

# PAINTNITE

## 22 KENT STREET, Somerville, MA

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Building Code Summary

- Building Code:** International Building Code, 2009 with Massachusetts Amendments and International Existing Building Code, 2009 with Massachusetts Amendments.

- Building Description:** Existing two story masonry wall and wood and steel framed building with a flat roof, built in 1900 containing approximately 27,000 SF on the first floor and 5,900 SF on the second floor. Building contains retail use, manufacturing space, warehouse space and a school.

- Building Construction Type:** Type IIIB

- Building Use Group:** Mixed Use: B, M, E, F-1 and S-1

- Building Area Tabulations:** First Floor: 27,000 SF  
Second Floor: 5,900 SF

- Project Description:** Tenant fitout of approximately 16,500 SF of building that contains one story, for office space for Paintnite headquarters.

- Tenant Use Group:** B - General Offices

- Occupancy:** 16,500 SF 100 SF/person = 165 occupants

- Fire Alarm System:** As required by City of Somerville Fire Department and Massachusetts State Building Code

- Automatic Sprinkler System:** Yes

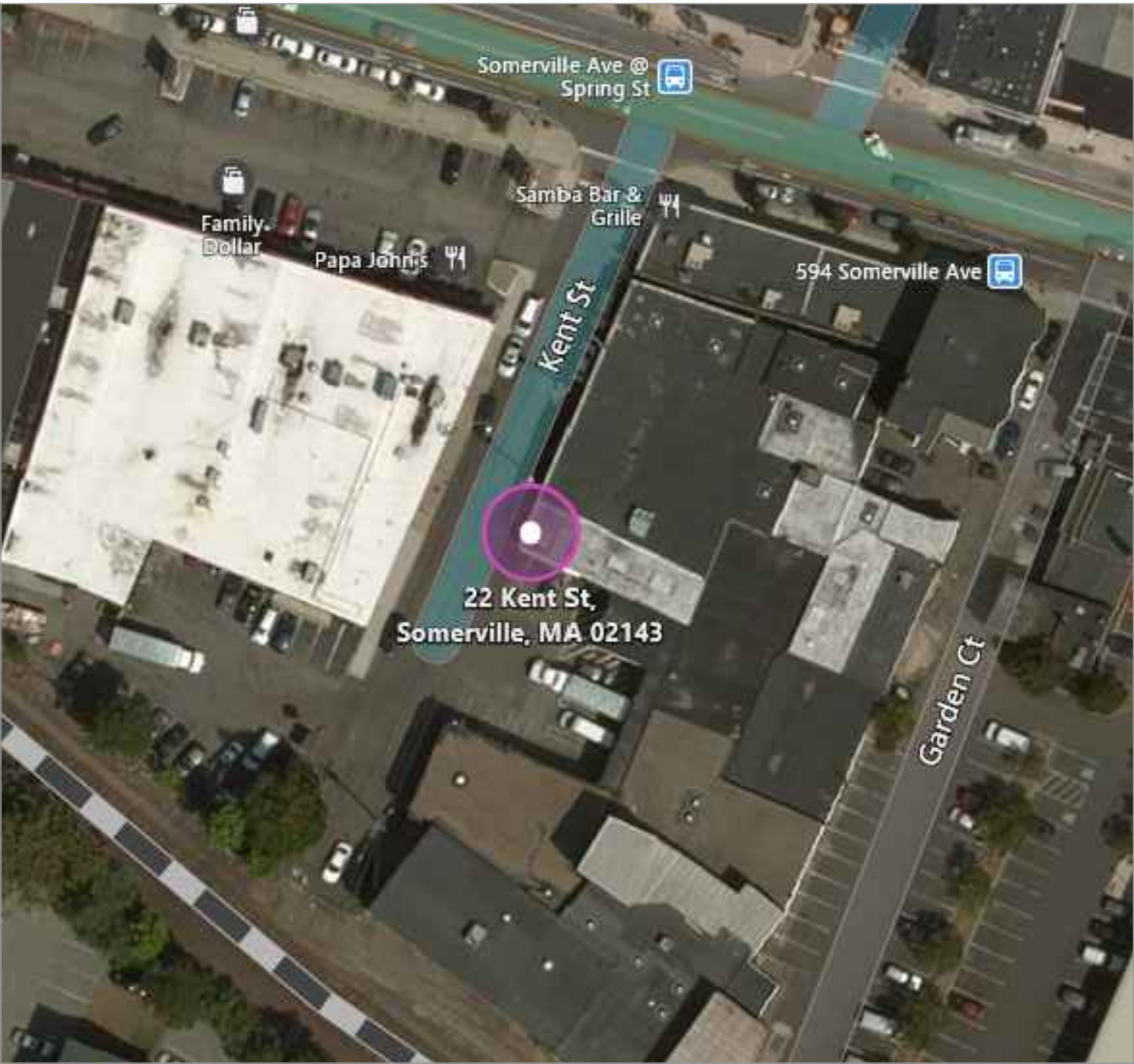
- Number of Exits:** 3 exits to grade

- Exit Width:** Required / Provided  
24" 108"

- Exit Access Travel Distance:** Allowed / Provided  
300' 120'

- Plumbing Fixtures Required:**

164 occupants :	82 males		82 females
	Required/Provided		Required/Provided
Water closets:	3 3	5 5	
Urinals	1 2		
Lavatories	2 2	2 2	



PROJECT DIRECTORY

**PROJECT LANDLORD / OWNER**  
George MoussallemLL  
22 Kent Somerville, MA  
C:(617) 510-7125

**SITE LOCATION**  
22 KENT STREET  
SOMERVILLE, MA

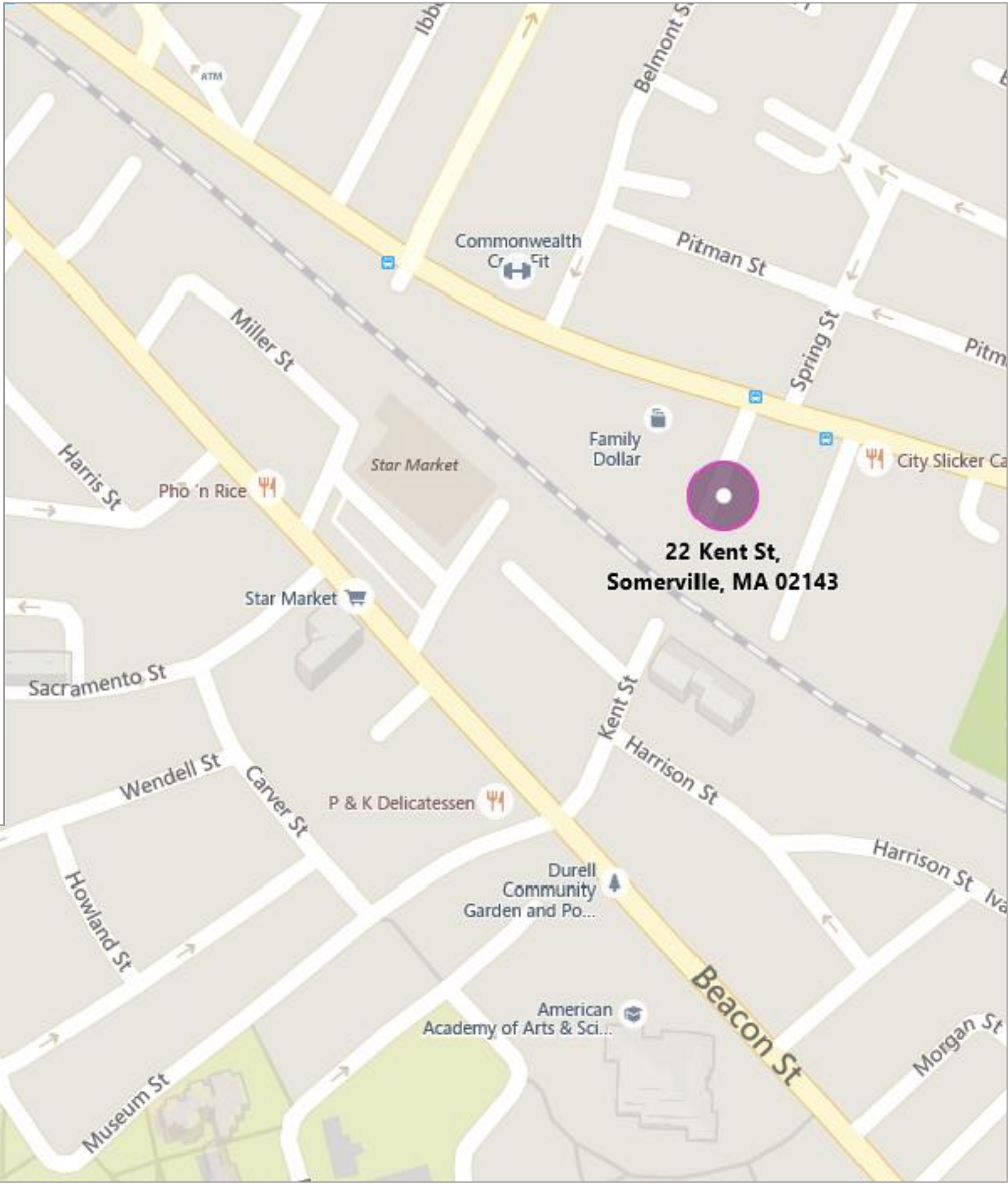
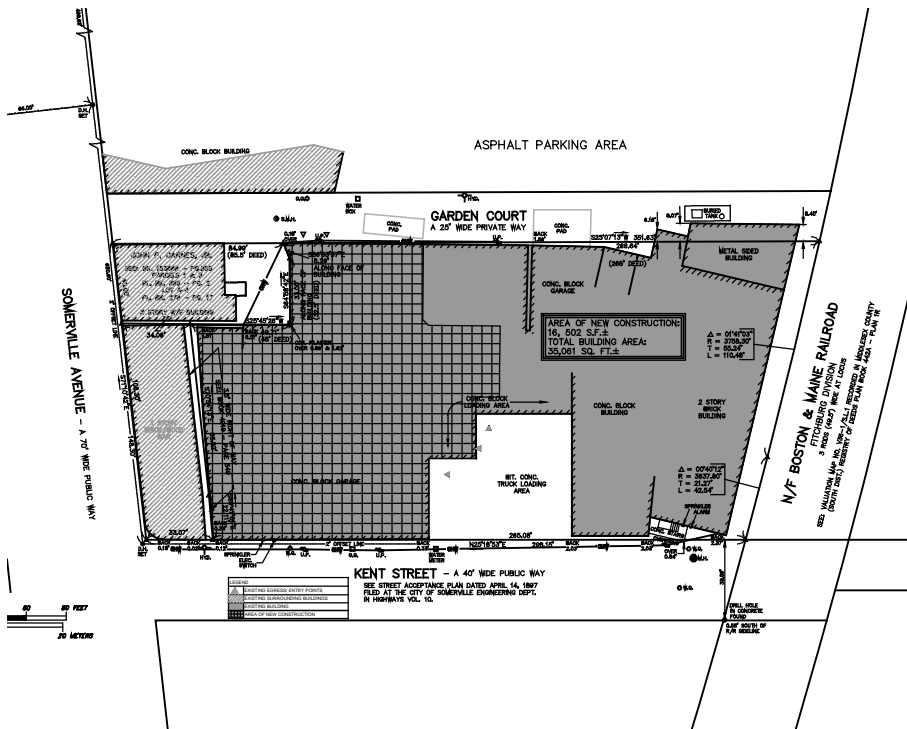
**INTERIOR DESIGNER**  
UNISPACE  
315 University Ave  
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MA 02090  
P: 617-467-6383  
CHERI HILLJ Designer  
Jared Wiener Project Director  
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TBD

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ED DOLAN  
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GENERAL CONTRACTOR  
JOHN CONNER  
617-828-1694  
LESSEE  
PAINTNITE

KEYPLAN



ABBREVIATIONS

ACQST.	Acquittal	IN	inch
ADJ.	Adjustable	INT.	Interior
A.F.F.	Above Finished Floor	JT.	Joint
ARCH.	Architectural or Architect	MAX.	Maximum
BET.	Between	MECH.	Mechanical
BLDG.	Building	MERCH.	Merchandise
BLK.	Block	MFR.	Manufacturer
BLKG.	Blocking	MR.	Minor
BM.	Benchmark	MULL.	Mullion
BOT.	Bottom	N.I.C.	Not in Contract
C.L.	Center Line	N.T.S.	Not To Scale
CLR.	Clear	O.C.	On Center
CLG.	Casting	OPP.	Opposite
CLKG.	Caulking	Owner	Owner Furnish
COL.	Column	Contractor	Contractor Installed
CONT.	Continuous	PERM.	Perimeter
DET.	Detail	PERP.	Perpendicular
DIA.	Diameter	P.C.	Plumbing Contractor
DIAG.	Diagonal	PREF.M.	Preliminary
DIM.	Dimension	PT.	Point
DISP.	Display	R OR RAD.	Radius
DWG.	Drawing	REF.	Refer/Reference
E.C.	Electrical Contractor	REC'D.	Received
ELEC.	Electrical	REV.	Revision
EQ.	Equal	RM.	Room
EXST. (E)	Existing	SIM.	Similar
EXP.	Exposed or Expansion	SECT.	Section
EYR.	Exterior	SHT.	Sheet
EXT.	Exterior	SPEC.S.	Specifications
F.C.	Fixture Contractor	STD.	Standard or Stud
F.D.	Floor Drain	STRUCT.	Structural
FIN.	Finish	SUSP.	Suspended
FLOOR.	Fluorescent	TEMP.	Tempered
F.O.F.	Face of Finish	THK.	Thick
FT.	Feet	TYP.	Typical
FUR.	Furring	U.O.N.	Unless Otherwise Noted
GA.	Gauge	VAR.	Varies/Variable
GALV.	Galvanized	VERIF.	Verify/Verification
G.C.	General Contractor	VERT.	Vertical
GYP. BD.	Gypsum Board	V.I.F.	Verify in Field
HORIZ.	Horizontal		
HT.	Height		
HVAC	Heating, Ventilation, & Air Conditioning		

KEY TO SYMBOLS

DETAIL NUMBER SHEET NUMBER	DRAWING SPECIFIC KEYNOTE
WALL ELEV./SECTION NO. SHEET NUMBER	EXIT SIGN
INTERIOR ELEVATION DETAIL NUMBER SHEET NUMBER VIEW(S) SHOWN	EXIT SIGN, WALL-MOUNTED
COLUMN GRID LINES	INSULATED WALL
REVISION REVISION NUMBER AREA OF REVISION	KITCHEN ROOM NAME ROOM NUMBER
PROJ. NORTH REFERENCE	DOOR NUMBER
DETAIL BUBBLE	WINDOW NUMBER
	DATUM POINT

CONSTRUCTION/PERMIT SET  
SOMERVILLE, MA

TITLE SHEET  
PAINTNITE OFFICE  
SOMERVILLE, MA

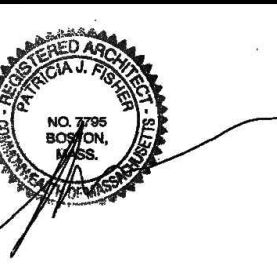
T-001

e-Volutions  
Designs

CONTRACTOR SHALL CHECK AND VERIFY ALL LAYOUT CONDITIONS, DIMENSIONS, AND OTHER CONDITIONS WHICH AFFECT THE LAYOUT AND CONSTRUCTION OF THE WORK. CONTRACTOR SHALL REPORT ALL DIMENSIONAL AND/OR INFORMATION AND/OR INSTRUCTION DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH WORK. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS SHALL REMAIN THE PROPERTY OF THE CONSULTANTS. NO PORTIONS OF THE CONTRACT DOCUMENTS MAY BE USED IN ANY FORM FOR ANY DESIGN AND/OR CONSTRUCTION PROJECT OTHER THAN THE PROJECT FOR WHICH THESE DOCUMENTS WERE ORIGINALLY PREPARED AND ISSUED BY THE CONSULTANTS.

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PAINTNITE OFFICES  
22 KENT ROAD, Somerville, MA 00000



Project No: P021616  
Issue Date: 03-22-16  
REVISIONS: CDW  
Checked: CDW  
Scale:  
Revision:  
Sheet Name:



22 KENT ROAD, Somerville, MA 00000

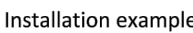
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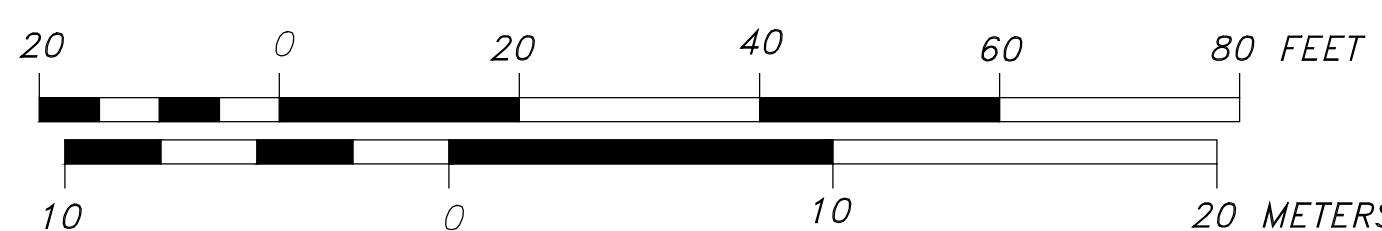
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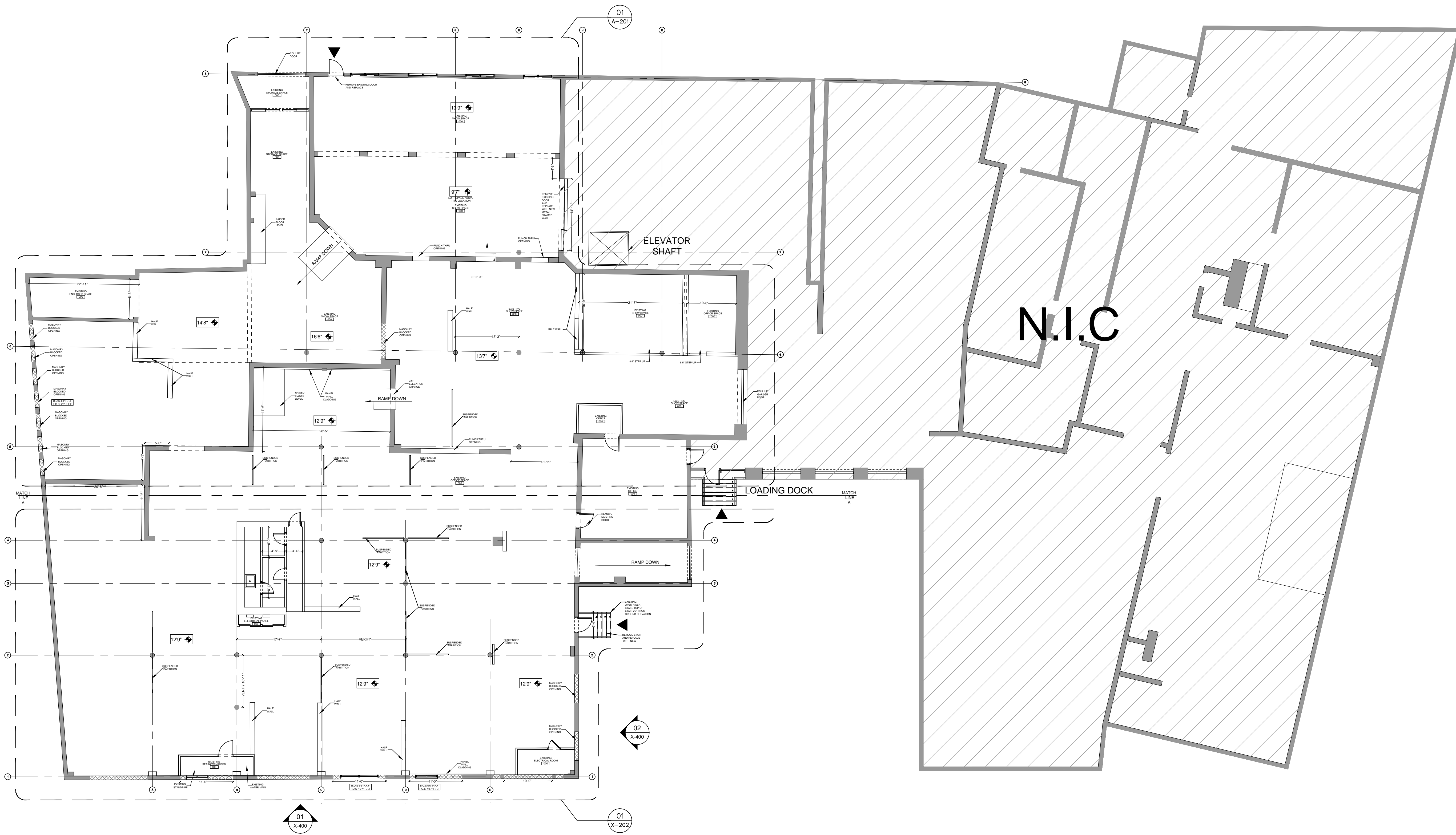
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SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

C-200







▲	EXISTING BUILDING EGRESS POINTS
▬	EXTERIOR/ INTERIOR BLOCK WALL
▨	MASONRY "BLOCK FILL IN" LOCATION
░	NOT IN CONTRACT

KENT STREET

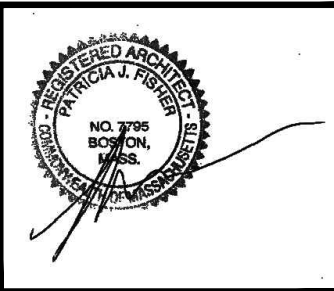
01 EXISTING FIRST FLOOR PLAN  
3/32"=1'-0"

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Designs

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Project No: P021616  
Issue Date: 03-22-16  
DESIGNED BY: CDW  
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Revision:  
Sheet Name:

EXISTING FIRST  
FLOOR PLAN

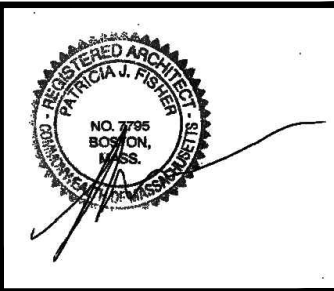
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X-200

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Issue Date: 03-22-16  
DESIGNED BY: CDW  
Checked: CDW  
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Revision:  
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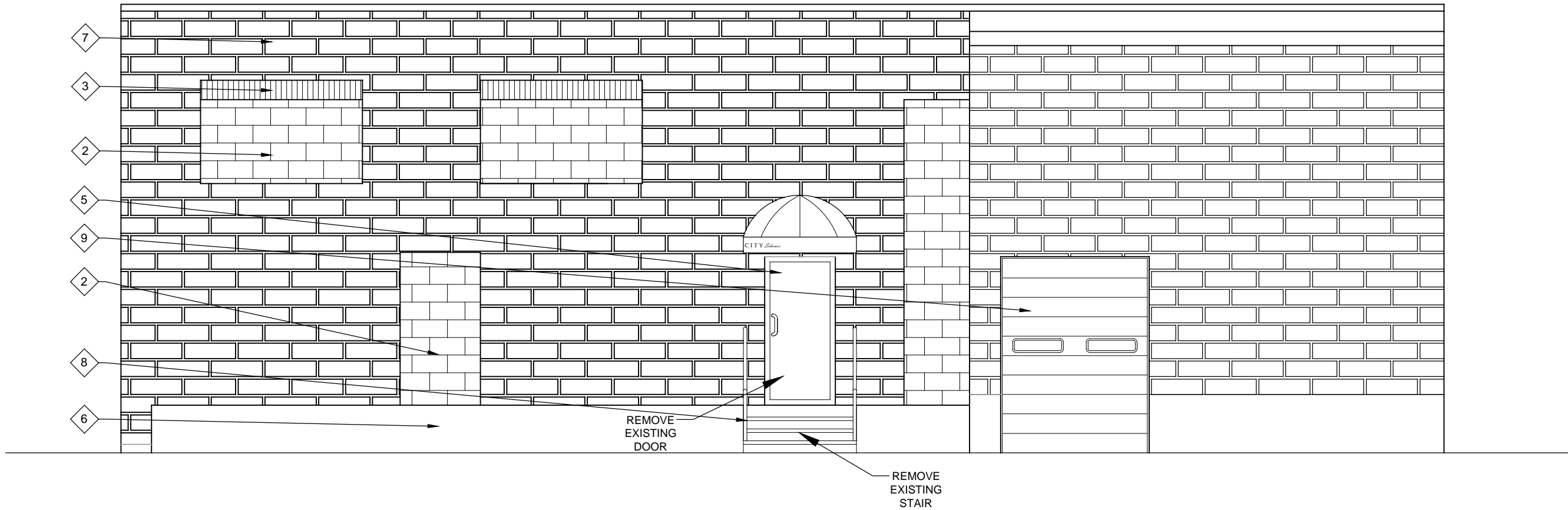
EXISTING SIDE AND  
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(DEMOLITION)

Sheet

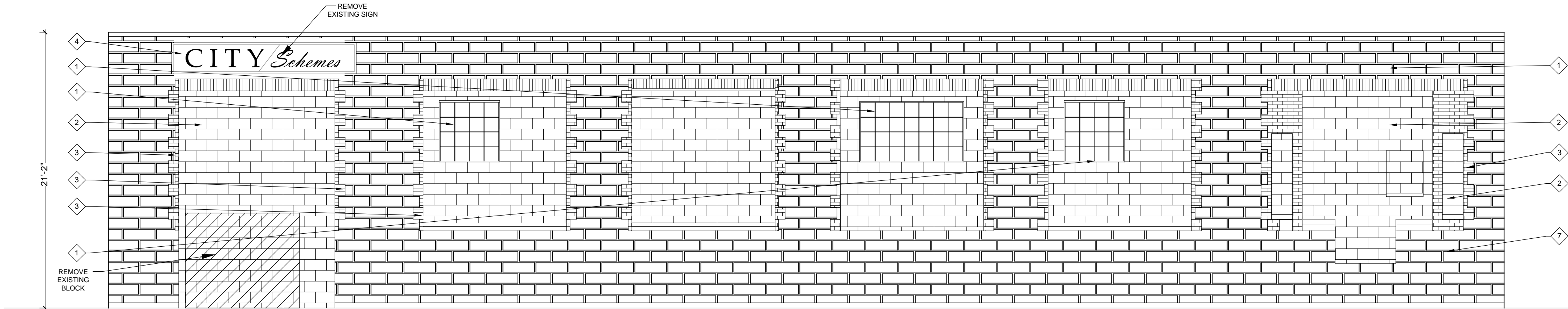
X-400

MATERIAL NOTES

- 1.EXISTING WINDOW
- 2.EXISTING BLOCK FILL
- 3.EXISTING BRICK FILL
- 4.EXISTING SIGNAGE
- 5.EXISTING ENTRY
- 6.EXISTING CONCRETE
- 7.EXISTING MASONRY
- 8.EXISTING OPEN METAL STAIRS
- 9.EXISTING ROLL UP DOOR
- DEMO AND REMOVE BLOCK



02 EXISTING MAIN ENTRY ELEVATION  
3/16"=1'-0"

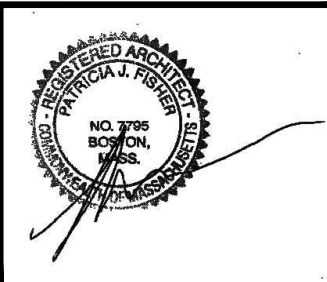


01 EXISTING KENT STREET ELEVATION  
3/16"=1'-0"

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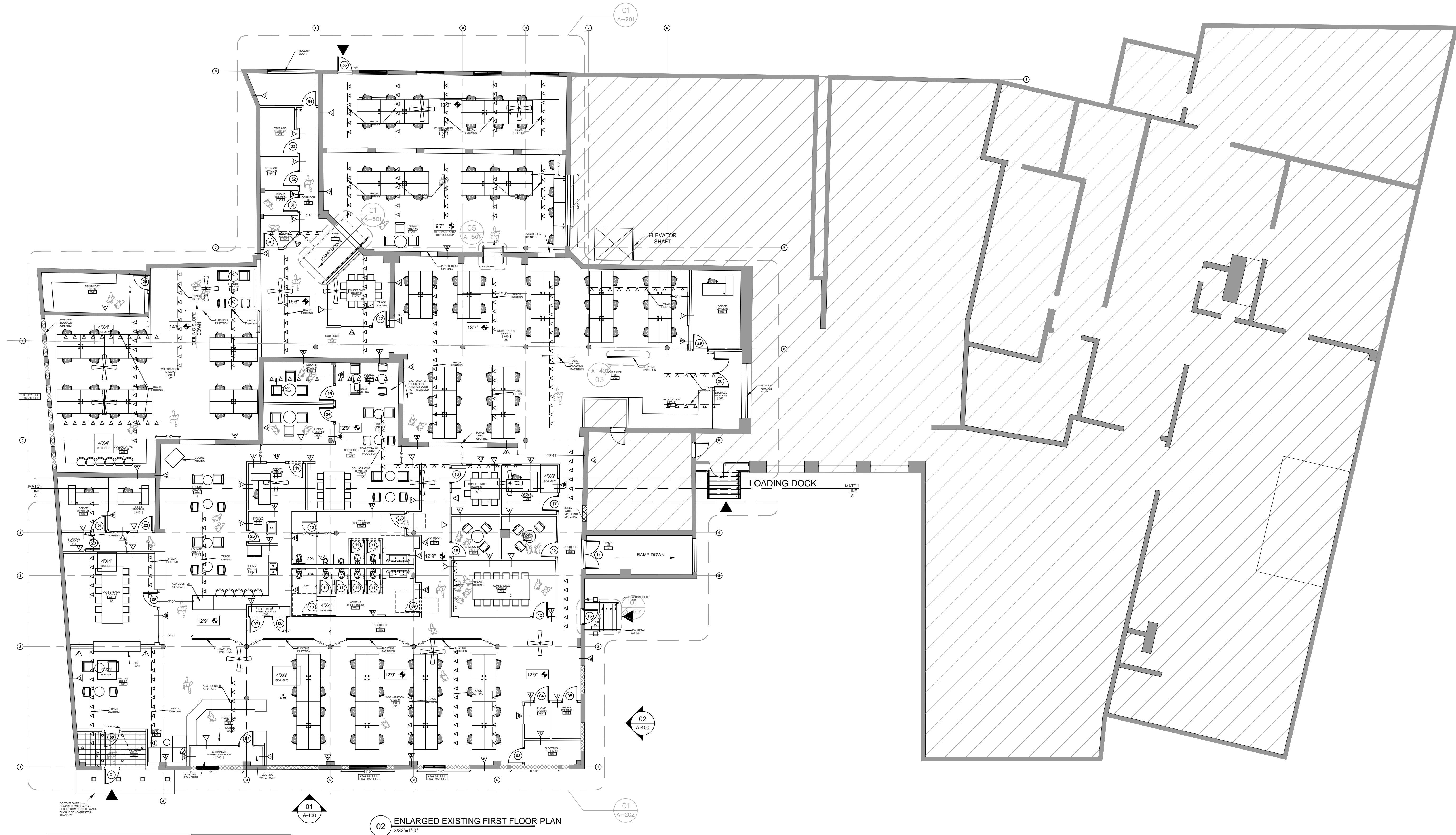
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Issue Date: 03-22-16  
DESIGNED BY: e-volutions CDW  
Checked: CDW  
Scale: 3/16"=1'-0"

Sheet Name:

PROPOSED  
1ST FLOOR PLAN

Sheet

A-200



**LEGEND**

- BUILDING EGRESS POINTS
- EXTERIOR/INTERIOR BLOCK WALL
- MASONRY "BLOCK FILL IN" LOCATION
- NOT IN CONTRACT

**GENERAL NOTES**

- PAINT HARDWARE IS PROVIDED AT ALL EXIT AND ACCESS DOOR LOCATIONS
- FIRE SUPPRESSION: ALL LOCATIONS ARE AUTOMATIC SPRINKLERS
- FIRE ALARM SYSTEM PANEL IS PROVIDED

\*NOTE: TOTAL NET SF OF SPACE IS 16,502 SF

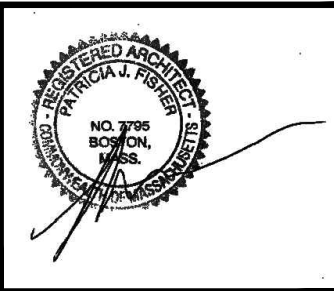
SEAT COUNT	
WORKSTATION AREA #1	32
WORKSTATION AREA #2	24
WORKSTATION AREA #3	38
WORKSTATION AREA #4	28
OFFICES	6
TOTAL	128

02 ENLARGED EXISTING FIRST FLOOR PLAN  
3/32"=1'-0"

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PAINTNITE OFFICES  
22 KENT ROAD, Somerville, MA 00000



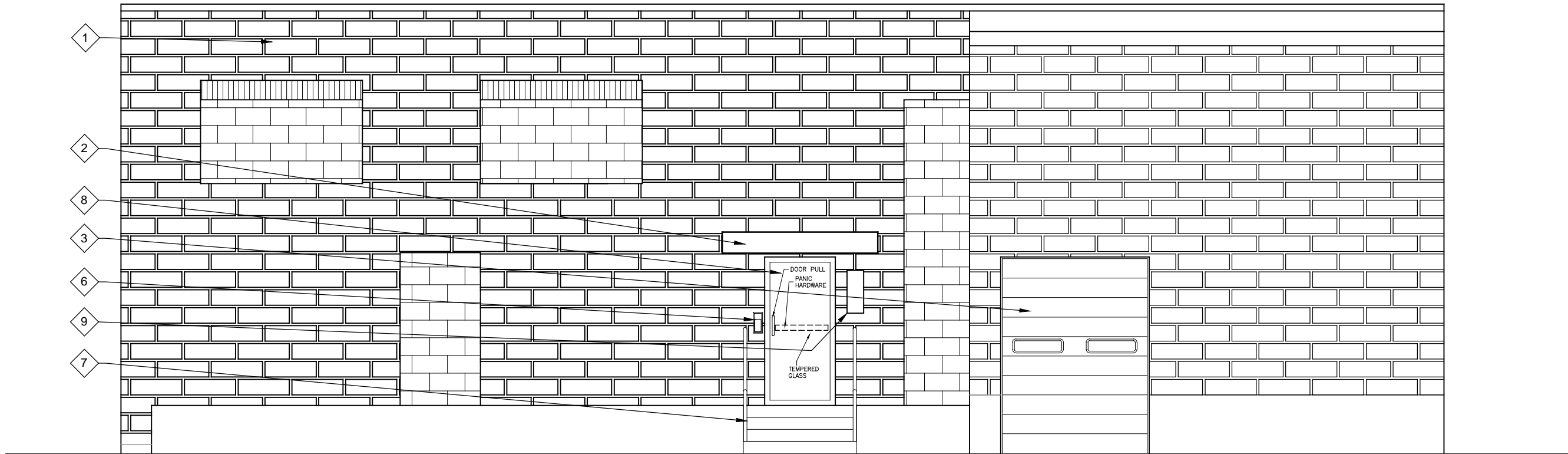
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Issue Date: 03-22-16  
DESIGNED BY: dwm:CDW  
Checked: CDW  
Scale:  
Revision:  
Sheet No:

PROPOSED SIDE AND  
FRONT ELEVATION

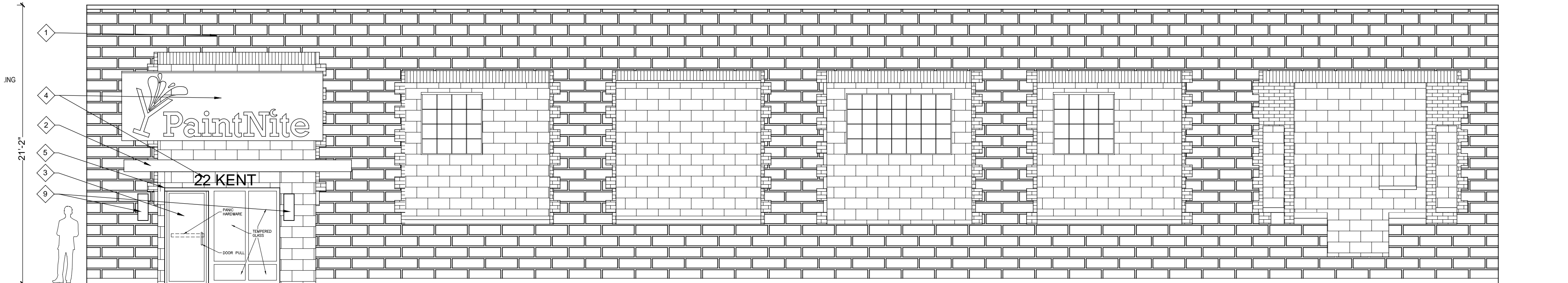
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A-400

- MATERIAL NOTES**
1. NEW EXTERIOR PAINT TYP. COLOR TBD
  2. NEW CANOPY
  3. NEW DOOR AND/OR STOREFRONT
  4. NEW SIGNAGE WITH LIGHTING
  5. G.C. TO PROVIDE NEW LINTIL AT NE W OPENING.
  6. KEY SWIPE/ PAD
  7. NEW CONCRETE STAIR WITH METAL RAILING
  8. EXISTING DOOR
  9. NEW LIGHT SCONCE



02 PROPOSED MAIN ENTRY ELEVATION  
3/16"=1'-0"



01 PROPOSED KENT STREET ELEVATION  
3/16"=1'-0"