

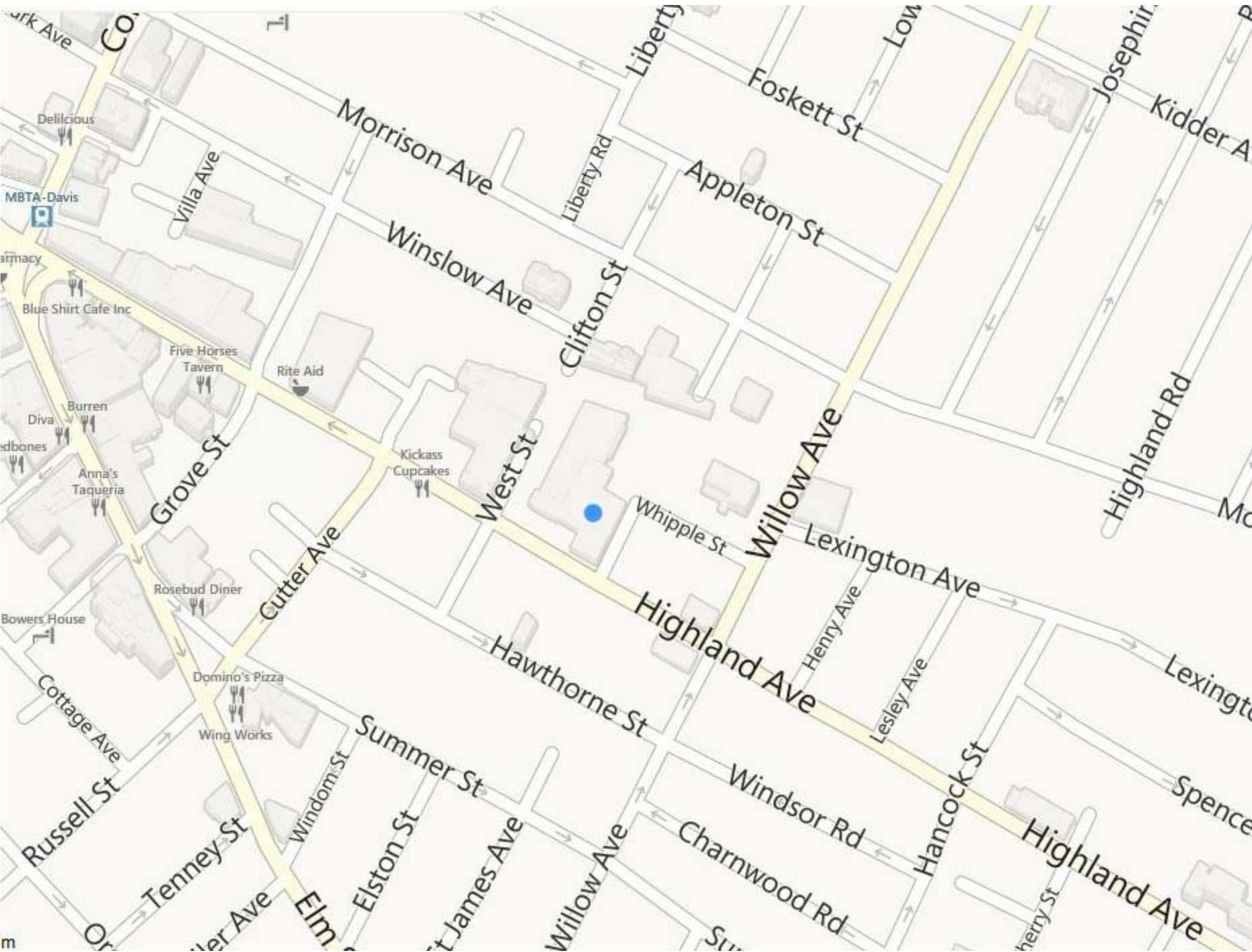
OFFICE RENOVATIONS

363 HIGHLAND AVE. SOMERVILLE, MA



ARNOLD JACOBSON ASSOCIATES, INC.
153 ANDOVER STREET, SUITE 101 DANVERS, MA 01923
16 MASON AVENUE, SUITE 5 NORTH ATTLEBORO, MA 02760
phone: (781) 935-2500 fax: (781) 935-2519

AJA PROJECT NO. 15-AJA43



GENERAL NOTES

3	ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE CITY OF SOMERVILLE, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
4	IT IS STRONGLY RECOMMENDED THAT ALL BIDDERS/CONTRACTORS INSPECT THE PROJECT TO VERIFY ALL EXISTING CONDITIONS. THE BIDDER/CONTRACTOR WILL BE HELD FULLY RESPONSIBLE FOR THE FULL EXTENT OF ALL WORK REQUIRED.
5	THE BIDDER/CONTRACTOR SHALL CONFIRM AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS AND LOCATIONS PRIOR TO SUBMITTING THEIR BID. DRAWN INFORMATION IS TAKEN FROM EXISTING DRAWINGS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE BIDDER/CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
6	THE BIDDER/CONTRACTOR SHALL REPORT IN WRITING ALL DEVIATIONS IN THE EXISTING CONDITIONS, DIMENSIONS AND LOCATIONS ETC. TO THE ARCHITECT. ACTUAL CONDITIONS MAY VARY FROM WHAT IS SHOWN ON THESE DRAWINGS.
7	DO NOT SCALE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES OR AREAS. ALL EXISTING DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR IN THE FIELD.
8	IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT AND /OR CONDITION ETC. OF THE BUILDING SYSTEMS, HOWEVER THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE, TO THE SATISFACTION OF THE ARCHITECT AND IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODE REQUIREMENTS.
9	ALL MATERIALS AND NOTES REFER TO NEW MATERIALS UNLESS OTHERWISE NOTED OR INDICATED AS EXISTING.
10	THE CONTRACTOR SHALL TEMPORARILY DISCONNECT AND REMOVE ALL EXISTING SERVICES THAT INTERFERE WITH THE PROPER INSTALLATION OF THE NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT/OWNER OF THESE SERVICES BEFORE DISCONNECTION. REINSTALL AND RECONNECT ALL TEMPORARILY DISCONNECT AND REMOVED ITEMS TO THE SATISFACTION OF THE ARCHITECT.
11	ALL EXISTING AREAS DISTURBED OR DAMAGED AS A RESULT OF THE NEW CONSTRUCTION ARE TO BE PATCHED OR REPLACED TO MATCH EXISTING AND /OR NEW ADJACENT SURFACES.
12	REFER TO DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL SPECIFIC PROJECT REQUIREMENTS
13	DISPOSE OF ALL DEBRIS IN A LEGAL MANNER.

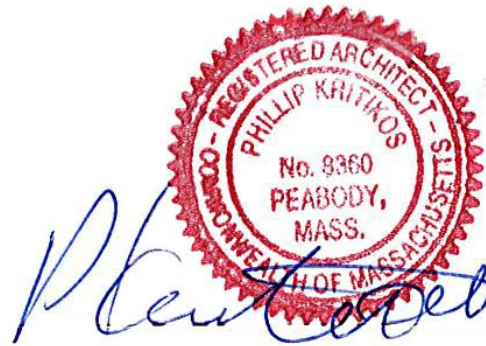
LIST OF DRAWINGS

SHEET NUMBER	SHEET NAME
A-0	TITLE SHEET
A-1	ABBREVIATIONS/WALL TYPES/ DOOR SCHEDULE
A-2	EXISTING FLOOR PLAN
A-3	PROPOSED FLOOR PLAN
A-4	PROPOSED CEILING PLAN
A-5	ENLARGED FLOOR PLANS
A-6	ENLARGED BATHROOM PLANS/ELEVATIONS
A-7	LIFE SAFETY PLAN

PREMIT DRAWINGS

DATE: 1/20/16

LOCUS PLAN & TITLE SHEET

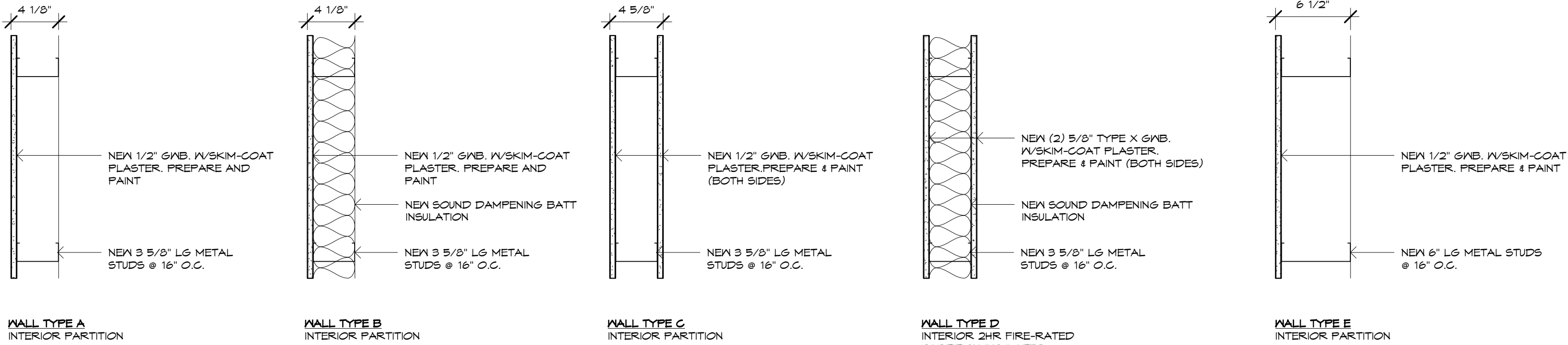


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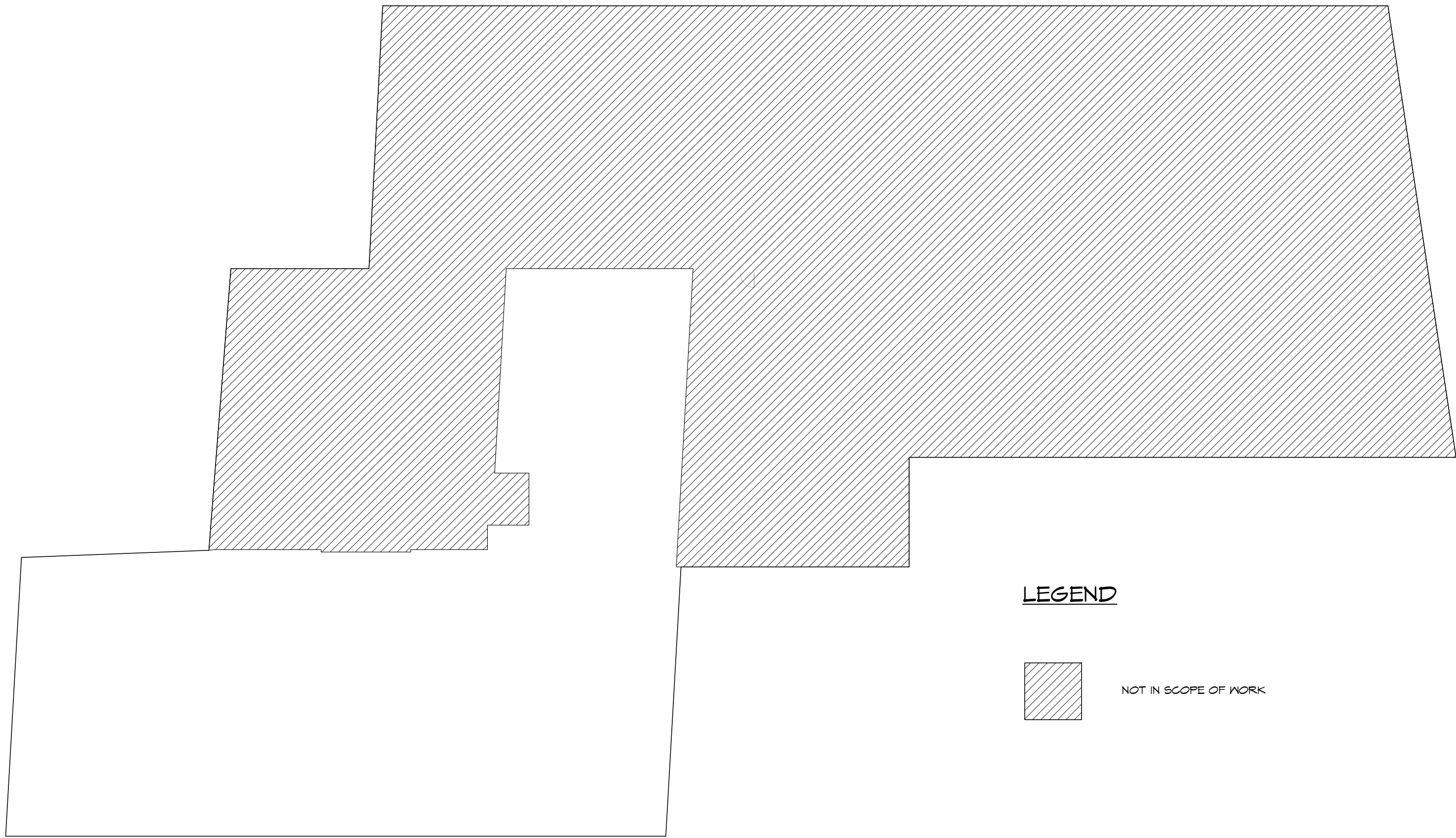
ABBREVIATIONS

A/C	AIR CONDITIONING	GA	GAUGE	REF	REFRIGERATOR
ACT	ACOUSTICAL TILE	GB	GYPSUM BOARD	REFURB	REFURBISH
A.F.F.	ABOVE FINISH FLOOR	GC	GENERAL CONTRACTOR	REINF	REINFORCEMENT
ALT	ALTERNATE	GALV	GALVANIZED	RES	RESILIENT
ALUM	ALUMINUM	GL	GLASS	REQD	REQUIRED
ANG BLT	ANCHOR BOLT	GLAZ	GLAZED BLOCK	RH	RIGHT HAND
APPROX	APPROXIMATE	GLB	GLASS BLOCK	RL	RAIN LEADER
ARCH	ARCHITECT	GN	GOOSENECK	RM	ROOM
ARGB	ABUSE RESISTANT GB	GWB	GYPSUM WALL BOARD	RO	ROUGH OPENING
ASPH	ASPHALT			RST	RUBBER STAIR TREAD
				RT	RUBBER TILE
				RTU	ROOF TOP UNIT
BC	BRICK COURSE	HC	HANDICAP	S	SEALANT
BD	BOARD	HD	HEAVY DUTY	SS	SECURITY GLASS
BTUM	BITUMINOUS	HDPE	HIGH DENSITY POLYETHYLENE	SHM	SECURITY HOLLOW METAL
BLDS	BUILDING	HM	HOLLOW METAL	SCH	SCHEDULE
BLK	BLOCK	HORIZ	HORIZONTAL	SCR	SHOWER CURTAIN ROD
BLKS	BLOCKING	HP	HEIGHT	SCN	SOLID CORE WOOD
BN	BENCH MARK	HTR	HEATER	SD	SOAP DISPENSER
BOF	BOTTOM OF FOOTING	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SECT	SECTION
BOD	BOTTOM OF DUCT			SF	SQUARE FEET
BOTT	BOTTOM	ID	INSIDE DIAMETER	SM	SIMILAR
BRG	BEARING	INSUL	INSULATION	SIP	STRUCTURALLY INSULATED PANEL
BRK	BRICK	INT	INTERIOR	SND	SANITARY NAPKIN DISPENSER
BS	BRICK SHELF	INV	INVERT	SNV	SANITARY NAPKIN VENDOR
BSMT	BASEMENT			SPEC	SPECIFICATION
				SQ	SQUARE
CAB	CABINET			SS	STAINLESS STEEL
CB	CEMENT BOARD	JST	JOIST	STD	STANDARD
CDM	CAVITY DRAINAGE	JT	JOINT	STL	STAINLESS STEEL
				STD	STANDARD
CH	CEILING HEIGHT	L	LENGTH	STL	STEEL
CIP	CAST IN PLACE	LAM	LAMINATE	STOR	STORAGE
CJ	CONTROL JOINT	LAV	LAVATORY	STRUCT	STRUCTURE OR STRUCTURAL
CL	CENTRAL LINE/	LBL	LABEL	SUSP	SUSPENDED OR SUSPENSION
	COLUMN LINE	LCT	LEAD COATED	SV	SHEET VINYL
CLS	CELLING	LCC	LEAD COATED COPPER		
CLOS	CLOSET	LG	LIGHT GAUGE		
CLR	CLEAR	LFP	LOW POINT		
CMU	CONCRETE MASONRY	LSC	LIFE SAFETY CODE		
CNTR	COUNTER	MAS	MASONRY	T & B	TOP AND BOTTOM
CO	CASED OPENING	MAX	MAXIMUM	TB	TOWEL BAR
COL	COLUMN	MB	MARKER BOARD	TBA	TO BE ABANDONED
COMP	COMPOSITION	MBL	MARBLE BOARD	TBB	TILE BACKER BOARD
CONC	CONCRETE	MC	MEDICINE CABINET	TBD	TO BE DETERMINED
CONST	CONSTRUCTION	MD	MEDIUM DENSITY FIBERBOARD	TEL	TELEPHONE
CONT	CONTINUOUS	MDO	MEDIUM DENSITY OVERLAY	THK	THICK OR THICKNESS
CONV	CONVECTOR	MECH	MECHANICAL	THOLD	THRESHOLD
CORR	CORRIDOR	MFR	MANUFACTURER	TOC	TOP OF CURB
COORD	COORDINATE	MH	MANHOLE	TOL	TOP OF LANDING
CRT	CERAMIC TILE	MIN	MINIMUM	TOP	TOP OF PLATE
CT	CERAMIC TILE	MIR	MIRROR	TOS	TOP OF STEEL
CUH	CABINET UNIT HEATER	MISC	MISCELLANEOUS	TOW	TOP OF WALL
		ML	MATCH LINE	TS	TUBULAR STEEL
D	DRYER	MO	MASONRY OPENING	TTD	TOWEL TISSUE DISPENSER
DBL	DOUBLE	MRSB	MOISTURE RESISTANT GB	TX	TO WEATHER
DEMO	DEMOLITION	MTD	MOUNTED	TYF	TYPICAL
DI	DIAGONAL	MTL	METAL		
DIA8	DIAMETER	MTF	METAL TOILET PARTITION	UC	UNDERCUT
DIM	DIMENSION	MW	MULTI-COLOR	UNO	UNLESS NOTED OTHERWISE
DL	DRAIN LEADER	MWP	MULTI-COLOR WALL PAINT	UV	UNIT VENTILATOR
DN	DOWN	NA	NOT APPLICABLE		
D-PART	DEMOUNTABLE PARTITION	NC	NOT IN CONTRACT		
DR	DOOR	NOM	NOMINAL		
DS	DOWNSPOUT	NTS	NOT TO SCALE		
DTL	DETAIL	NO	NUMBER		
DWG	DRAWING	NY	NEX		
DYK	DISHWASHER				
EA	EACH	OA	OVERALL		
EF	EACH FACE	OC	ON CENTER		
EF8	EXTERIOR INSULATED	OD	OUTSIDE DIAMETER		
	FINISH SYSTEM	OH	OPPOSITE HAND/OVERHEAD		
EJ	EXPANSION JOINT	OPNG	OPENING		
ELEC	ELECTRIC	OPPHAND	OPPOSITE HAND		
ELEV	ELEVATOR/ELEVATION	OPP	OPPOSITE		
EMER	EMERGENCY	OSB	ORIENTED STRAND BOARD		
ENCL	ENCLOSURE	OVN	OPERABLE WALL		
EP	ELECTRICAL PANEL				
EPXY	EPOXY SEALING SYSTEM	PART BD	PARTICLE BOARD		
EQ	EQUAL	PCP	PRECAST CONCRETE PLANK		
EQUIP	EQUIPMENT	PERM	PERIMETER		
ER	EXISTING TO REMAIN	PF	PREFINISHED		
EXH	EXHAUST	PL	PLASTER OR PROPERTY LINE		
EXIST	EXISTING	PLAM	PLASTIC LAMINATE		
EXP	EXPANSION	PLAS	PLASTIC		
EXPT	EPOXY PAINT	PLND	PLYWOOD		
EXT	EXTERIOR	PLMF	PREMOLDED JOINT FILLER		
EX	EACH WAY	PNT	PAINT		
ENG	ELECTRIC WATER COOLER	PNTD	PAINTED		
		PP	POWER POLE		
FACP	FIRE ALARM	PR	PAPER TOWEL DISPENSER		
	CONTROL PANEL	PT	PARTITION		
FB	FIRE BLANKET	PTD	PAPER TOWEL DISPENSER		
FD	FLOOR DRAIN	PTN	PARTITION		
FE	FIRE EXTINGUISHER	PVC	POLYVINYL CHLORIDE		
FF	FINISH FLOOR	PVMT	PAVEMENT		
FFE	FINISH FLOOR ELEVATION				
FIN	FINISH	QT	QUARRY TILE		
FG	FIBERGLASS				
FLASH	FLASHING	R & D	REMOVE AND DISPOSE		
FLR	FLOOR	R & R	REMOVE AND REPLACE		
FLUOR	FLUORESCENT	R & S	REMOVE AND SALVAGE		
FNDR	FOUNDATION	R	RADIUS/RISER		
FOC	FACE OF CONCRETE	RB	RUBBER MAT		
FOF	FACE OF FINISH	RD	ROOF DRAIN		
FCM	FACE OF MASONRY				
FGS	FACE OF STUD				
FF	FIRE PROOFING				
FR	FIRE RETARDANT				
FTS	FOOTING				
FUR	FURRING				
FAM	FLUID APPLIED MEMBRANE				

WALL TYPES



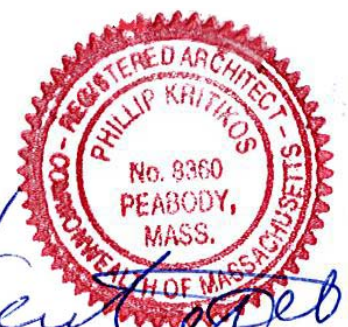
DOOR SCHEDULE				
NO.	WIDTH	HEIGHT	FRAME MATERIAL	DOOR MATERIAL
101	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
102	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
103	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
104	2' - 6"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
105	2' - 6"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
106	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
107	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
108	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
109	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
110	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
111	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
112	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
113	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
114	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
115	6' - 0"	6' - 8"	ALUMINUM	GLASS SLIDER- FULL VIEW
116	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
117	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
118	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
119	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
120	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
121	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
122	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
123	4' - 6"	6' - 0"	STEEL (KNOCKDOWN)	GLASS - FULL VIEW W/ SIDE LITE
124	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
125	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
126	2' - 6"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
127	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE
128	3' - 0"	6' - 8"	ALUMINUM	GLASS- FULL VIEW
130	3' - 0"	6' - 8"	STEEL (KNOCKDOWN)	WOOD- SOLID CORE



LEGEND



NOT IN SCOPE OF WORK



Revisions:

Date: 1/20/16

Scale: As indicated

Drawn by: MM II



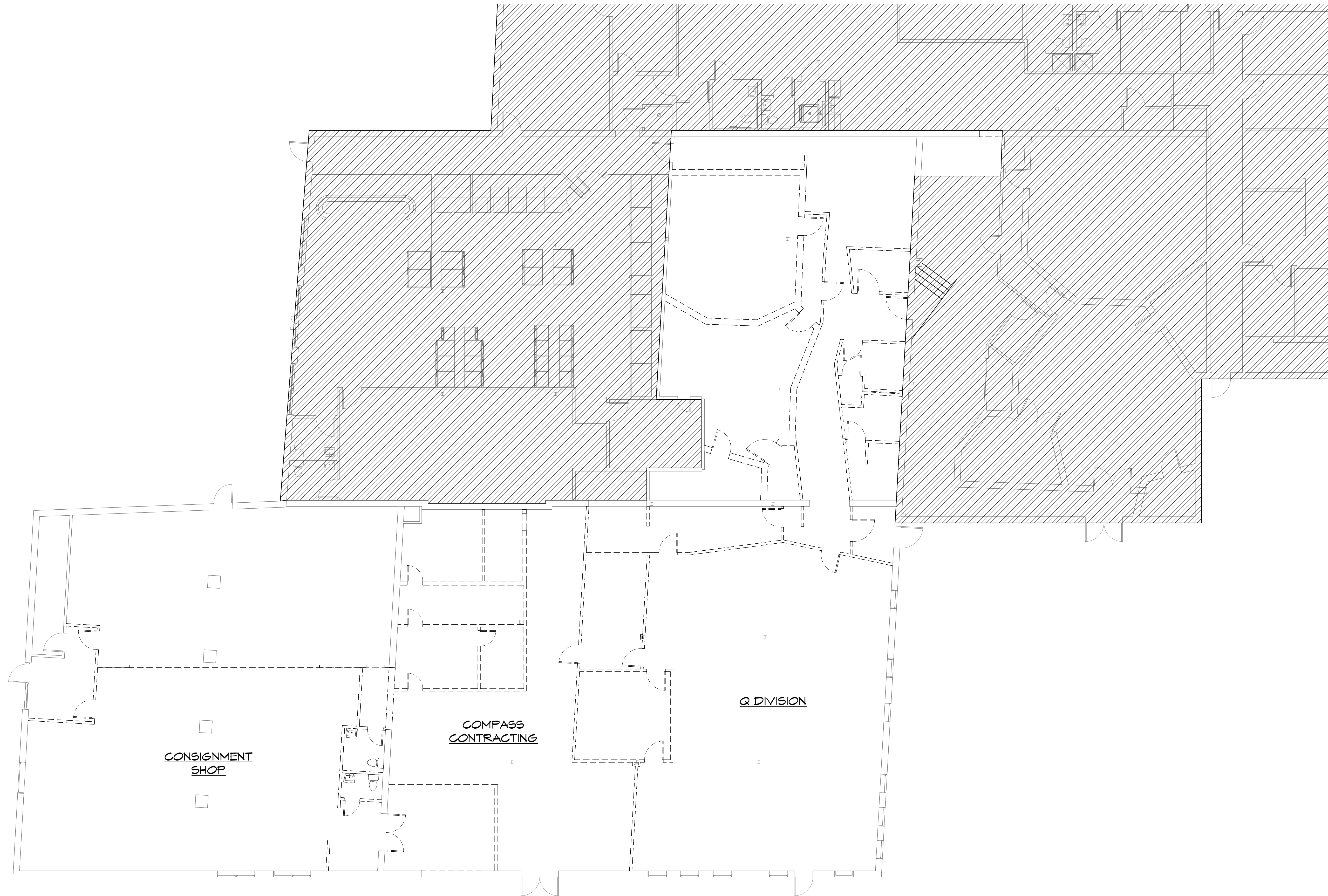
Project number: 15-AJA43

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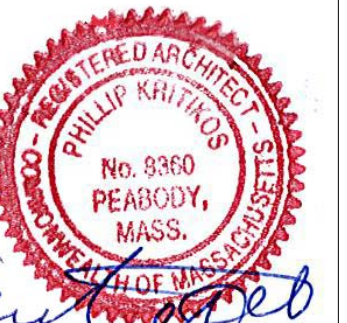
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1 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"

EXISTING FLOOR PLAN



Revisions:

Date: 1/20/16

Scale: 1/8" = 1'-0"

Drawn by: MM II



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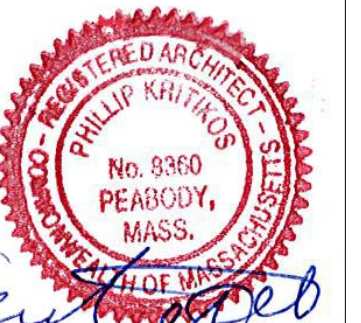
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1 PROPOSED FLOOR PLAN
1/8" = 1'-0"

PROPOSED FLOOR PLAN



Revisions:

Date: 1/20/16

Scale: 1/8" = 1'-0"

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A-3

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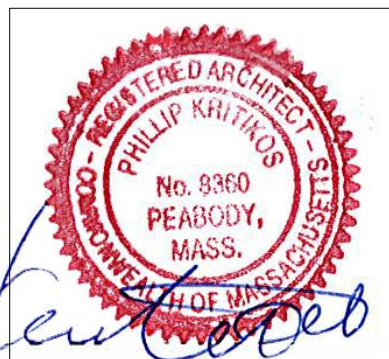
1 PROPOSED CEILING PLAN
1/8" = 1'-0"

LEGEND

- LAY-IN 2' X 2' FLUORESCENT TROFFER LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- CEILING TILES 2'X2'
- GWB CEILING 1/4" LG METAL STUDS

NOTE:
AREAS NOT DESIGNATED TO
RECEIVE NEW ACCT ARE
EXPOSED TO ROOF DECK OR
THE EXISTING CEILING IS TO
REMAIN.

PROPOSED CEILING PLAN



Revisions:

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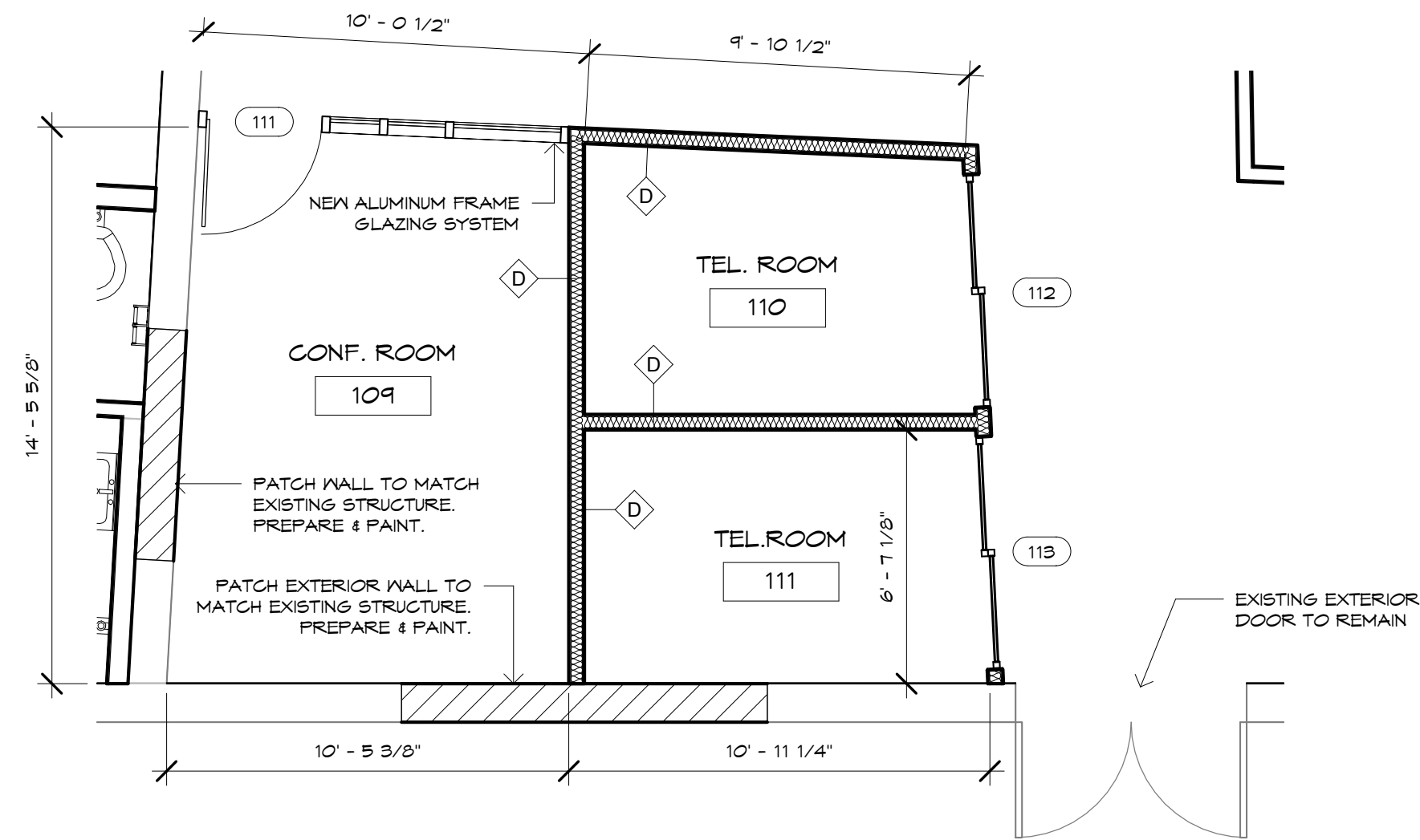
ARNOLD JACOBSON ASSOCIATES, INC. ARCHITECTS

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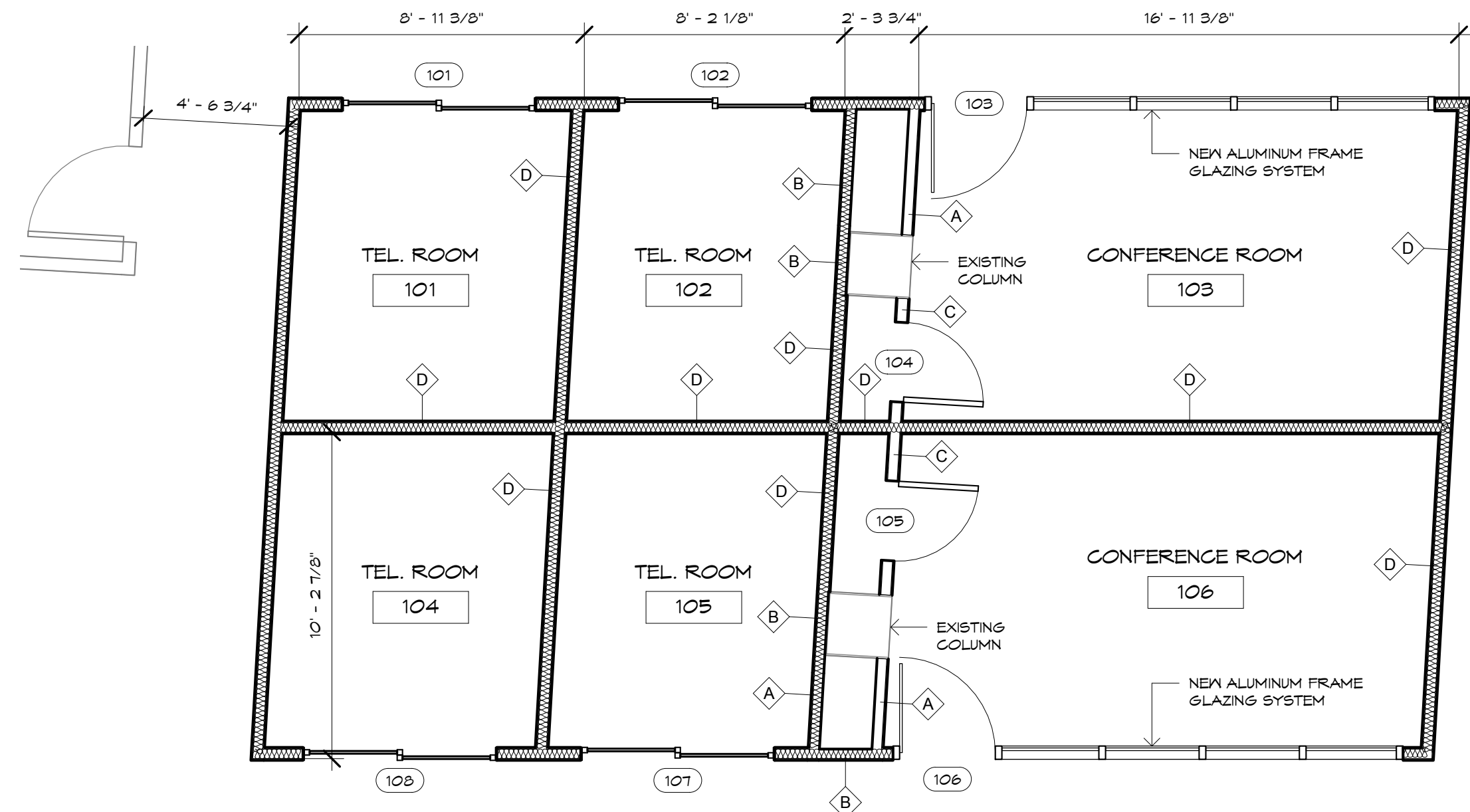
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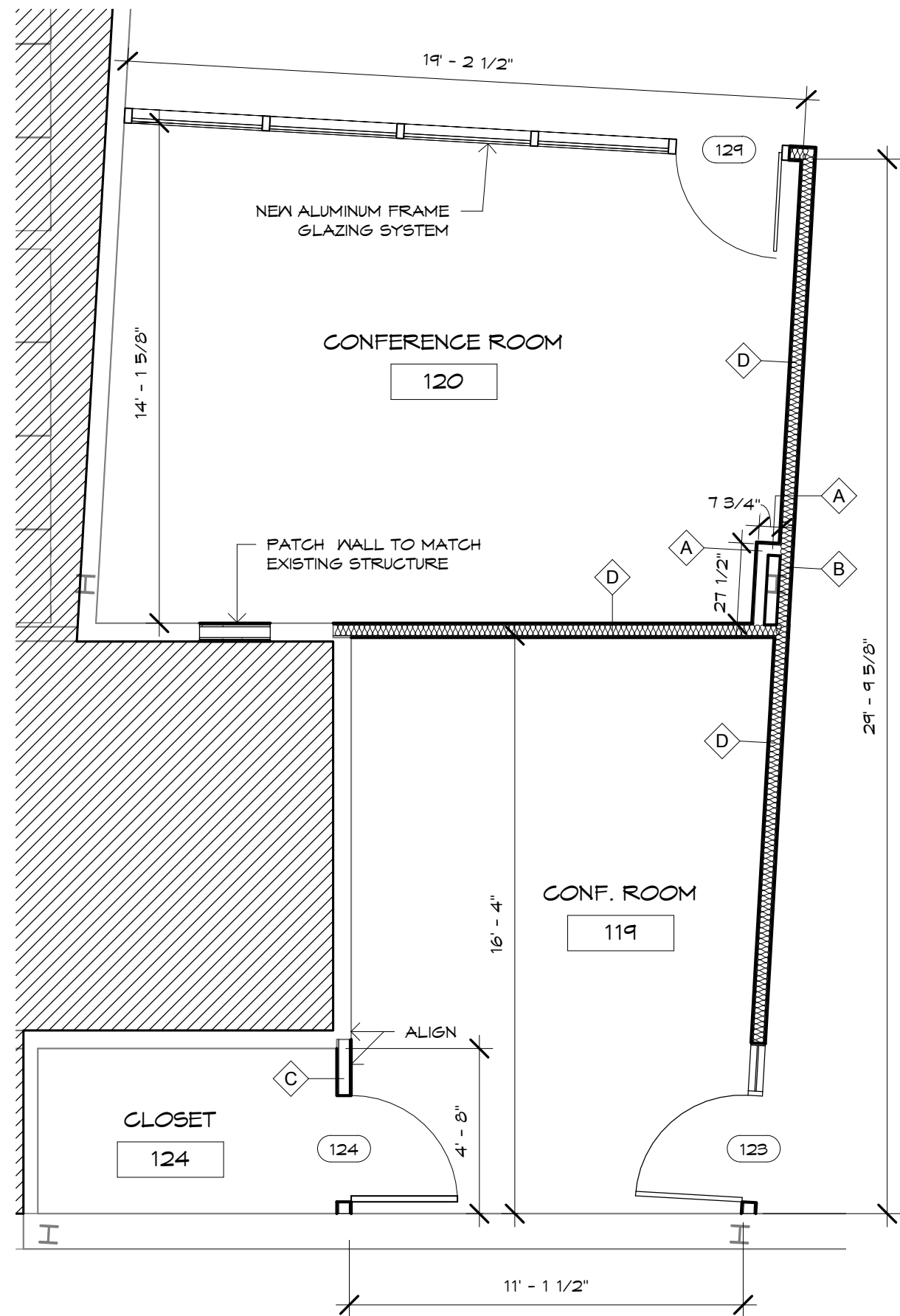
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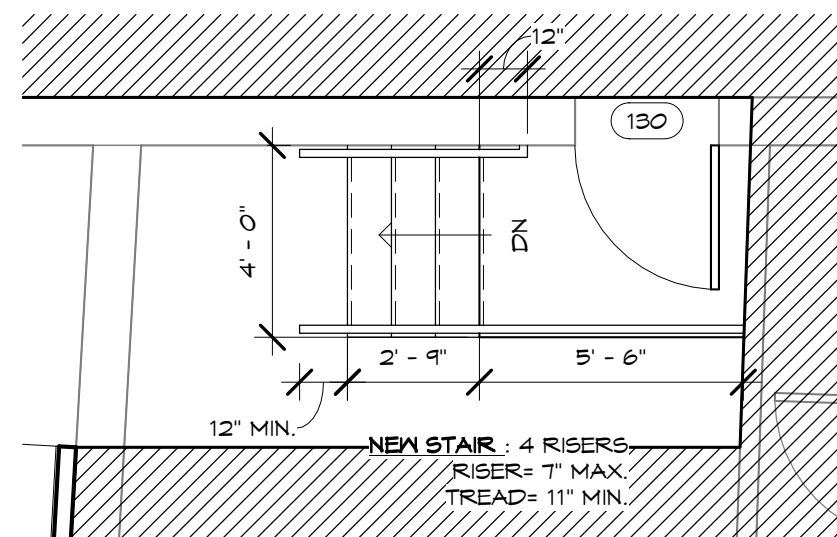
1 ENLARGED FLOOR PLAN 1
1/4" = 1'-0"



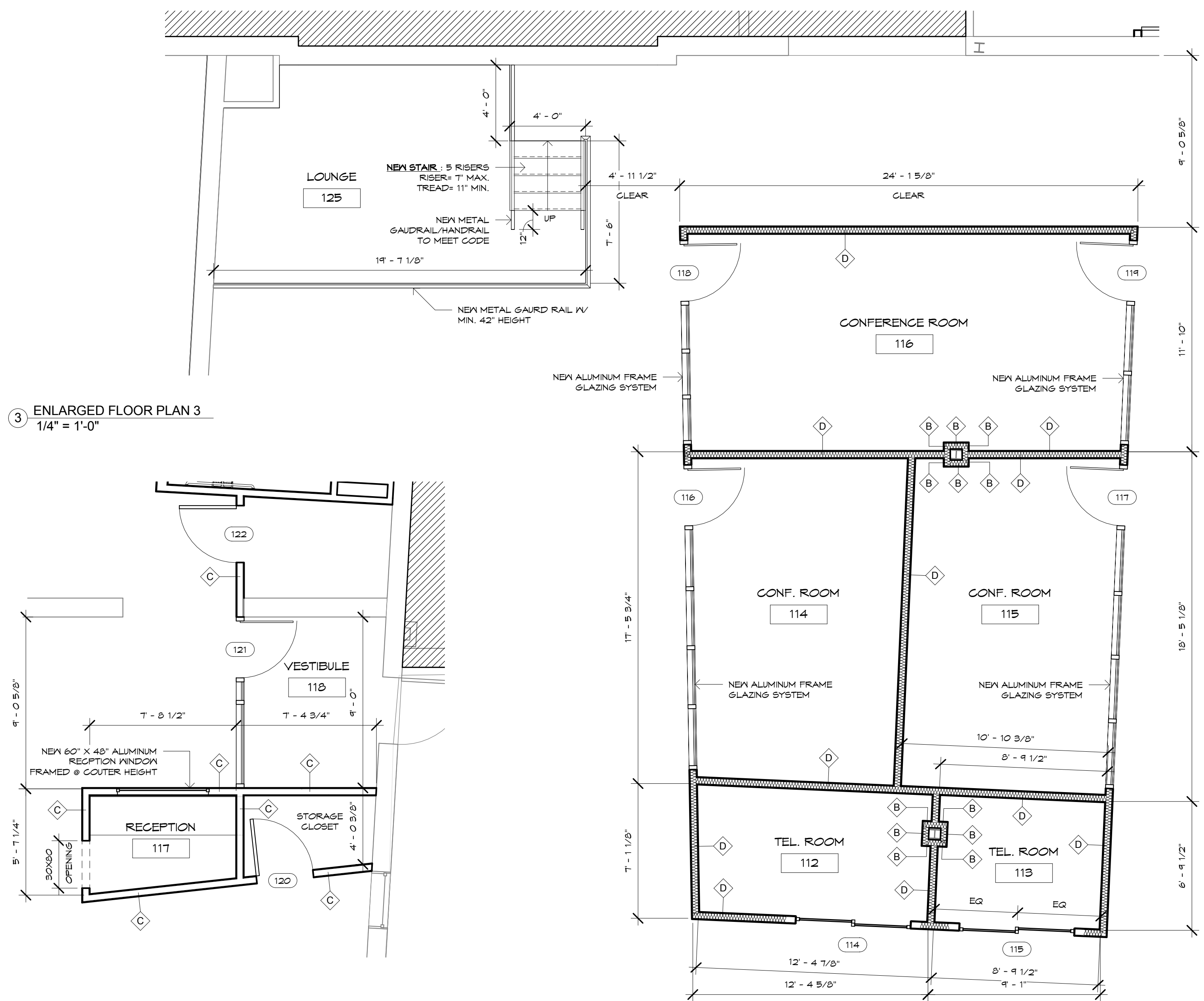
2 ENLARGED FLOOR PLAN 2
1/4" = 1'-0"



4 ENLARGED FLOOR PLAN 4
1/4" = 1'-0"



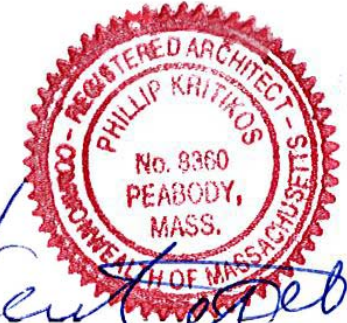
6 ENLARGED FLOOR PLAN 6
1/4" = 1'-0"



3 ENLARGED FLOOR PLAN 3
1/4" = 1'-0"

5 ENLARGED FLOOR PLAN 5
1/4" = 1'-0"

ENLARGED FLOOR PLANS



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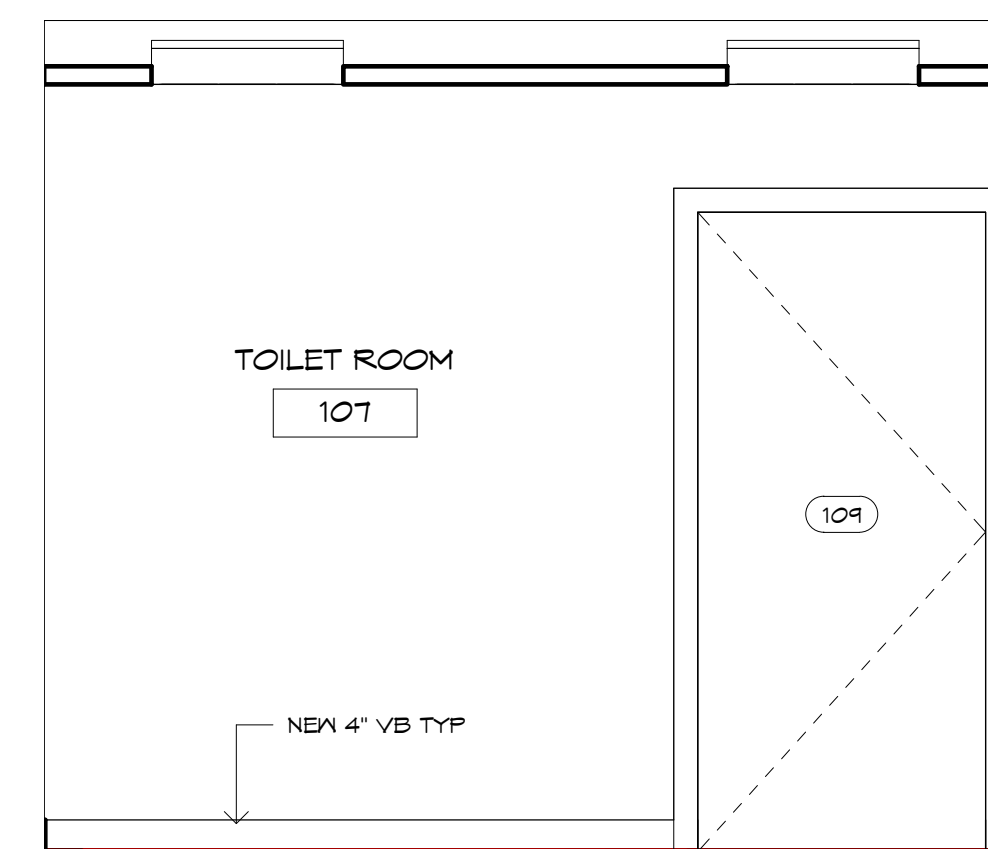
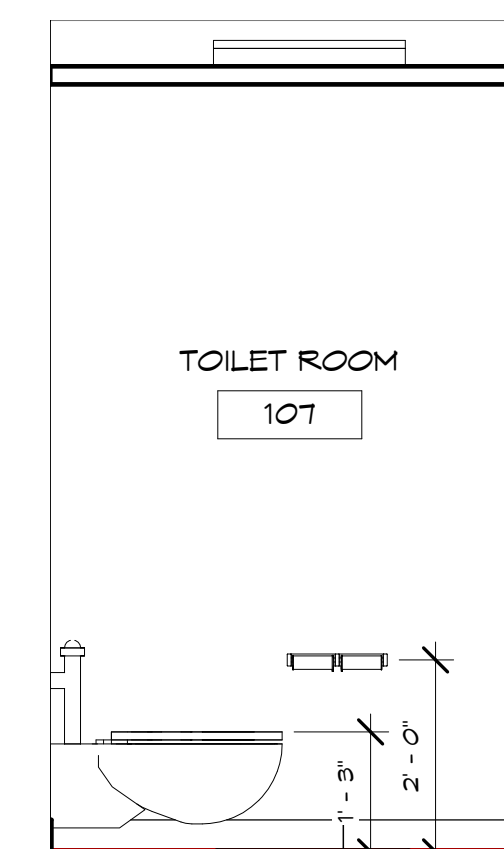
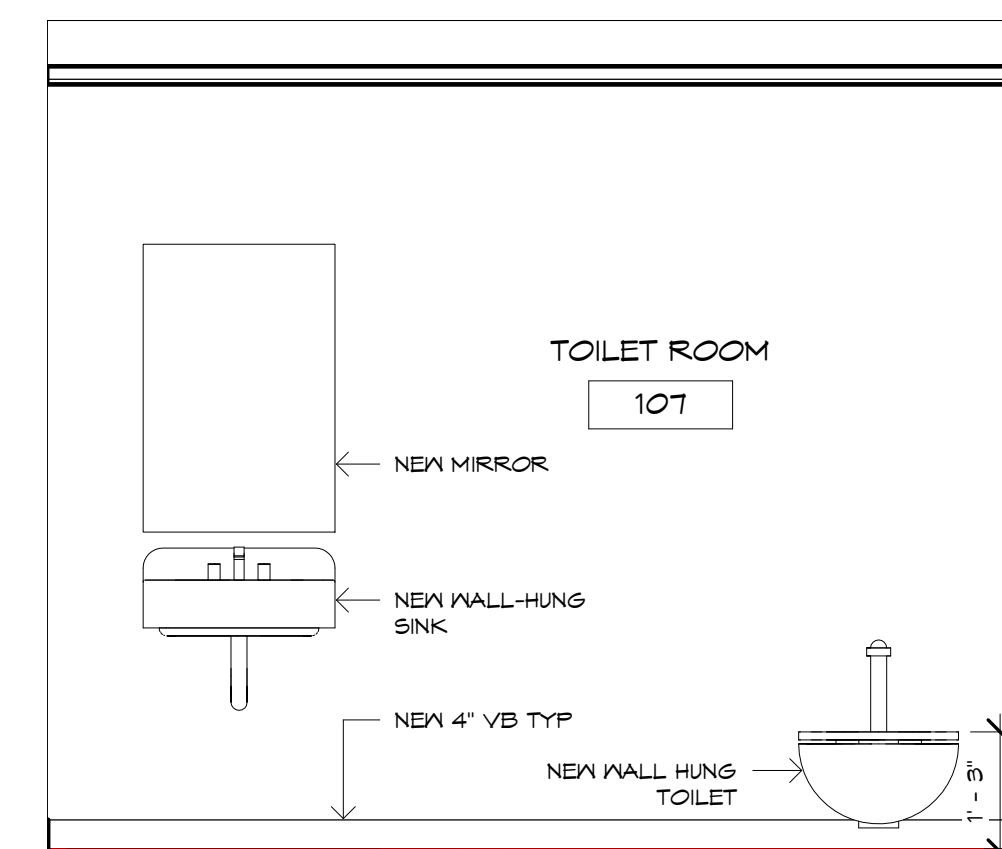
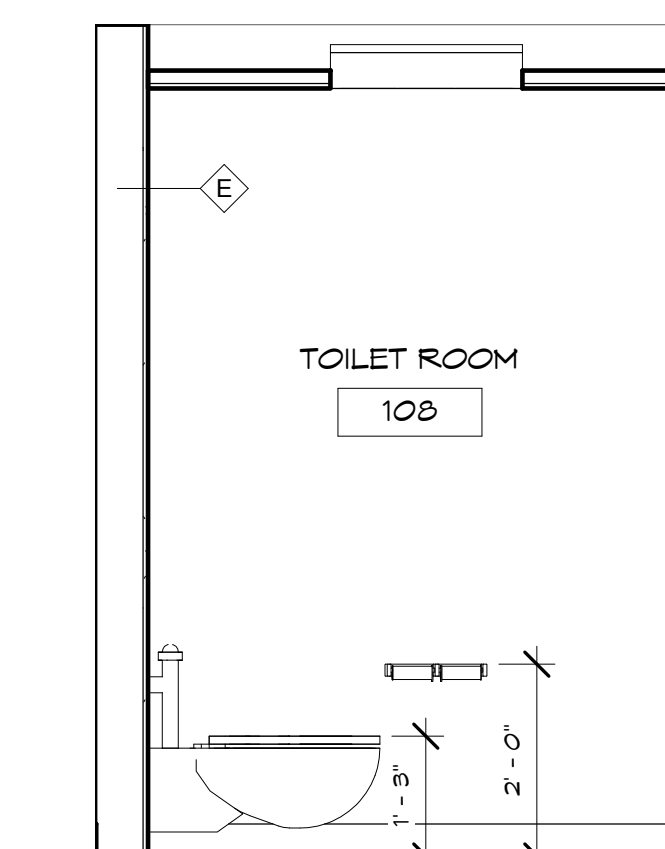
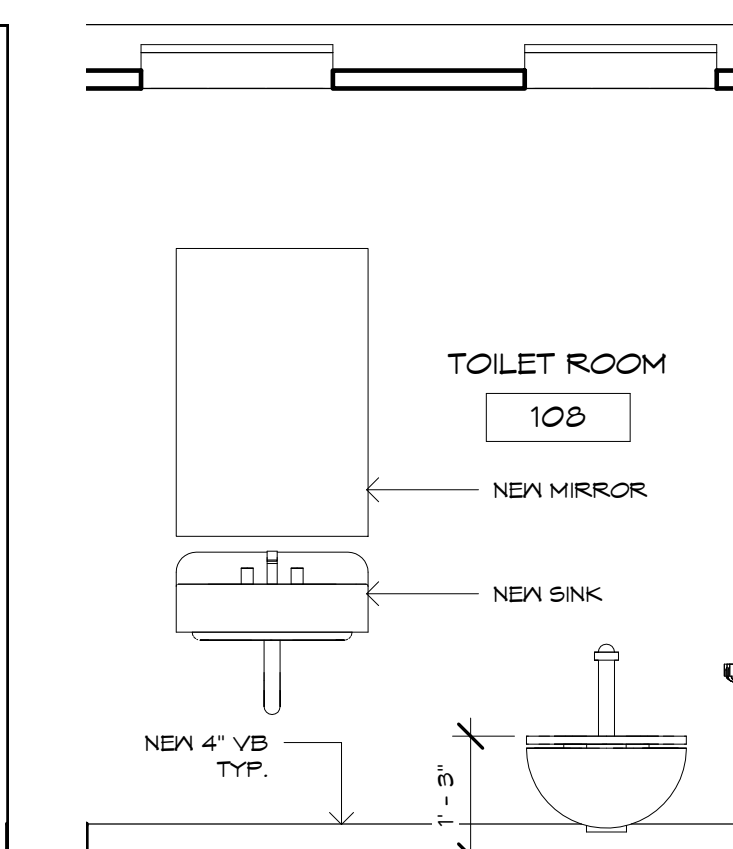
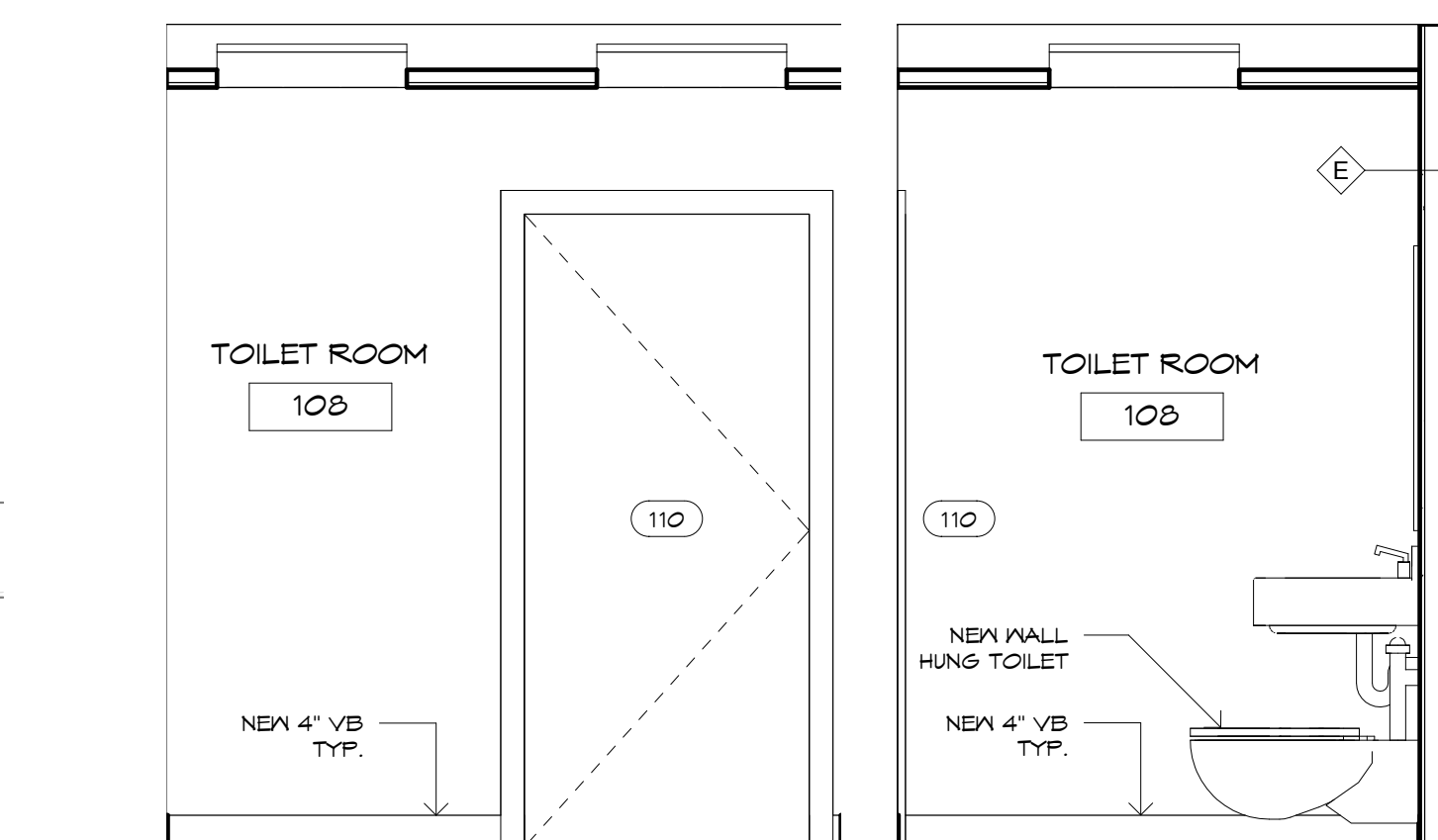
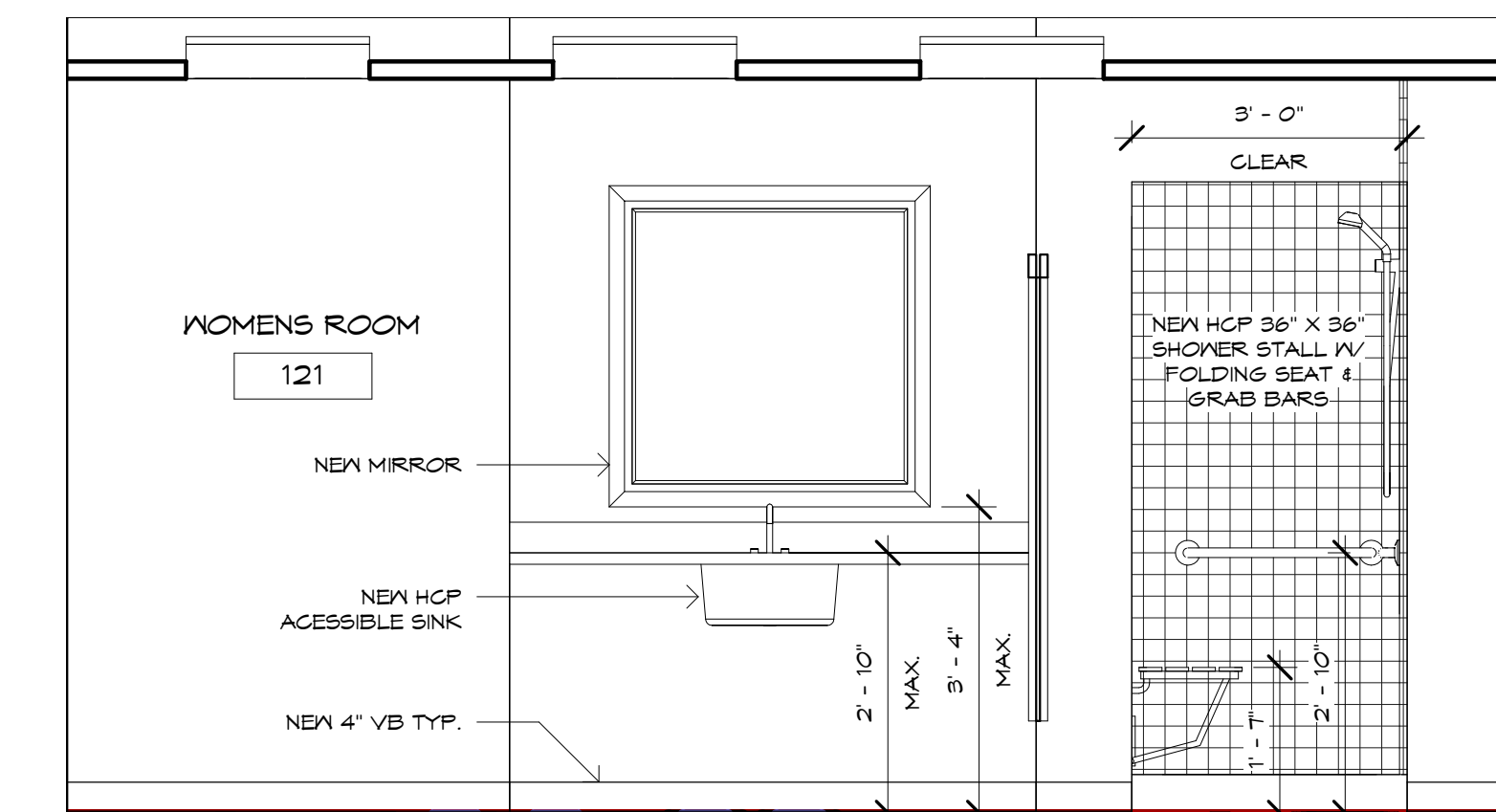
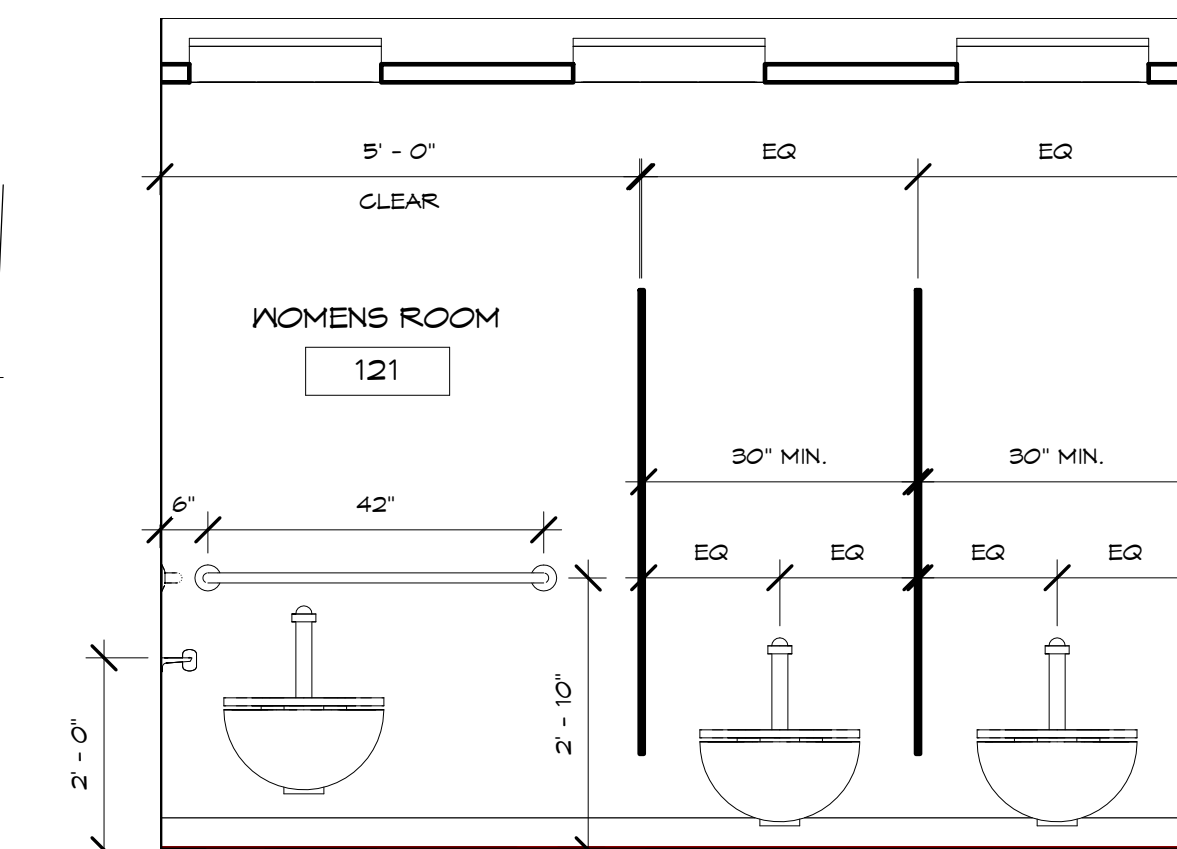
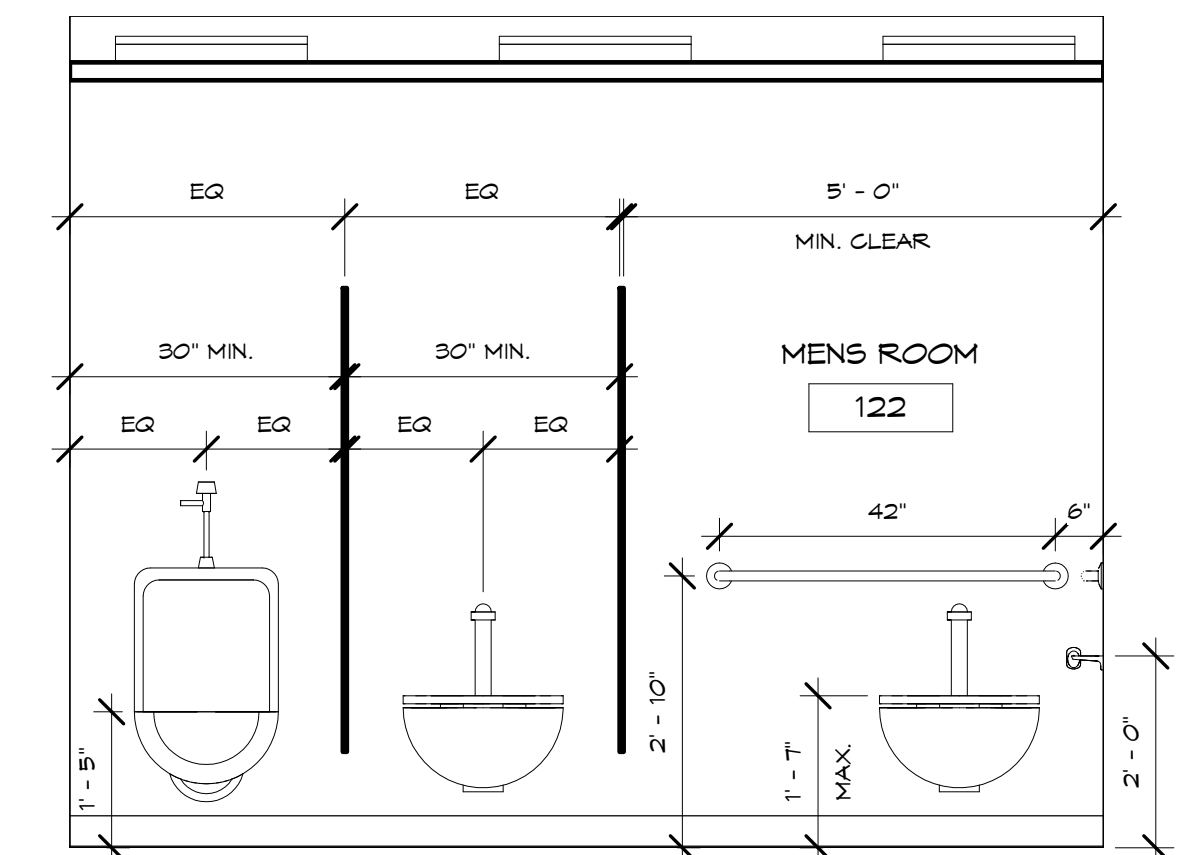
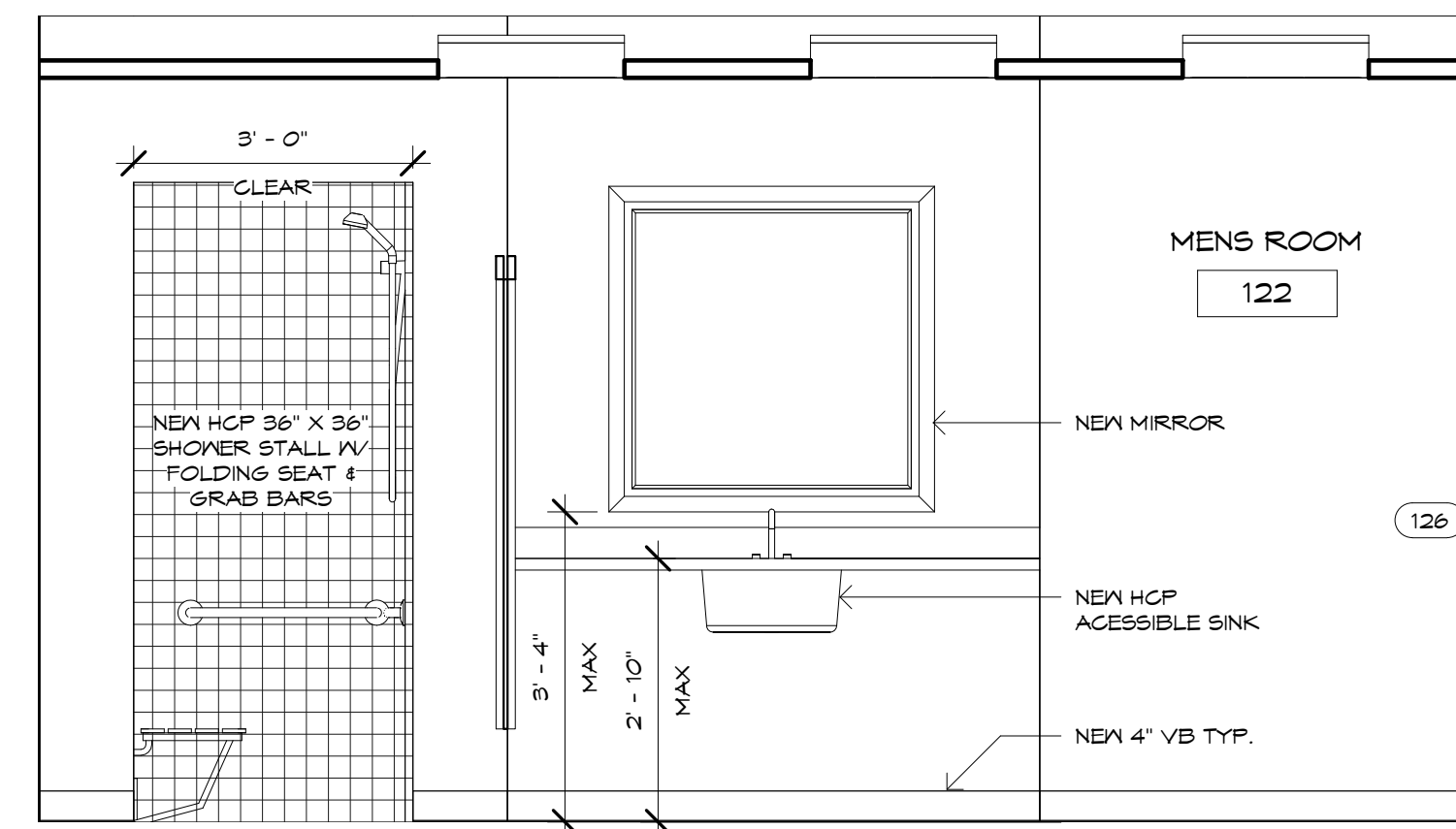
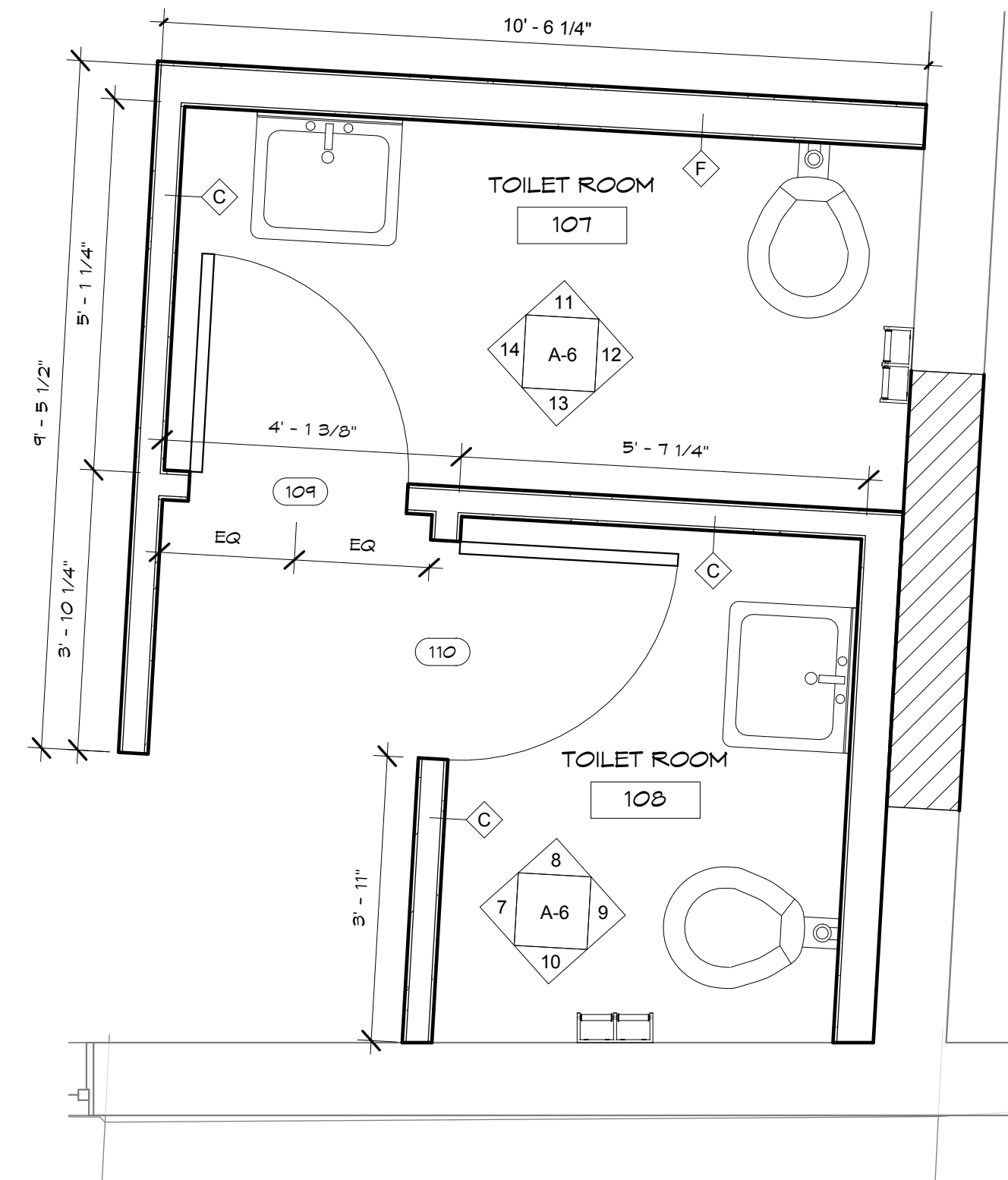
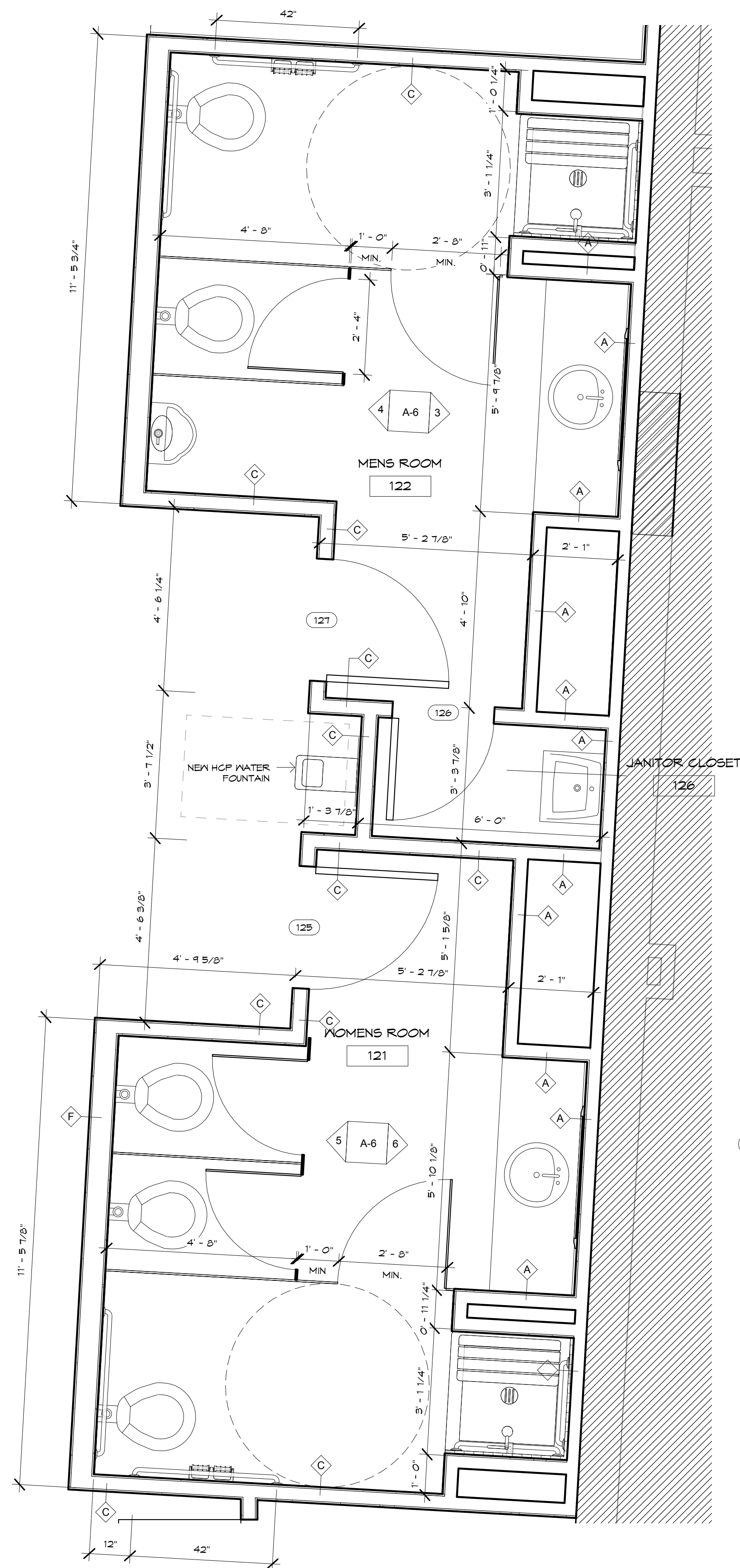
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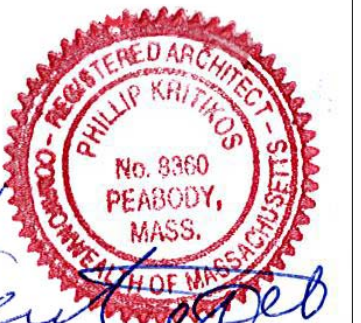
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A-5

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ENLARGED BATHROOM PLANS/ELEVATIONS



Revisions:

Date: 1/20/16

Scale: $1/2" = 1'-0"$

Drawn by: MM II



Project number: 15-AJA43

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153 ANDOVER STREET, SUITE 101 DANVERS, MA 01923 (781)

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A-6

NOTES



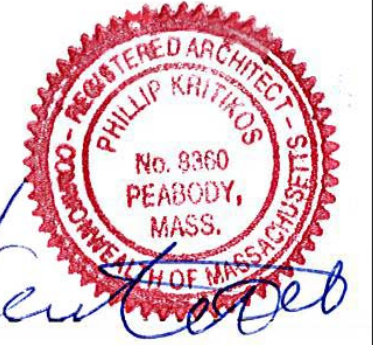
1 PROPOSED LIFE SAFTEY PLAN
1/8" = 1'-0"

LEGEND

- EXIT SIGN
- SMOKE DETECTOR
- HEAT DETECTOR
- FIRE ALARM STROBE
- FIRE ALARM PULL STATION
- EMERGENCY BATTERY PACKS
- EMERGENCY BATTERY PACKS

NOTE:
CONTRACTOR TO INSTALL DUCT
SMOKE DETECTORS IN SUPPLY AND
RETURN VENTS WITH REMOTE TEST
SWITCHES

LIFE SAFTEY PLAN



Revisions:

Date: 1/20/16

Scale: 1/8" = 1'-0"

Drawn by: MM II

AJA
architects

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