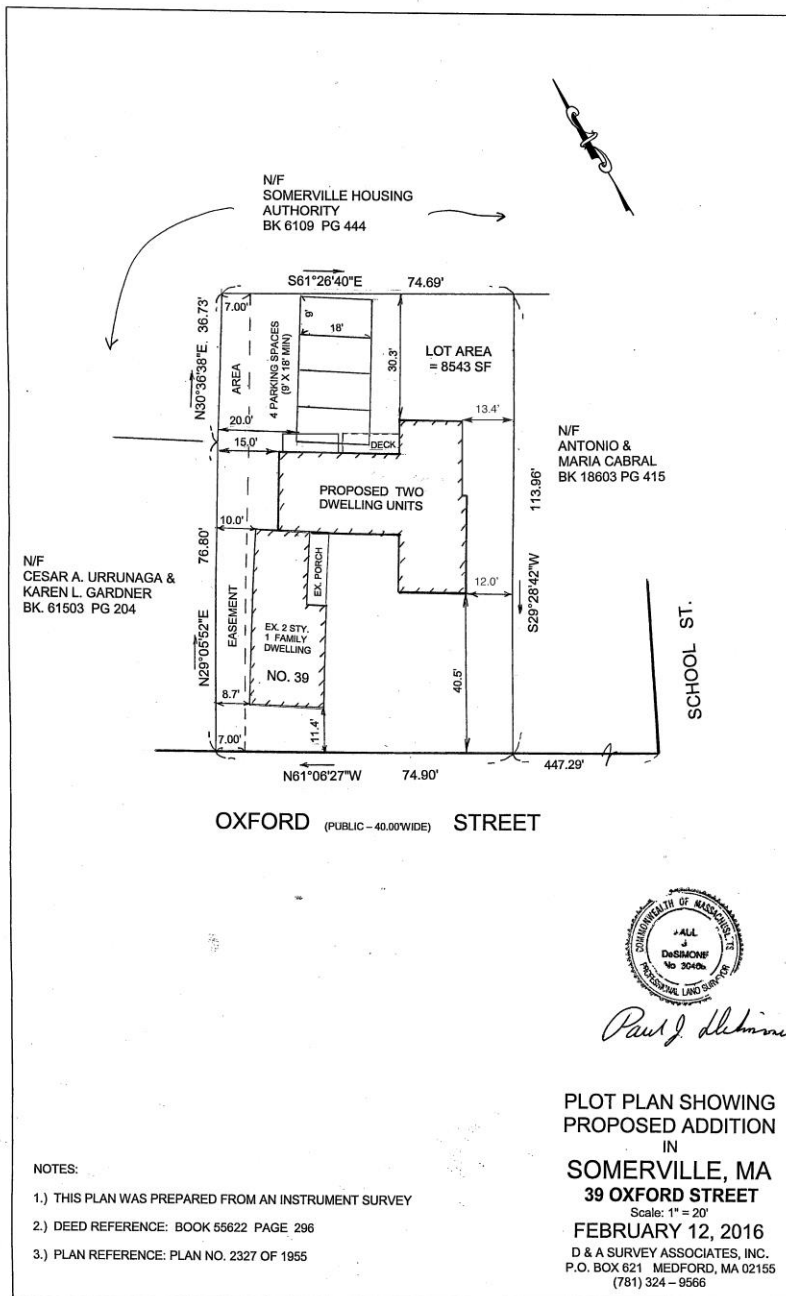
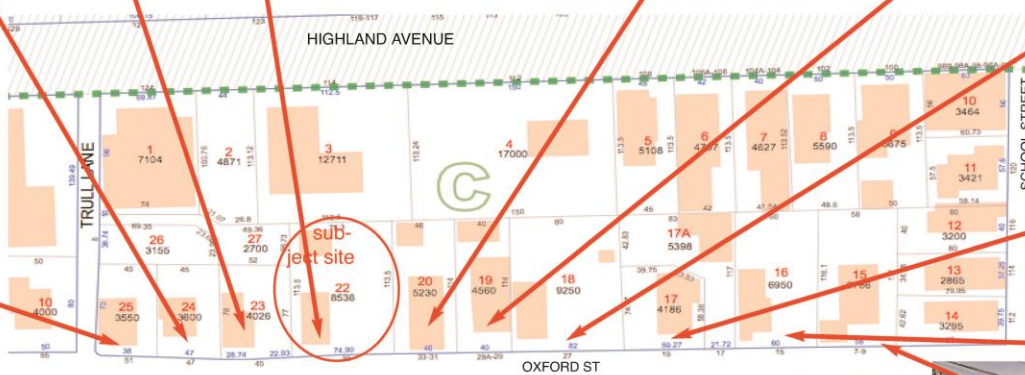
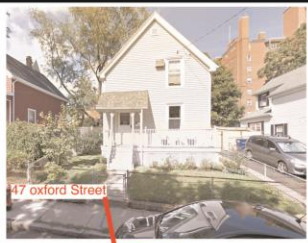






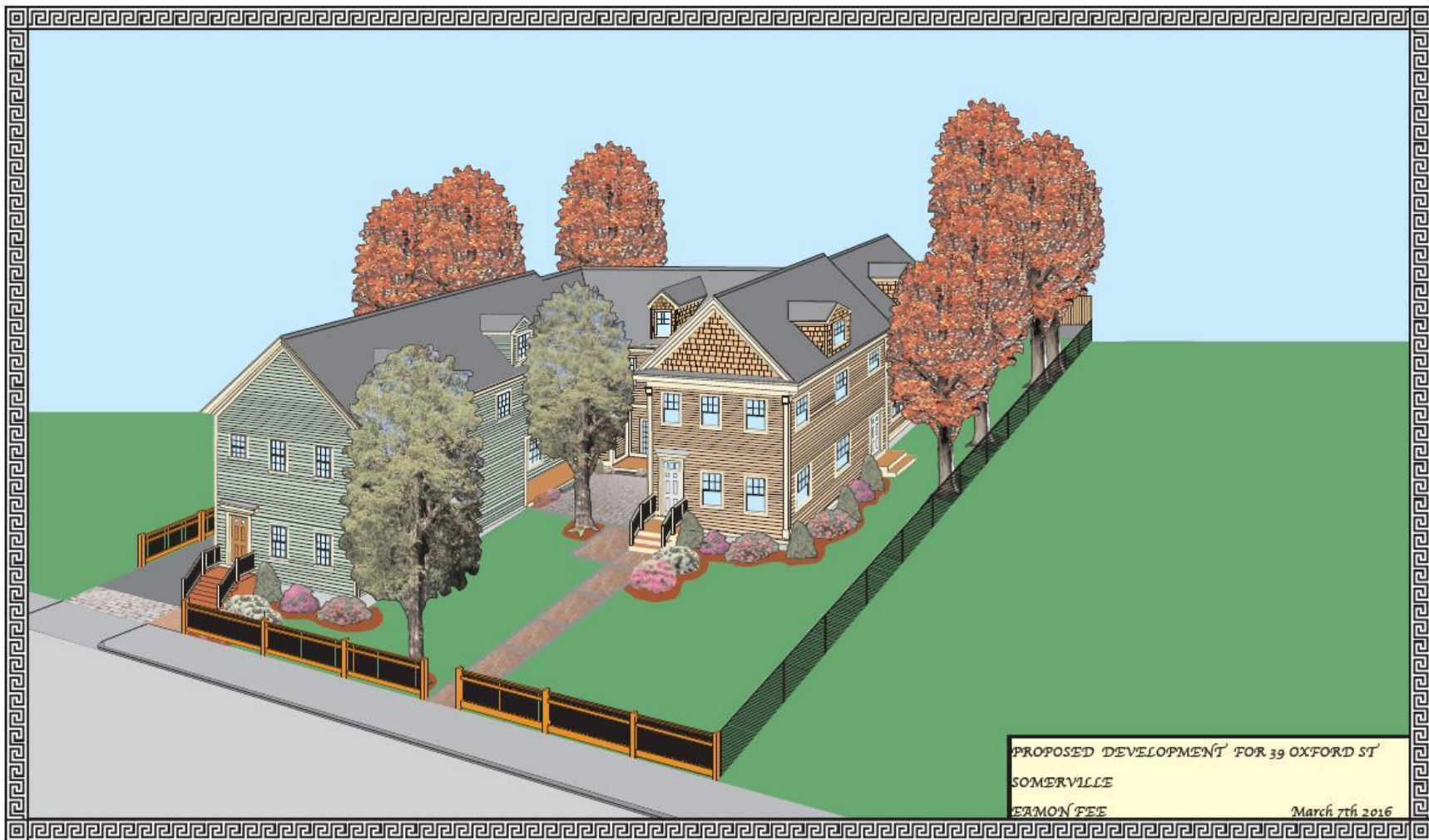
39 Oxford Street
Neighbourhood Contextual Map

March 7th 2016



39 Oxford Street Perspective from
the left
side of the existing house

March 7th 2016



Design decisions that is not seen in this perspective:

Originally there was a porch designed along the rear left elevation. On Jan the 10th this design was discussed at the neighborhood meeting. The neighbors living at 45, 47 and 51 Oxford Street expressed privacy concerns citing that the people sitting on the 2nd floor deck would be directly looking at those dwellings. As a result of those conversations, we changed the location of the deck to the rear of the building. These changes can be viewed on Sheet A3.4A, A5.6, C1

Two dormers will be added to the old structure to offer balance to both structures. The gables and sides of the dormer shall be sided similar to the structure and design and color and trim shall match the existing structure.

The siding will be replaced with wood cedar diagonal, color will be a olive green

The new crown molding, fascia board and soffit will match existing

All the windows on the old structure shall be replaced with Jel-Wen wooden windows. The sashes shall be six over six and painted black to preserve the historical integrity of the structure

Front door shall be traditional pine construction or embossed fiberglass. It shall have two glass top lites and 4 inset panels. The door shall be painted or stained dark brown or black to match window

Install a fence the same as the front fence along the left boundary unit it intersects with the existing stockade fence that belongs to 51 Oxford Street. Currently, start fence 15ft from the back of sidewalk to improve maneuverability

The small window over the doorway shall be restored

The existing roof over the door shall be restored

Repair and repaint the existing brick stair case at the front of 39 Oxford

Install new cedar handrails and balusters

Install Belgium block granite cobble stone at threshold of driveway. This adds curb appeal to the front of the driveway and front of the building and also helps kick dirt off vehicles tires.

Plant an assortment of shrubs including at least:
1 Rhododendron
1 Autumn Amethyst
1 Annabelle Hydrangea
1 Emerald Green Arborvitae
1 Azalea
All mulch beds around plantings shall be shaped and edged. They shall receive a minimum of 2" bark mulch

On the original front elevation drawing, you will notice that the roofline is the same. It was suggested by the planning staff to lower this line in order to break up the continuity of the building, we did and this change is reflected in the revised drawings.

French Door
The planning staff were concerned that the single door and two windows in the center of the front elevation gave the illusion that there were three units instead of two units. They felt that getting rid of this center door would be more harmonious with what is currently allowed. It was suggested and we agreed to replace the door and windows with a double French door. This is reflected in the revised drawings.

It was suggested by the planning staff and we agreed that it would be better to step in the foot print of the structure and step down the roof line instead of one long continuous structure

Cedar Shingles
To help even lend more contrast to the two buildings. It was suggested and we agreed to install cedar shingles to the front gable and over the dormer windows on the new portion of the structure, while keeping those areas of the old structure more simplistic using traditional siding.

Retain the existing 6ft stockade fence on top of 3 ft concrete wall

Windows
In order to create some contrast between the two buildings and to preserve the historic integrity of the existing structure, it was suggested and agreed to install wooden six over six sashes in the existing building and six over one sash in

the windows in the dining area of unit 2 shall be two double hung six over six Jel-Wen with a center mullion, wood, painted black

Color Scheme
After lengthy discussion, it was decided that the trim for the entire project should be a light cream. The window sashes for the entire project should be black, the body of the existing building should be heathered moss or olive green, while the body of the new structure is ecru.

The construction of the steps to the side entrance shall be wood frame construction with Mahogany decking and pine trim. If it turns out to be only one step, construction shall be a slab of concrete.

Plant an assortment of shrubs including at least:
2 Rhododendron
1 Autumn Amethyst
1 Annabelle Hydrangea
4 Emerald Green Arborvitae
2 Azalea
All mulch beds around plantings shall be shaped and edged. They shall receive a minimum of 2" bark mulch

The gable of the new structure shall contrast the old structure by applying plinth blocks at the base of the corner pilasters and caps at the top of the pilasters plus the A gable will incorporate a small roof over the returned eaves detail

Existing chain-link fence belongs to 31-39 Oxford Street shall remain intact

The existing chain-link fence shall be removed and replaced with a cedar wood picket fence separating fences at 15 Dane Avenue and 1013

Steps to porch shall be granite

The porch to both units shall be constructed of pressure treated lumber and covered with Mahogany decking

The common courtyard shall be set out in Belgium block granite cobble pavers areas in front of the porch shall receive various Shrubs

The pathway shall consist of herring bone brick pavers the borders shall be Belgium block

Install cedar handrail and balusters mahogany steps pine trim

This perspective depicts the project with the existing trees removed. It also gives the board an understanding of the different materials and design decisions that have coalesced into the design that is before them.

PROPOSED DEVELOPMENT FOR 39 OXFORD ST

SOMERVILLE

ERAMON FEE

March 7th 2016



39 Oxford Street Somerville
 Elevation depicting how the persimmon trees would effect the frontal view as seen from the street.



Revised March 7th 2016

SCALE 1/4"=1'-0"

DATE 1-2016

AI

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON MA.

ADDITION & RENOVATIONS TO EXISTING HOME FOR
EAMON FEE
39 OXFORD ST. SOMERVILLE MA.

AI



RIGHT SIDE ELEVATION

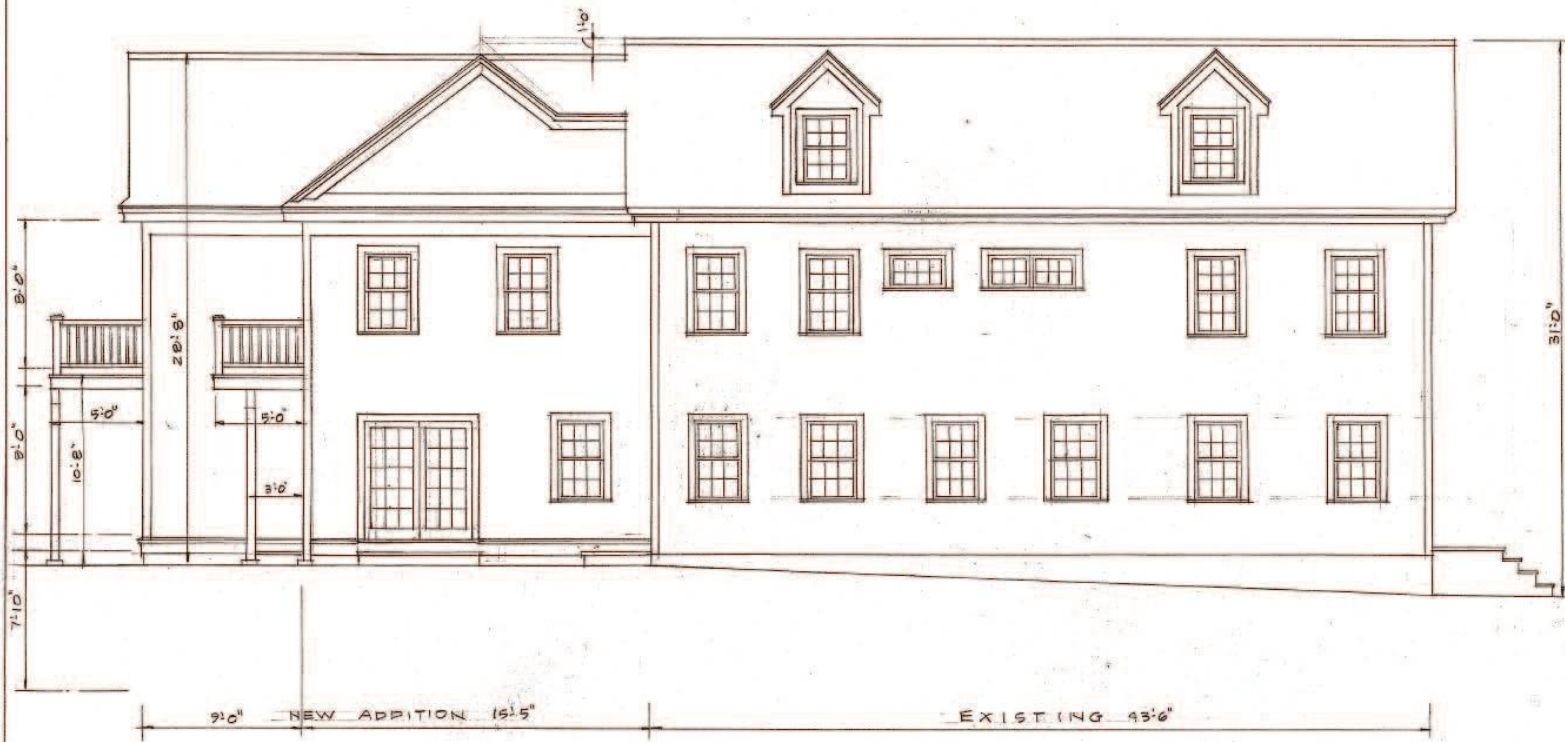
Revised March 7th 2016

SCALE 1/4" = 1'-0"
DATE 1-1-2016
A2

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON MA.

ADDITION & RENOVATIONS TO EXISTING HOME FOR
EAMON FEE
39 OXFORD ST SOMERVILLE MA

A2



LEFT SIDE ELEVATION

Revised March 7th 2016

ADDITION & RENOVATIONS TO EXISTING HOME FOR EAMON FEE 39 OXFORD ST. - SOHMERVILLE MA.	RESIDENTIAL DESIGNS BY ROBERT M. CONNELL 22 NORTH ST. WILMINGTON MA.	SCALE 1/4" = 1'-0" DATE 1-2016 A4
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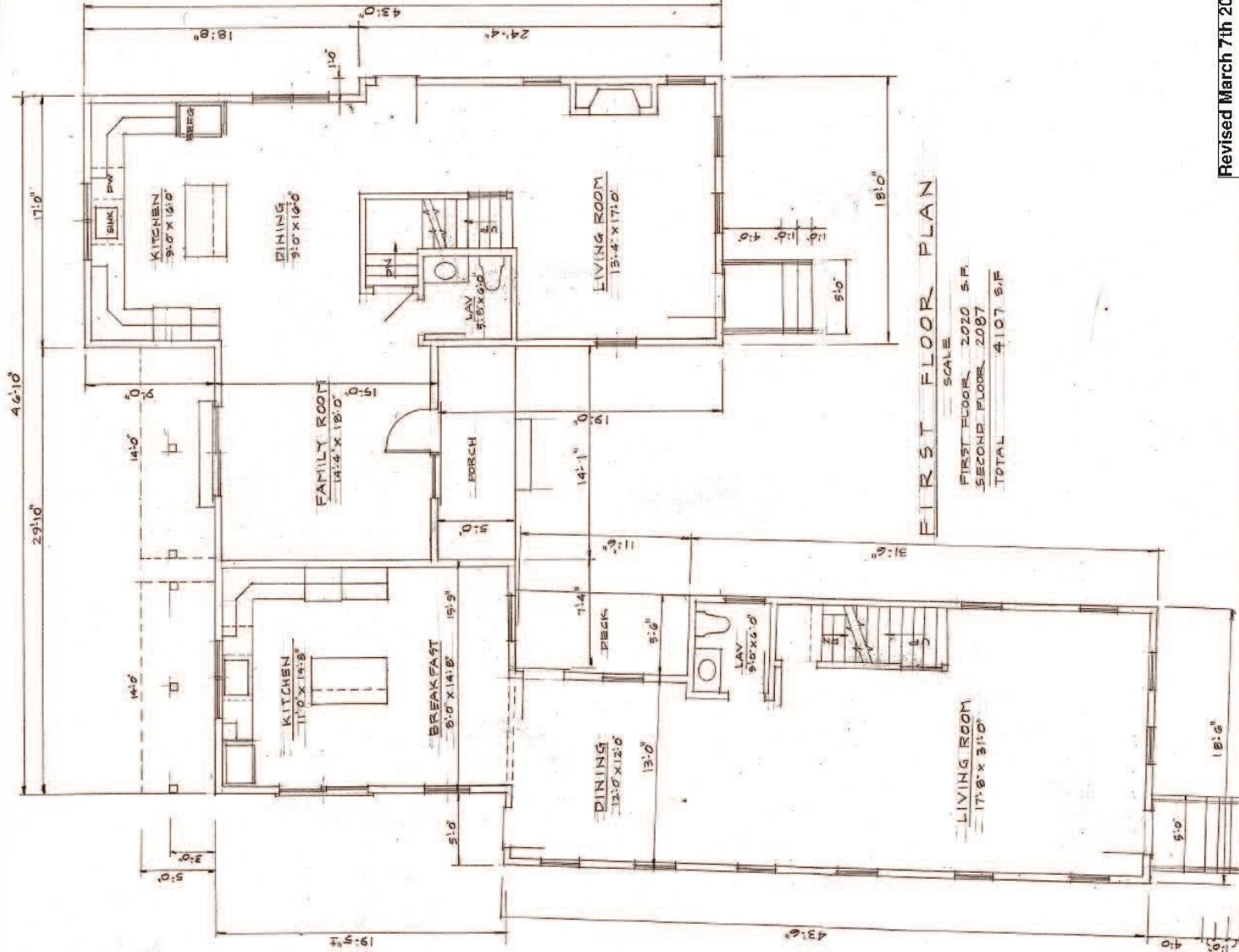
A4



REAR ELEVATION
SCALE 1/4"=1'-0"

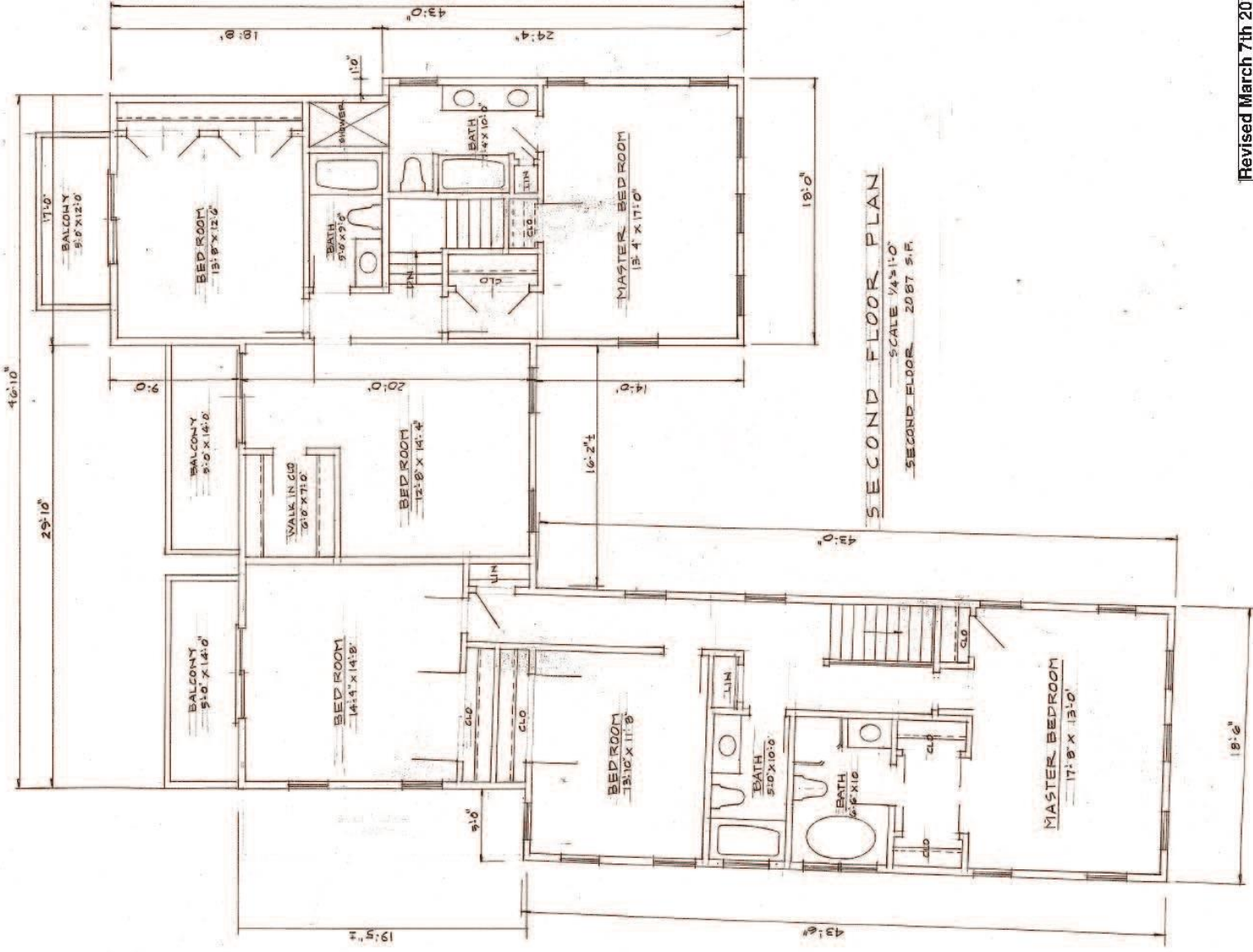
Revised March 7th 2016

ADDITION & RENOVATIONS TO EXISTING HOME FOR EAMON FEE 39 OXFORD ST. SOMERVILLE MA.	RESIDENTIAL DESIGNS BY ROBERT M. CONNELL 22 NORTH ST. WILMINGTON	SCALE 1/4"=1'-0" DATE 1- 2016 A3
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Revised March 7th 2016

A5	ADDITION & RENOVATIONS TO EXISTING HOME FOR EAMON FEE 39 OXFORD STREET SONERVILLE MA.	RESIDENTIAL DESIGNS BY ROBERT M. CONNELL 22 NORTH ST. WILMINGTON MA	SCALE 1/4"=1'-0" DATE A5
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SECOND FLOOR PLAN

SCALE 1/4"=1'-0"
SECOND FLOOR 2087 S.F.

Revised March 7th 2016

A ADDITION & RENOVATIONS TO EXISTING HOME FOR
EAMON FEE
39 OXFORD STREET SOMERVILLE MA

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON MA

SCALE 1/4"=1'-0"
DATE
AG

