAL 1/200 GROSS SF

PAR	PARKING GARAGES 1/200 GROSS SF						
#	FLOOR USE GROUP	MERC-AREA/30 RES-AREA/200	OCCUPANT/ FLOOR				
0	GARAGE/UTILITY (U)	1906/200	10				
0	GARAGE/RESIDENTIAL (R2)	355/200	2				
1	FIRST/ RESIDENTIAL (R2)	1,737/200	9				
2	SECOND / RESIDENTIAL (R2)	1,638/200	9				
3	THIRD / RESIDENTIAL (R2)	1,312/20 0	7				
	TOTAL # 0 TO 3		37				

Mystic Ave Residences

PROJECT ADDRESS

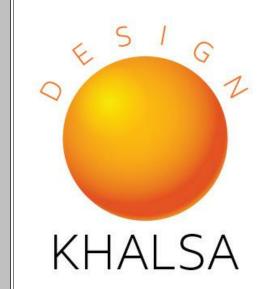
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CLIENT

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CODE REVIEW



640 Mystic Ave.

PROJECT NAME

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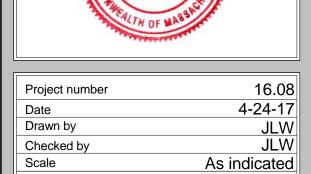


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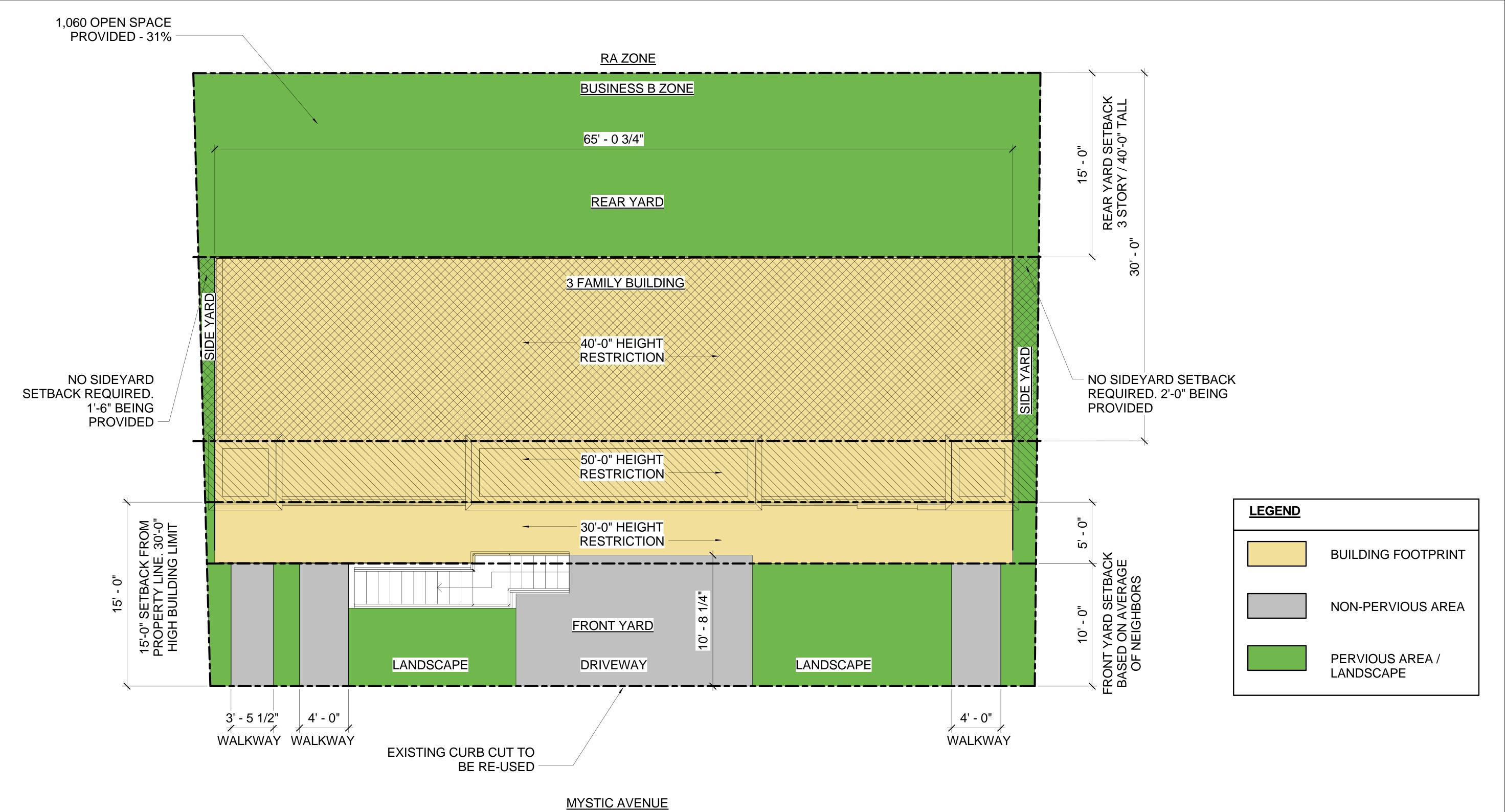


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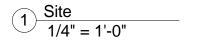
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ARCHITECTURAL SITE PLAN

A-020 Mystic Ave Residences



	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	BUSINESS B ZONE			
USE	VARIES	SINGLE FAMILY	3 FAMILY DWELLING	COMPLIES
MIN LOT SIZE	N/A	3,406 SF	3,406 SF	COMPLIES
MIN LOT PER DWELLING	875 SF (3 UNITS)	1,692 SF (1 UNIT)	3.89 (3 UNITS)	COMPLIES
MAX GROUND COVERAGE	80%	25%	49%	COMPLIES
LANDSCAPE AREA	10%	30%	31%	COMPLIES
MAX FLOOR AREA RATIO (FAR)	2.0	.49	1.16	COMPLIES
MAX BUILDING HEIGHT	50'-0"	30'-0"	VARIES	COMPLIES
MIN YARD FRONT SIDE REAR	15'-0" N/A 15'-0"	4'-0" 2'-8" (L) 48'-6" (R) 5'-4"	15'-0" / 10'-0" N/A 15'-0"	COMPLIES
MIN FRONTAGE	N/A	N/A	N/A	COMPLIES
PERVIOUS AREA, MIN % OF LOT	NONE	30%	31%	COMPLIES
PARKING REQUIREMENTS	2 / DU = 6 SPACES	UNKNOWN	6 FULL SIZE SPACES	COMPLIES
BICYCLE PARKING	1	UNKNOWN	2 BIKE RACKS	COMPLIES



BUILDING STATISTICS:

TOTAL SQUARE FOOTAGE OF BUILDING (EXCLUDING GARAGE) = 4,618 SF

TOTAL SQUARE FOOTAGE OF BUILDING INCLUDING GARAGE = 6,738 SF

UNIT 1 SQUARE FOOTAGE = 1,502 GSF UNIT 2 SQUARE FOOTAGE = 1,627 GSF

UNIT 3 SQUARE FOOTAGE = 1,489 GSF

6 FULL SIZE PARKING SPOTS PROVIDED

3 STORIES PLUS BASEMENT

Mystic Ave Residences

640 Mystic Ave. Somerville, MA

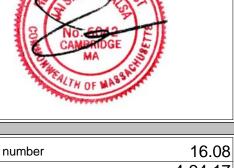
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ZONING SECTION

A-022 Mystic Ave Residences

PROJECT NAME

Mystic Ave Residences

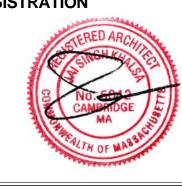
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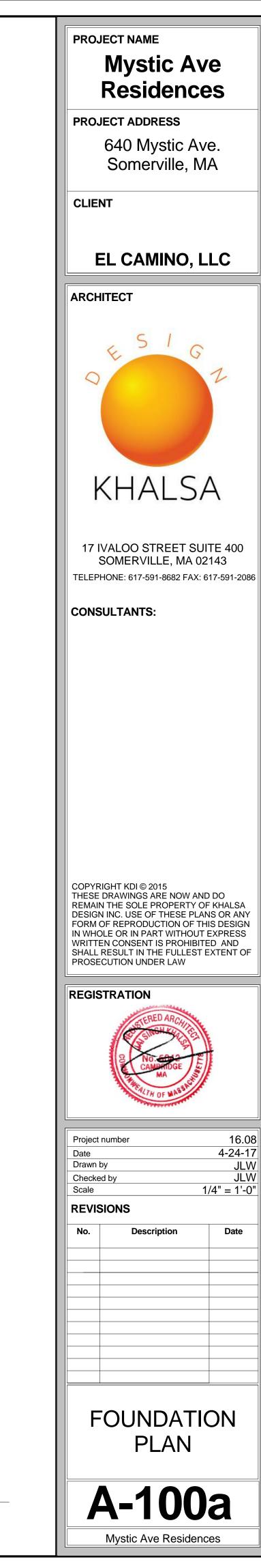
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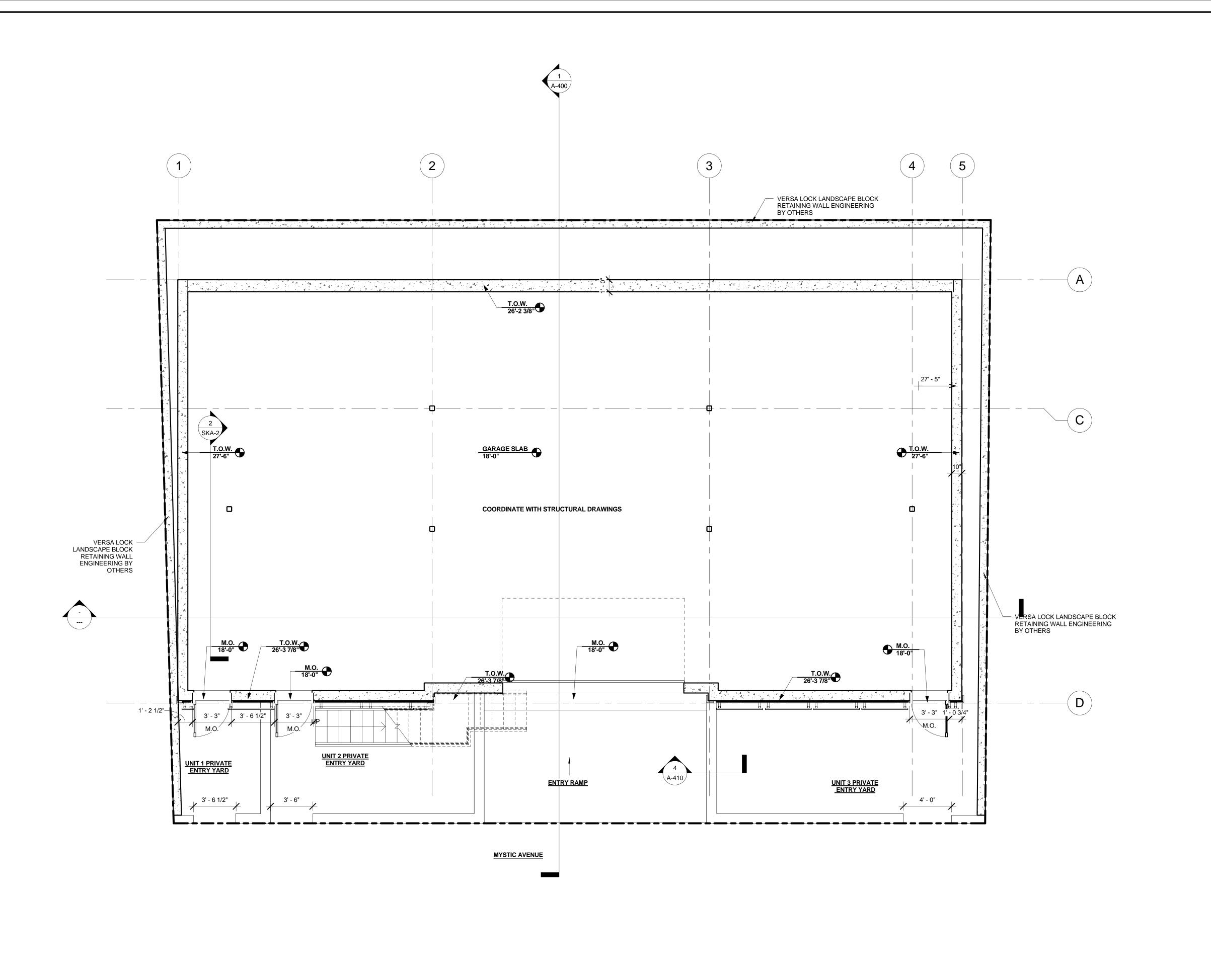
GARAGE FLOOR PLAN

4-24-17

Date

1/4" = 1'-0"



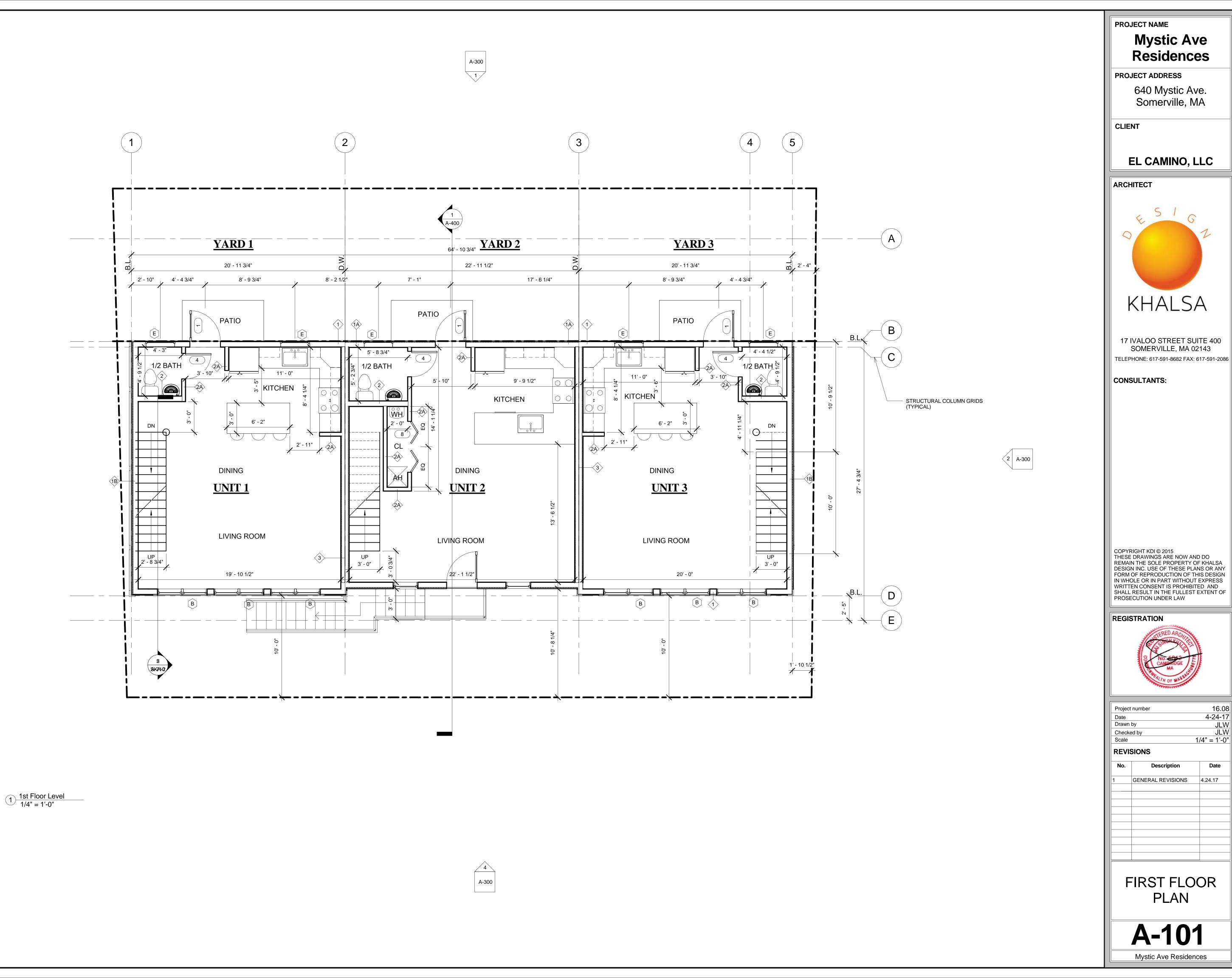


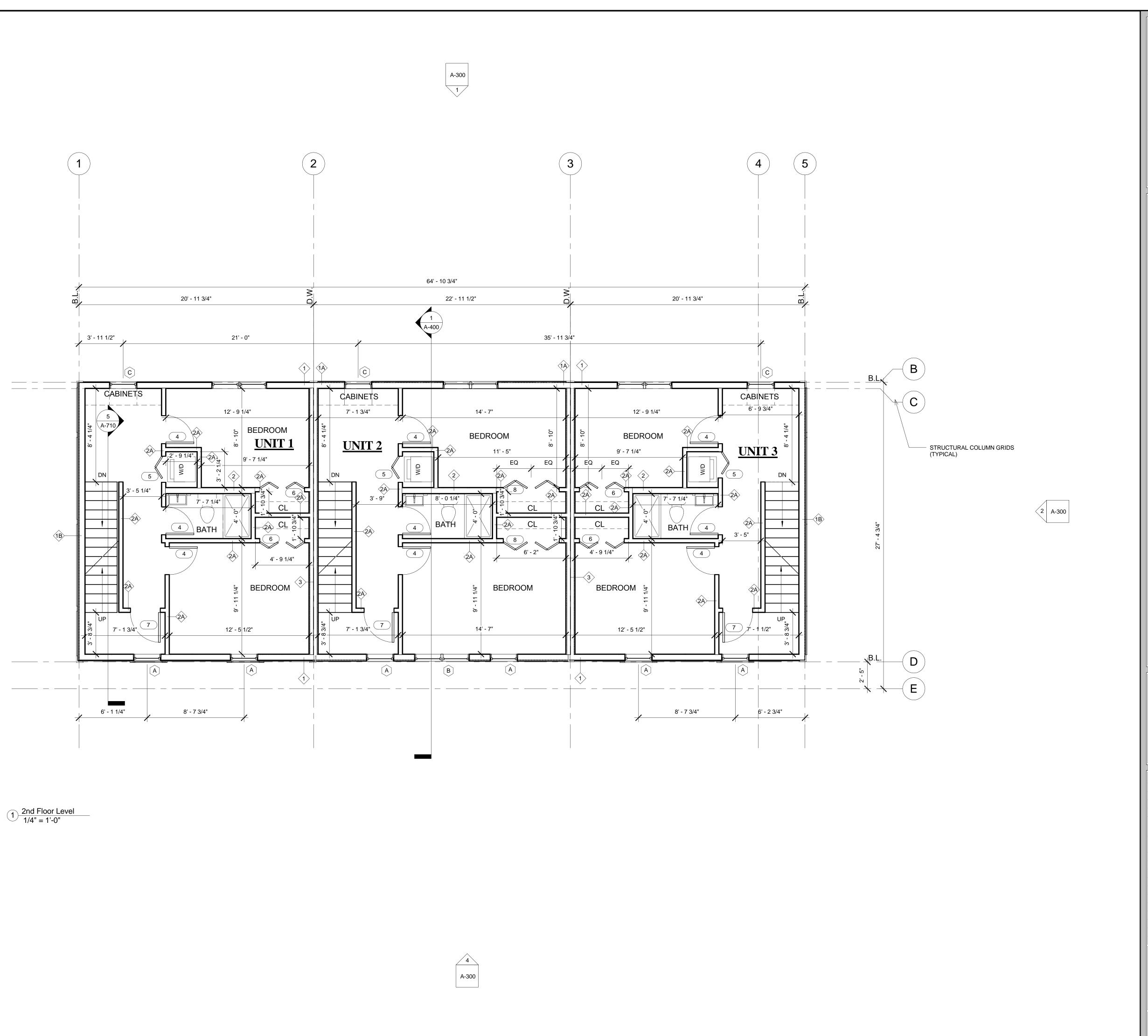
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Date

1/4" = 1'-0"







PROJECT NAME **Mystic Ave**

Residences

PROJECT ADDRESS

640 Mystic Ave. Somerville, MA

CLIENT

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ARCHITECT

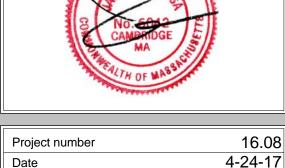


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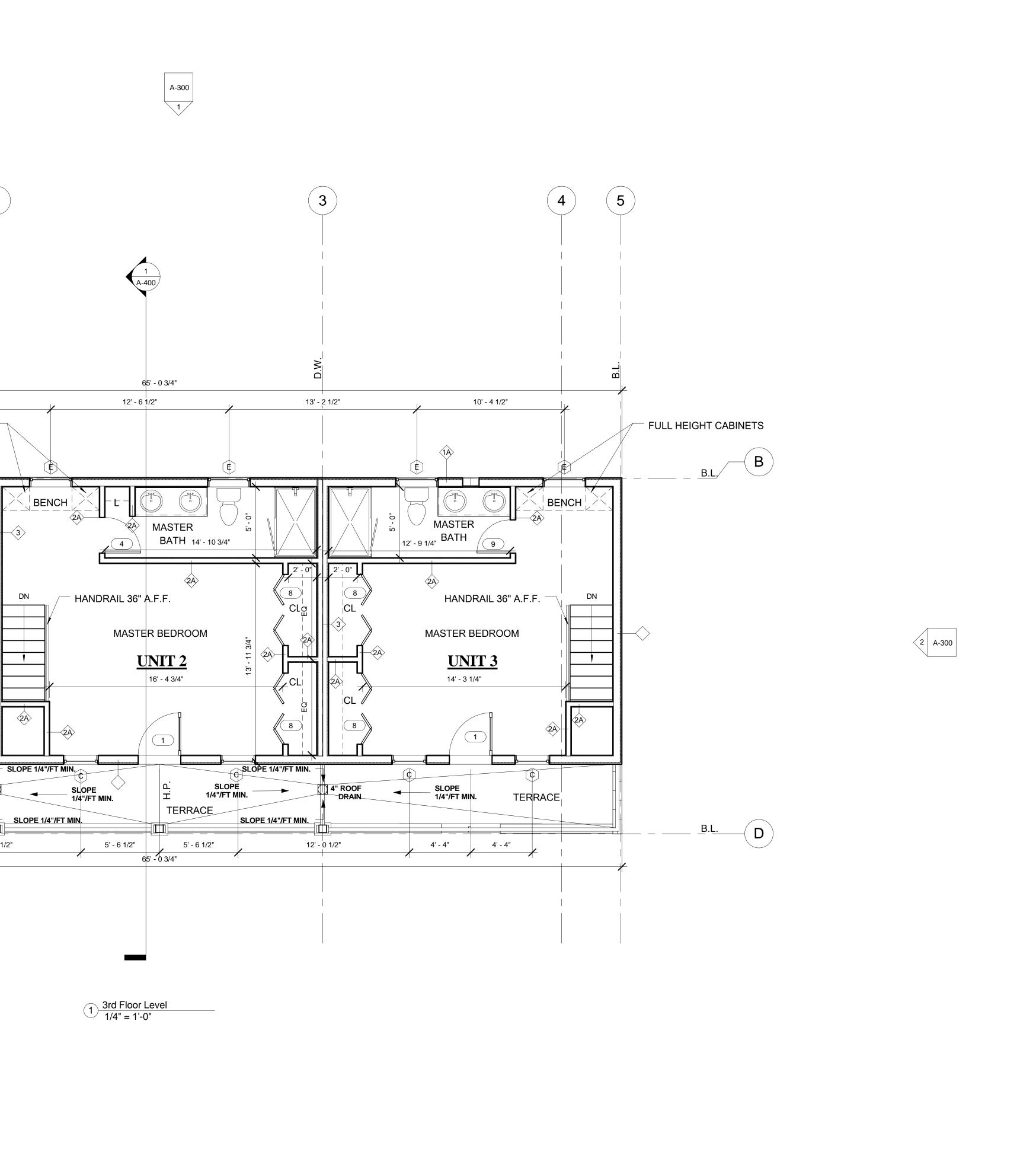
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SECOND FLOOR PLAN





PROJECT NAME

Mystic Ave Residences

PROJECT ADDRESS 640 Mystic Ave. Somerville, MA

CLIENT

EL CAMINO, LLC





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REGISTRATION



Project number	16.
Date	4-24-
Drawn by	JL
Checked by	JL
Scale	1/4" = 1'-
REVISIONS	

Scale		$1/4^{\circ} = 1^{\circ}$		
REVI	SIONS			
No.	Description	Date		
1	GENERAL REVISIONS	4.24.17		

PLAN

THIRD FLOOR

Mystic Ave Residences

10' - 4 3/4"

HANDRAIL 36" A.F.F.

TERRACE

6' - 2 3/4"

MASTER

MASTER BEDROOM

UNIT 1

60 MIL EPDM ROOF

MEMBRANE OVER TAPERED RIGID INSULATION

SLOPE 1/4"/FT MIN.

BENCH

FULL HEIGHT

CABINETS

10' - 5 1/4"

4" ROOF DRAIN

12' - 0 1/2"

FULL HEIGHT CABINETS

Mystic Ave

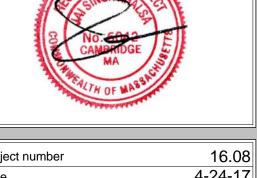
640 Mystic Ave. Somerville, MA

EL CAMINO, LLC



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ROOF PLAN



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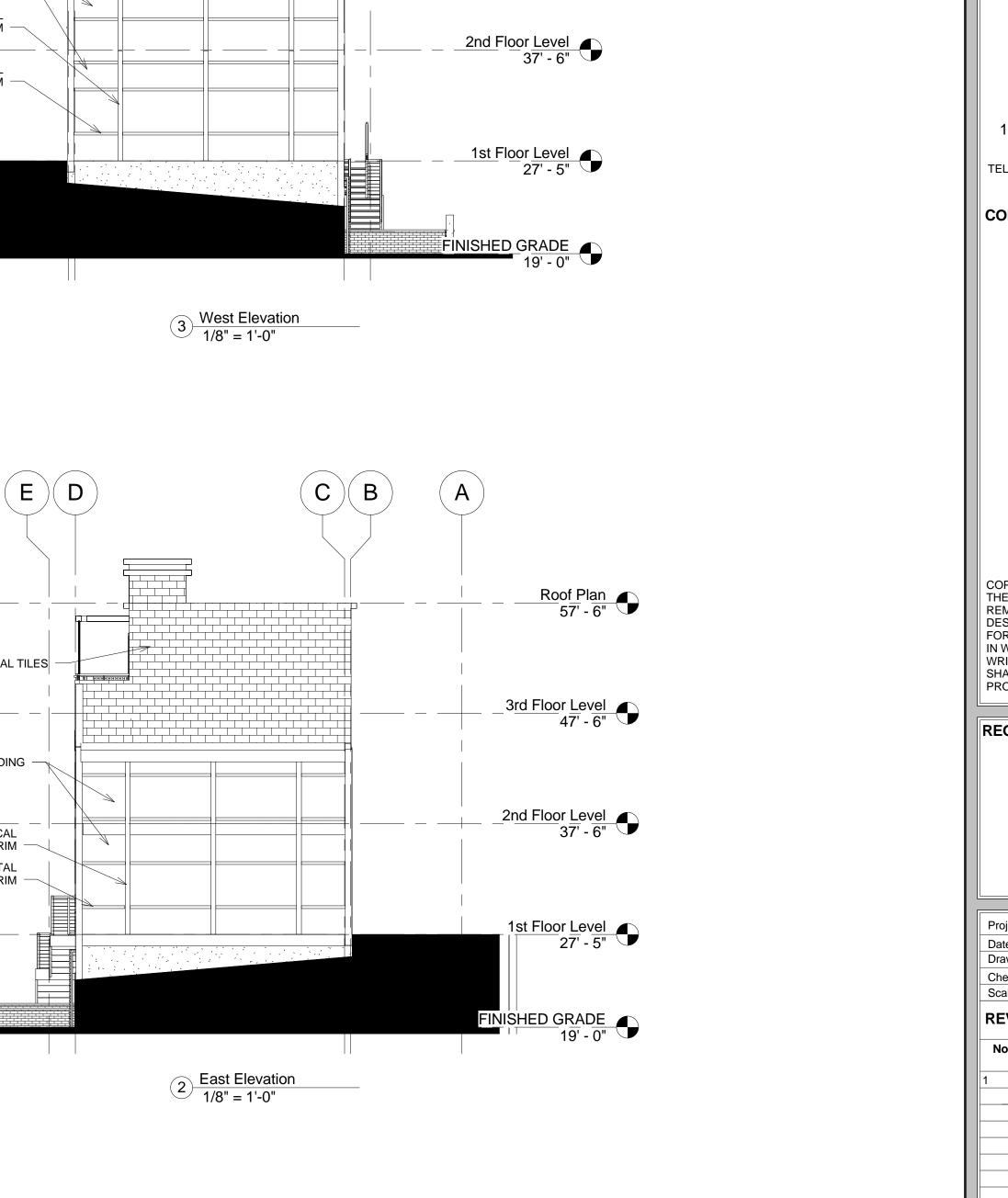


Projec	t number	16.08
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BUILDING **ELEVATIONS**

A-300

Mystic Ave Residences



Roof Plan 57' - 6"

3rd Floor Level 47' - 6"

(D)(E)

 $(\mathsf{B})(\mathsf{C})$

ZALMAG METAL TILES

PVC PANEL SIDING

5 1/2" VERTICAL PVC TRIM

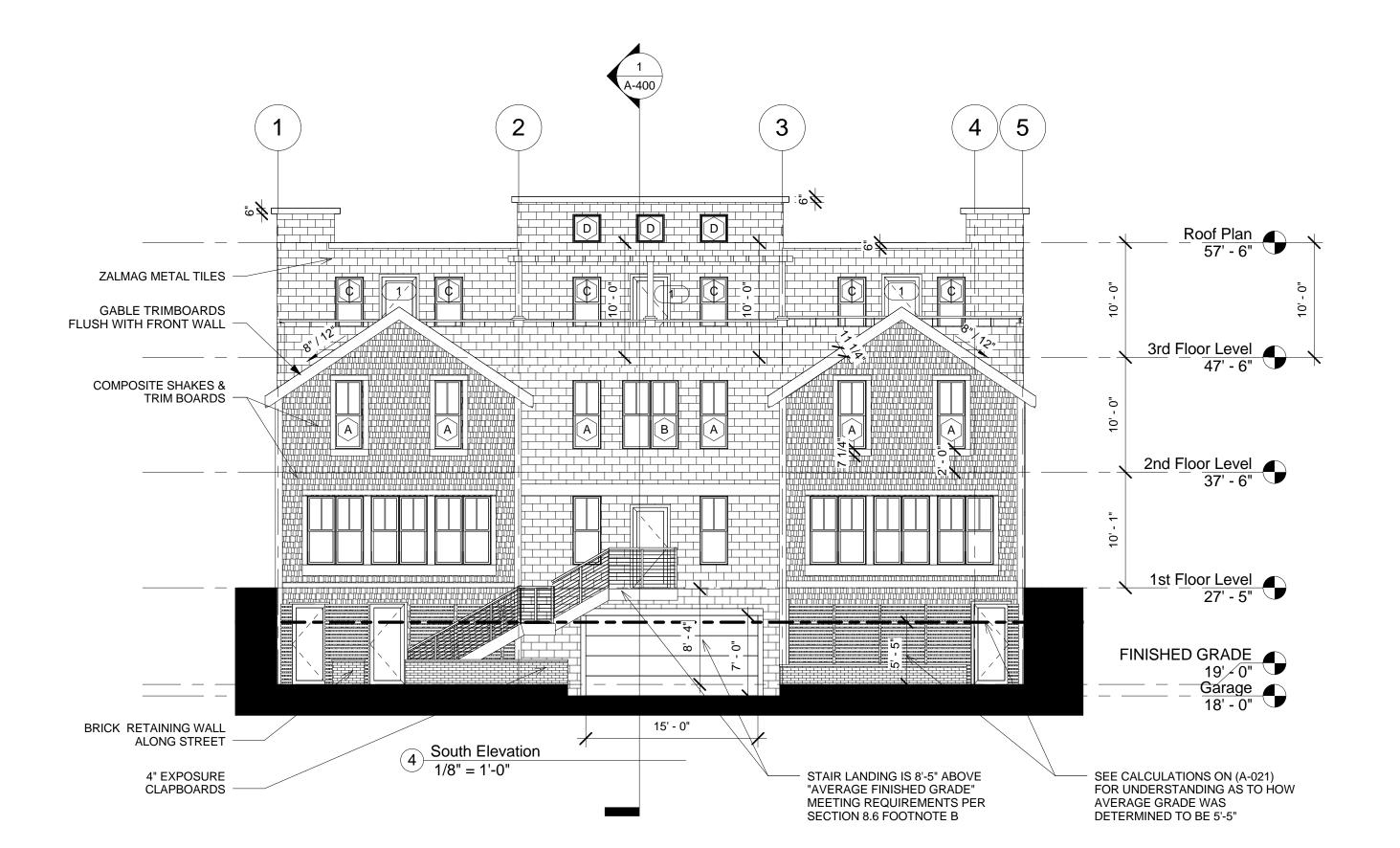
3 1/2" HORIZONTAL PVC TRIM -

ZALMAG METAL TILES

PVC PANEL SIDING -

5 1/2" VERTICAL PVC TRIM

3 1/2" HORIZONTAL





PROJECT NAME **Mystic Ave**

Residences

PROJECT ADDRESS 640 Mystic Ave. Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT

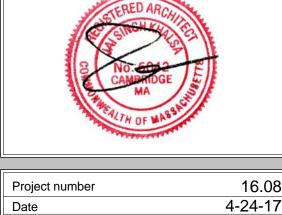


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CONSULTANTS:

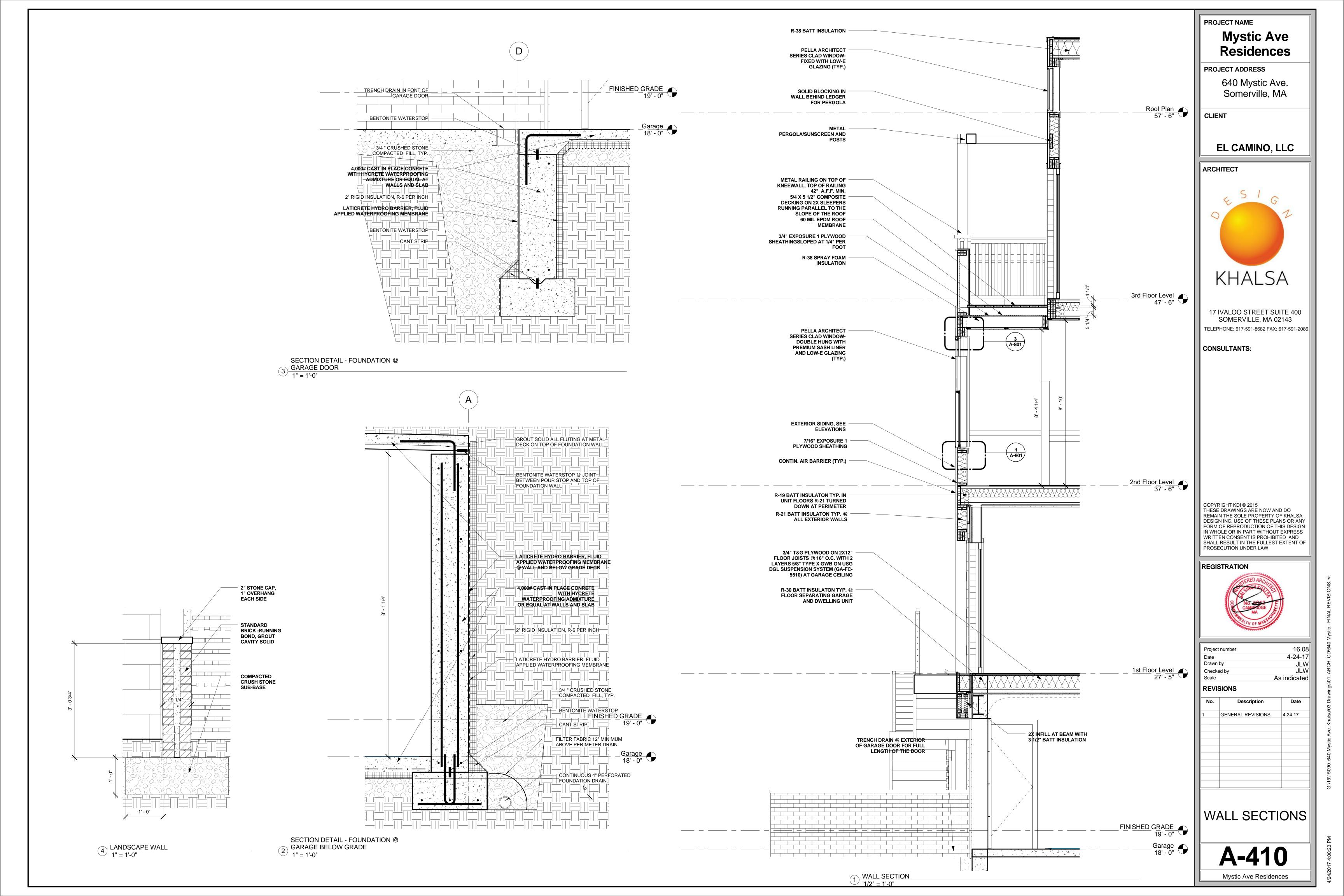
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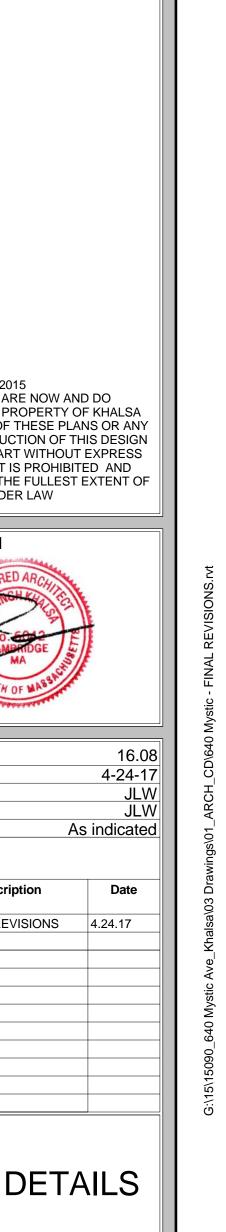
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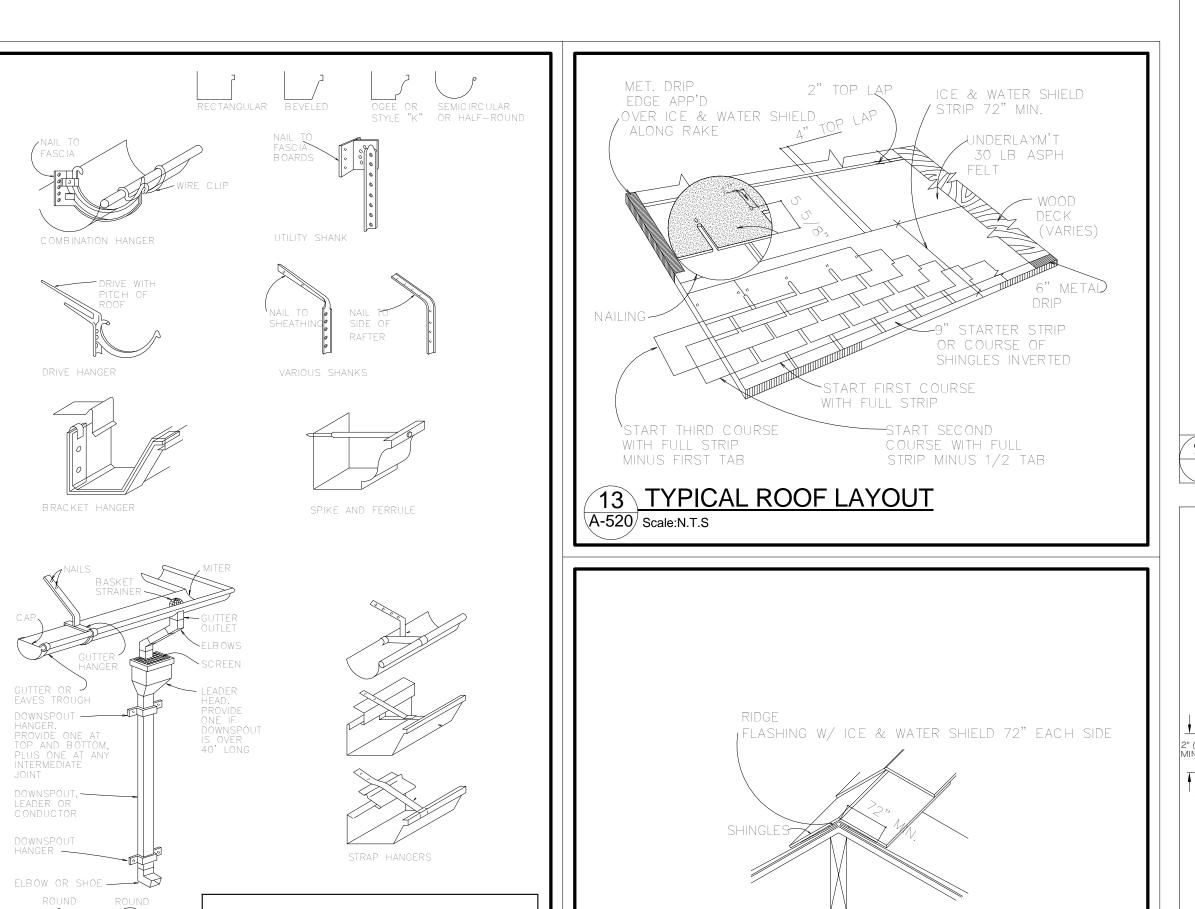


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<u> </u>				
		1		

BUILDING **SECTION**







MEMBRANE ROOFING

ÇAP FLASHING 6" MIN.

DETAILS BASED ON "CARLISLE"

ROOFING SYSTEM

17 GUTTER & DOWN SPOUT

A-520 Scale:N.T.S

CAP FLASHING

CLINCH STRIP

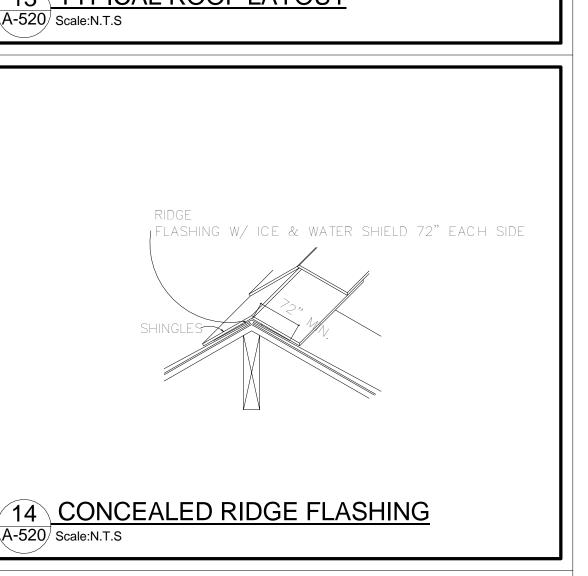
A-520 Scale:N.T.S

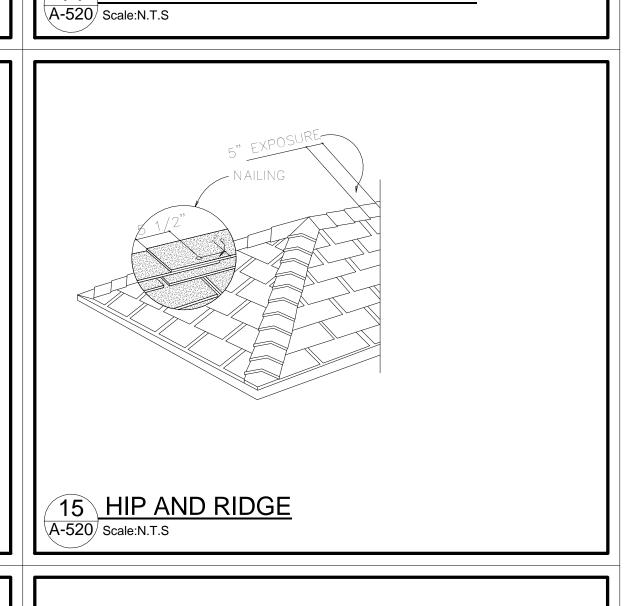
WOOD

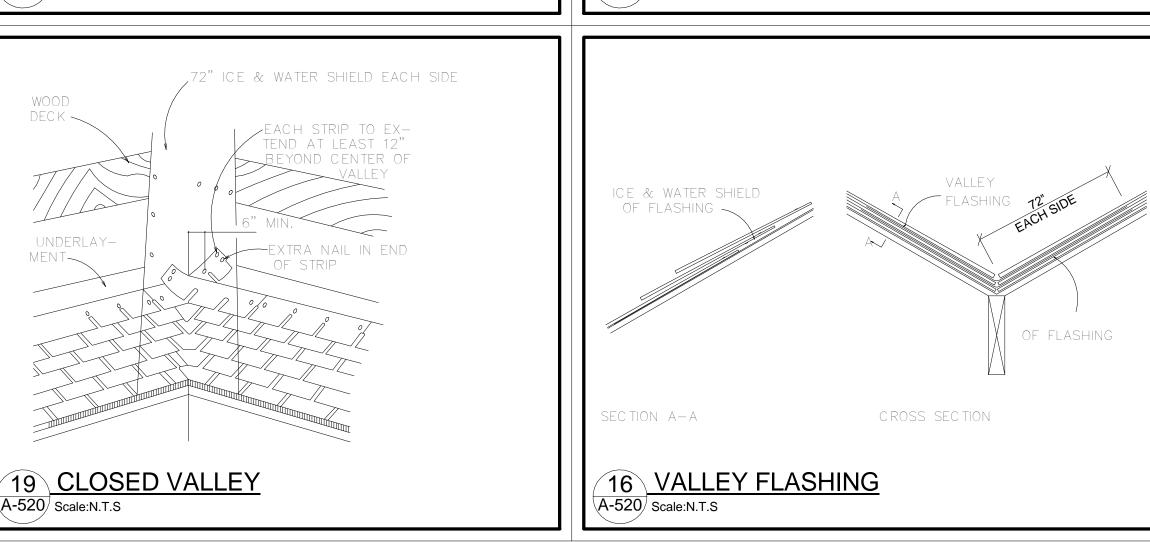
UNDERLAY-

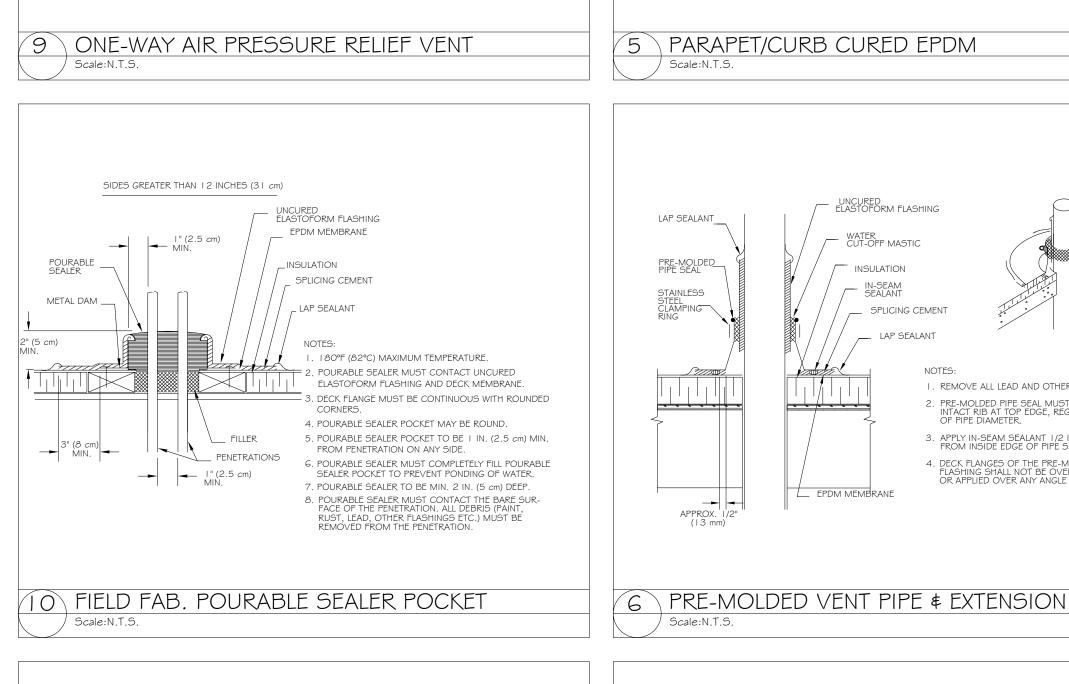
A-520 Scale:N.T.S

18 GENERIC DRIP EDGE









POSITION VENT AT THE RATE OF ONE VENT PER 2000 SQ. FT (186 m).

/ IN-SEAM SEALANT

___ SPLICING CEMENT

BONDING ADHESIVE

UNCURED ELASTOFORM FLASHING OR CURED EPDM MEMBRANE

BONDING ADHESIVE

IN-SEAM SEALANT

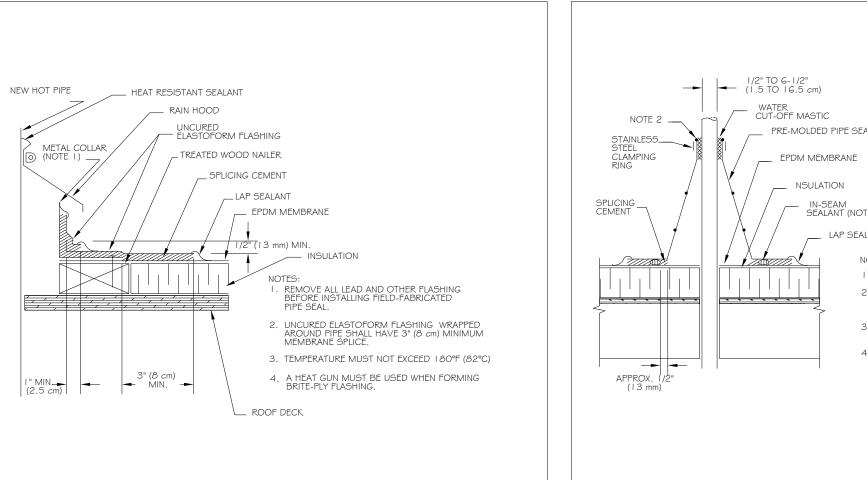
SEAM FASTENING

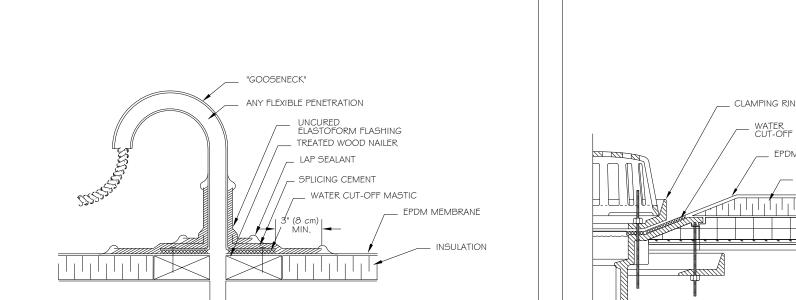
EPDM MEMBRANE

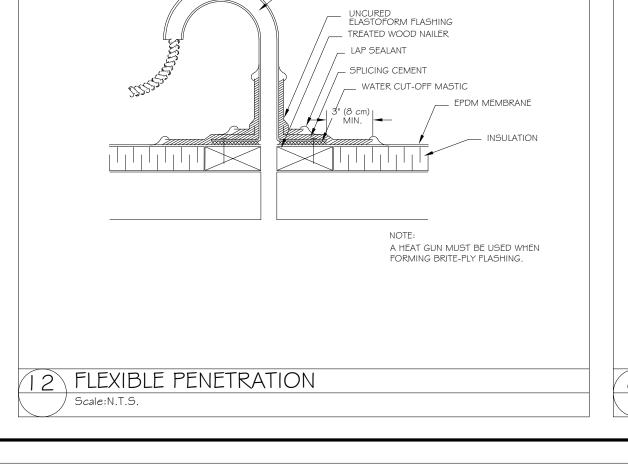
PLATE MAX. 12" (31 cm) O.C.

ONE-WAY AIR PRESSURE RELIEF VENT

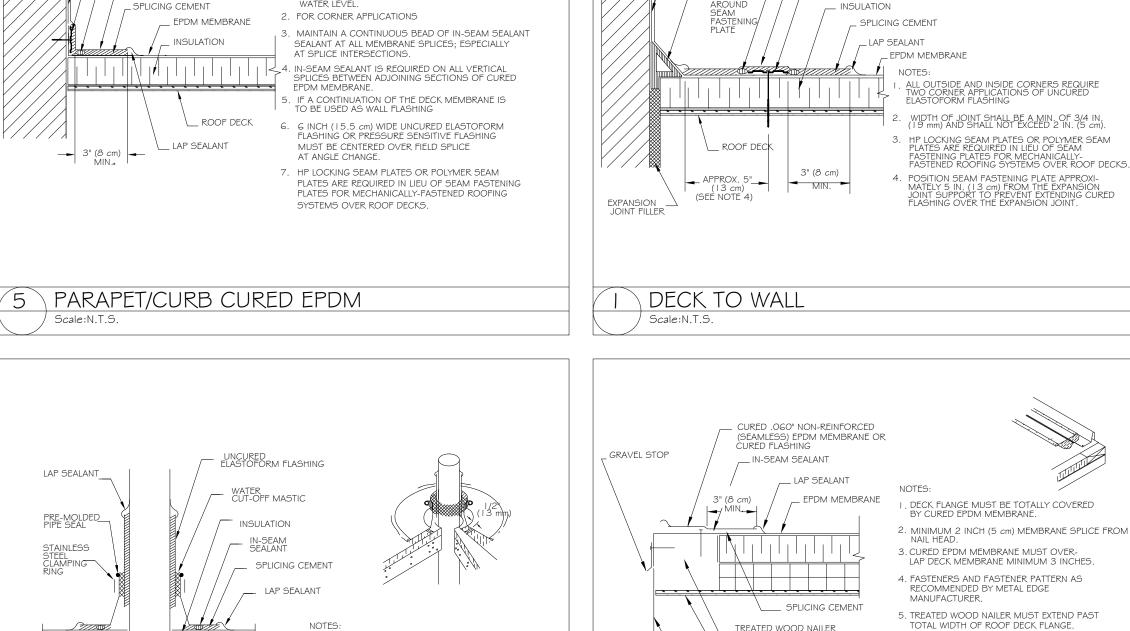
3" (8 cm) 2" (5 cm) - MIN. - - MIN.-







FIELD FABRICATED NEW HOT STACK



. TERMINATION ABOVE ANTICIPATED WATER LEVEL.

NOTES:

I. REMOVE ALL LEAD AND OTHER FLASHING.

2. PRE-MOLDED PIPE SEAL MUST HAVE INTACT RIB AT TOP EDGE, REGARDLESS OF PIPE DIAMETER.

APPLY IN-SEAM SEALANT 1/2 INCH (13 mm FROM INSIDE EDGE OF PIPE SEAL FLANGE.

4. DECK FLANGES OF THE PRE-MOLDED PIPE FLASHING SHALL NOT BE OVERLAPPED, CL OR APPLIED OVER ANY ANGLE CHANGE.

I. REMOVE ALL LEAD AND OTHER FLASHING.

. PRE-MOLDED PIPE SEAL MUST HAVE INTACT RIB AT TOP EDGE, REGARDLESS OF PIPE

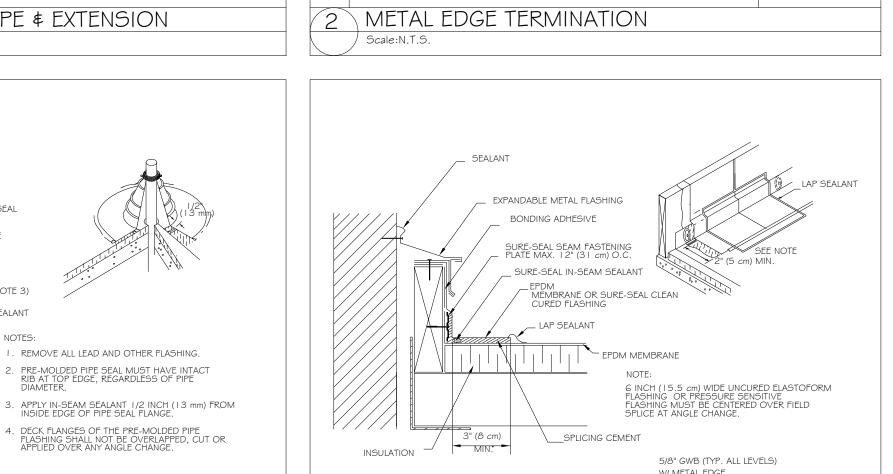
DECK FLANGES OF THE PRE-MOLDED PIPE FLASHING SHALL NOT BE OVERLAPPED, CUT OR APPLIED OVER ANY ANGLE CHANGE.

_ TERMINATION

_ BONDING ADHESIVE

9" (23 cm) WIDE CURED .060" NON-REINF. (SEAMLESS) EPDM MEMBRANE OR CLEAN CURED FLASHING

SEAM FASTENING - PLATE MAX. | 2" (3 | cm) O.C.



__ TREATED WOOD NAILER

MEMBRANE ROOFING

___ ROOF DECK

DETAIL NOT FOR USE WITH DESIGN "C"

─ HARDI PLANK

DETAILS BASED ON "CARLISLE"

ROOFING SYSTEM

NOTE:

6. IN-SEAM SEALANT MUST BE PLACED NO

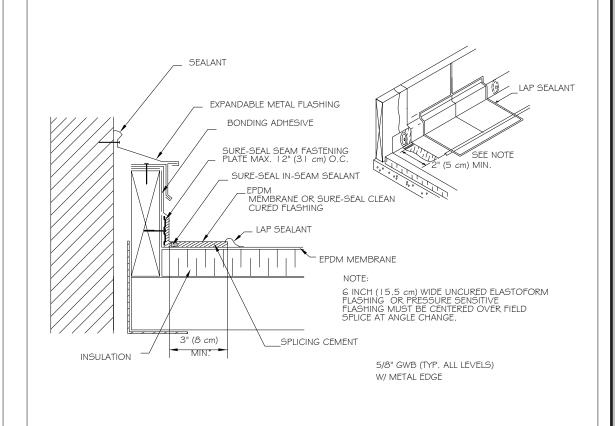
7. UNDERSIDE OF GRAVEL STOP FLANGE MUST BE SEALED AT ALL JOINTS. CONSULT RESPEC

8. GRAVEL STOP MUST EXTEND ABOVE GRAVEL

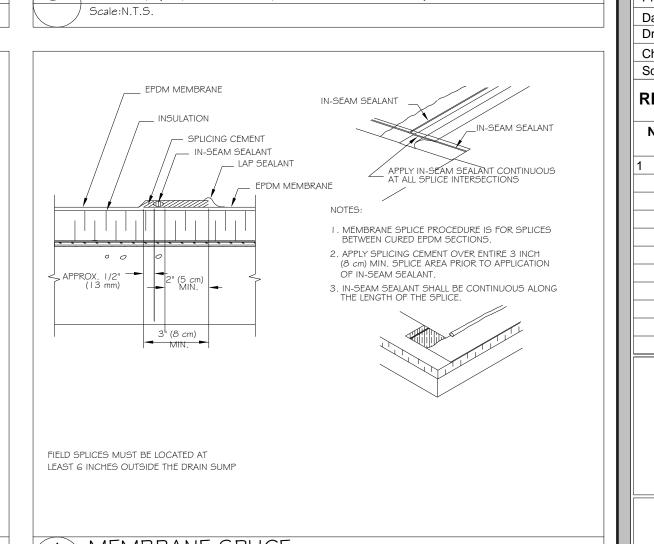
SURFACE SUFFICIENTLY TO RETAIN GRAVEL AND PREVENT GRAVEL MIGRATION FOR BALLASTED ROOFING SYSTEMS.

MORE THAN 1/2 INCH (13 mm) FROM EDGE OF

TIVE MANUFACTURER FOR APPROPRIATE SEALANT









PROJECT ADDRESS

PROJECT NAME

640 Mystic Ave. Somerville, MA

CLIENT

EL CAMINO, LLC

ARCHITECT



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Scale		As indicated
REV	SIONS	
No.	Description	Date
1	GENERAL REVISIONS	4.24.17
	1	

ROOF DETAILS

Mystic Ave Residences

CLAMPING RING __ INSULATION NOTES: . REMOVE ALL LEAD AND OTHER FLASHING. ALL BOLTS OR CLAMPS MUST BE IN ON WATER CUT-OFF MASTIC. 3. CUT THE MEMBRANE SO IT EXTENDS A MINIMUM OF 1/2 INCH (13 mm) FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING. 4. HOLE IN MEMBRANE MUST EXCEED SIZE 5. INSULATION TAPER SHALL NOT BE STEEPER THAN G INCHES (15.5 cm) (VERTICAL) IN 12 INCHES (31 cm) 6. ROOF DRAIN SIZE AND NUMBER OF DRAINS SHALL BE IN ACCORDANCE WITH LOCAL CODES.

7 PRE-MOLDED VENT PIPE FLASHING

8 ROOF DRAIN Scale:N.T.S.

4 MEMBRANE SPLICE Scale:N.T.S.

PROJECT NAME **Mystic Ave** Residences

640 Mystic Ave. Somerville, MA

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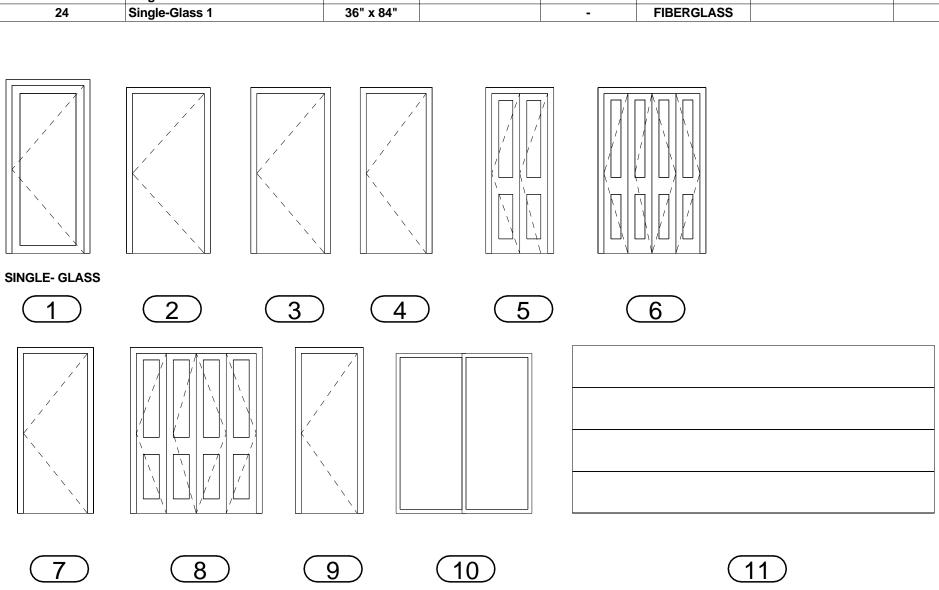
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No.	Description	Date

STAIR DETAILS

Door Schedule									
Mark	Family	DOOR SIZE	Elevation	Fire Rating	Frame Material	Head	Details Jamb	Sill	Comments
1	Single-Glass 1	36" x 84"		_	FIBERGLASS	i ieau	Janib	OIII OIII	
2	Single-Flush	34" x 80"		1 HR	METAL	7/A801			
3	Single-Flush	34" x 80"		1 HR	METAL	7/A801			
4	Single-Flush	30" x 80"		-	WOOD	6/A801			
5	Bifold-2 Panel	28" x 80"		-	WOOD	6/A801			
6	Bifold-4 Panel	48" x 80"			WOOD	6/A801			
7	Single-Flush	32" x 80"		-	WOOD	6/A801			
8	Bifold-4 Panel	60" x 80"		-	WOOD	6/A801			
9	Single-Flush	28" x 80"		-	WOOD	6/A801			
12	Single-Glass 1	36" x 84"		-	FIBERGLASS				
13	Overhead-Sectional-Flush	180" x 84"		-	PVC				
22	Single-Glass 1	36" x 84"		-	FIBERGLASS				
23	Single-Glass 1	36" x 84"		-	FIBERGLASS				
24	Single-Glass 1	36" x 84"		-	FIBERGLASS				



		Wi	indow Schedu	ıle			
Moule		Rough	Opening		Details		
Mark	Description	Width	Height	Material	Head	Jamb	Sill.
Α	DOUBLE HUNG	2' - 5 3/8"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
AA	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
В	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
BB	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
С	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
D	FIXED	2' - 5 3/8"	2' - 5 3/8"	WOOD CLAD	3/A301	2/A801	1/A801
E	FIXED	3' - 0"	3' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
F	DOUBLE HUNG	2' - 5 3/8"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
Р	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
Q	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
R	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
S	DOUBLE HUNG, MULLED PAIR,	1043/410 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
Т	DOUBLE HUNG, MULLED PAIR	4' - 10 3/4"	6' - 0"	WOOD CLAD	3/A301	2/A801	1/A801
U	PAIR 1/2	^{2"} A' - 10 3/4"	6' - 6 '' - 5 1/	WOOD CLAD	3/A301	2/A801	1/A801
	DOUBLE HUNG	2' - 5 3/8"	6'-0"	WOOD CLAD	3/A301	2/A801	1/A801
W	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
X	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD	3/A301	2/A801	1/A801
Y	DOUBLE HUNG	2' - 5 3/8"	4'-6"	WOOD CLAD	3/A301	2/A801 ^{0"}	, 1/A801
Z	DOUBLE HUNG	2' - 5 3/8"	4' - 6"	WOOD CLAD _	2' - 5 3/A301	2/A801	1/A801
0 -	0-				<u> </u>		
٥	Ĭ O		-4 -8	2' - 5 1/2"	3 - 0-		
	$\langle \mathbf{A} \rangle$	B	<u>C</u>	,	$\langle \overline{D} \rangle$	⟨ E ⟩	

PROJECT NAME

Mystic Ave Residences

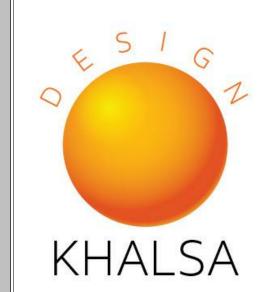
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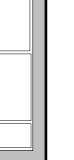


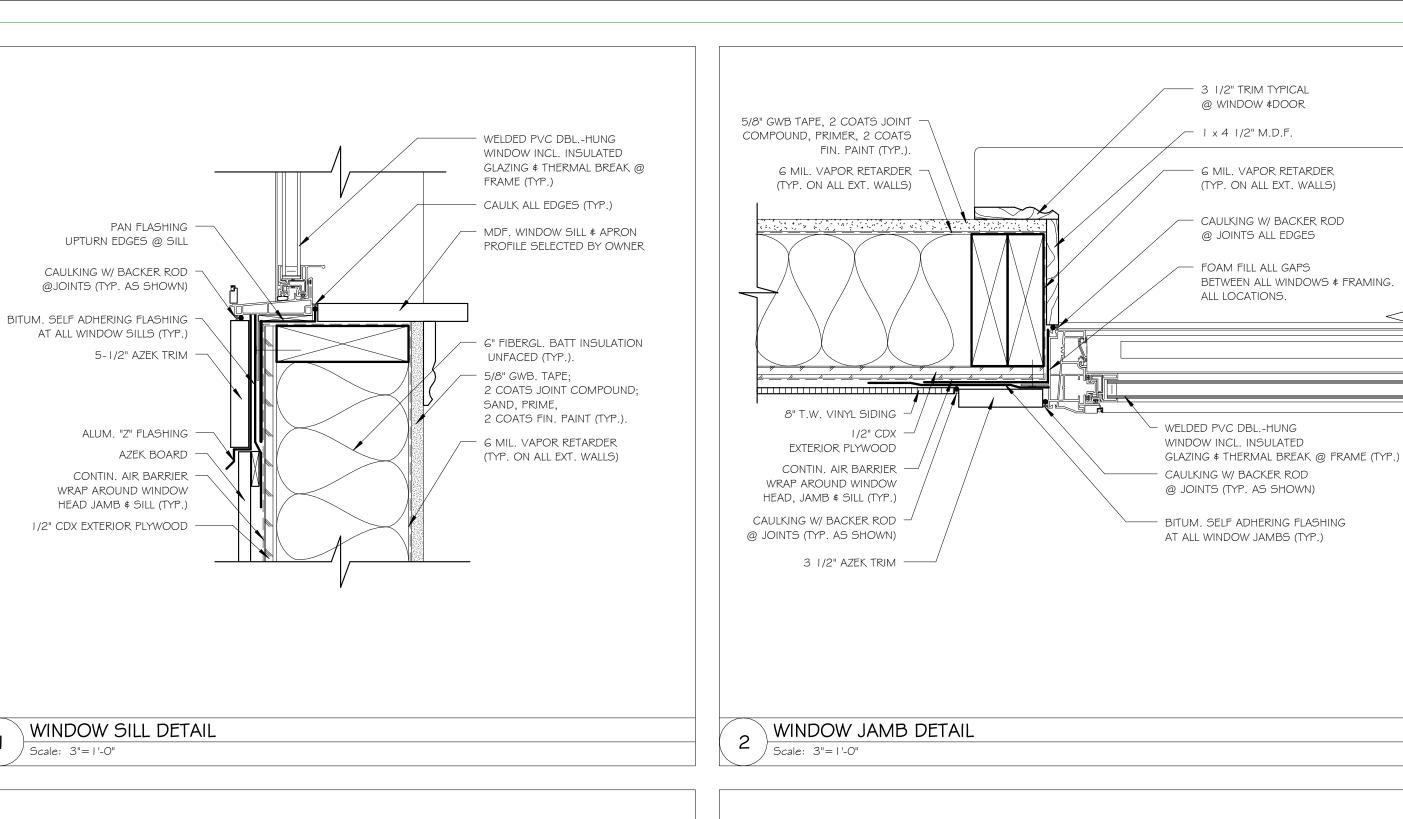
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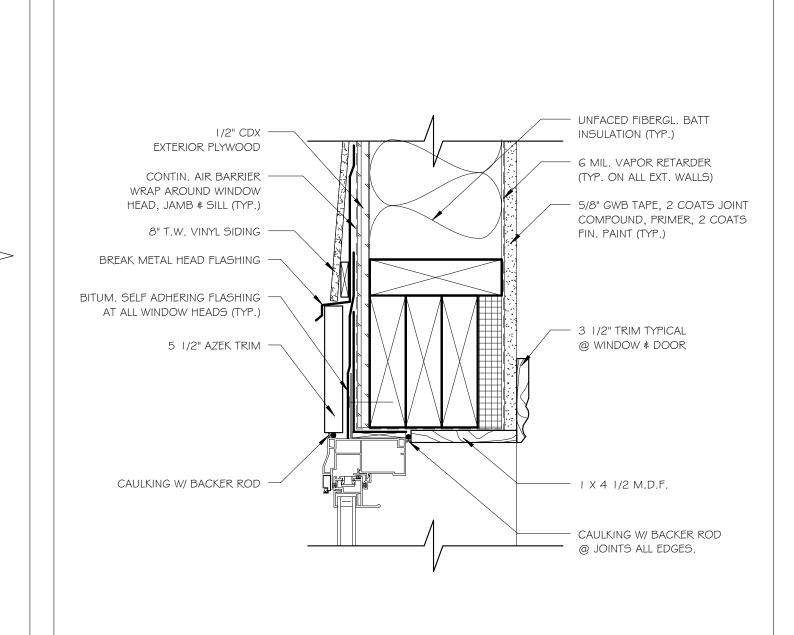
DOOR & WINDOW SCHEDULES

A-800



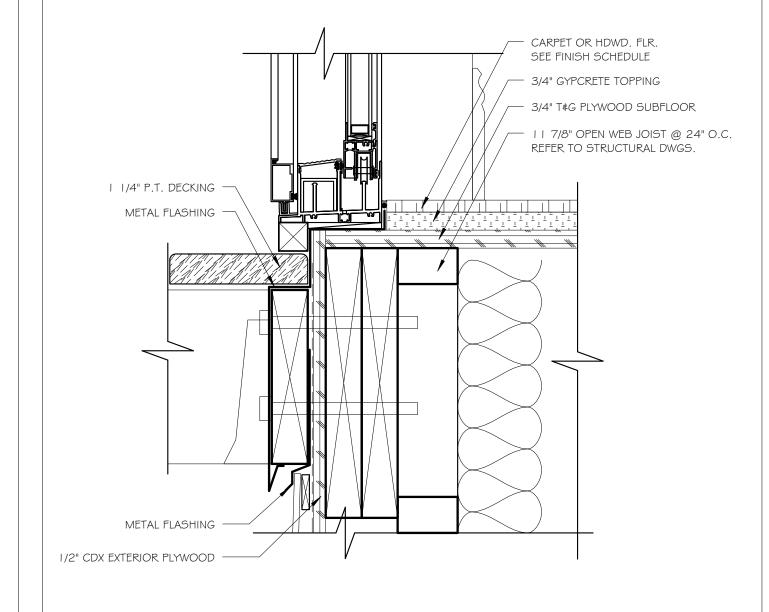






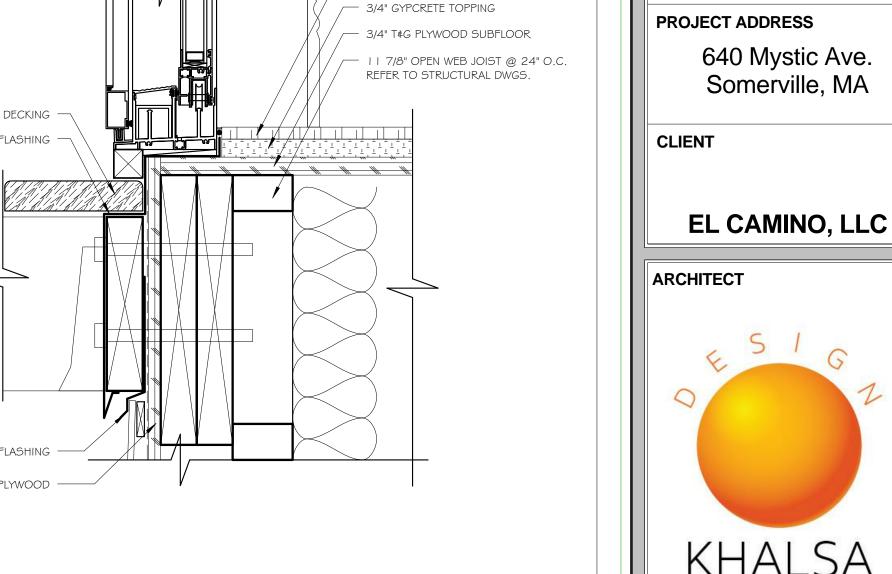
WINDOW HEAD DETAIL

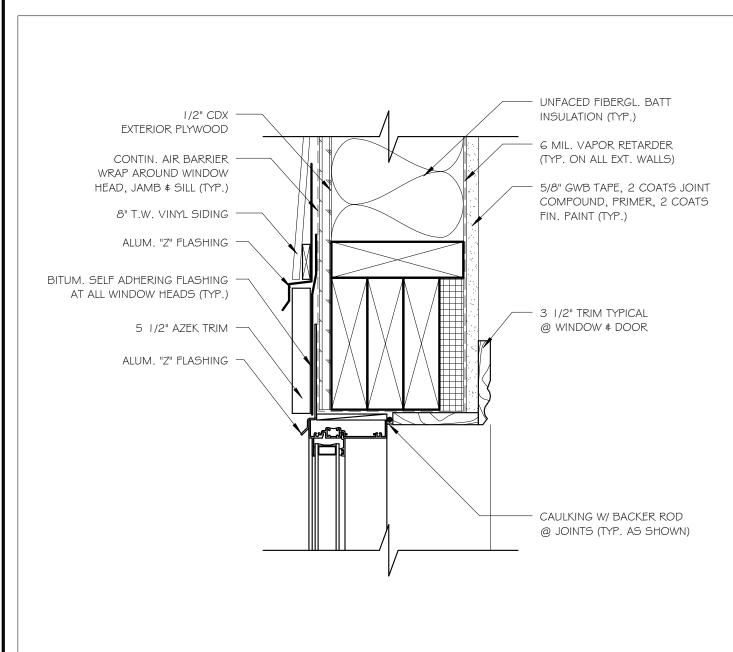
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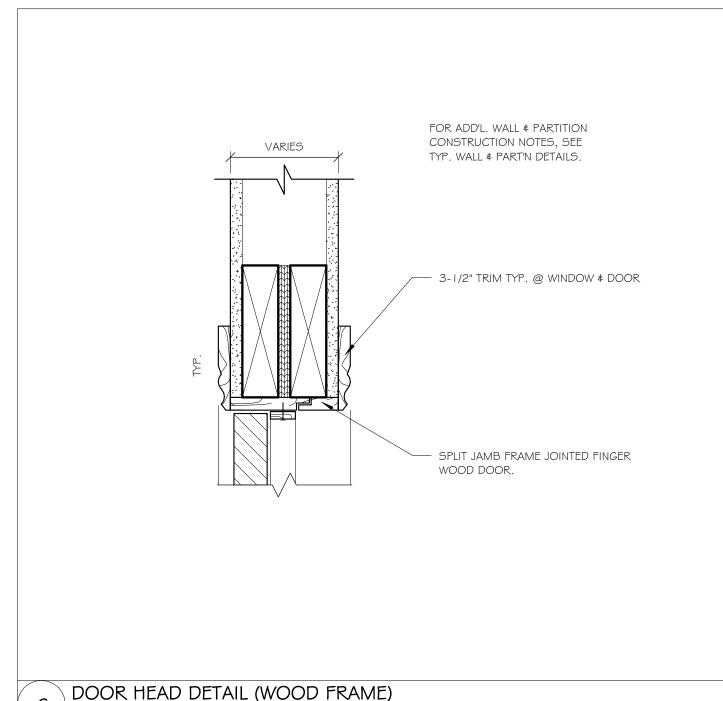


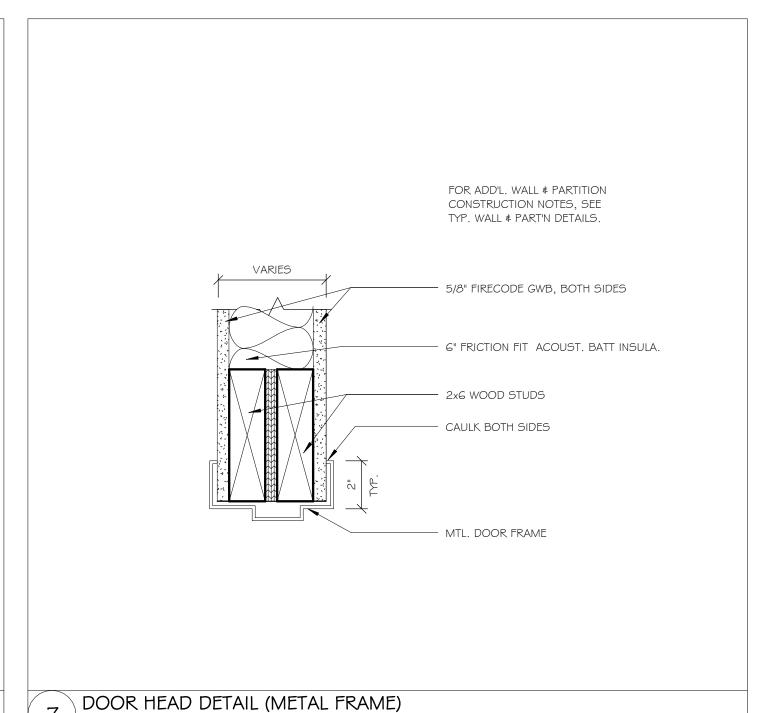
SLIDING DOOR SILL DETAIL @ BALCONY

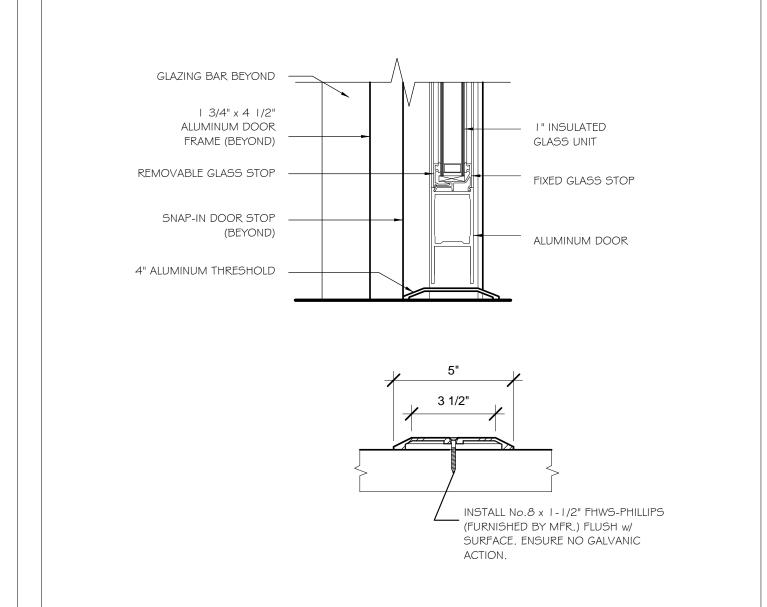
THRESHOLD DETAILS

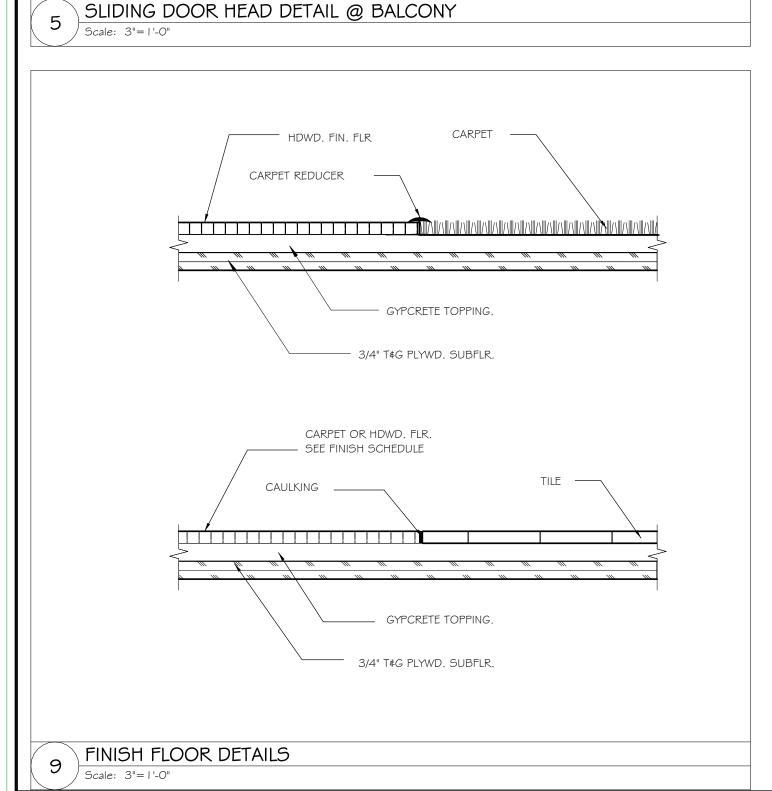












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PROJECT NAME

Mystic Ave

Residences

17 IVALOO STREET SUITE 400 SOMERVILLE, MA 02143 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



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Description	Dete
Description	Date
	S Description

DOOR & WINDOW **DETAILS**

PROJECT NAME **Mystic Ave**

Residences

PROJECT ADDRESS 640 Mystic Ave. Somerville, MA

CLIENT

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ARCHITECT



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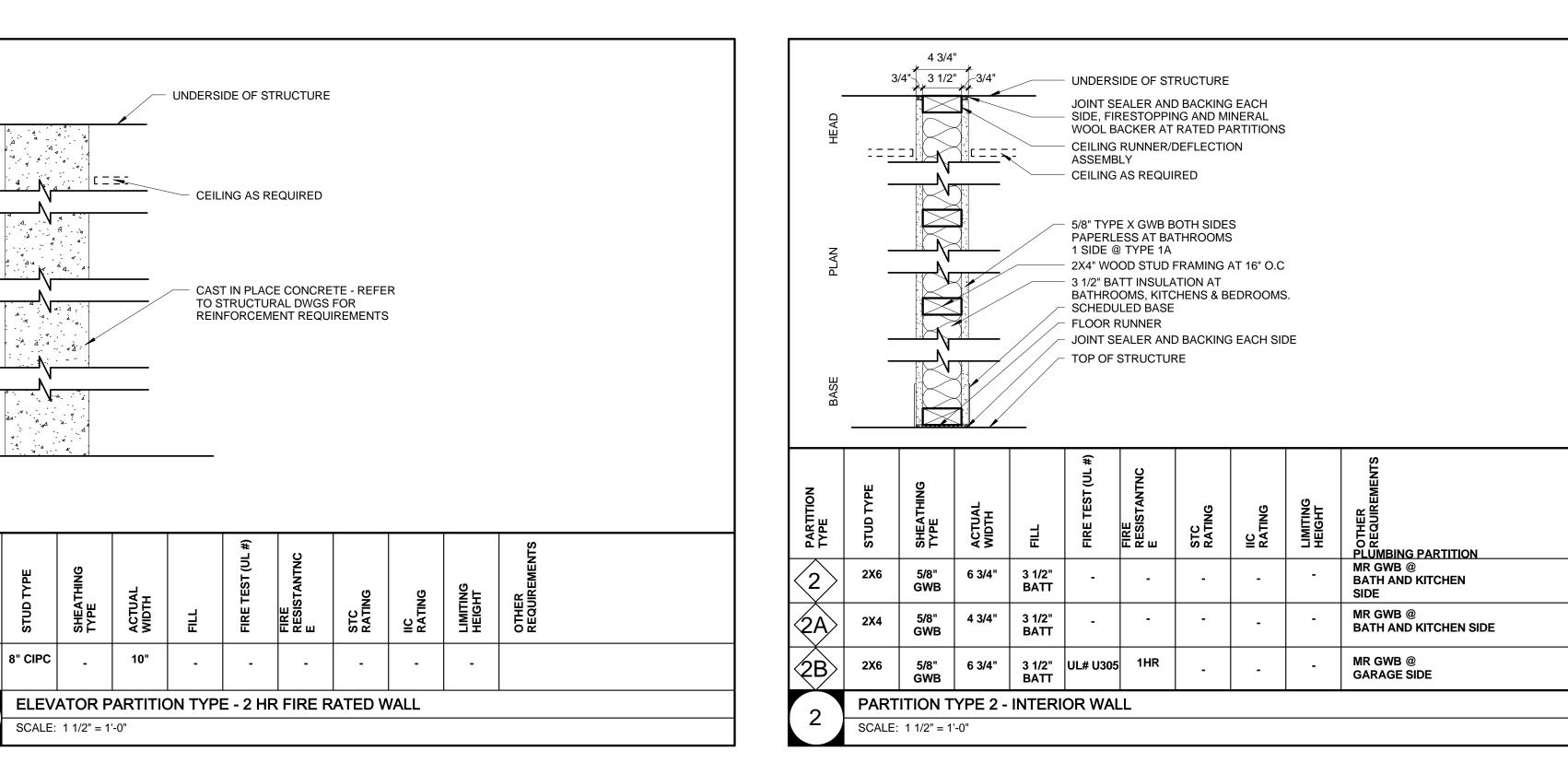
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PARTITION TYPES

Mystic Ave Residences



JOINT SEALER AND BACKING EACH SIDE, FIRESTOPPING AND MINERAL WOOL BACKER AT RATED PARTITIONS

DEFLECTION ALLOWANCE

6 MIL VAPOR BARRIER

CONT.AIR BARRIER (TYP)

1/2" PLYWOOD SHEATHING REFER TO STRUCTURAL DWG'S

5/8"GYPSUM WALLBOARD TYPE "X". PROVIDE 3 COATS

2 X 6 WOOD STUDS

R-21 FIBERGLASS **BATT INSULATION (TYP.)**

SCHEDULED BASE

TOP OF STRUCTURE

FLOOR RUNNER SILL SEALER, TYP.

TYPE "X" | 6 5/8" | 5 1/2" | UL# 356

TYPE "X" | 6 5/8" | 5 1/2" | UL# 356

TYPE "X" 6 5/8" 5 1/2" UL# 356

BATT

BATT

@ 16" O.C.

 $\overline{}$

GWB

GWB

GWB

EXTERIOR WALL

SCALE: 1 1/2" = 1'-0"

PRIMER AND TWO COATS PAINT

ASSEMBLY

CEILING RUNNER/DEFLECTION

(TYP. ON ALL EXTERIOR WALLS)

SEE ELEVATION FOR EXTERIOR SIDING

TAPE AND COMPOUND WITH ONE COAT

JOINT SEALER AND BACKING EACH SIDE

16'-4" SHAKES SIDING

16'-4" METAL TILES

16'-4" PVC PANEL SIDING

SEE ELEVATION DWG'S.

SEE ELEVATIONS DWG'S

SEE ELEVATION DWG'S.

