

Site Plans

Issued for: **Revision to PUD Master Plan**

Date Issued: February 1, 2013

Latest Issue: September 25, 2014

Sheet Index

Survey Drawings

Number	Drawing Title	Latest Issue
SV-1	Existing Condition Plan of Land	8/19/2012
SV-1(A)	Existing Conditions Plan of Land (As-Built)	11/3/2004

Site/ Civil Drawings

C-1	Legend and General Notes	9/25/2014
C-2	Overall Site Plan	9/25/2014
C-3	Drainage, Utility & Erosion Control Plan	9/25/2014
C-4	Site Details 1	9/25/2014
C-5	Site Details 2	9/25/2014

Landscape Architect Drawings

L-0	Existing Landscape Plan	9/25/2014
L-1	Landscape Improvement Plan	9/25/2014

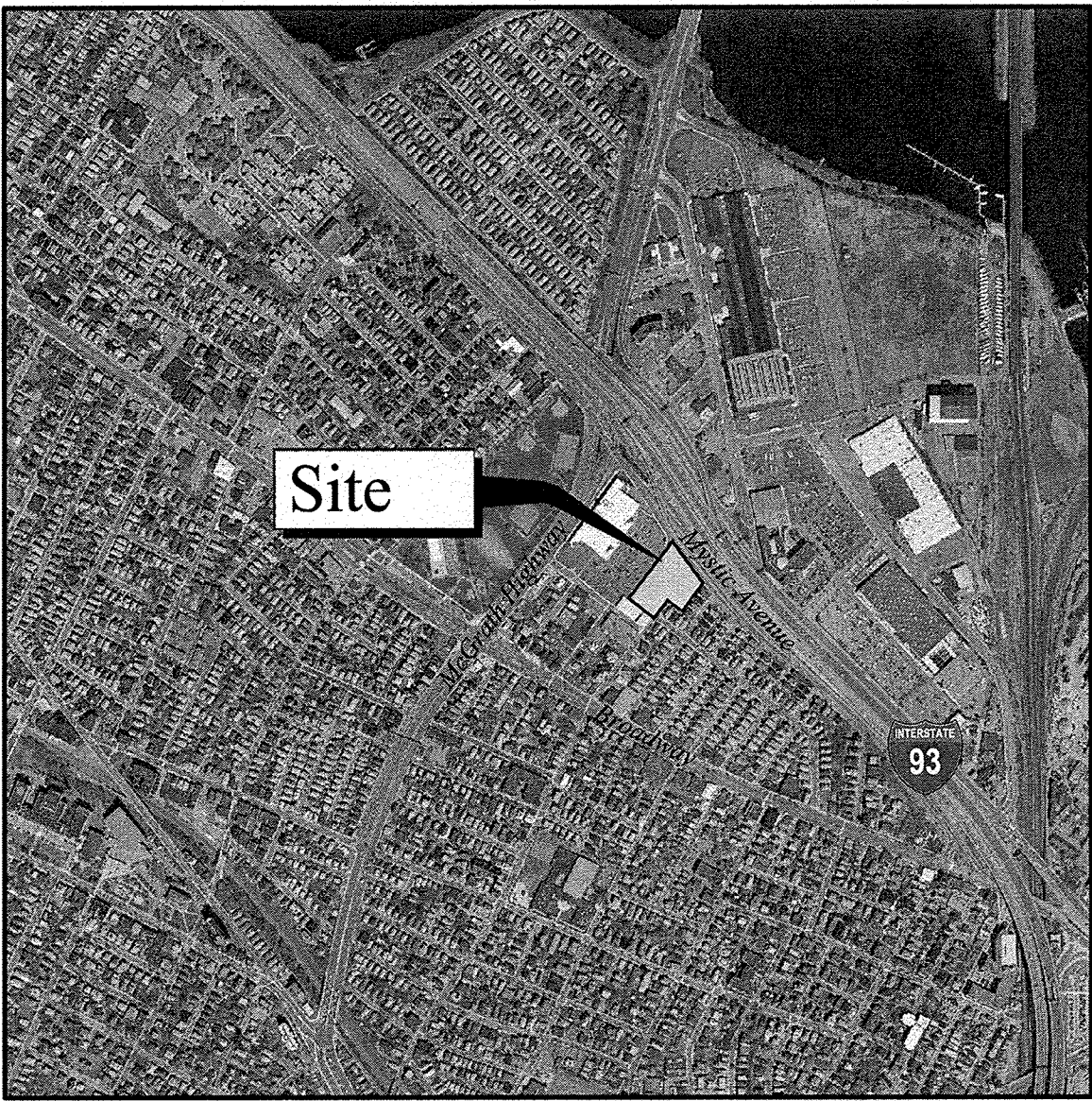
Architectural Drawings

A-100	Ground Flood Plan	9/25/2014
A-101	Second Floor Plan	9/25/2014
A-102	Third Floor Plan	9/25/2014

Proposed Residential Development

60-70 Cross Street East

Somerville, Massachusetts



Site Location Map



0 500 1000 Feet

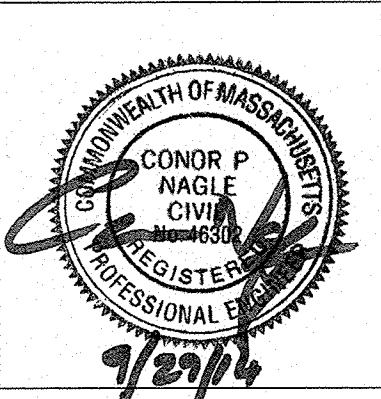
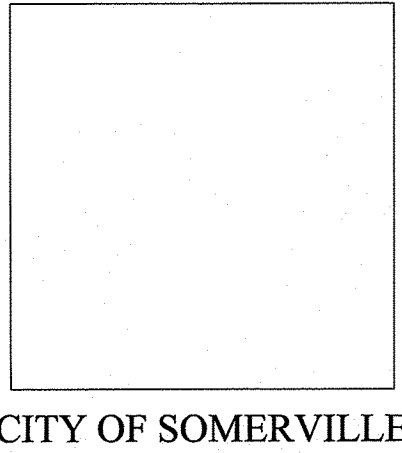
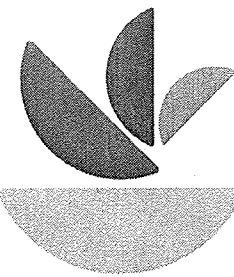
Property Information

Applicant:
CPC-T Holdings, LLC
c/o Criterion Development Partners
1601 Trapelo Road, Suite 280
Waltham, MA 02451
Phone: 781-890-5600

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1601 Trapelo Road
Suite 280
Waltham, MA 02451

Map/ Block/ Lot: **77/B/1, 2, 3, 4**
77/C/1, 2, 3
89/A/1, 2, 3

Owner:
The Stop & Shop Supermarket Company LLC
Attn: Kirk Jackson
1385 Hancock Street
Quincy, MA 01269
Phone: 800-767-7772



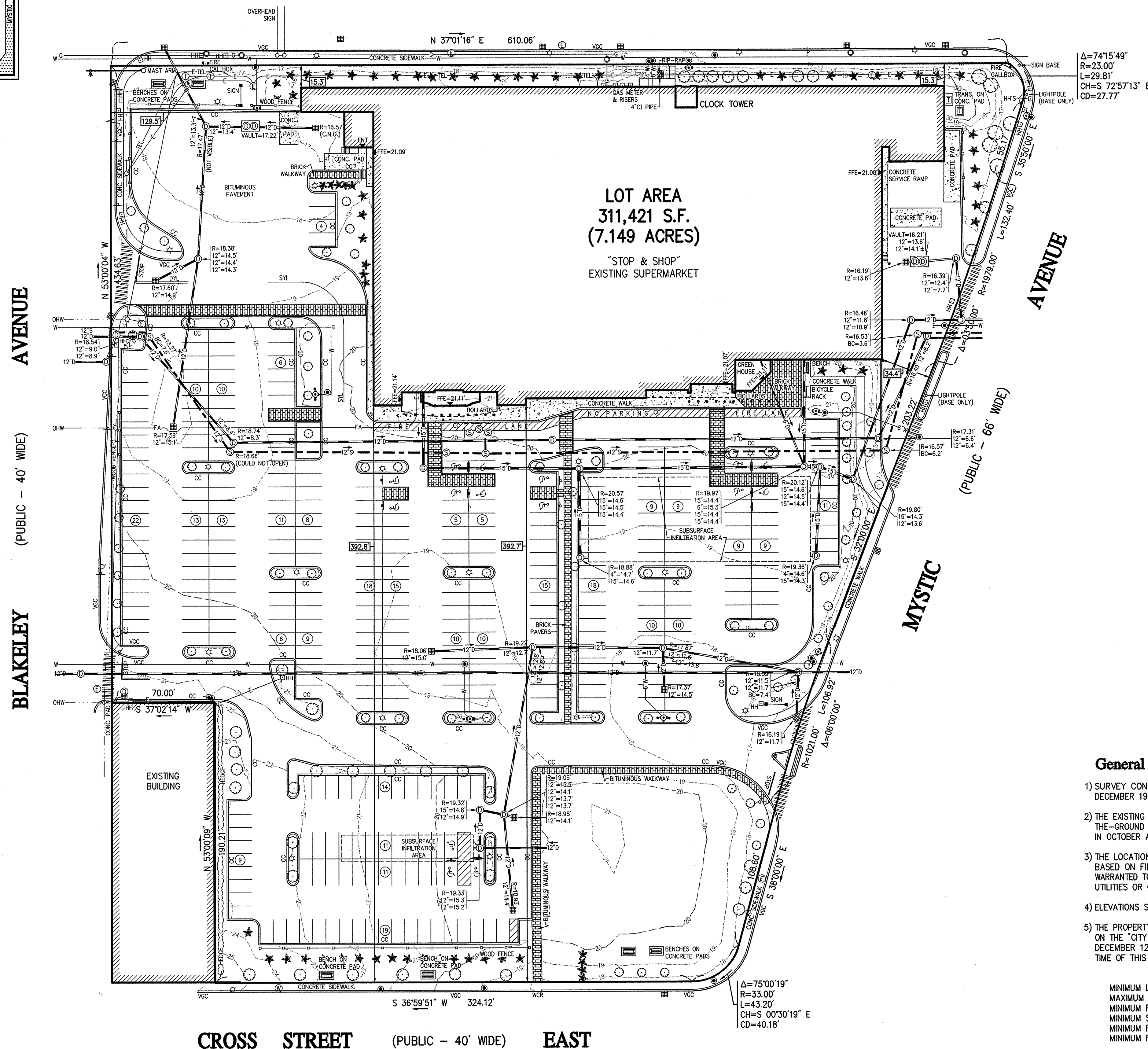
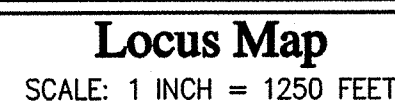
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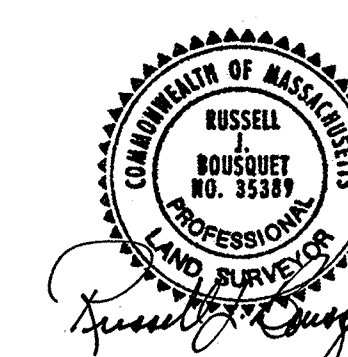
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Zoning Summary Chart

Zoning District(S):	Business A (BA) & Open Space (OS)		
Overlay District(S):	Planned Unit Development B (PUD-B)		
Zoning Regulation Requirements	Existing	Required	Provided
MINIMUM PUD AREA	311,421 Square Feet	75,000 Square Feet	317,690 Square Feet
LOT AREA/ DWELLING UNIT	N/A	1,000 SF	4,236 SF
GROSS FLOOR AREA OF BUILDING FOOTPRINT	74,427 SF	No Req.	117,105
MAXIMUM GROUND COVERAGE	23.9 %	65.0 %	36.8%
MINIMUM LANDSCAPE AREA ^(a)	22.6 %	20.0 %	18.3 %
FRONT YARD SETBACK ^(b)	15.3 Feet (From McGrath)	15 Feet	15.3 Feet (From McGrath)
SIDE YARD SETBACK (RIGHT) ^(b)	34.4 Feet	15 Feet	15.1 Feet
SIDE YARD SETBACK (LEFT) ^(b)	178.3 Feet	15 Feet	21.5 Feet
REAR YARD SETBACK	392.8 Feet (From Cross)	15 Feet	14.7 Feet ^(c)
RESIDENTIAL SETBACK	432.8 Feet	15 Feet	14.7 Feet ^(c)
MAXIMUM FLOOR AREA RATIO	0.26	3.0	0.45
MAXIMUM BUILDING HEIGHT	28 Feet	100 Feet ^(d)	39.5 Feet
MAXIMUM BUILDING STORIES	2 Stories	7 Stories ^(d)	3 Stories
MINIMUM USEABLE OPEN SPACE (50% OF LANDSCAPE AREA)	31,142 SF (REQ.) 70,446 SF (PROVIDED)	50% OF MIN. LANDSCAPE AREA	31,769 SF (REQ.) 47,437 SF (PROVIDED)

(a) INCLUDES COURTYARD AREA ABOVE PARKING GARAGE
(b) APPLIES ONLY TO PERIMETER OF OVERALL PUD
(c) SETBACK TO BUILDING STAIRS, STOOD; A WAIVER HAS BEEN REQUESTED
(d) WITHIN 30 FEET OF AN RA ZONING DISTRICT, ANY STRUCTURE OR PORTION OF A STRUCTURE SHALL BE LIMITED TO 3 STORIES AND 40 FEET IN HEIGHT.

Parking Summary Chart

Description	Size		Spaces		
	Required	Provided	Existing	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	297	313	303
COMPACT SPACES (20% ALLOWED)	8 x 16	8 x 16	42	--	69
STANDARD ACCESSIBLE SPACES *	8 x 18	8 x 18	16	8	15
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	--	2	3
TOTAL SPACES			355	323	390
LOADING BAYS	12X30	12X30	5	6	6

* ADA/STATE/LOCAL REQUIREMENTS

Residential Parking Requirements:

STUDIO UNITS	16 UNITS	x	1 SPACE	/	UNIT	=	16 SPACES
1 & 2 BEDROOM UNITS	67 UNITS	x	1.5 SPACES	/	UNIT	=	102 SPACES
3 BEDROOM UNITS	18 UNITS	x	2 SPACES	/	UNIT	=	36 SPACES
VISITOR	75 UNITS	x	1 SPACE	/	6 UNITS	=	13 SPACES
TOTAL PARKING REQUIRED							= 167 SPACES

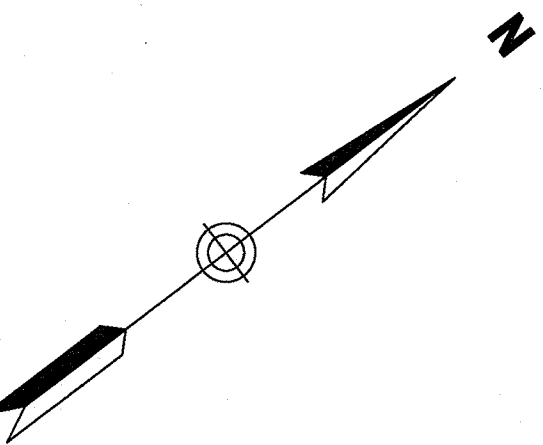
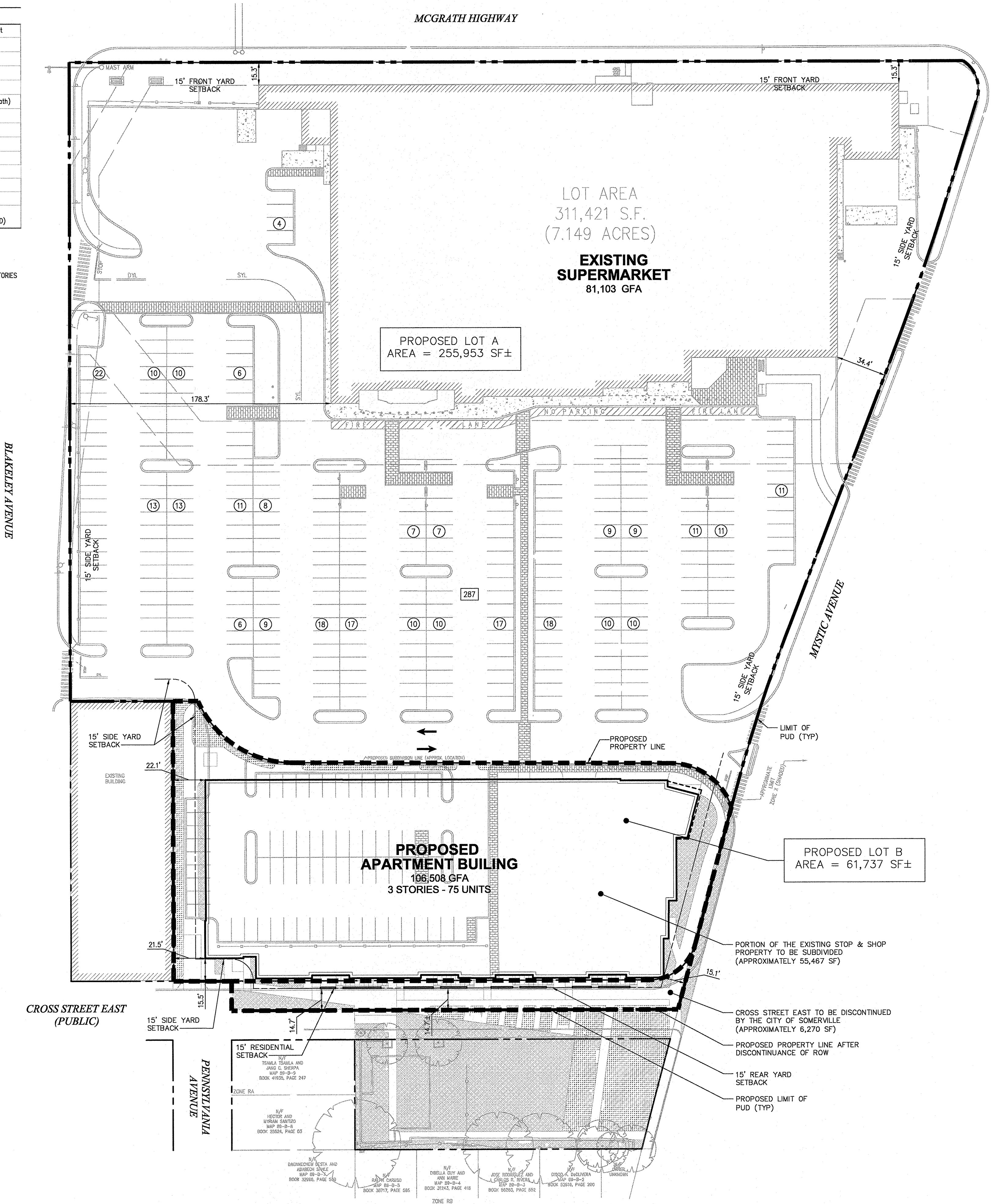
Supermarket Parking Requirements:

RETAIL*	73,763 SF	x	1 SPACES	/	500	=	148 SPACES
MEZZANINE*	7,340 SF	x	1 SPACES	/	1,000	=	8 SPACES
TOTAL PARKING REQUIRED							= 156 SPACES

*PARKING REQUIREMENT BASES ON APPROVED PUD

Bicycle Parking Requirements:

RETAIL	20 SPACES + 1 SPACE FOR EVERY 20 PARKING SPACES ABOVE 200	=	25 BIKE SPACES
RESIDENTIAL	7 SPACES + 1 SPACE FOR EVERY 3 ADDITIONAL UNITS	=	30 BIKE SPACES
TOTAL PARKING REQUIRED			= 55 BIKE SPACES



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REDUCTION IN UNIT COUNT		9/25/2014	CPN
No.	Revision	Date	Appr.
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Checked by	KSS	CAD checked by	CPN
Scale	1"=40'	Date	February 1, 2013
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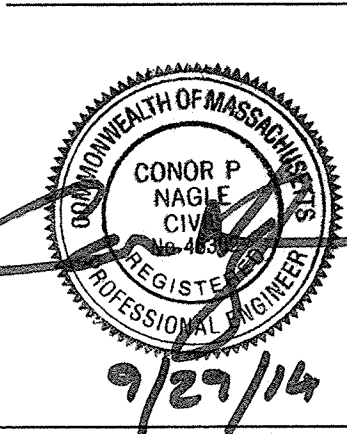
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Development

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Drawing Title

Overall Site
Plan



Drawing Number

C-2

Sheet of 2 5

Project Number
12109.00

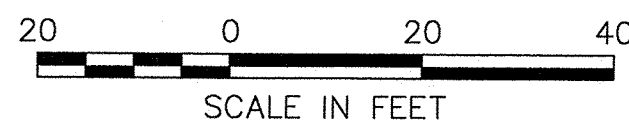
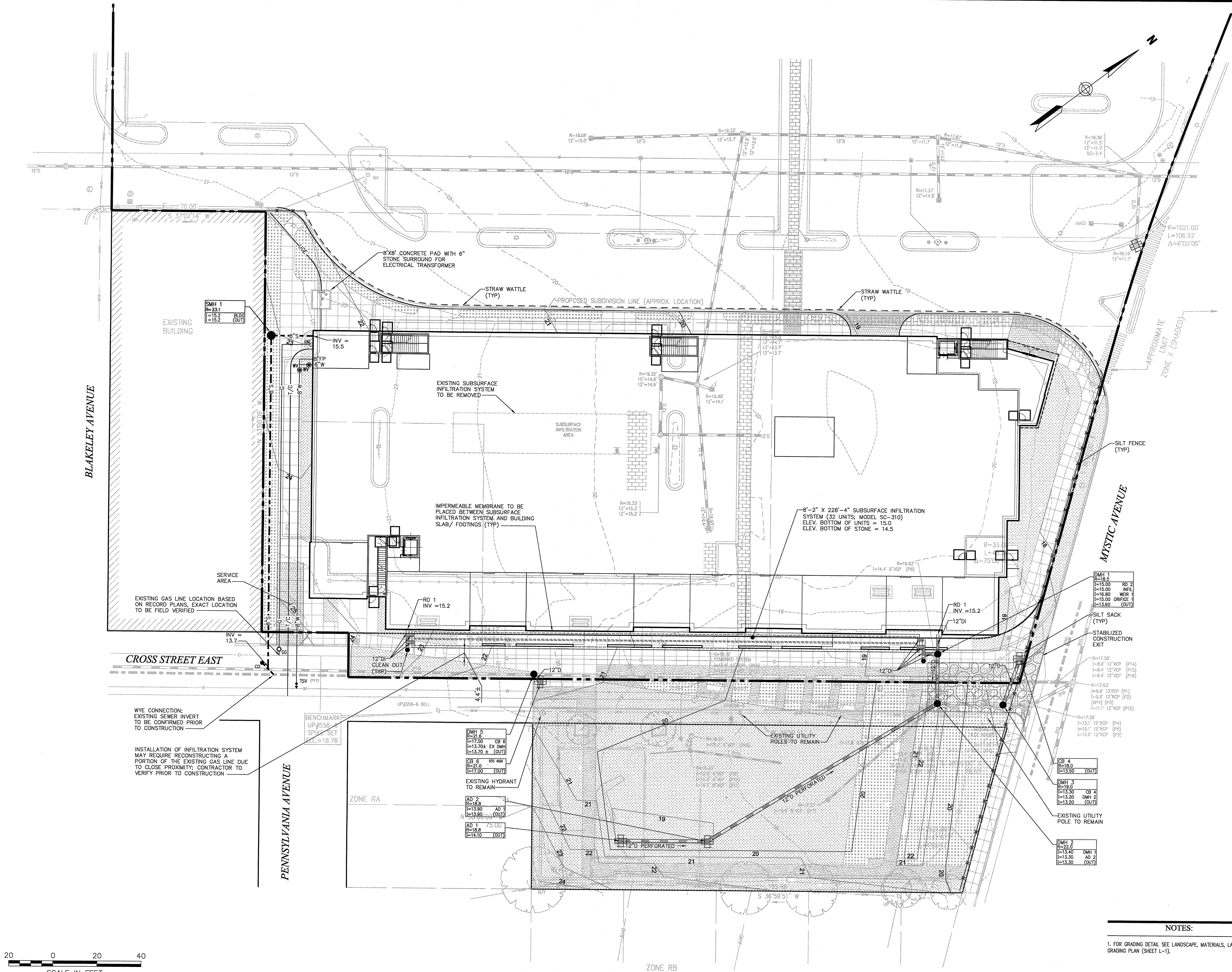
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- NOTES:
1. FOR GRADING DETAIL SEE LANDSCAPE, MATERIALS, LAYOUT, GRADING & PLANTING PLAN (SHEET L-1).
 2. FOR GARAGE PARKING LAYOUT SEE ARCHITECTURAL PLANS (SHEET A100-A102).



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NOTES:

1. FOR GRADING DETAIL SEE LANDSCAPE, MATERIALS, LAYOUT & GRADING PLAN (SHEET L-1).

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Scale 1"=20'		Date February 1, 2013	
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Proposed Residential
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Drawing Title

Drainage, Utility
& Erosion Control
Plan



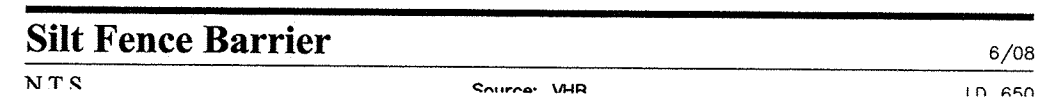
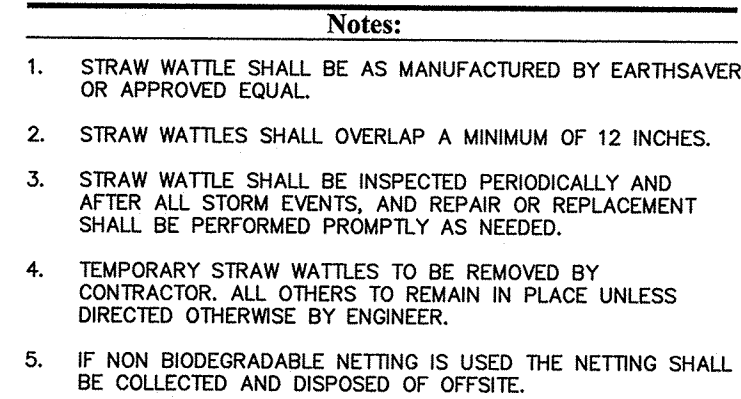
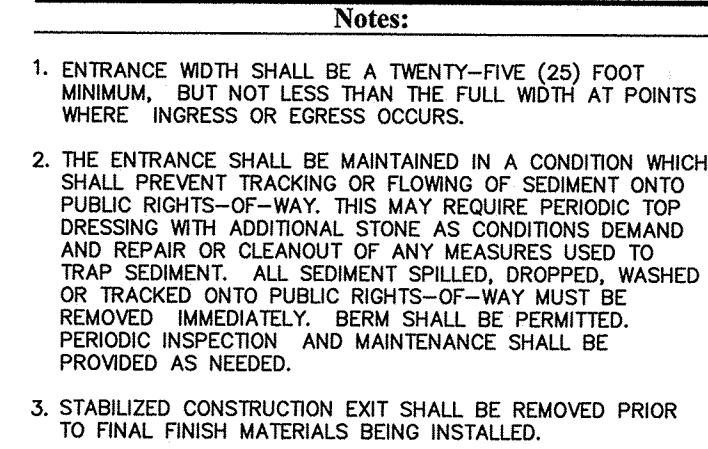
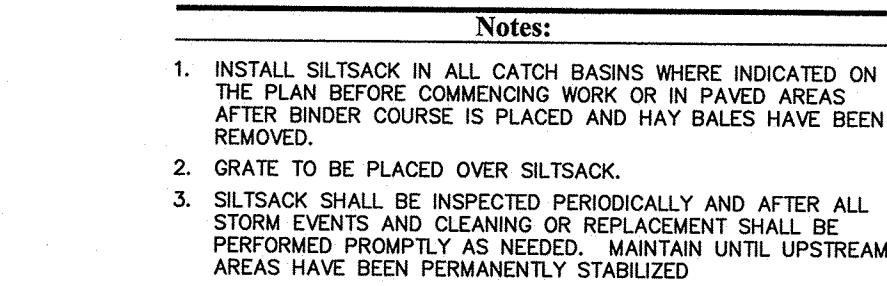
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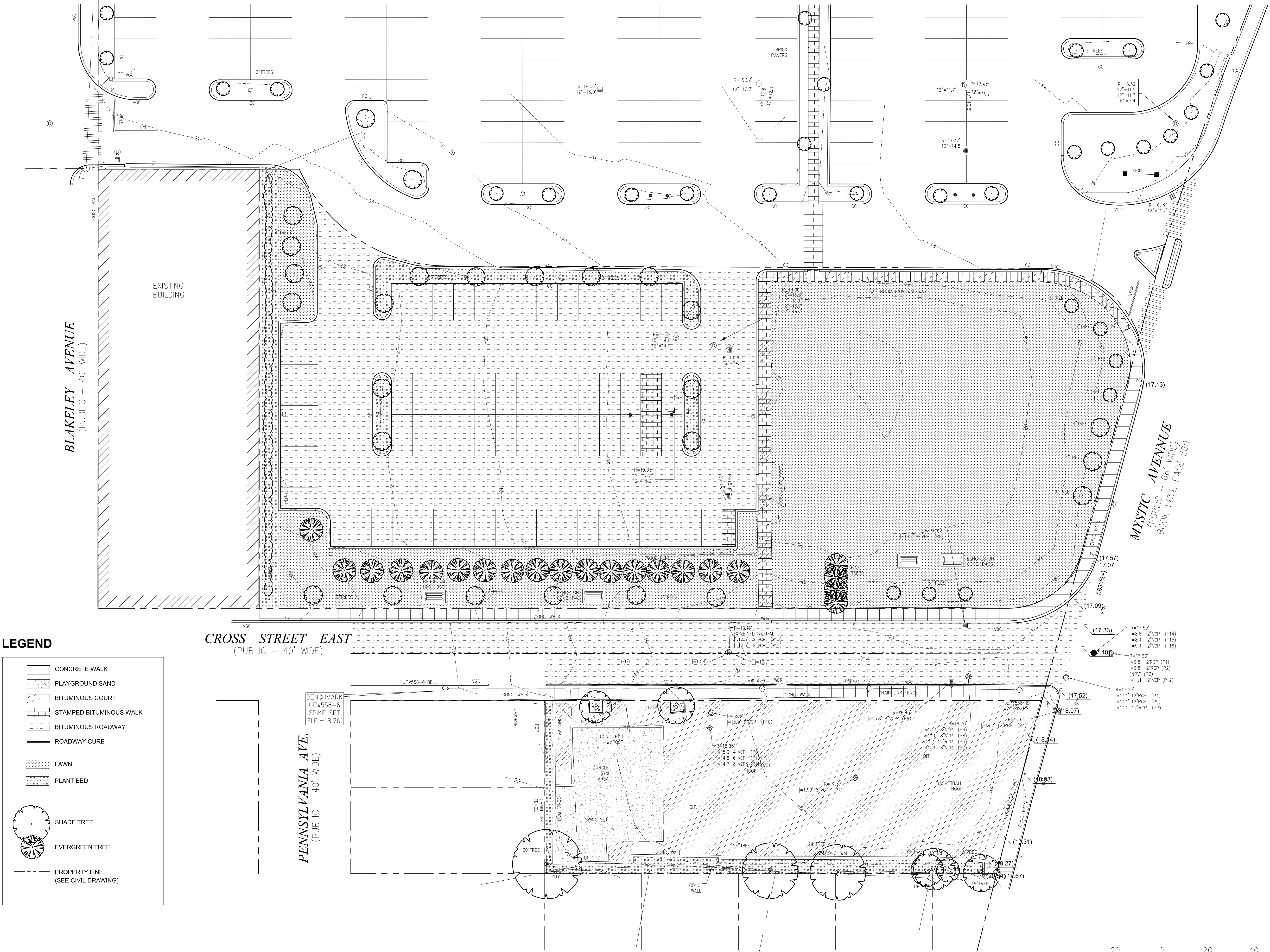
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Saved Thursday, September 25, 2014 3:01:36 PM GROUNDVIEW Potted Thursday, September 25, 2014 7:46:40 PM groundview

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LEGEND

- CONCRETE WALK
- PLAYGROUND SAND
- BITUMINOUS COURT
- STAMPED BITUMINOUS WALK
- BITUMINOUS ROADWAY
- ROADWAY CURB
- LAWN
- PLANT BED
- SHADE TREE
- EVERGREEN TREE
- PROPERTY LINE (SEE CIVIL DRAWING)

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Existing Landscape Plan

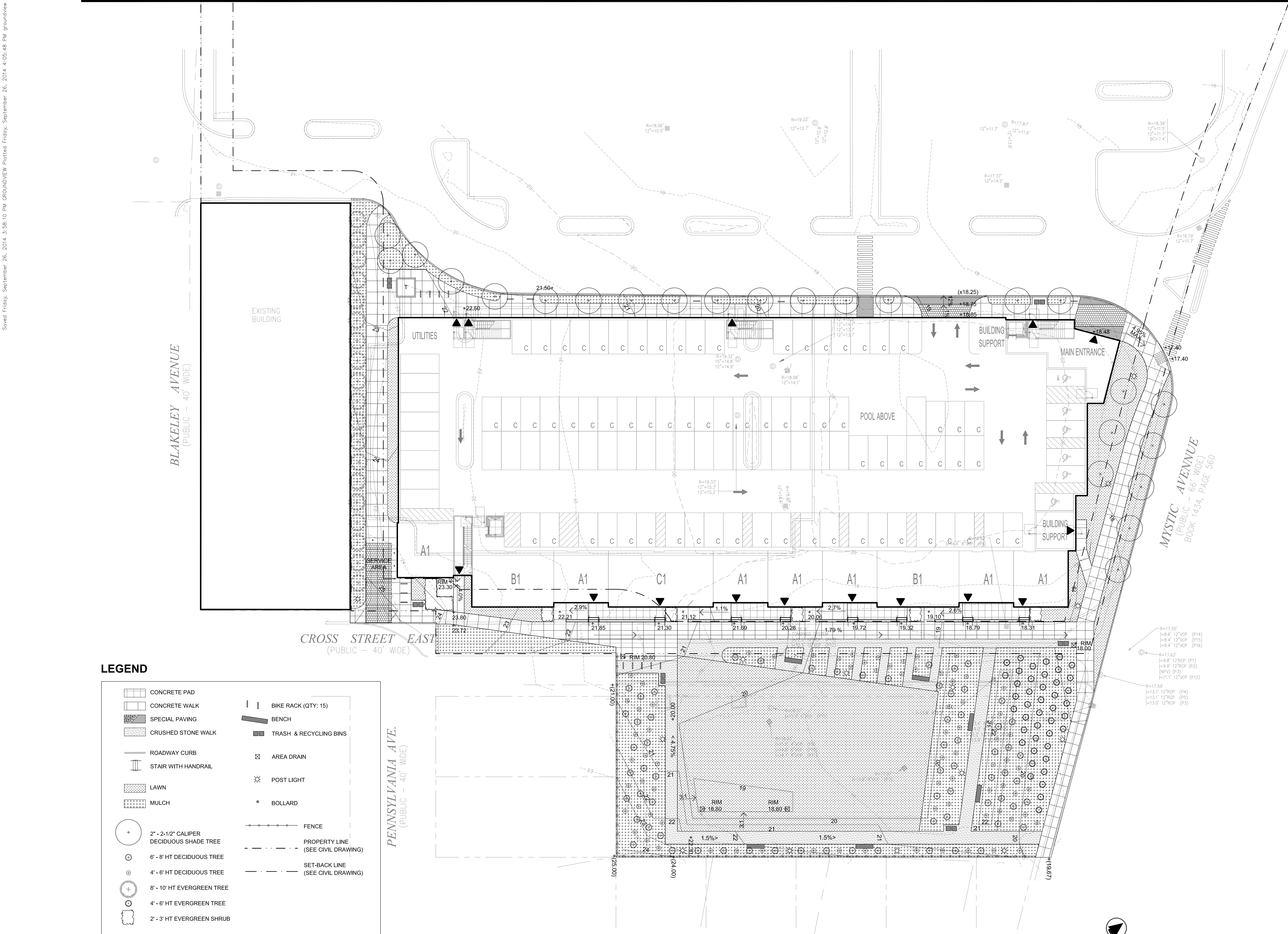
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L-0

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L-EX-2.DWG



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Project Title	Proposed Residential Development		

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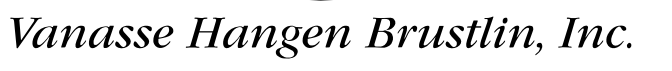
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Landscape Materials,
Layout, Grading &
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Drawing Number
L-1
Sheet of 3
Project Number
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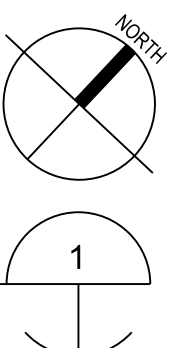
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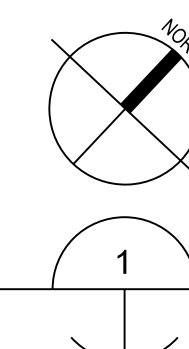
Ground Floor Plan

Sheet 1 of 3

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SCALE: 1/16" = 1'-0"





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