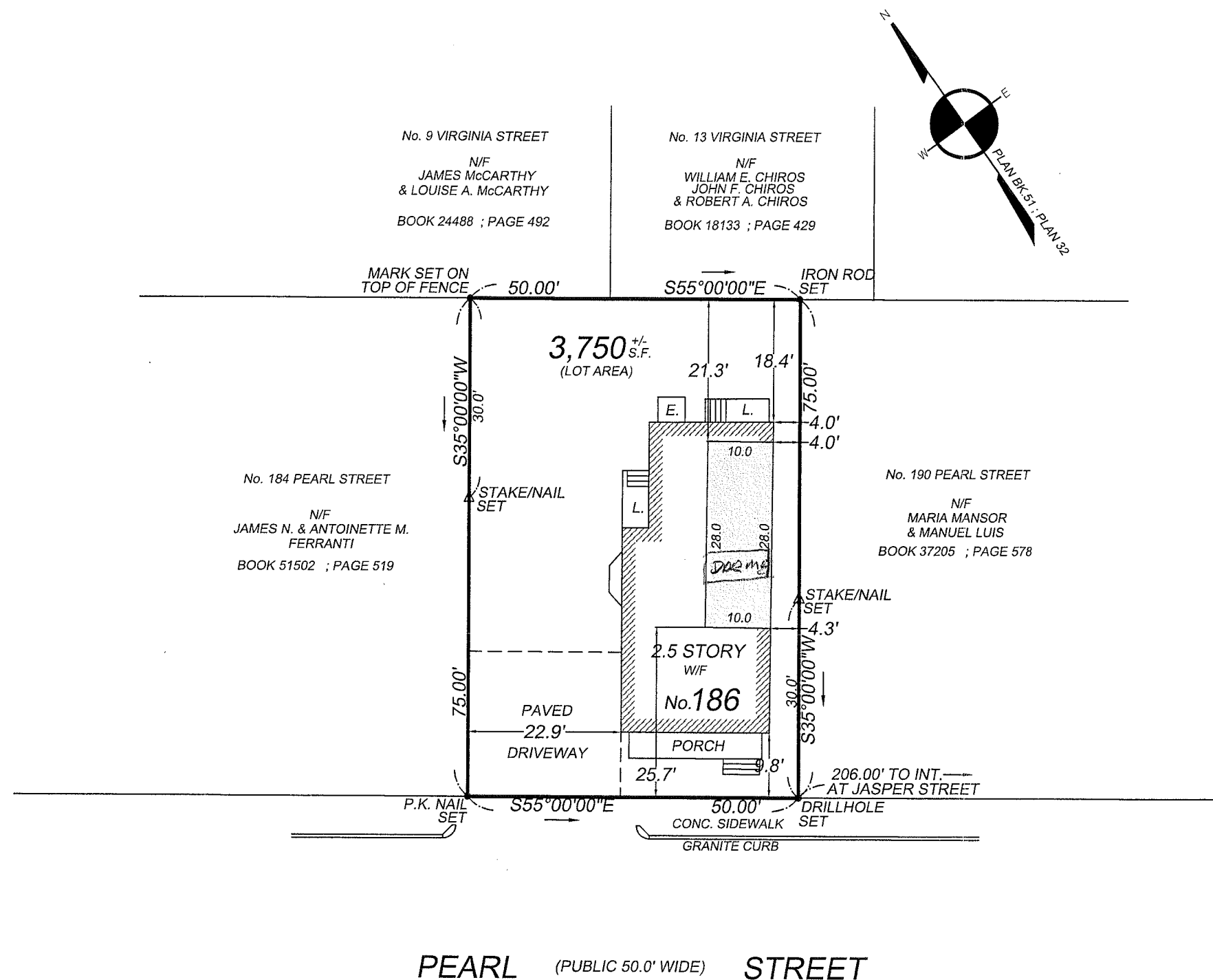




NOTES

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REFERENCES

DEED: BOOK 11419 ; PAGE 682

PLAN: PLAN BOOK 51 ; PLAN 32

SOMERVILLE CITY ENGINEERS F.B. # 49A ; PGS.216-225

SOMERVILLE CITY ENGINEERS F.B. # 74 ; PGS.12-13

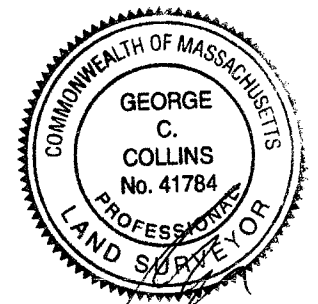
SOMERVILLE CITY ENGINEERS F.B. # 74A ; PGS.12-15

FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
D17	131	D/T	DRM	CJB

CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF SEPTEMBER 23 AND OCTOBER 1, 2008 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) MAPS, THE MAJOR IMPROVEMENTS ON THE PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "C" (NOT IN FLOOD). COMMUNITY-PANEL # 250214-0001B EFFECTIVE DATE: JULY 7, 1986



CERTIFIED PLOT PLAN

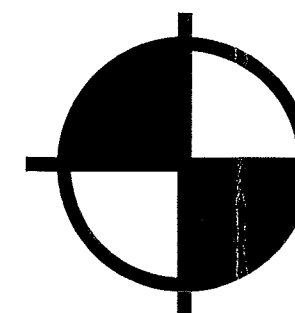
SHOWING PROPOSED DORMER AT

186 PEARL STREET
SOMERVILLE, MA

SCALE: 1 INCH = 20 FEET

DATE: FEBRUARY 16, 2011

PREPARED FOR: RAYMOND NARDONE
186 PEARL STREET
SOMERVILLE, MA 02145-3935



BOSTON
SURVEY, INC.

UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA. 02129
(617)242-1313

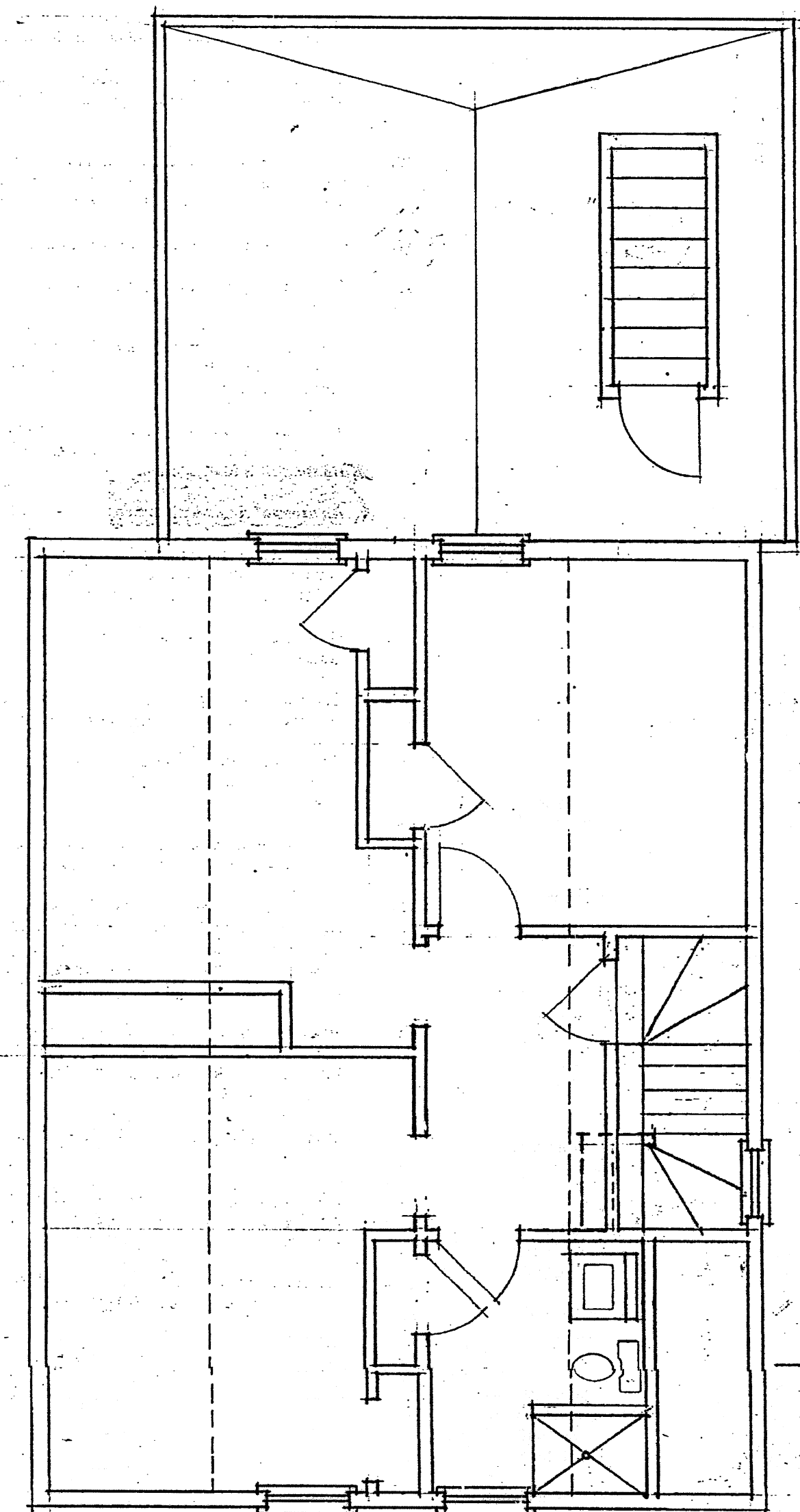
JOB # 08-00487

FILE # 08-00487-10/2/08

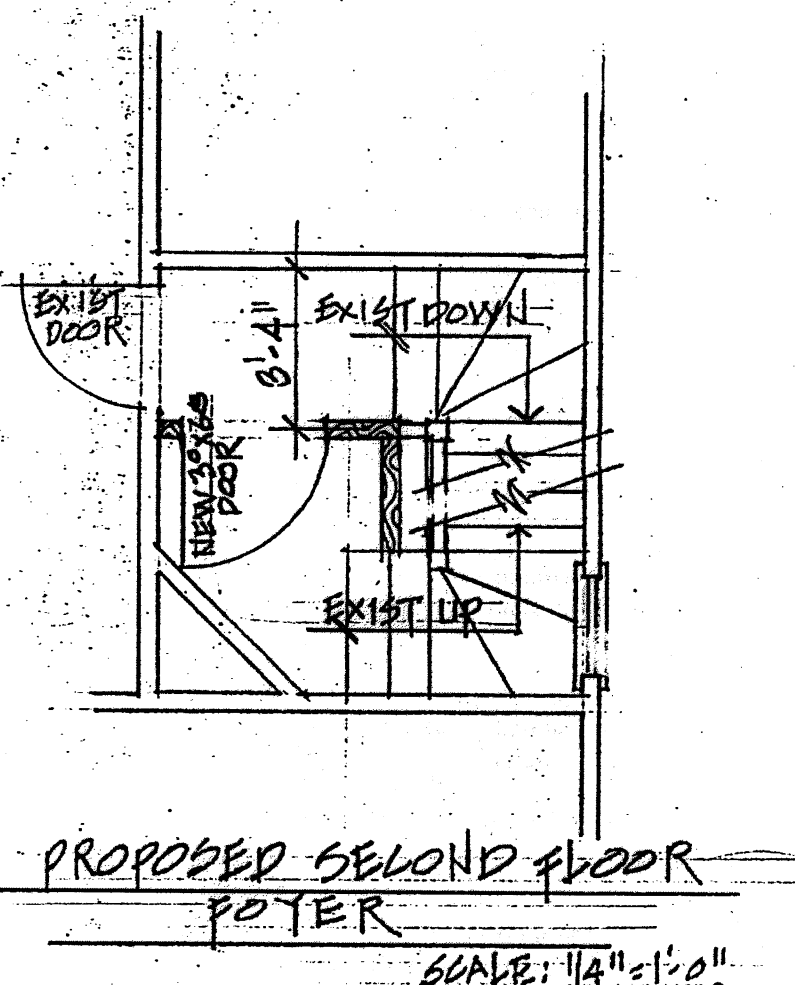




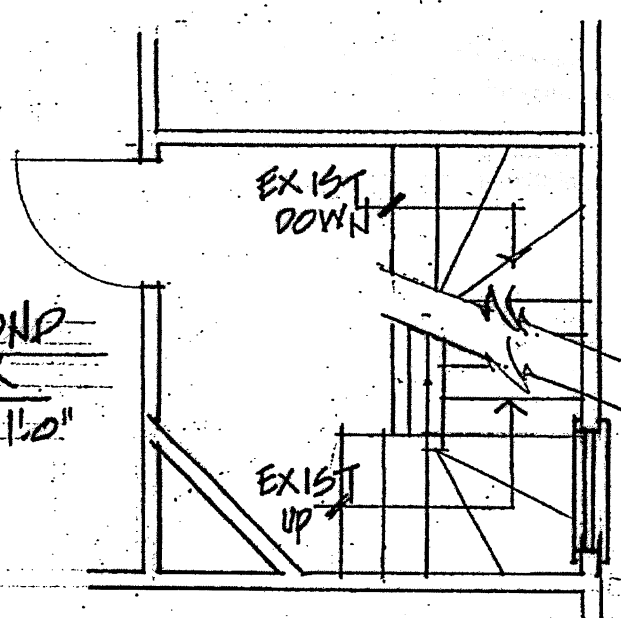




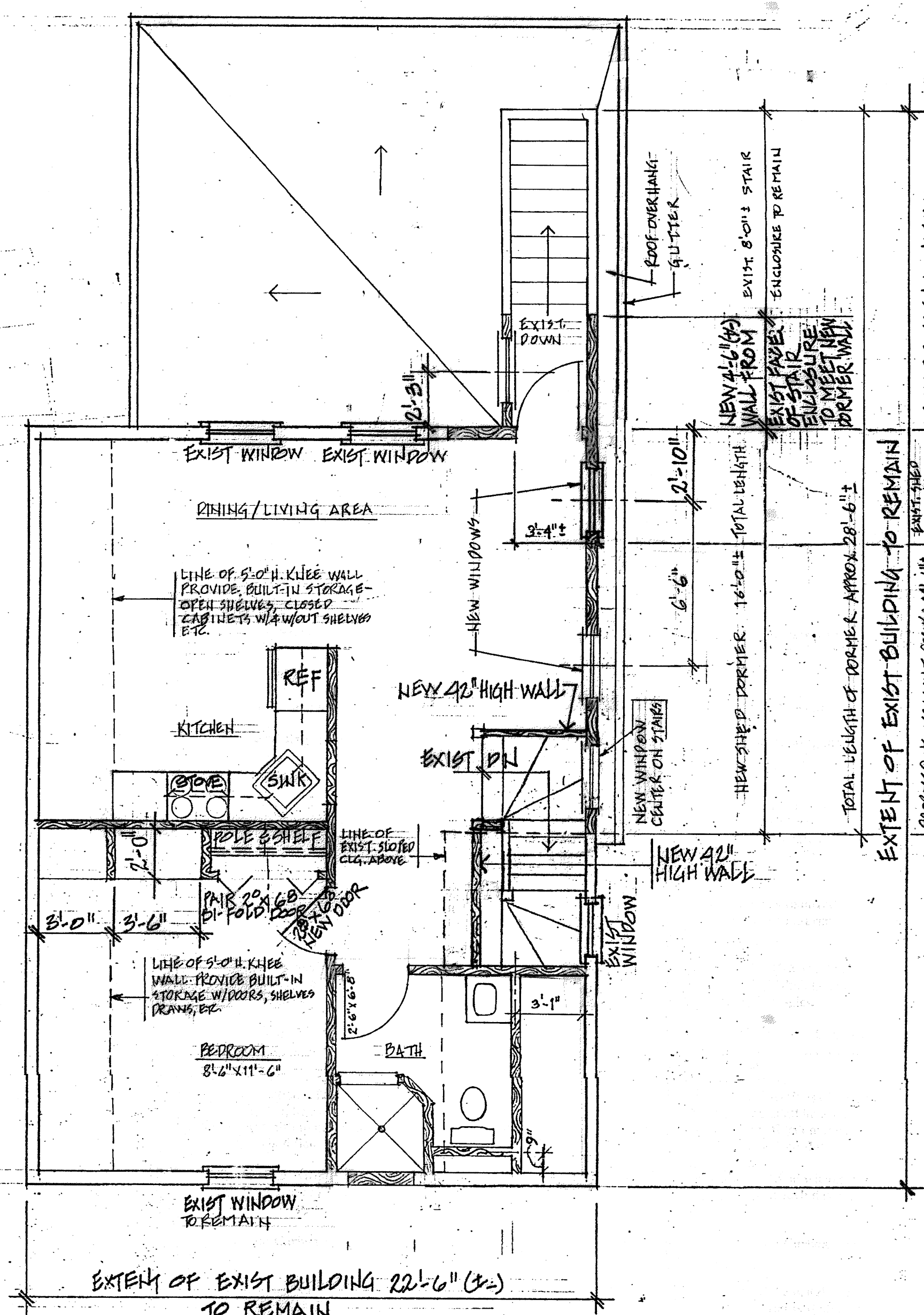
EXISTING THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



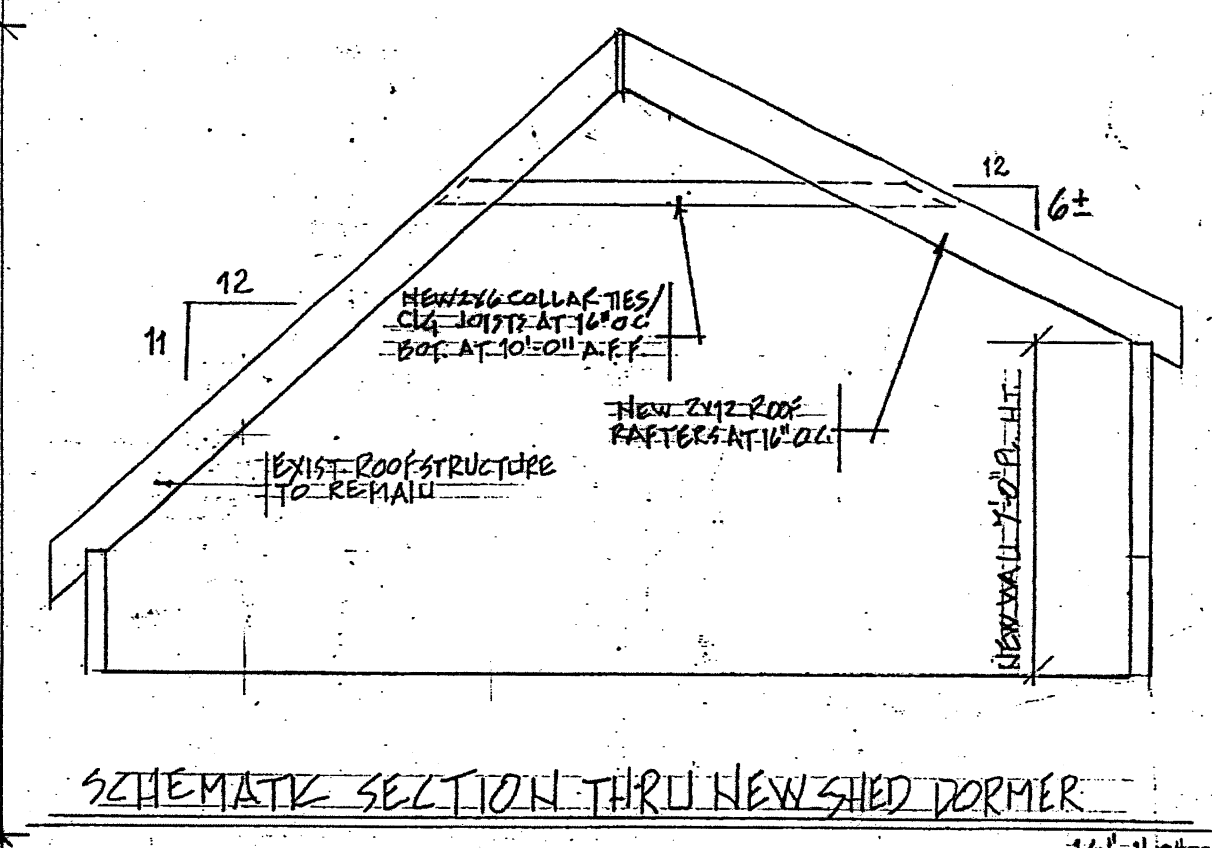
PROPOSED SECOND FLOOR ROOF
SCALE: 1/4" = 1'-0"



EXISTING SECOND FLOOR ROOF
SCALE: 1/4" = 1'-0"



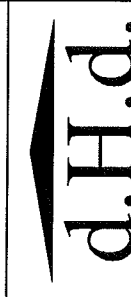
PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES

1. All work conducted under this contract shall conform to the requirements of the latest edition of the Massachusetts State Building Code and shall be conducted using standard building practices.
2. Contractor shall be responsible for verifying all existing conditions and dimensions in the field before ordering and installing any materials.
3. Contractor shall be responsible for locating all existing electrical, heating, plumbing or exhaust systems which may interfere with the completion of this work. The Architect takes no responsibility for the location of, or the existence of, any item or system not shown on the drawings. All existing systems disconnected or relocated for the purpose of this project and those that are to remain in service at the completion of the project, shall be the responsibility of the General Contractor.
4. Contractor shall provide and install all flashing as required by standard construction practice, at windows, intersections of planes and or dissimilar materials, roof valleys, etc., whether shown on drawings or not.
5. All areas of roof, which have a pitch of less than 4/12, shall be covered with rubber roofing. Any areas of roof, which have a pitch of less than 5/12, shall be covered with ice and water dam underlayment and finished with fiberglass roof shingles.
6. Contractor shall provide and install interior blocking, where required, for towel bars, toilet paper holders, grab bars (if required), etc. Contractor shall coordinate number of items, and locations with the Owner.
7. Contractor shall provide fireblocking at all intersections of floors/walls, stairs/walls, walls/walls, walls/ceilings and ceilings/ceilings. Fireblocking shall be wood blocking or Thermafiber and shall completely fill the space between the framing, or finish material, and the exterior sheathing. This includes area of Unit down to entrance door at second floor.
8. All drill holes in framing, and elsewhere, for electrical wiring, or for pipes, shall be completely filled with Thermafiber or fire retardant caulking. This includes area of Unit down to entrance door at second floor.
9. Unit shall be provided with hard wired Smoke and Carbon Monoxide detectors in conformance with Code requirements.
10. One additional layer of Type "X" wallboard shall be installed at the entrance to the first floor apartment at the first floor of the entrance hall. Joints shall be staggered from existing joints.
11. New heating system shall be in conformance with the minimum requirements of all applicable mechanical codes in force at the time of construction within the jurisdiction of any enforcing agencies.
12. All new plumbing work shall be in conformance with the minimum requirements of all applicable plumbing codes in force at the time of construction within the jurisdiction of any enforcing agencies.
13. All Electrical work shall be in conformance with the minimum requirements of all applicable electrical codes in force at the time of construction within the jurisdiction of any enforcing agencies.
14. At the completion of the project, and at all other times as necessary, all job related debris shall be removed from the site and disposed of in a safe and legal manner.

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d.H.d.
DREAM HOUSE DESIGNS, P.C.
25 Dennison Avenue
Framingham, MA 01702
(508) 341-7900

SCALE: 1/4" = 1'-0"
DRAWN: SER
DATE ISSUED: 06.30.11

DWG. TITLE: EXTERIOR ELEVATION
PROJECT: 186 PEARL ST., SOMERVILLE, MA
JOB NO. 1106-01

SKA-3



1 SIDE ELEVATION
1/4" = 1'-0"

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2011 JUL -5 AM 10: 50

d.H.d.
DREAM HOUSE DESIGNS, P.C.
25 Dennison Avenue
Framingham, MA 01702
(508) 341-7900

SCALE: 1/4" = 1'-0"
DRAWN: SER
DATE ISSUED: 06.30.11

DWG. TITLE: EXTERIOR ELEVATION
PROJECT: 186 PEARL ST., SOMERVILLE, MA
JOB NO. 1106-01

SKA-3



1 SIDE ELEVATION - STAFF EDITS
1/4" = 1'-0"