PAINTNITE

22 KENT STREET, Somerville, MA

DRAWING INDEX

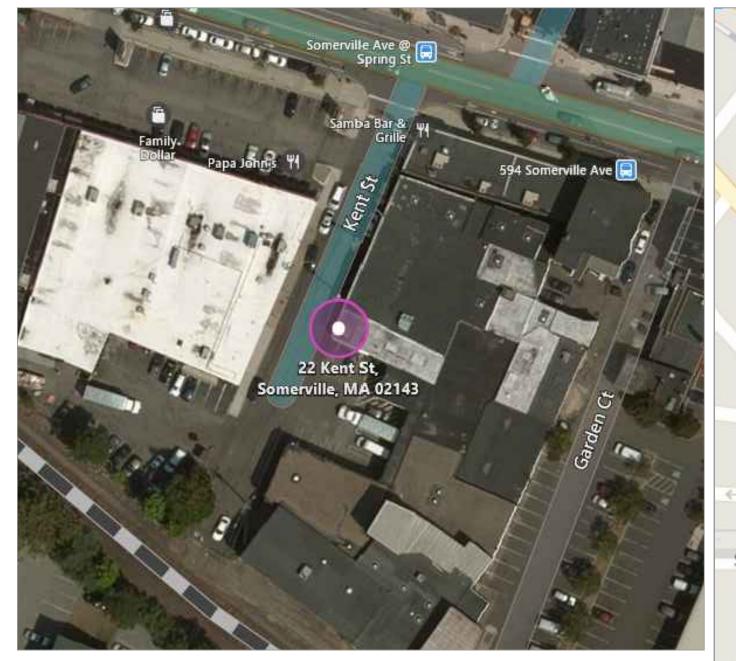
SHEET	# SHEET NAME	ISSUE DATE	REVISION DATE
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P-202	ENLARGED PARTIAL FIRST FLOOR POWER PLAN	3/22/2016	

Building Code Summary

- **Building Code:** International Building Code, 2009 with Massachusetts Amendments and International Existing Building Code, 2009 with Massachusetts Amendments.
- **Building Description:** Existing two story masonry wall and wood and steel framed building with a flat roof, built in 1900 containing approximately 27,000 SF on the first floor and 5,900 SF on the second floor. Building contains retail use, manufacturing space, warehouse space and a school.
- **Building Construction Type**: Type IIIB
- **Building Use Group:** Mixed Use: B, M, E, F-1 and S-1
- **Building Area Tabulations:** First Floor: 27,000 SF Second Floor: 5,900 SF
- **Project Description:** Tenant fitout of approximately 16,500 SF of building that contains one story, for office space for Paintnite headquarters.
- **Tenant Use Group**: B General Offices
- **Occupancy:** 16,500 SF 100 SF/person = 165 occupants
- Fire Alarm System: As required by City of Somerville Fire Department and Massachusetts State Building Code
- **Automatic Sprinkler System**: Yes
- **Number of Exits:** 3 exits to grade
- Exit Width: Required / Provided 24" 108"
- Exit Access Travel Distance: Allowed / Provided 300' 120'

Plumbing Fixtures Required:

I ramoning I mital to I	equireu				
164 occupants:	82 male	S	82	2 females	
	Required	/Provided	Required/Provided		
Water closets:	3	3	5	5	
Urinals	1	2			
Lavatories	2	2	2	2	



ARCHITECTURAL DESIGNER

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JOHN CONNER

617-828-1694

LESSEE

PAINTNITE

BALA-TMP

ED DOLAN

PROJECT DIRECTORY

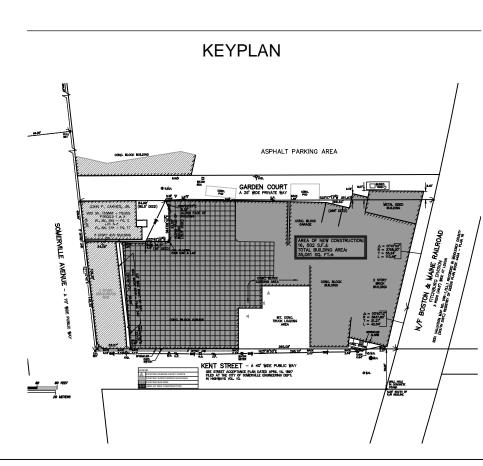
PROJECT LANDLORD / OWNER
George MoussallemLL
22Kent Somerville, MA
C:(617) 510-7125

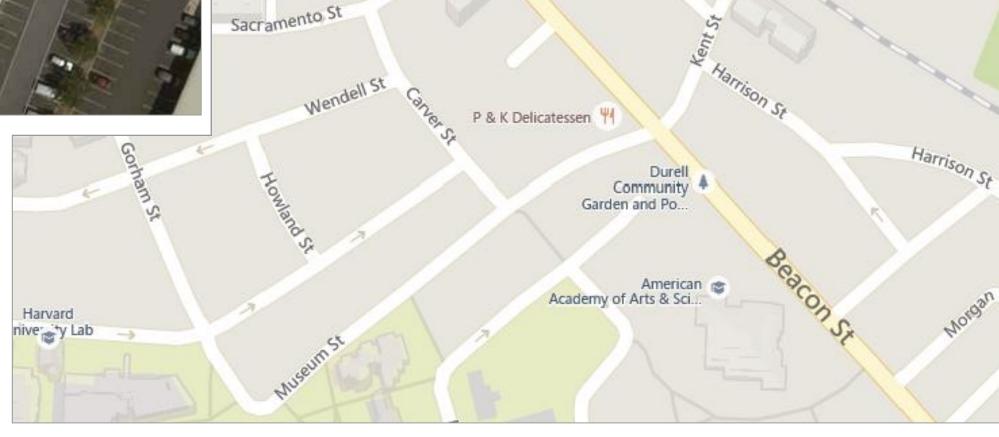
SITE LOCATION 22 KENT STREET SOMERVILLE, MA

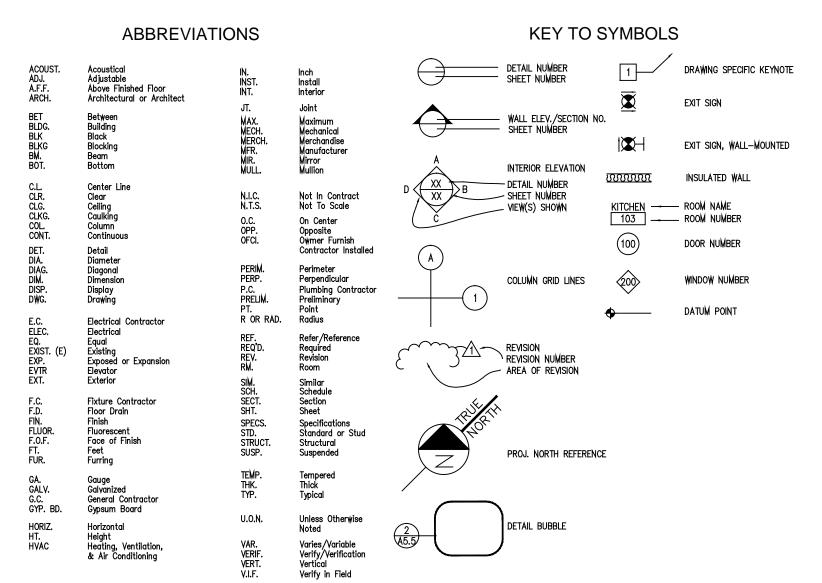
INTERIOR DESIGNER
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P: 617-467-6383
CHERI HILL| Designer

Jared Wiener Project Director
CHERI.HILL@UNISPACE.COM
www.UNISPACE.COM

STRUCTURAL ENGINEER







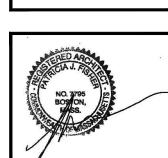
Ophachitect of Record:

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PAINTNITE OFFICE



Project No.: P021616

Issue Date: 03-22-16

DESIGNED/Drawn:CDW

Checked:CDW

Scale:

Revision:

DESIGNED/Drawn:CDW

Checked:CDW

Scale:

Revision:

Sheet Name:

UCTION/PERMIT SET

MERVILLE, MA

TITLE SHEET

PAINTNITE OFFICE

T-001

TRI SO

These drawings and

written consent.

e Date: 03-22-16

ecked:CDW

SIGNED/Drawn:CDW

NERA

(1)

GENERAL LEGEND - POWER PLAN — GROUND FAULT INTERRUPTER, GFI DUPLEX RECEPTACLE OUTLET,

MOUNTED 42" TO CENTER, U.O.N. - DUPLEX RECEPTACLE, MOUNTED - DUPLEX RECEPTACLE, AT 18" A.F.F. TO CENTER, U.O.N. FLOOR MOUNTED

FIXTURE / SCONCE

 $\nabla \nabla = -4'-0''$ TRACK, TRIANGLES

INDICATE # OF FIXTURES,

- TEL/DATA OUTLET, MOUNTED AT 18" A.F.F. TO CENTER, U.O.N. - QUADRAPLEX RECEPTACLE, FLOOR MOUNTED

GENERAL LEGEND - REFLECTED CEILING PLAN -ARCHITECTURAL CEILING XXX-XX-XX -INTERIOR DECORATIVE **CEILING FIXTURE TAG**

-TYPICAL 4" INTR./ EXT. RECESSED → EXTR./ INT. WALL LIGHT CEILING FIXTURE, COLOR TO MATCH ADJACENT FINISH → TYPICAL 3" INTERIOR RECESSED ← HIGH BAY CEILING CEILING WALL WASHER, COLOR X LIGHT FIXTURE

MATCH ADJACENT FINISH -TYPICAL 2'-0" x 2'-0"

- QUADRAPLEX

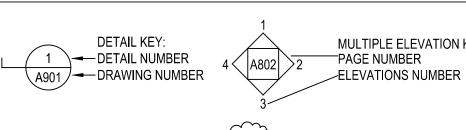
RECEPTACLE, MOUNTED

AT 18" TO CENTER, U.O.N.

FLOURESCENT ACT FIXTURE CEILING GRID SYSTEM

-SQUARE RECESSED CEILING FIXTURE

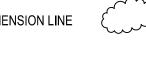
GENERAL LEGEND - FLOOR PLAN

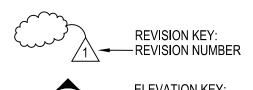


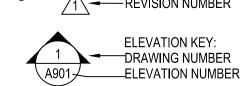
DIMENSION LINE

DOOR KEY:

D-01 DOOR TYPE DOOR NUMBER







BLACK FINISH -FINISH CEILING HEIGHT & CEILING MATERIAL MULTIPLE ELEVATION KEY:

Demolition Notes:

High Bay Light-2

metal-halide-light.aspx

Like Share Tweet Gtl Pint

- Contractor is responsible to obtain all necessary permits for demolition work.
- Remove all structure shown dashed.
- Debris shall be removed from the building on a daily basis.

http://www.warehouse-lighting.com/high-bay-lights/400-watt-120-volt-16-inch-aluminum-pulse-start-

WAREHOUSE COMMERCIAL RESIDENTIAL LIGHTING SWITCHES AND LAMPS AND BULBS SENSORS AND LIGHT BALLASTS ACCESSORIES INDUSTRIAL LIGHTING RECEPTACLES CONTROLS

- Coordinate openings for sub-contractors.
- Firestop all openings made during demolition in fire rated walls/floors and
- By careful study of the contract documents and site conditions, plan a selective demolition sequence for approval by structural engineer and or city official.
- Shore and brace existing conditions as required for the removal of existing construction or installation of new work to ensure the structural integrity of the building.
- Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued
- Structural integrity during construction comply with ASCE 37, Section 1.3.2

Industrial and commercial lighting at wholesale prices

ECONOMY 400 WATT 16 INCH ALUMINUM REFLECTOR BRIGHT

PULSE START METAL HALIDE LIGHT, 120-277 VOLT,

LIVE CHAT FIRE VEHI # OF KEV WORD GO

Call us toll free ...888-454-4480

\$152.90

General Notes:

- Contractor is responsible to follow all local, state, and applicable national codes and regulations.
- Contractor is responsible to obtain all necessary building permits and approvals for construction work and to pay all applicable fees.
- Contractor is responsible to visit the site to review all existing conditions and report any variations on the drawings to the architect for clarification.
- Contractor is required to verify all dimensions in the field and report any discrepancies to the architect for clarification. Do not scale off the drawings, use dimension notes. Notes such as "align" or "clear" take precedence over dimension notes. Do not scale when ordering materials manufactured either on or off site, such as millwork, casework, fixtures, etc. that cannot be trimmed to fit on site - measure actual conditions in field.
- Unless indicated on the drawings as Not In Contract (N.I.C.) or as existing, all items, materials and installations of same are a part of the contract defined by the construction documents. The contractor shall provide and install all accessories, components and assemblies required for the work shown.
- Contractor is responsible for performing all work in a safe and satisfactory
- Contractor is responsible for the stability of the structure during demolition, erection and construction.
- Provide and install portable fire extinguishers to code before final occupancy.
- Contractor shall verify all dimensions on drawings for conflicts prior to construction. The contractor will notify the architect of any discrepancies.
- All dimensions shown are taken from finish surface unless otherwise noted.
- Bidders are instructed to carefully review the construction documents and site.
- No structure of any kind to be constructed on, over, placed within the public utility easements except wood, wire or removable section type fencing and/or
- Any damage by G.C. or subcontractor to existing asphalt pavement and/or existing landscaping outside of construction limit line shall be repaired at no cost to owner & landlord.
- No materials shall be stored on public property unless and encroachment permit is first obtained from the public works department.
- Walls containing plumbing, piping 1-1/2" or more in diameter shall have minimum of 2x6 studs.
- Temporary toilet facilities shall be provided.
- Contractor shall be responsible for complete security and safety of the site until the job is complete.
- Contractor shall take necessary precautions to ensure the safety of the occupants and the workers at all times.
- All debris shall be removed from the premises and work areas shall be left in a clean(broom) condition at all times.
- Contractor shall provide a list of subcontractors.
- Contractor shall comply with all state and local rules and regulations concerning licensing which the applicable governing authority may have adopted.

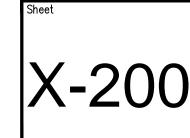
<u> High Bay Light-1</u> http://www.lightingever.com/200w-dimmable-led-high-bay-light-3500014-dw.html

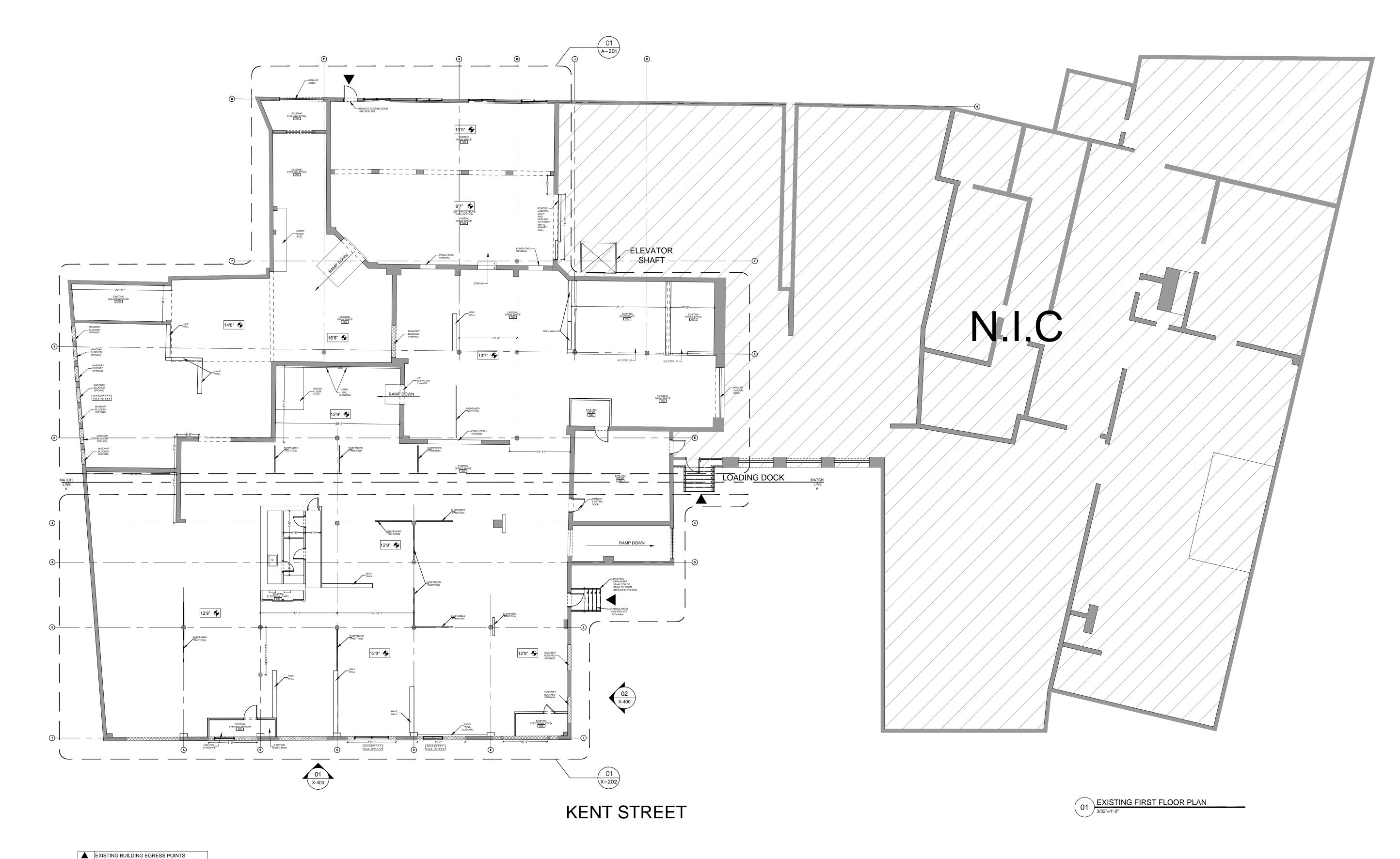
Specifications Reviews(0) Q&A(0)		
SKU	3500014-DW-US	Color Consistency (SDCM)	< 6
Rated lifetime (h)	50000	Wattage(W)	200
Brightness(lm)	21000	Metal Halide Equivalent(W)	100
LED Quantity	252	Light Color	Daylight White
Color Temperature (K)	6000	Dimmable	Dimmable
CRI	> 70	Beam Angle (Degree) Frequency (hz)	120 50/60
Input Voltage (v)	100-240 AC		
Power Factor	> 0.9	Diameter (in)	16.54
Height (in):	5:91	Net Weight (lb)	15.43
Material	Aluminum	Waterproof	Yes.
Protection Rating	IP65	Certification	UL, RoHS
Package Quantity	Pack of 1 Unit	Warranty	3 Years
Durable, Efficient coolings after and quality quart Dimmable, Works with Save electricity bill. Reporting. High efficiency, Output Maintenance Free, Extra Waterproof. IP65. Instant full light. The st Excellent appearance.	e giece housing measuring only (6.58') g structure, much longer lifetime and quateed. Uf listed, I year a wacrants 100' dimmer: lace 400W HPS (High Pressure Sodium) is over 21000lm. Efficiency is over 100l mely long life reduces re-lamp frequen arting time is less than 0.5 s, no need to tugged die-cast aluminum, scratch and	cy. Save labor cost to replace bulbs with short a wait for warming up the lamp.	over 50% on electricity bill



TNTE ROAD, Som

EXISTING FIRST FLOOR PLAN





EXTERIOR/INTERIOR BLOCK WALL MASONRY "BLOCK FILL IN" LOCATION

NOT IN CONTRACT

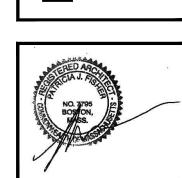
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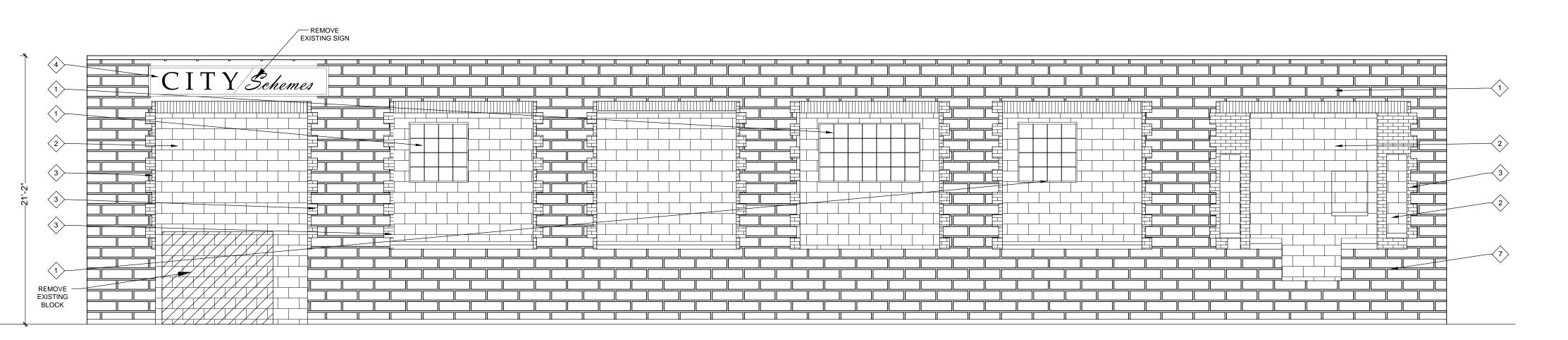
MATERIAL NOTES 1.EXISTING WINDOW

2.EXISTING BLOCK FILL 3.EXISTING BRICK FILL **4.EXISTING SIGNAGE 5.EXISTING ENTRY 6.EXISTING CONCRETE** 7.EXISTING MASONRY 8.EXISTING OPEN METAL STAIRS 9.EXISTING ROLL UP DOOR DEMO AND REMOVE BLOCK

REMOVE EXISTING DOOR

02 EXISTING MAIN ENTRY ELEVATION
3/16"=1'-0"

REMOVE EXISTING STAIR



ALL LAYOUT CONDITIONS, DIMENSIONS AND OTHER CONDITIONS WHICH AFFECT THE LAYOUT AND CONSTRUCTION OF THE WORK. CONTRACTOR SHALL REPORT ALL DIMENSIONAL AND/ OR INFORMATION AND/OR INSTRUCTION DISCREPANCIES T THE CONSULTANT BEFORE PROCEEDING
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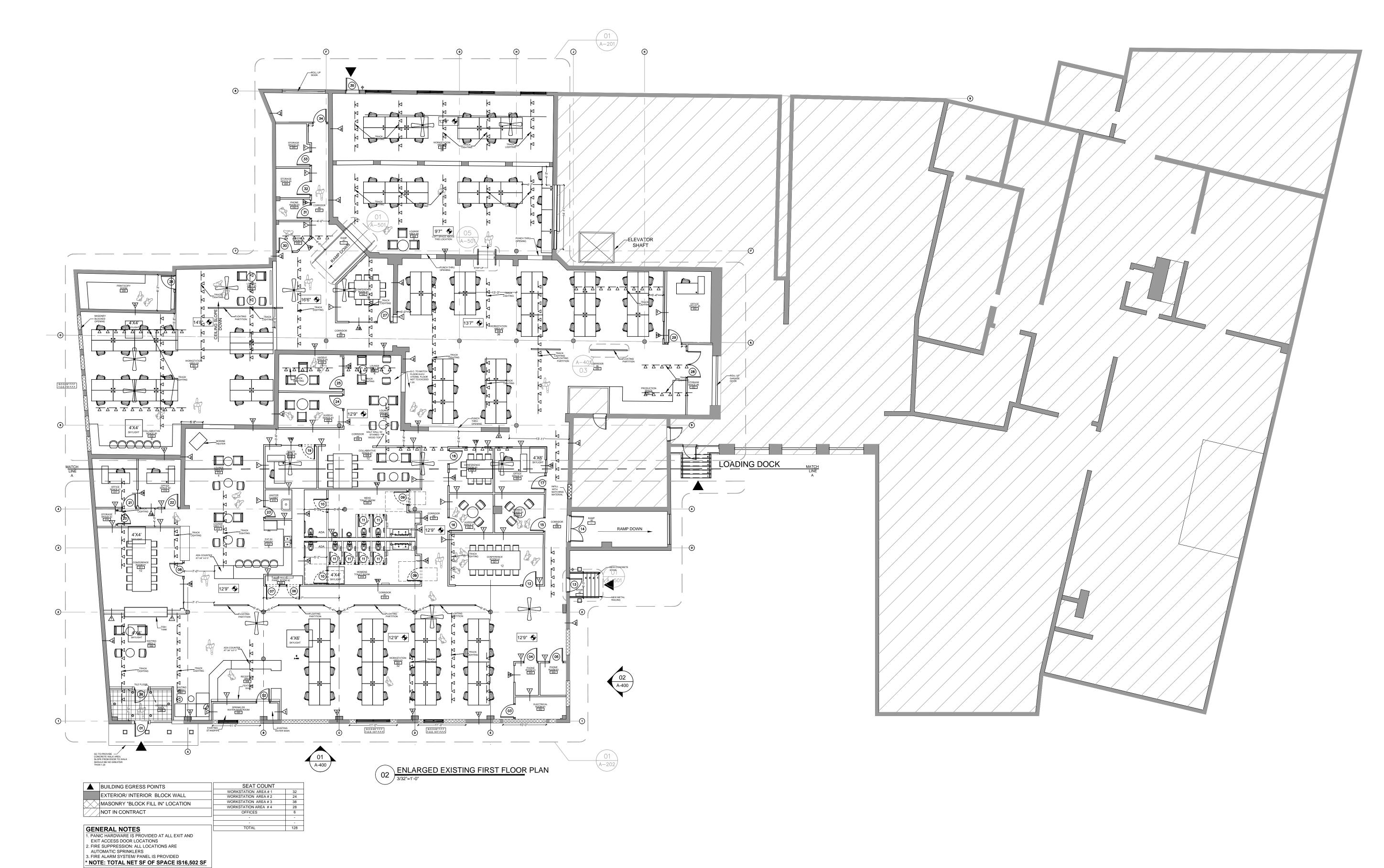
TNITE ROAD, Sorr AINT 22 KENT I

Project No.: P021616 e Date: 03-22-16

SIGNED/Drawn:CDW

hecked:CDW Scale: 3/16"=1'-0"

ROPOSED FLOOR PL

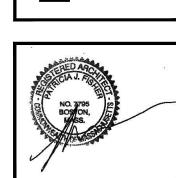


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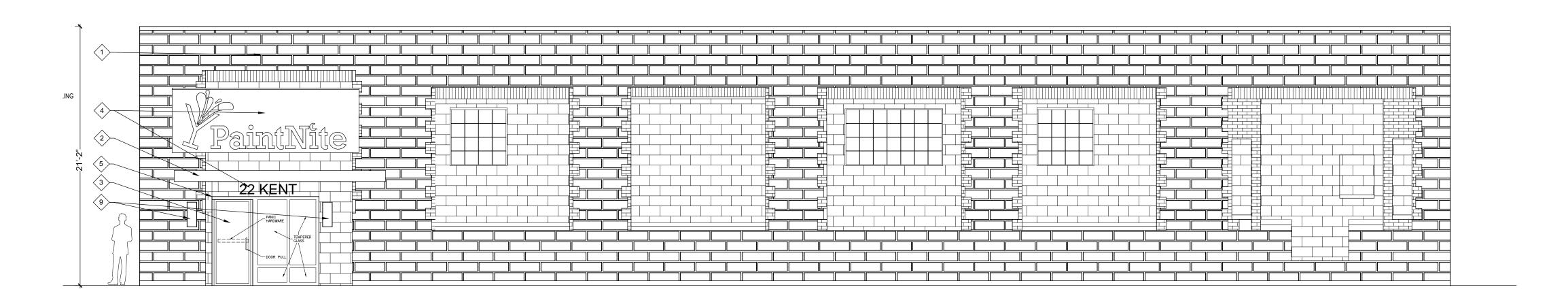


Project No.: P021616 e Date: 03-22-16 SIGNED/Drawn:CDW necked:CDW

ROPOSED SIDE AND FRONT ELEVATION

1. NEW EXTERIOR PAINT TYP. COLOR TBD 2. NEW CANOPY 3. NEW DOOR AND/OR STOREFRONT 4. NEW SIGNAGE WITH LIGHTING 5. G.C. TO PROVIDE NEW LINTIL AT NE W OPENING. 6. KEY SWIPE/ PAD 7. NEW CONCRETE STAIR WITH METAL RAILING 8. EXISTING DOOR 9. NEW LIGHT SCONCE

02 PROPOSED MAIN ENTRY ELEVATION
3/16"=1'-0"



MATERIAL NOTES