

Esh Circus Arts

Entry Renovation
44 Park Street
Somerville, MA 02143



DRAWING LIST

A0	COVER
A1	EXIST KEY PLAN
A2	PROPOSED SITE PLAN
A3	EXISTING PLAN
A4	PROPOSED PLAN
A5	PROPOSED SIGNAGE

SCOPE OF WORK

The Project shall be as follows:
The Client, Esh Circus Arts is looking to design a lobby and a reception area to their 4,454 square foot existing (B Use Group) circus facility. The space available to them is a 816 square feet front office space, that will be divided into two separate uses. 492 square feet will go to the lobby and a reception area for the Circus school to allow them to have a total of less than 5,000 square feet. The remaining 324 square feet will be both common and leased to another small businesses performing professional srevices (B Use Group) in the area.

According to the Somerville Zoning Ordinance, Table 7.11 and based on 44 Park Street being a RC Zone the new tenant space may be occupied as a professional services office (either medical or non-medical) so long as this new and separate use is under 5,000 square feet.

AREA TABLE

	EXISTING	PROPOSED
COMMON	0 SF	184 SF
ESH CIRCUS ARTS	4,454 SF	4,946 SF
TENANT	816 SF	140 SF
	5,270 SF	5,270 SF

IMPERVIOUS SURFACE AREA

	EXISTING	PROPOSED
PERVIOUS	20,540 SF	20,478 SF
IMPERVIOUS	26,572 SF	26,634 SF
TOTAL SITE	47,112 SF	47,112 SF
% PERVIOUS	43.6%	43.5 %*

*MUST BE EQUAL TO OR GREATER THAN 30 %

CODE SUMMARY

Applicable Codes:
-2009 International Residential Code with Massachusetts Amendments
-2012 International Energy Conservation Code with Massachusetts Stretch Energy Code Amendments
-New Construction HERs Rating
-Prescriptive for Residential Additions
-Performance for Residential Additions
-Prescriptive for Alterations, Renovations or Repairs
-Performance for Alterations, Renovations or Repairs

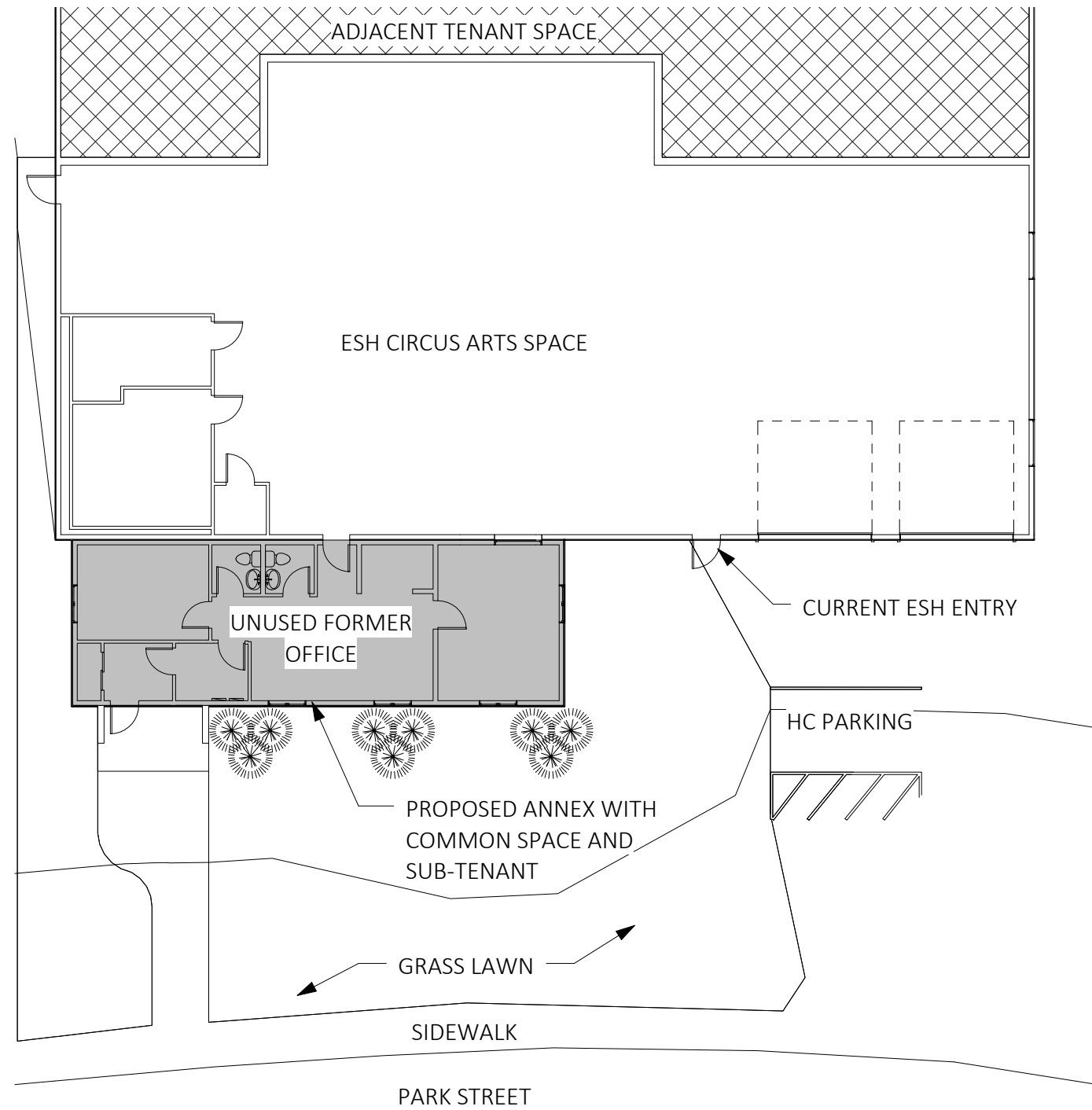
Type of Construction:
-IIA Protected

Occupancy Type:
- Use Group B - Business
- Training & Skill Development not within a School or Academic Program

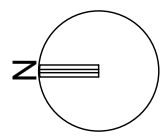
Occupancy Load:
- 100 Persons per SF (Gross) Occupant Load
5,272 sf / 100 = 52 People

Means of Egress:
- 52 (occupants) x 0.2" = Minimum Door Width (32" Clear)
- 2 Means of Egress Required, 2 Provided

Plumbing Fixtures:
Existing
- 2 (AAB Compliant) M/F toilet rooms in Esh
- 2 (Non-Compliant) toilet rooms in Annex Space
Proposed
- 2 (AAB Compliant) M/F toilet rooms in Esh
- 1 (AAB Compliant) unisex toilet room in Annex Space



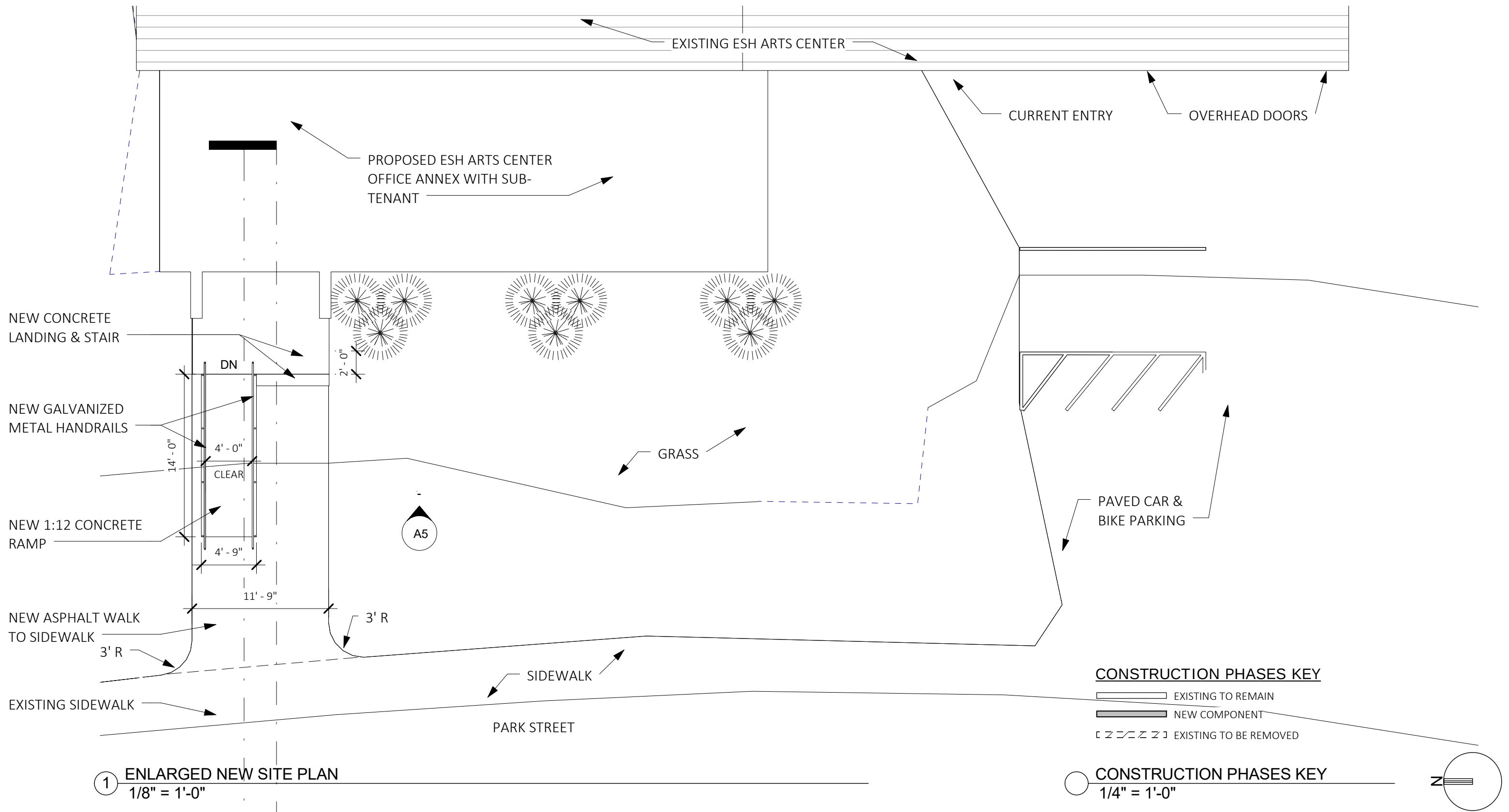
1 EXIST KEY PLAN
1/16" = 1'-0"



No.	Description	Date

EXIST KEY PLAN

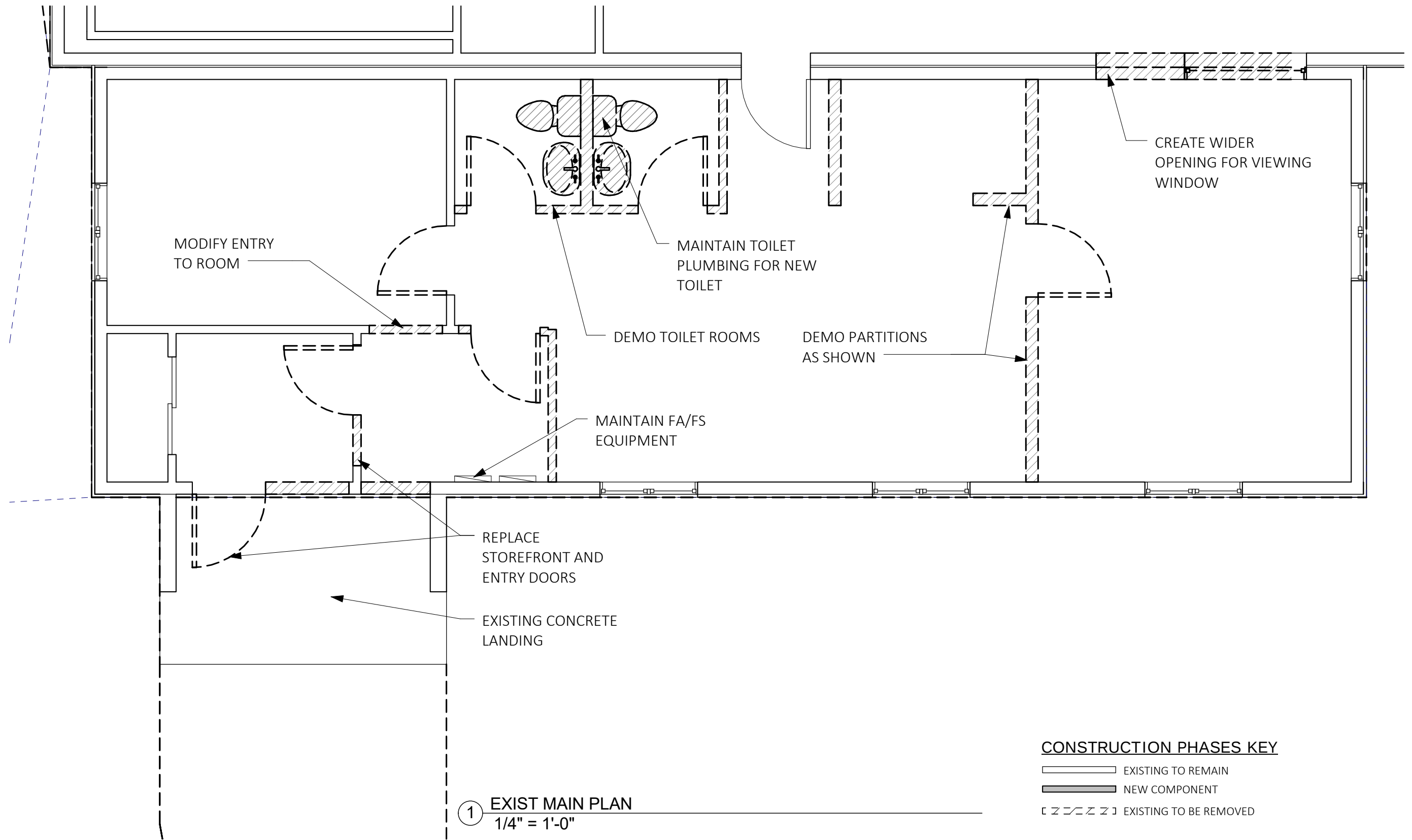
Project number	15025_ESH	A1
Date	10/13/2015	
Drawn by	Author	
Checked by	Checker	
Scale 1/16" = 1'-0"		



No.	Description	Date

PROPOSED SITE PLAN

Project number	15025_ESH	A2 Scale As indicated
Date	10/13/2015	
Drawn by	AKP	
Checked by	WJP	



CONSTRUCTION PHASES KEY

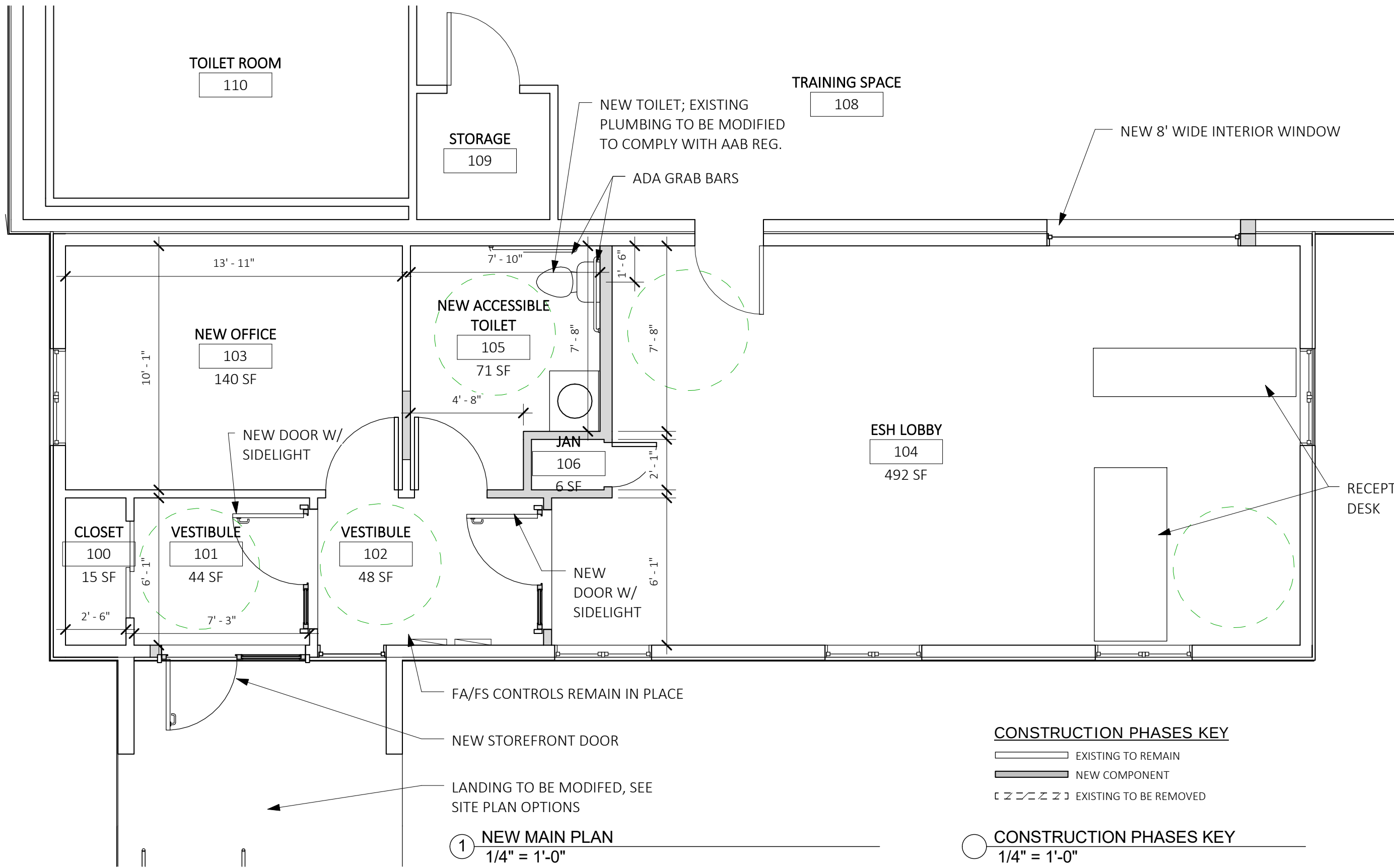
- EXISTING TO REMAIN
- NEW COMPONENT
- EXISTING TO BE REMOVED

1 EXIST MAIN PLAN
1/4" = 1'-0"

No.	Description	Date

EXISTING PLAN

Project number	15025_ESH	A3 Scale 1/4" = 1'-0"
Date	10/13/2015	
Drawn by	AKP	
Checked by	WJP	



1 NEW MAIN PLAN
1/4" = 1'-0"

CONSTRUCTION PHASES KEY

- EXISTING TO REMAIN
- NEW COMPONENT
- EXISTING TO BE REMOVED

CONSTRUCTION PHASES KEY
1/4" = 1'-0"

No.	Description	Date

PROPOSED PLAN

Project number	15025_ESH	A4 Scale 1/4" = 1'-0"
Date	10/13/2015	
Drawn by	AKP	
Checked by	WJP	



2 NEW ENTRY APPROACH



1 PARK STREET ELEVATION
1/8" = 1'-0"

No.	Description	Date

PROPOSED SIGNAGE

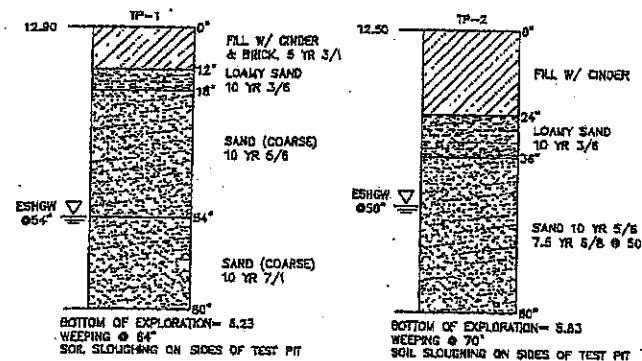
Project number	15025_ESH
Date	10/13/2015
Drawn by	AKP
Checked by	WJP

A5

Scale 1/8" = 1'-0"

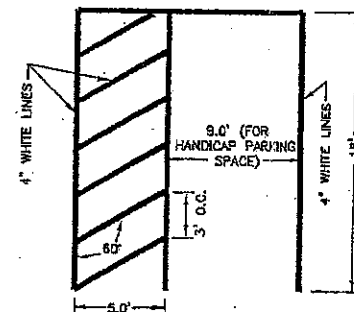
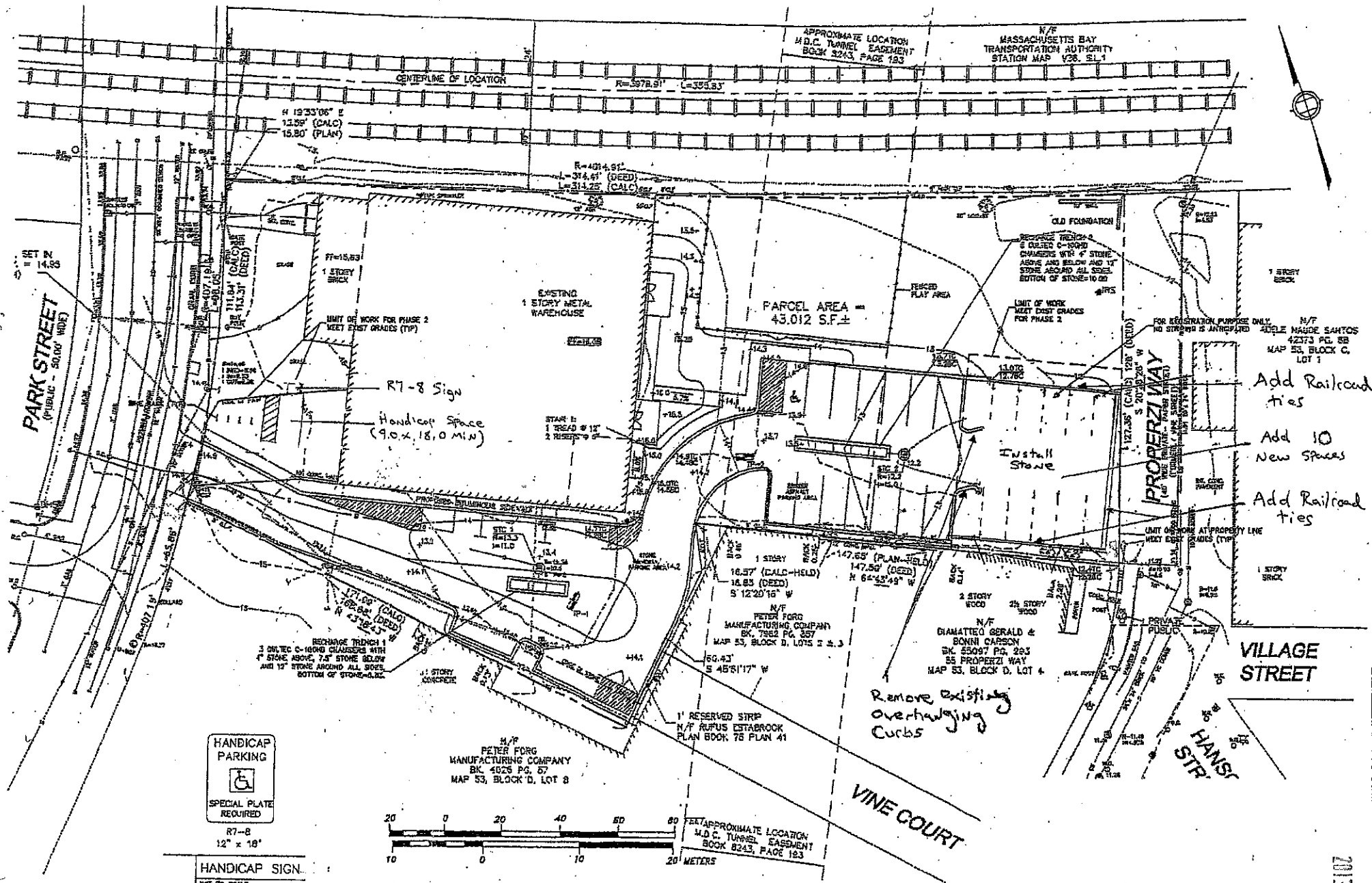
1. ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF BOWMERSVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
2. CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
3. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. A TYPICAL 4" COBBLESTONE SOLDIER COARSE REVEAL SHALL BE MAINTAINED. WHERE THE CONTRACTOR CANNOT MAINTAIN 4" OF REVEAL DUE TO EXISTING GRADES, THE CONTRACTOR WILL REVIEW THESE AREAS WITH THE ENGINEER PRIOR TO THE PLACEMENT OF THE COBBLESTONE SOLDIER COARSE.
5. PRIOR CONSTRUCTION OF CRUSHED STONE SURFACE & PLACEMENT OF GRAVEL BASE, CONTRACTOR SHALL REMOVE UNSTABILIZED SOIL 2 FEET BELOW EXISTING GRADES.
6. GRAVEL BASE MATERIAL IS TO BE CONFORMED TO MASSDOT STANDARD SPECIFICATION SECTION 405.

—E—	BOUND FOUND	○ EX	MANHOLE — UNKNOWN TYPE
—O—	IRON ROD FOUND	○ EXSC	SANITARY SEWER METAL COVER
—S—	DRILL HOLE FOUND	—CS	CATCH BASINS
—+—	CHAIN LINK FENCE	—TL	UTILITY POLE
—+—	STOCKADE FENCE	—T	TROLLEY POLE
—S—	SANITARY SEWER	—LP	LIGHT POLE
—D—	DRAIN LINE	—EX	ELECTRIC HANDHOLE
—W—	WATER LINE	—EX	WATER GATE
—G—	GAS LINE	—EXV	WATER VALVE
—E—	ELECTRIC LINE	—EX	WATER SPRINKLER HEAD
—T—	TELEPHONE LINE	—EX	GAS GATE
—CATV—	CABLE TELEVISION LINE	—	SIGN
—OHW—	OVERHEAD WIRES	—FW	TOP OF WALL
—⑤—	SANITARY MANHOLE	—BM	BOTTOM OF WALL
—⑥—	DRAIN MANHOLE	—EX	EDGE OF PAVEMENT
—⑦—	ELECTRIC MANHOLE	—+—	SURFACE DRAINAGE FLOW
—⑧—	TELEPHONE MANHOLE	—TC	TOP OF CURB GRADE OR TOP OF COBBLESTONE GRADE
—⑨—	TEST PIT	—SC	BOTTOM OF CURB GRADE OR BOTTOM OF COBBLESTONE GRADE
—⑩—	WATER MANHOLE		
—O—	CABLE TELEVISION MANHOLE		



- NOTES:
1. ESTHGW=ESTIMATED SEASONAL HIGH GROUNDWATER
 2. ALL TESTS CONDUCTED ON 11-4-2011
 3. TESTS CONDUCTED BY DESIGN CONSULTANTS, INC.

NOT TO SCALE



HANDICAP ACCESS AISLE LINE STRIPING
AND PARKING STALL

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Design Consultants, Inc.
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-778-8860

88 PLEASANT STREET
NEWBURYPORT, MA 01950
. 978-358-7179

HORIZ: 1" = 20'

VERT: _____

NO.	DATE	BY	REVISIONS
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DESIGN: DG
DRAFTING: WAK/SSW
CHECKED: SBS
APPROVED: DG

GRADING DRAINAGE
& UTILITIES PLAN

44 PARK STREET

City of San Francisco
ZONING BOARD OF APPEALS

APPROVED

Date: 9-18-2013

Case #: 2BA2013-02

P:\2011 PROJECTS\2011-094 44 PARK ST SOMERVILLE\DWG\ENGINEERING\11-094-C&D.DWG

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS

PREPARED FOR
FRANK GALASSO

PROJECT NO.

DATE: MAY 3, 2013

SHEET NO
C4.0

RECEIVED
S.P.C.D. AND
PLANNING DEPT

2013 SEP 12 AM 9:15