



CLIENT:
DAVE WINICK
CEDARWOOD DEVELOPMENT

ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143

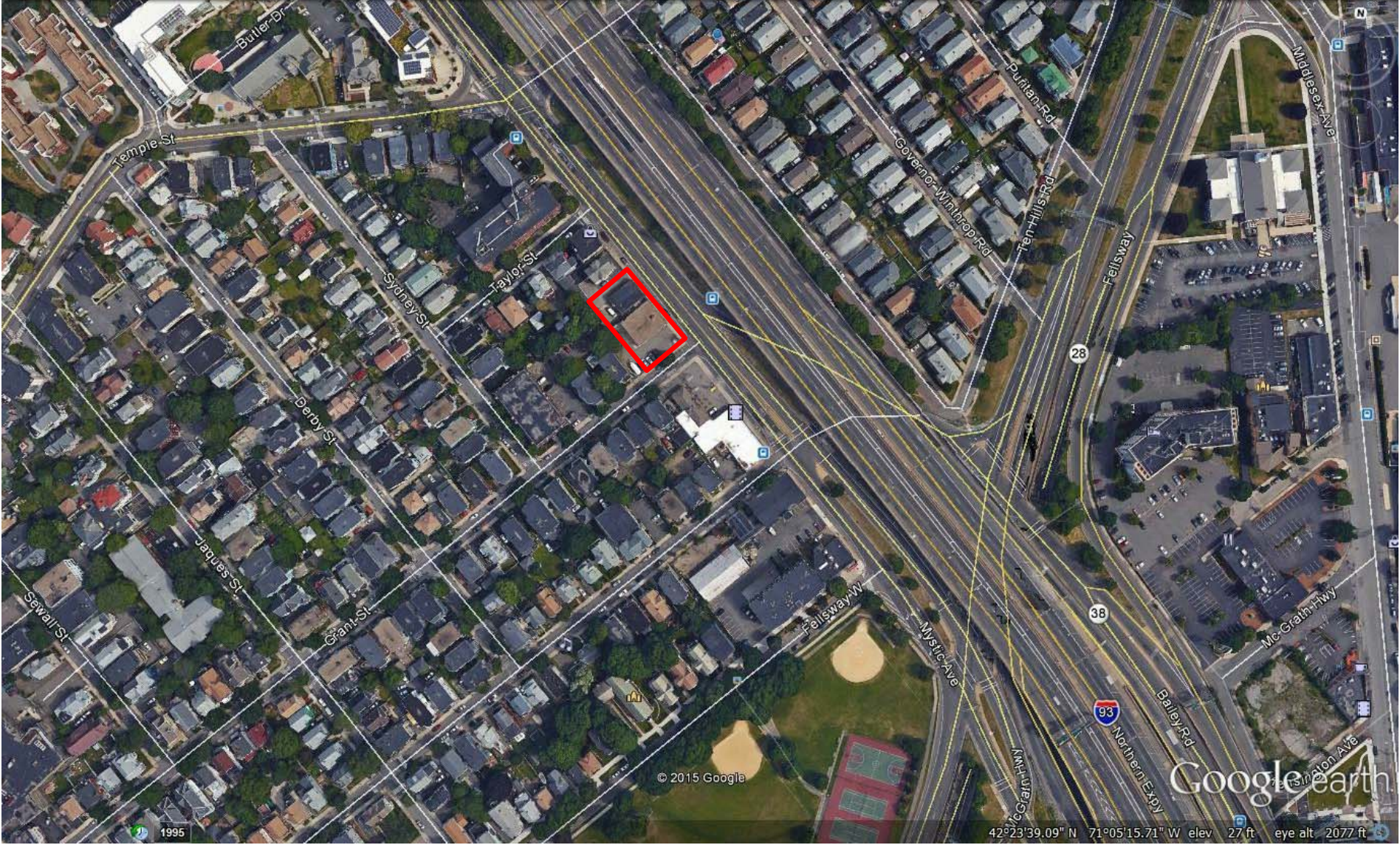
PROJECT:
400 MYSTIC AVE.
PLANNING BOARD SUBMISSION
JUNE 1, 2016

PROJECT ADDRESS:
400 MYSTIC AVENUE
SOMERVILLE, MA

CIVIL ENGINEER:
DESIGN CONSULTANTS INC.
120 MIDDLESEX AVENUE, SUITE 20
SOMERVILLE, MA 02145

LANDSCAPE ARCHITECT:
BLAIR HINES DESIGN ASSOC.
318 HARVARD STREET, SUITE 25
BROOKLINE, MA 02446

LOCUS MAP



DRAWING LIST		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	COVER SHEET	3-7-2016
EC	EXISTING CONDITIONS PLAN	3-7-2016
L-1	ILLUSTRATIVE LANDSCAPE PLAN	4-18-2016
L-2	MATERIALS BOARD	2-11-2016
L-3	MATERIALS BOARD	2-11-2016
L-4	MATERIALS BOARD	2-11-2016
C-100	SPECIAL PERMIT SITE PLAN	2-29-2016
C-200	CIVIL DETAILS	2-29-2016
EX	EXISTING NEIGHBORHOOD IMAGES	11-27-2015
S	SITE CONTEXT	11-27-2015
A-020	ARCHITECTURAL SITE PLAN	4-18-2016
A-021	AREA PLANS	4-18-2016
A-100	1ST FLOOR PLAN	4-18-2016
A-101	2ND FLOOR PLAN	3-7-2016
A-102	3RD FLOOR PLAN	3-7-2016
A-103	4TH FLOOR PLAN	3-7-2016
A-300	ELEVATIONS	4-18-2016
AV-1	PERSPECTIVES	4-18-2016
AV-2	STREET VIEW RENDERING	3-7-2016
AV-3	STREET VIEW (EXISTING vs PROPOSED)	3-7-2016

PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

Dave Winick

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 14066
Date 4-18-16
Drawn by WC
Checked by JSK
Scale 12" = 1'-0"

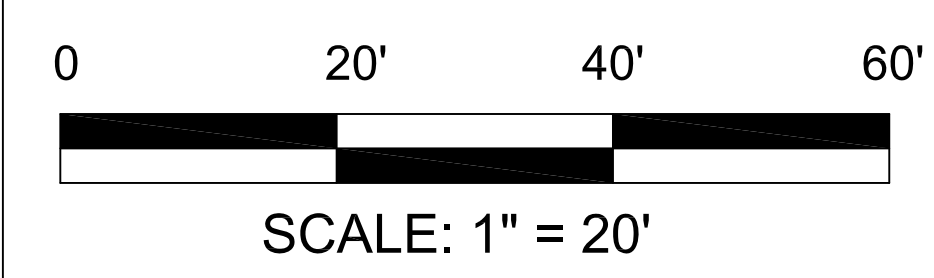
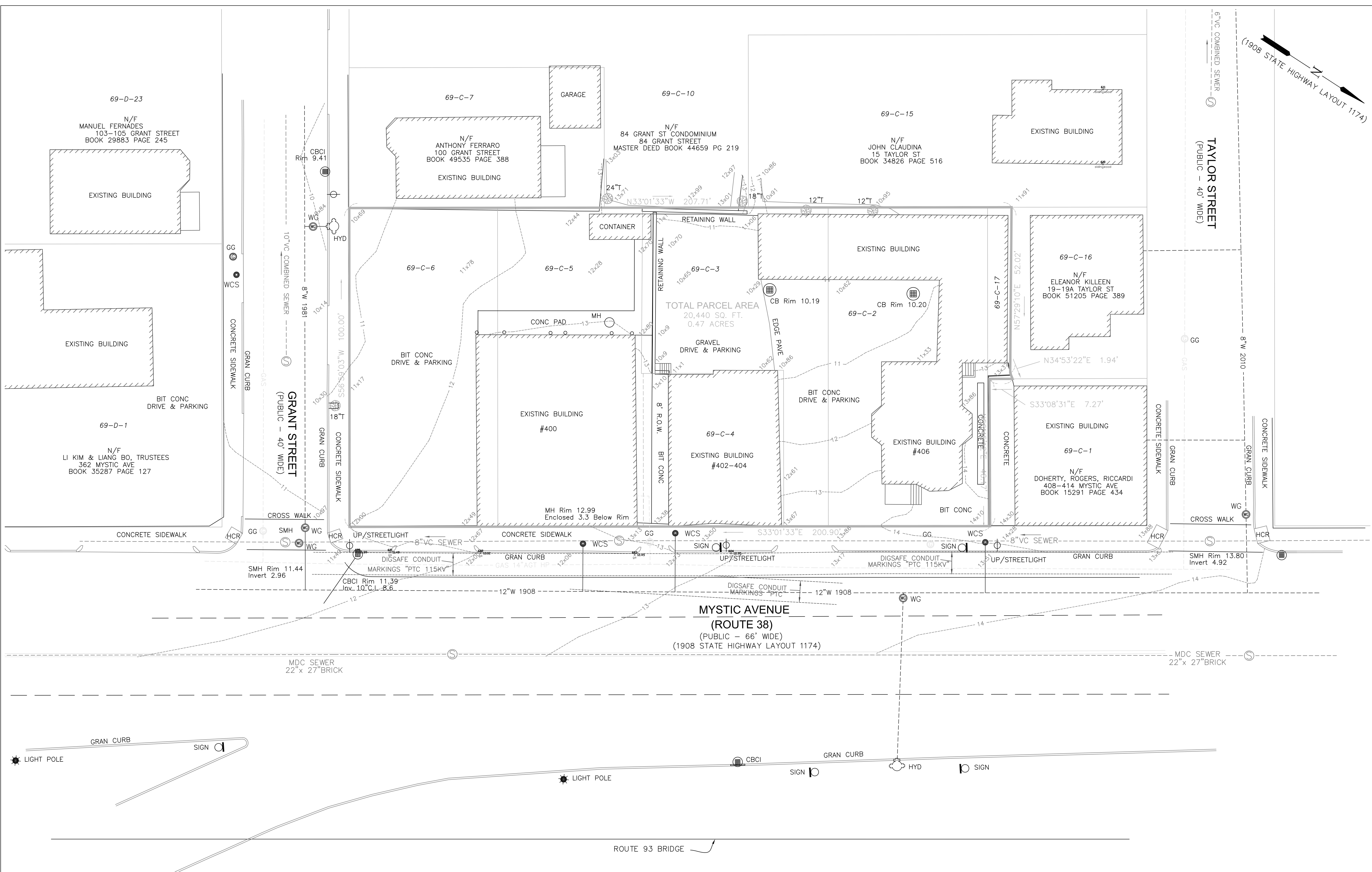
REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

Cover Sheet

A-000

MYSTIC AVE



OWNERS OF RECORD
ASSESSORS PARCELS 69-C-2,3,4,&17
RICHARD W. FLEMING
BOOK 21357 PAGE 122
ASSESSORS PARCELS 69-C-5 & 6
A & M FOREIGN MOTORS, LLC
BOOK 56141 PAGE 271

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 25017C0439E WITH AN EFFECTIVE DATE OF JUNE 4, 2010 PORTIONS OF THE SUBJECT PROPERTY LIE WITHIN ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

EXISTING CONDITIONS PLAN
IN
SOMERVILLE, MA
390-400 MYSTIC AVE
402-406 MYSTIC AVE
SEPTEMBER 16, 2014
D & A SURVEY ASSOCIATES, INC.
P.O. BOX 621 MEDFORD, MA 02155
(781) 324 - 9566 (781) 321 - 2501 (FAX)

LEGEND

EXISTING:

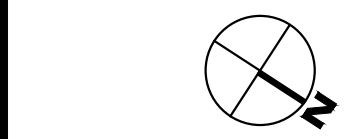
- | | | | |
|--|---------------------|--|------------------|
| | HAND HOLE | | SIGN |
| | LIGHT | | PARKING METER |
| | HYDRANT | | STOCKADE |
| | WATER SHUT OFF | | CHAIN LINK FENCE |
| | WATER GATE | | SEWER LINE |
| | CATCH BASIN (CB) | | GAS LINE |
| | DRAIN MANHOLE (DMH) | | WATER LINE |
| | SEWER MANHOLE (SMH) | | TELEPHONE LINE |
| | ELECTRIC MANHOLE | | ELECTRIC LINE |
| | GAS GATE | | ETC |
| | CONIFEROUS TREE | | SPOT GRADE |
| | DECIDUOUS TREE | | BITUMINOUS |
| | BOLLARD | | CONCRETE |

PROPOSED:

- | | |
|--|-----------------------------|
| | WATER GATE |
| | GAS GATE |
| | TEST PIT |
| | STOCKADE |
| | SEWER LINE |
| | GAS LINE |
| | DOMESTIC WATER LINE |
| | FIRE SUPPRESSION LINE |
| | ELECTRIC, TEL. & CABLE LINE |
| | DRAIN LINE |
| | SPOT GRADE |
| | PARKING SPACE |
| | DIRECTION OF DRAINAGE FLOW |

PIPE MATERIALS:

- SANITARY SEWER: 6" PVC ASTM D3034-SDR 35.
- WATER: DOMESTIC: 2" COPPER TYPE K TUBING, TO BE CONFIRMED BY MEP.
- FIRE: SIZE AND MATERIAL TO MATCH PLUMBING PLANS.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER.
- OWNERS OF RECORD
- ASSESSORS PARCELS 69-C-2,3,4,17
- RICHARD W. FLEMING BOOK 21357
- PAGE 122
- ASSESSORS PARCELS 69-C-5 & 6
- A & M FOREIGN MOTORS, LLC
- BOOK 56141 PAGE 271



NORTH

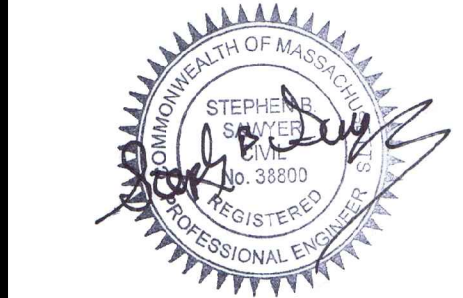
Design Consultants, Inc.
CIVIL ENGINEERS and LAND SURVEYORS
100 Middlesex Avenue, Suite 20
Somerville, MA 02145
617-776-3369 617-776-7110

DEVELOPER:
CEDARWOOD DEVELOPMENT
167 ATHENS STREET
BOSTON, MA 02127

ARCHITECT:
KHALSA DESIGN INC.
17 WALDO STREET SUITE 400
SOMERVILLE, MA 02143
PROJECT TEAM

400 MYSTIC AVE
400 MYSTIC AVE
SOMERVILLE, MA 02145
PROJECT INFO

REV	DESCRIPTION	DATE
1	UNIT/BEDROOM COUNT	6/1/16
2	DESCRIPTION	DATE



STAMP:

SPECIAL
PERMIT
SITE PLAN

SHEET NAME:

C100

SHT NO:

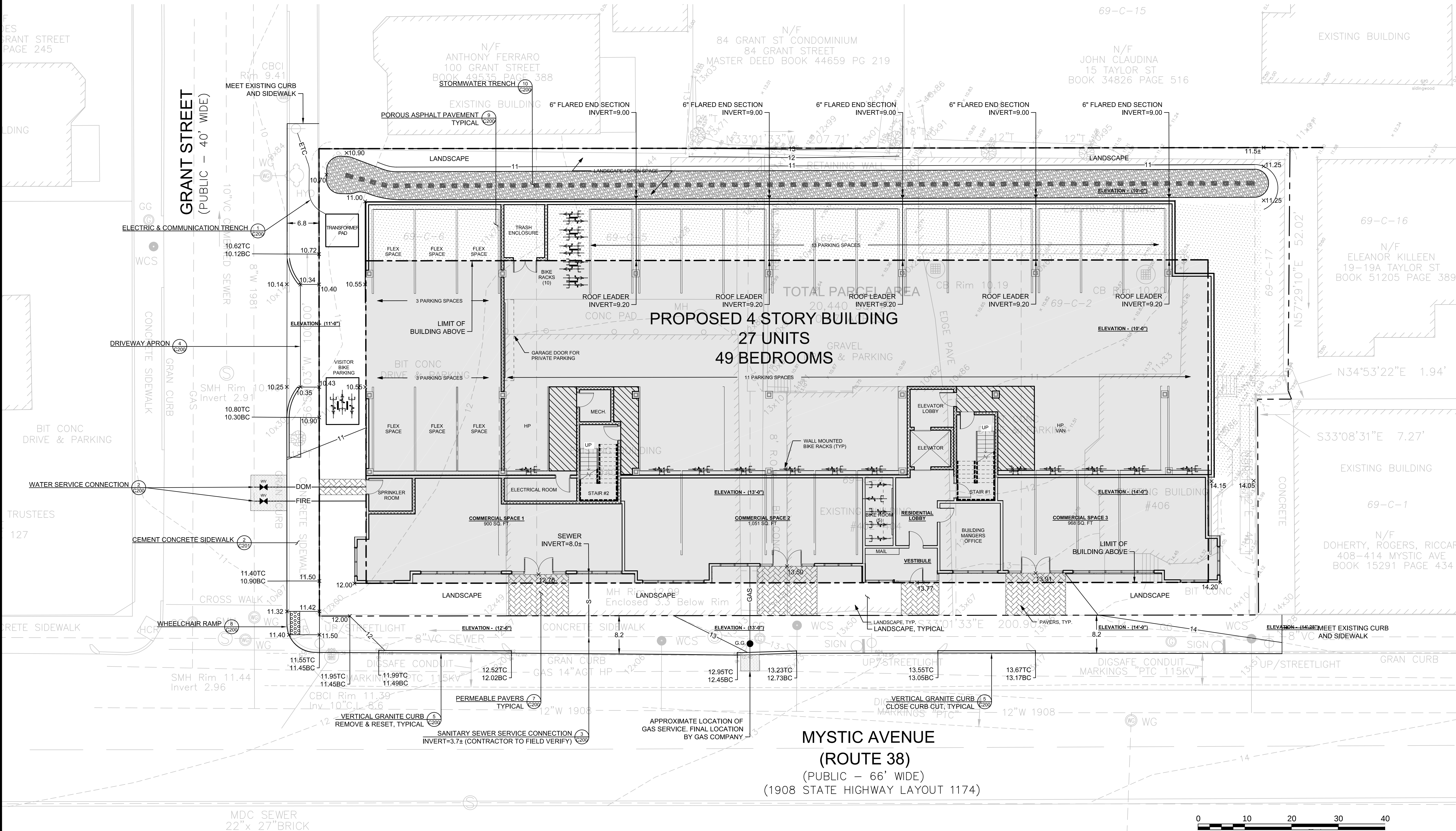
DR BY: RB

CHK BY: SBS

PROJ NO: 2015

DATE: MAY 4, 2016

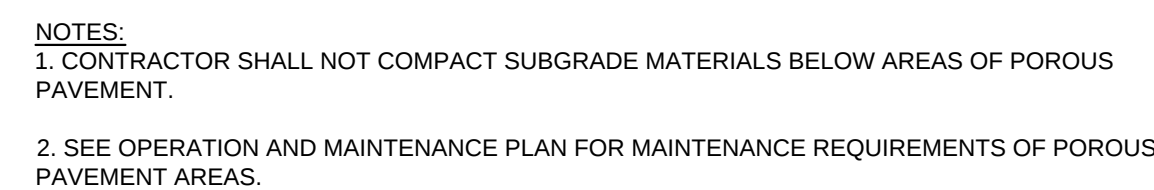
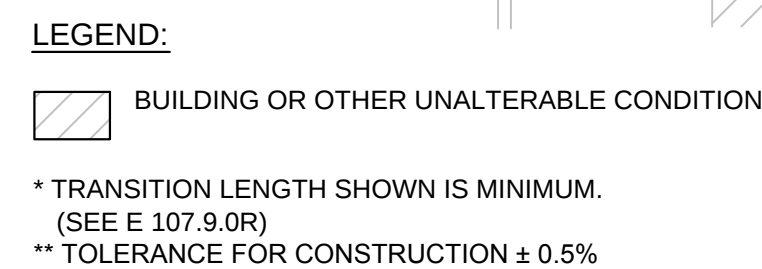
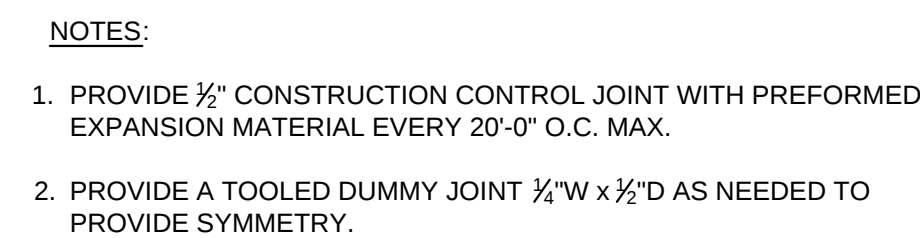
SCALE: 1"=10'



ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF SOMERVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS OF RECORD FROM RESPECTIVE UTILITY COMPANIES.
2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
3. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE NOT PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
6. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
7. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
9. NEW WATER SERVICES MUST BE BURIED SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY CITY OF SOMERVILLE.
10. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
11. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
12. CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE CITY OF SOMERVILLE DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
13. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
14. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
15. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
16. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
17. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.



PROPOSED PLANT LIST

Trees:

2	AS	Acer saccharinum	Sugar Maple	2.5-3" cal.	B&B
2	CL	Cladrastis kentuckea	Yellowwood	2.5-3" cal.	B&B
1	PS	Pinus strobus	White Pine	8-10' ht.	B&B
11	QP	Quercus palustris 'Green Pillar'	Green Pillar Pin Oak	3-3.5" cal.	B&B
2	TC	Tilia cordata	Littleleaf Linden	3-3.5" cal.	B&B
6	TP	Thuja plicata 'Green Giant'	Green Giant Arborvitae	8-10' ht.	B&B

Shrubs/Vines:

8	CA	Clethra alnifolia	Summersweet	5 gal.	
4	CV	Clematis virginiana	Virgin Bowers Vine	3 gal.	
17	HA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pots
9	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	5 gal.	Pots
9	IM	Ilex meserveae 'Blue Princess'	Blue Holly	3-3.5"	Provide 1 male
8	RC	Rhododendron 'Roseum Superbum'	Dusty Pink flowers	3-3.5"	B&B
7	VS	Wisteria fruticosa	Wisteria	5 gal.	Pots

Perennials:

20	AM	Artemesia schmidtiana 'Silver Mound'	Silver Mound Artemesia	2 gal.	
75	AY	Alchemilla millefolium 'Desert Yellow'	Yellow Yarrow	2 gal.	
200	CX	Carex pennsylvanica	Pennsylvania Sedge	1 gal.	
80	CF	Calamagrostis acutifolia 'Karl Foerster'	K.F. Feather Reed Grass	2 gal.	
9	HS	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 gal.	
300	LS	Liriope spicata	Lilyturf	1 gal.	
16	LV	Lavendula angustifolia	Lavender	1 gal.	
19	NW	Nepeta faassenii 'Walker's Low'	Walkers Low Catmint	2 gal.	
40	PV	Panicum virgatum	Switch Grass	2 gal.	
73	PT	Pachysandra terminalis 'Green Sheen'	Jap. Spurge	1 gal.	
9	RG	Rudbeckia fulgida 'Goldsturm'	Black-Eyed Susan	2 gal.	
150	VM	Vinca minor 'Ralph Shubgart'	White variegated Myrtle	1 gal.	

- PLANTING NOTES
1.

All plant material shall be approved by the Landscape Architect prior to arrival on the site.
2.

All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
3.

No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
5.

The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
6.

All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
7.

No planting shall be installed before acceptance of rough grading of topsoil.
8.

The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
9.

The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
10.

All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
11.

'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
12.

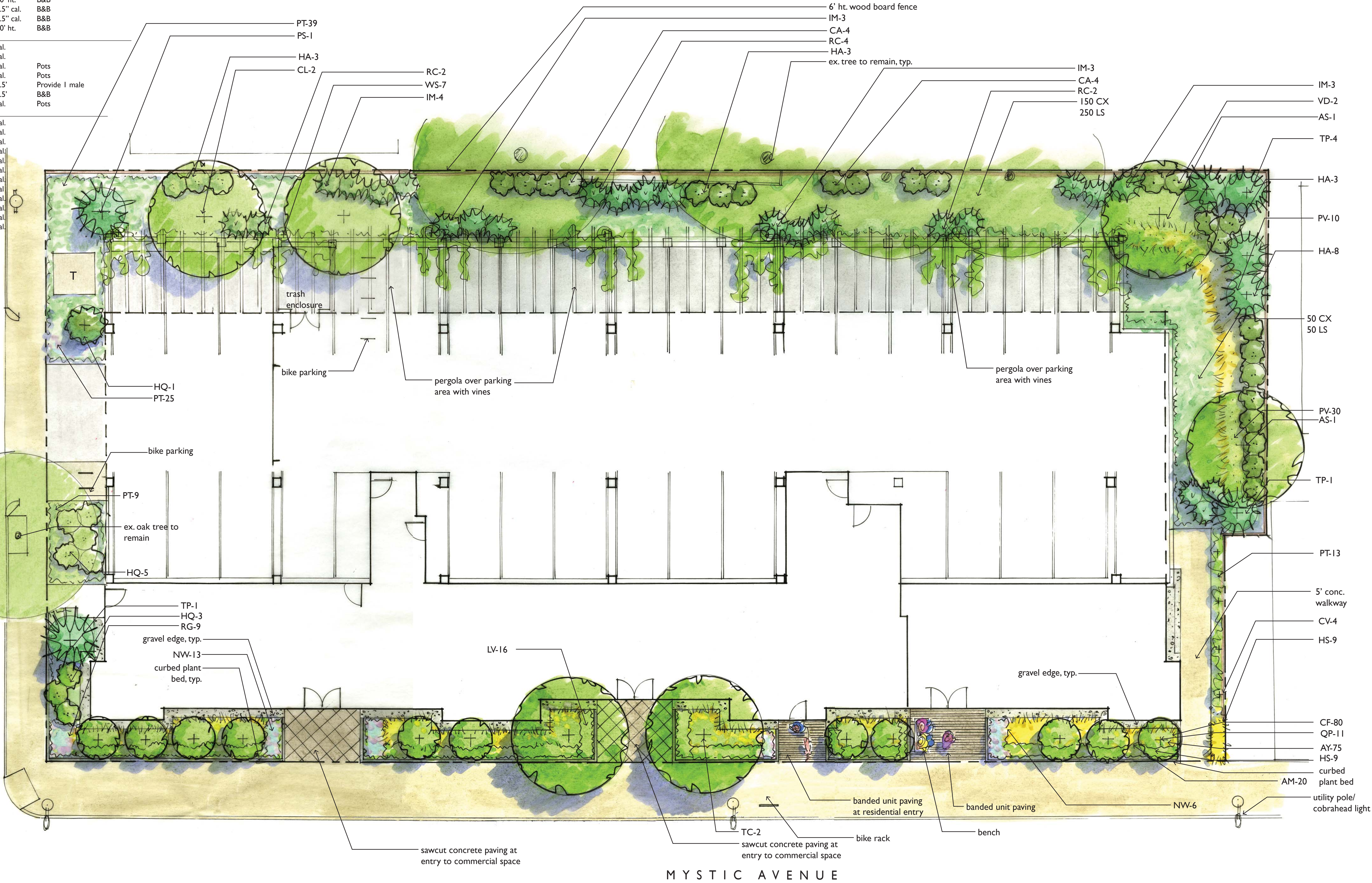
All beds as shown on the drawings shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
13.

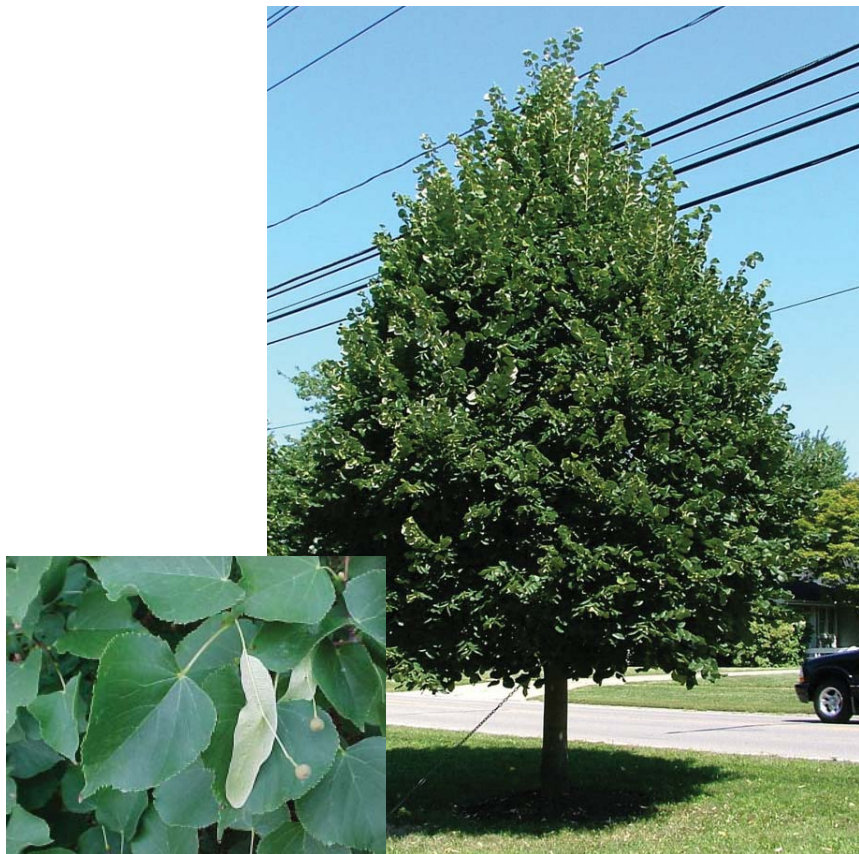
All planting to be done under the full time supervision of a certified arborist, nurseryman or licensed Landscape Architect.
14.

All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.
15.

Contractor shall provide one year guarantee for all plant materials.
16.

Adjust sprinklers to cover all new plantings and existing shrub materials. Use riser pipes attached to oak stakes to spray above height of perennials. Remove riser pipes and Oak stakes at winterization. Reinstall in spring when system is turned on and adjusted.





Littleleaf Linden | Leaves + Overall Form



Catmint



Amethyst Wisteria



Yarrow and Karl Foerster Grass



Black-eyed Susan

'Green Pillar' Pin Oak | Fall Color





Plant Bed Curbing along building edge



Loop style low metal picket fence



Plant Bed Curbing with low metal picket fence



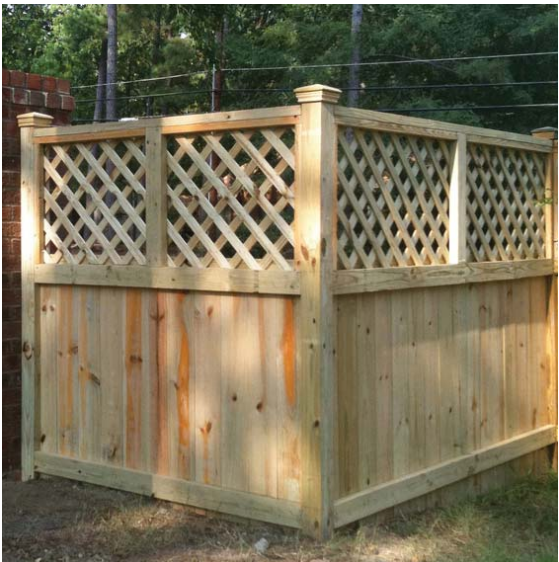
Wood Board Fence | Shadowbox



Wood Board Fence | Shadowbox



Wood Board Fence | Solid



Wood Board Fence | 2' Lattice





Concrete Unit Pavers | Unilock Promenade



Concrete Unit Pavers | Cobble-style



Concrete Paving | Sawcut Scoring Pattern



Concrete Paving | Integral Color & Stamped Pattern





PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

Dave Winick

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	xxxxx
Date	11-20-2014
Drawn by	Author
Checked by	Checker
Scale	

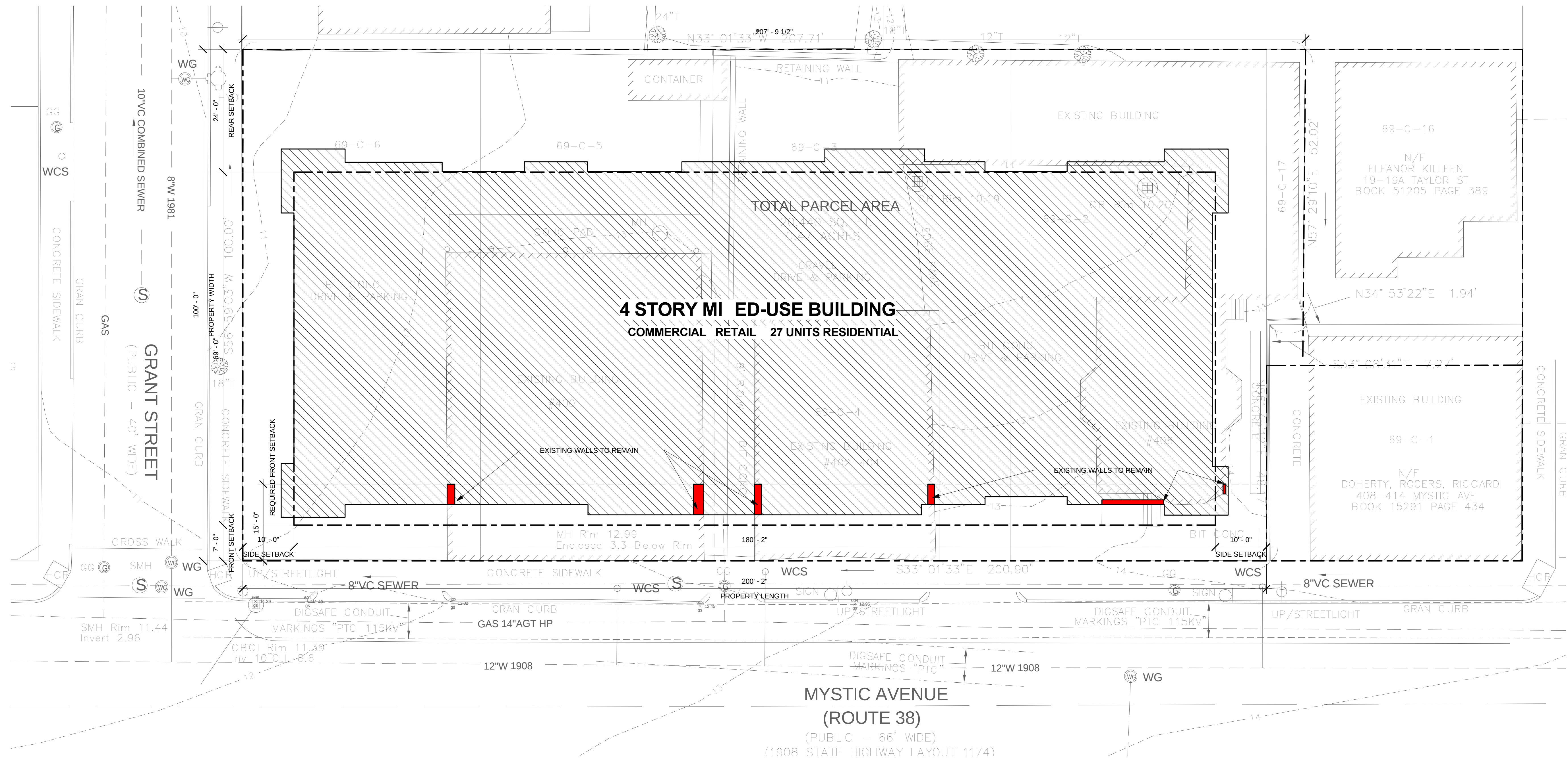
REVISIONS		
No.	Description	Date

Existing
Neighborhood
Images

E

MYSTIC AVE

12/17/2015 3:41:24 PM



1 Site Plan
3/32" = 1'-0"

ZONING DIMENSIONAL TABLE:				
	ALLOWED / REQUIRED	EXISTING (400-405 MYSTIC)	PROPOSED	COMPLIANCE
ZONE	BB - COMM. / RES			
USE	VARIES	VARIES (AUTO REPAIR / RESIDENTIAL)	27 DWELLING UNITS	COMPLIES
MIN LOT SIZE	NA	20,440 SF (0.47 ACRES)	20,440 SF	COMPLIES
MIN LOT PER DWELLING	1,000 SF (OVER 10 DU)	NA	757 SF (27 UNITS)	SP REQUIRED
MAX GROUND COVERAGE	80%	38%	60%	COMPLIES
LANDSCAPE AREA	10%	0%	26%	COMPLIES
MAX FLOOR AREA RATIO (FAR)	2.0	.38	1.55	COMPLIES
MAX BUILDING HEIGHT	50'-0"	VARIES (20'-0" - 30'-0")	48'-0"	COMPLIES
MIN YARD	FRONT 15'-0" SIDE NA REAR 18'-0"	0'-0" 40'-0" (L) 0'-0" (R) 2'-6"	7'-0" 10'-0" (L) 10'-0" (R) 24'-0"	SP REQUIRED
MIN FRONTAGE	NA	200'-2"	200'-2"	COMPLIES
PERVIOUS AREA, MIN % OF LOT	NONE	+/- 2%	31%	COMPLIES
PARKING REQUIREMENTS	37 SPACES	UNKNOWN	30 SPACES	SP REQUIRED
BICYCLE PARKING	1 PER PARKING SPACE	UNKNOWN	30 BIKE RACKS	COMPLIES

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17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	AB
Checked by	JSK
Scale	3/32" = 1'-0"

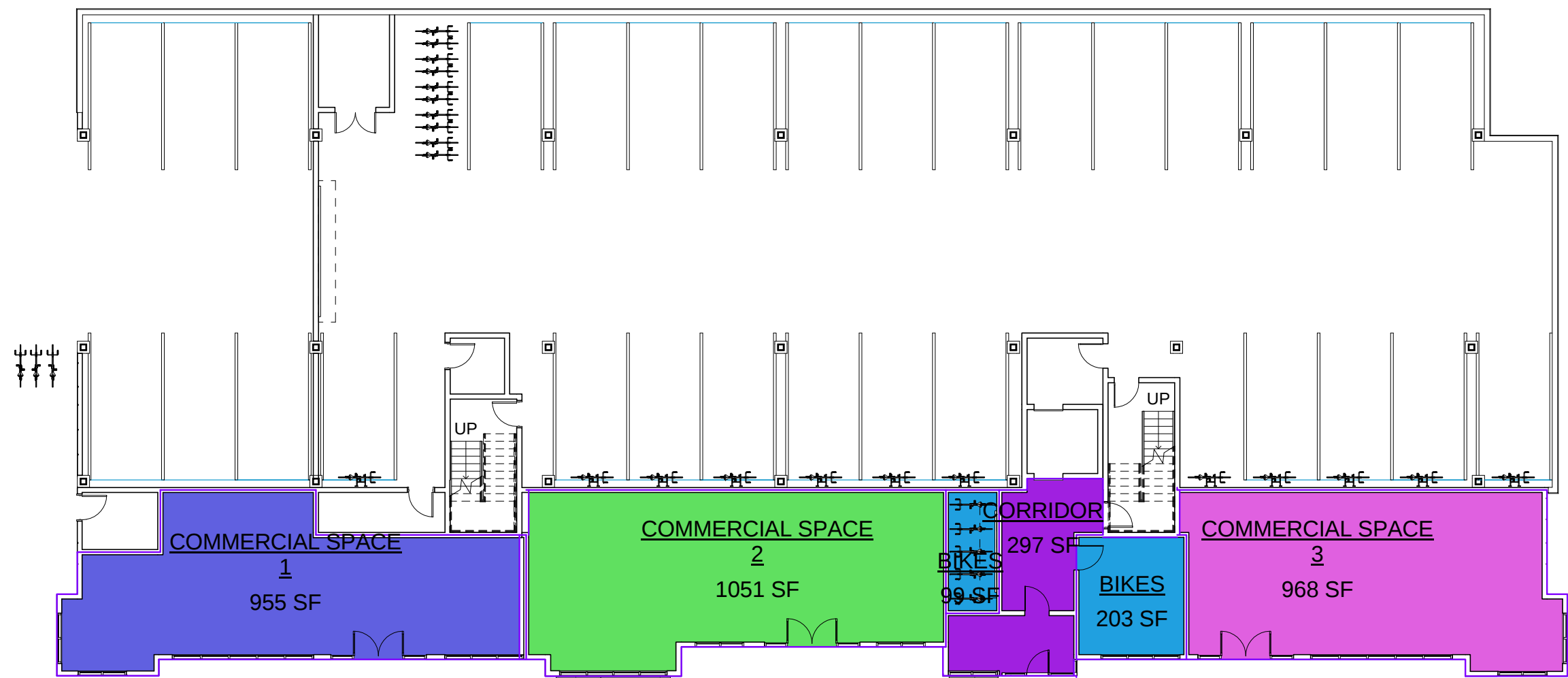
REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

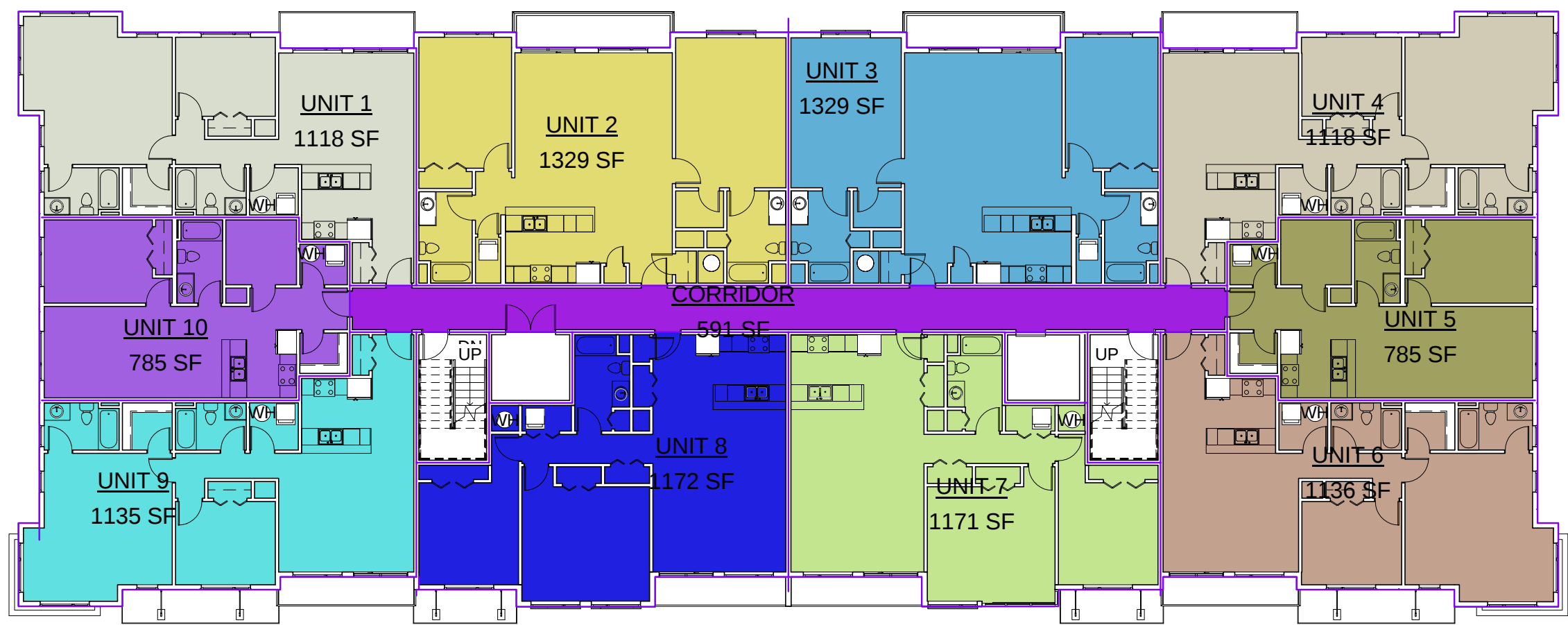
Architectural Site
Plan

A-020

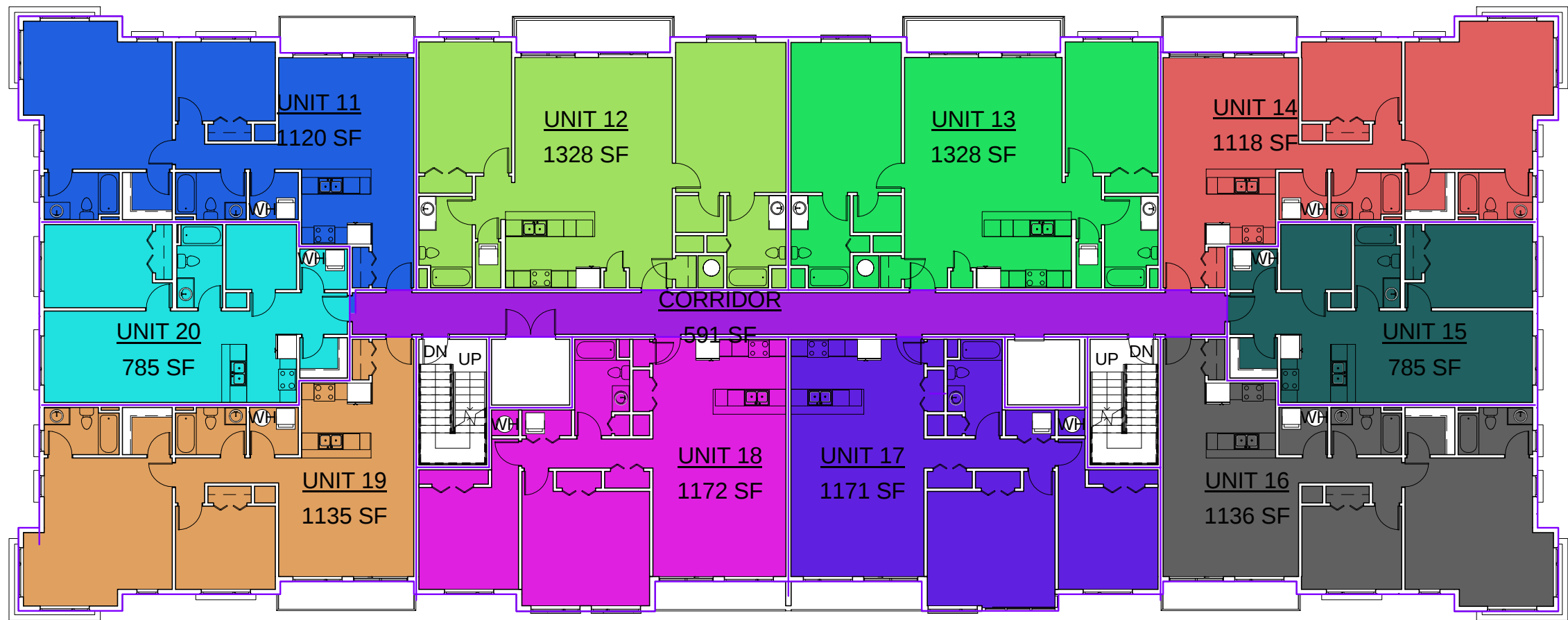
MYSTIC AVE



① 1st Floor Level
1/16" = 1'-0"



② 2nd Floor Level
1/16" = 1'-0"



③ 3rd Floor Level
1/16" = 1'-0"

Rentable Area Legend

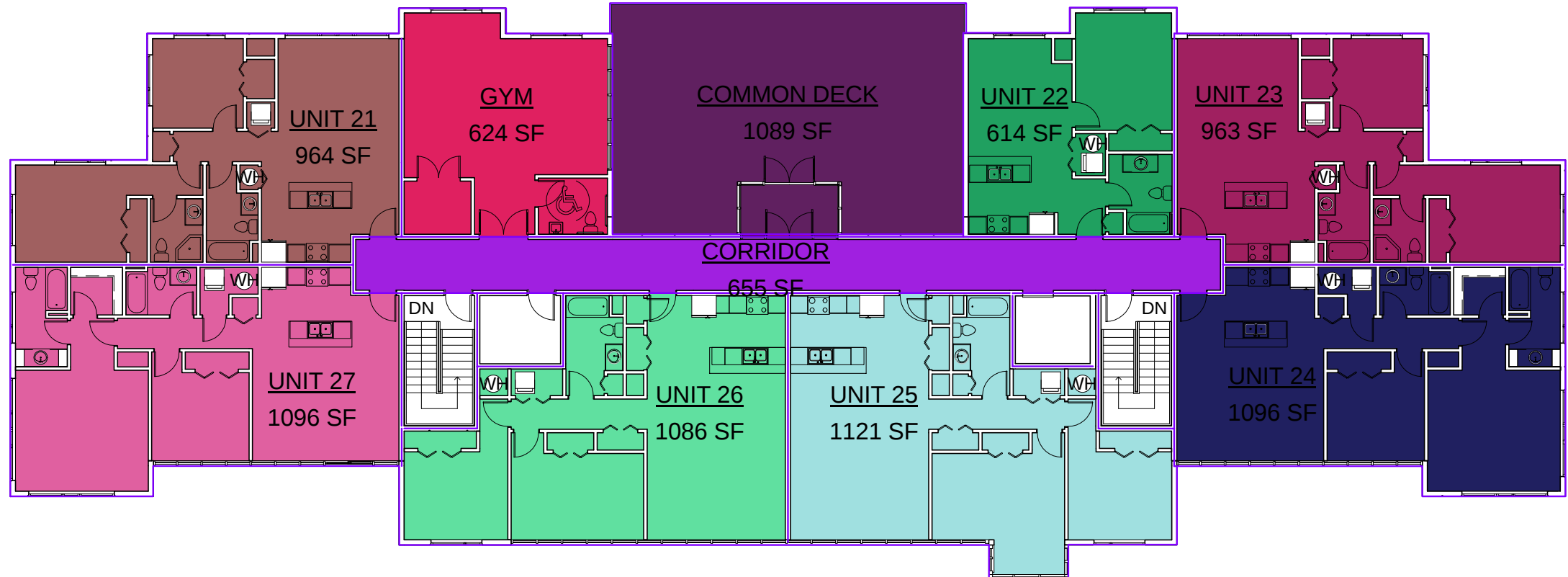
- BIKES
- COMMERCIAL SPACE 1
- COMMERCIAL SPACE 2
- COMMERCIAL SPACE 3
- CORRIDOR

Rentable Area Legend

- CORRIDOR
- UNIT 1
- UNIT 2
- UNIT 3
- UNIT 4
- UNIT 5
- UNIT 6
- UNIT 7
- UNIT 8
- UNIT 9
- UNIT 10

Rentable Area Legend

- CORRIDOR
- UNIT 11
- UNIT 12
- UNIT 13
- UNIT 14
- UNIT 15
- UNIT 16
- UNIT 17
- UNIT 18
- UNIT 19
- UNIT 20



④ 4th Floor Level
1/16" = 1'-0"

Rentable Area Legend

- COMMON DECK
- CORRIDOR
- GYM
- UNIT 21
- UNIT 22
- UNIT 23
- UNIT 24
- UNIT 25
- UNIT 26
- UNIT 27

AREA STATISTICS		
Name	Level	Area
MEDIA ROOM		
	Not Placed	Not Placed
		0 SF
BIKES	1st Floor Level	203 SF
BIKES	1st Floor Level	99 SF
COMMERCIAL SPACE 1	1st Floor Level	955 SF
COMMERCIAL SPACE 2	1st Floor Level	1051 SF
COMMERCIAL SPACE 3	1st Floor Level	968 SF
CORRIDOR	1st Floor Level	297 SF
		3572 SF
CORRIDOR	2nd Floor Level	591 SF
UNIT 1	2nd Floor Level	1118 SF
UNIT 2	2nd Floor Level	1329 SF
UNIT 3	2nd Floor Level	1329 SF
UNIT 4	2nd Floor Level	1118 SF
UNIT 5	2nd Floor Level	785 SF
UNIT 6	2nd Floor Level	1136 SF
UNIT 7	2nd Floor Level	1171 SF
UNIT 8	2nd Floor Level	1172 SF
UNIT 9	2nd Floor Level	1135 SF
UNIT 10	2nd Floor Level	785 SF
		11669 SF
CORRIDOR	3rd Floor Level	591 SF
UNIT 11	3rd Floor Level	1120 SF
UNIT 12	3rd Floor Level	1328 SF
UNIT 13	3rd Floor Level	1328 SF
UNIT 14	3rd Floor Level	1118 SF
UNIT 15	3rd Floor Level	785 SF
UNIT 16	3rd Floor Level	1136 SF
UNIT 17	3rd Floor Level	1171 SF
UNIT 18	3rd Floor Level	1172 SF
UNIT 19	3rd Floor Level	1135 SF
UNIT 20	3rd Floor Level	785 SF
		11670 SF
COMMON DECK	4th Floor Level	1089 SF
CORRIDOR	4th Floor Level	655 SF
GYM	4th Floor Level	624 SF
UNIT 21	4th Floor Level	964 SF
UNIT 22	4th Floor Level	614 SF
UNIT 23	4th Floor Level	963 SF
UNIT 24	4th Floor Level	1096 SF
UNIT 25	4th Floor Level	1121 SF
UNIT 26	4th Floor Level	1086 SF
UNIT 27	4th Floor Level	1096 SF
		9306 SF
		36217 SF

PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

Dave Winick

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400

SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	Author
Checked by	Checker
Scale	1/16" = 1'-0"

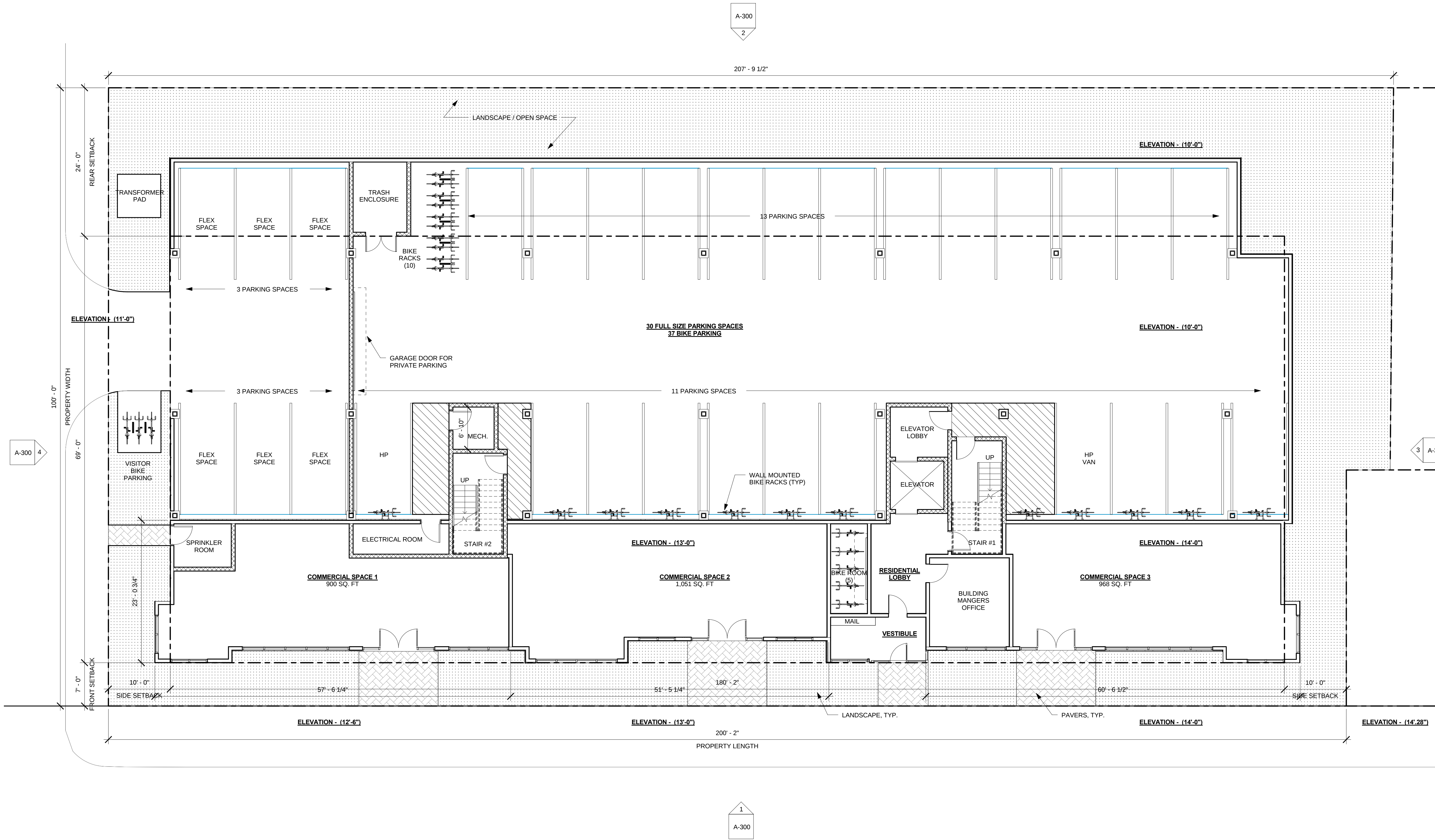
REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

Area Plans

A-021

MYSTIC AVE



PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

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TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number

14066

Date

4-18-16

Drawn by

AB

Checked by

JSK

Scale

1/8" = 1'-0"

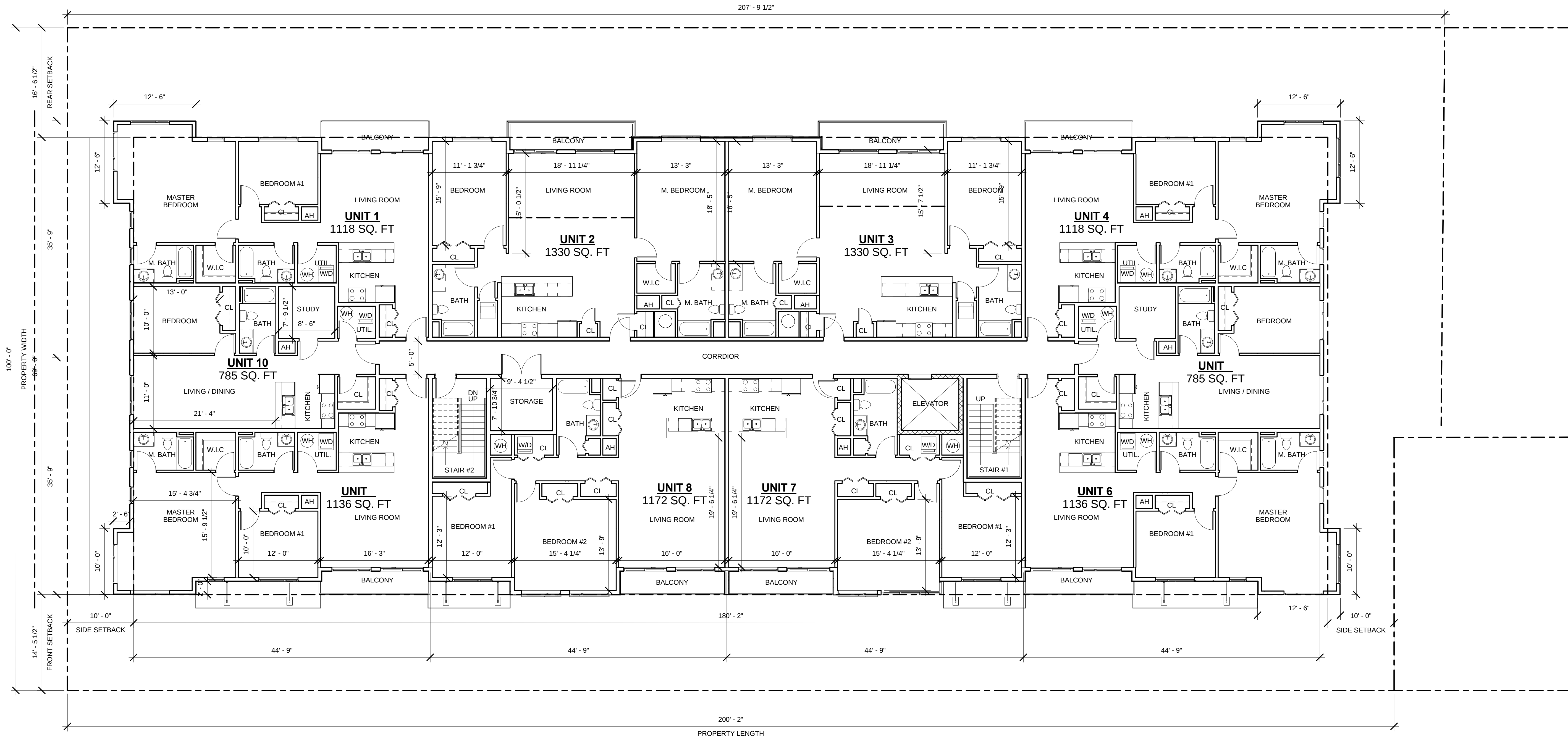
REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

1st Floor Plan

A-100

MYSTIC AVE



1 2nd Floor Level
1/8" = 1'-0"

PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
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CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	AB
Checked by	JSK
Scale	1/8" = 1'-0"

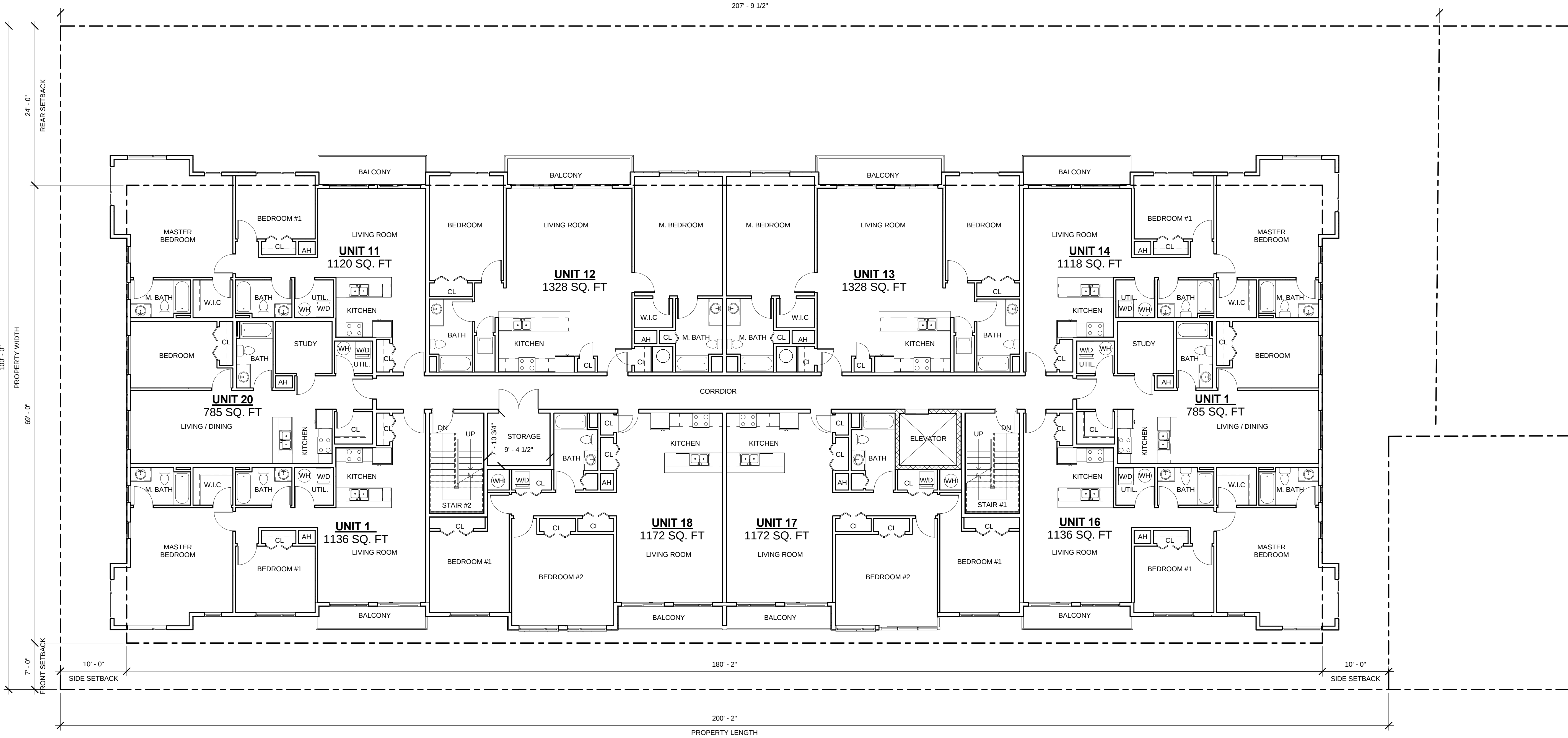
REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

2nd Floor Plan

A-101

MYSTIC AVE



① 3rd Floor Level
1/8" = 1'-0"

PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
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CLIENT

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CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	AB
Checked by	JSK
Scale	1/8" = 1'-0"

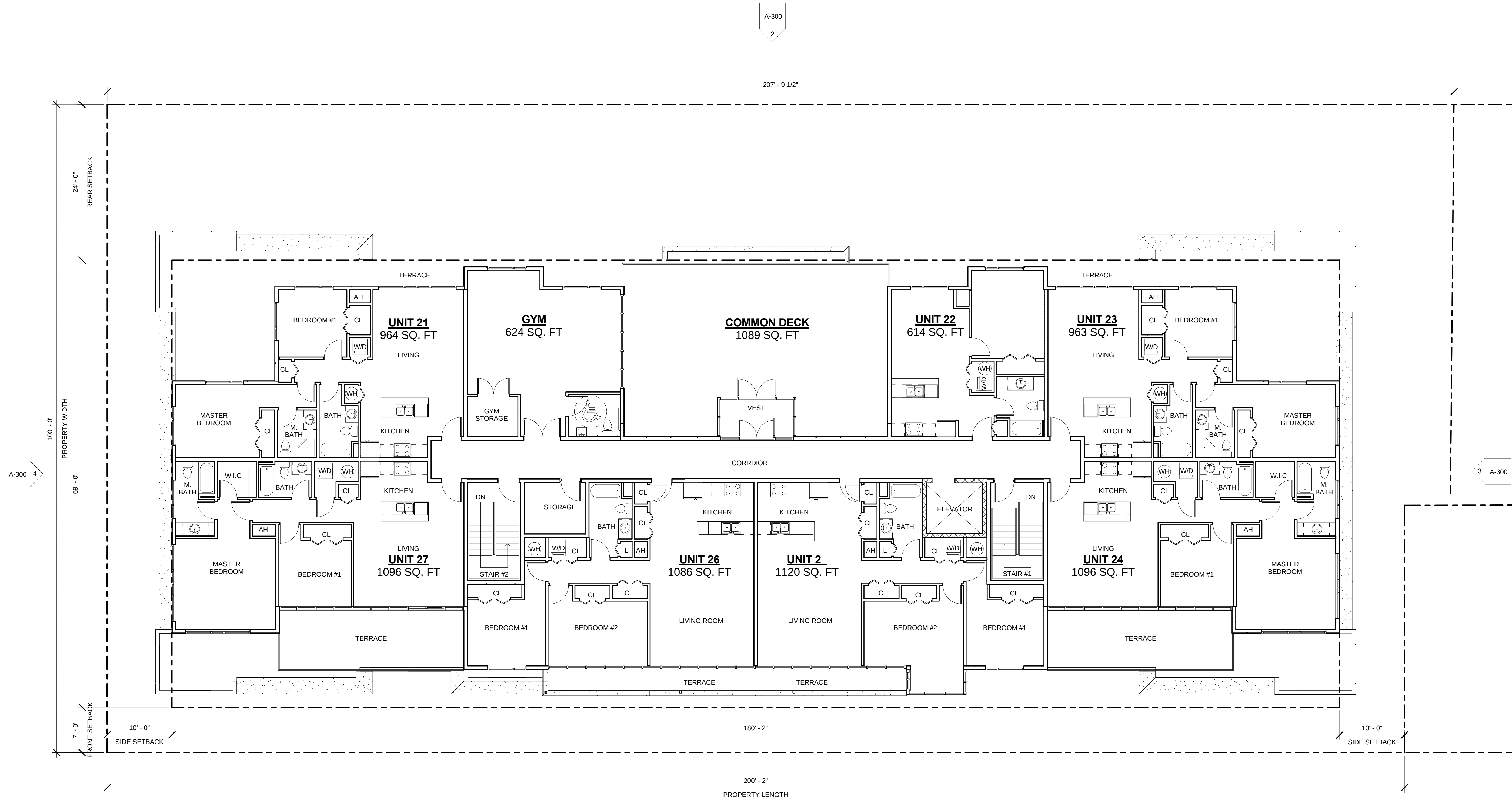
REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

3rd Floor Plan

A-102

MYSTIC AVE



① 4th Floor Level
1/8" = 1'-0"

PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

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CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	AB
Checked by	JSK
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date
1	UNIT COUNT CHANGES	6.1.16

4th Floor Plan

A-103

MYSTIC AVE



PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

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CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	AB
Checked by	JSK
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Elevations

A-300

MYSTIC AVE

PROJECT MATERIALS

THIN BRICK
COLOR: BLACK BRICK
BY: GLEN GERY

WINDOWS BY MILLGARD

CEMBRIT
COLOR: MAROON
CEMENT PANEL



THIN BRICK
COLOR: BLACK BRICK
BY: GLEN GERY

CEMBRIT
COLOR: (DARK GREY)
CEMENT PANEL

CEMBRIT
COLOR: LIGHT MIST
CEMENT PANEL

VINTAGE WOOD
STYLE: BARK
BY: NICHIIHA



PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

Dave Winick

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CONSULTANTS:

REGISTRATION



Project number 14066
Date 3-7-16
Drawn by AB
Checked by JSK
Scale

REVISIONS

No.	Description	Date

Perspectives

AV-1

MYSTIC AVE



PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	14066
Date	4-18-16
Drawn by	AB
Checked by	JSK
Scale	

REVISIONS

No.	Description	Date

Street View

AV-2

MYSTIC AVE



E ISTING STREET VIEW



PROPOSED STREET VIEW

PROJECT NAME

MYSTIC AVE

PROJECT ADDRESS

400 MYSTIC AVENUE
SOMERVILLE, MA

CLIENT

Dave Winick

ARCHITECT

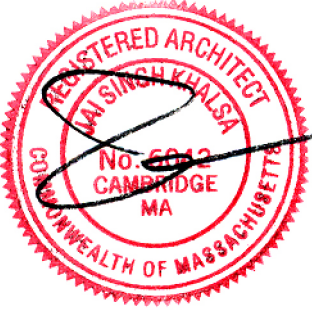
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	xxxxxx
Date	12-10-15
Drawn by	Author
Checked by	Checker
Scale	

REVISIONS

No.	Description	Date

STREET VIEW

AV-3

MYSTIC AVE

G:\1414066_400-408 Mystic Ave-Winick\03 Drawings\01_ARCH\400 Mystic Ave - option 2 - 120215.rvt 1/14/2016 4:10:03 PM