

28 HAWTHORNE STREET, SOMERVILLE

ADDITION (1 NEW UNIT) AND RENOVATION OF EXISTING 1 UNIT

SEAL



CONSULTANT

PROJECT
RENOVATION AND
ADDITION TO
28 HAWTHORNE
28 HAWTHORNE STREET
SOMERVILLE, MA

PREPARED FOR
HAWTHORNE DEVELOPMENT
VENTURES LLC
52 CEDAR STREET
CAMBRIDGE, MA 02140

DRAWING TITLE
COVER SHEET

SCALE AS NOTED

REVISION DATE

ZBA APPL 17 NOV 2016

DRAWN BY DM REVIEWED BY PQ

SHEET

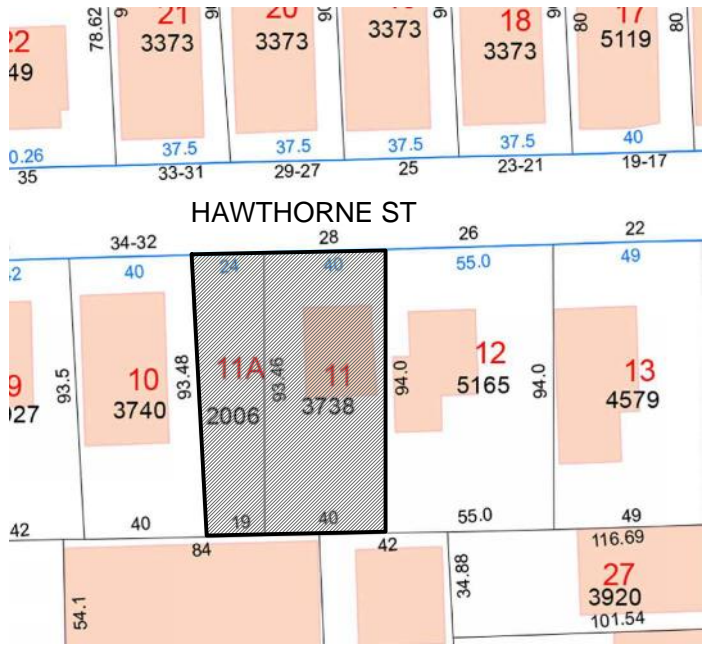
T-1

LIST OF DRAWINGS		ZBA APPLICATION
		17 NOV 2016
T-1	COVER SHEET	X
T-2	PHOTOS	X
	CERTIFIED PLOT PLAN	X
Z-1	ZONING COMPLIANCE	X
Z-2	ZONING COMPLIANCE	X
A-0	ARCHITECTURAL SITE PLAN	X
A-1	PROPOSED BASEMENT FLOOR PLAN	X
A-2	PROPOSED FIRST FLOOR PLAN	X
A-3	PROPOSED SECOND FLOOR PLAN	X
A-4	PROPOSED ATTIC LEVEL	X
A-5	PROPOSED FRONT ELEVATION	X
A-6	PROPOSED LEFT SIDE ELEVATION	X
A-7	PROPOSED REAR ELEVATION	X
A-8	PROPOSED RIGHT SIDE ELEVATION	X



EXISTING NEW

STREET ELEVATION



LOCUS MAP

28 HAWTHORNE STREET, SOMERVILLE



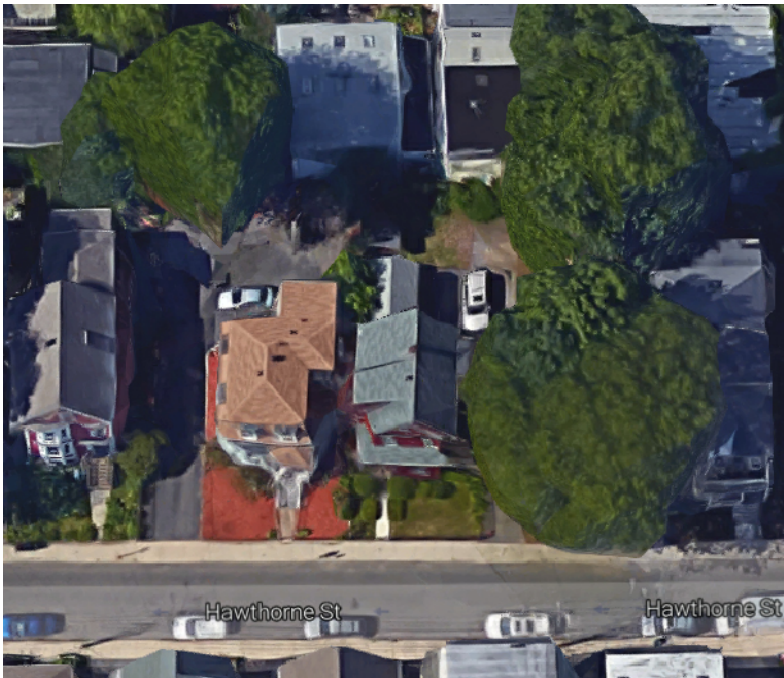
FRONT YARD VIEW



RIGHT SIDE VIEW



REAR VIEW



BIRD EYE VIEW



LEFT SIDE VIEW



BIRD EYE VIEW 2

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PHOTOS

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T-2

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF OCTOBER 25, 2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

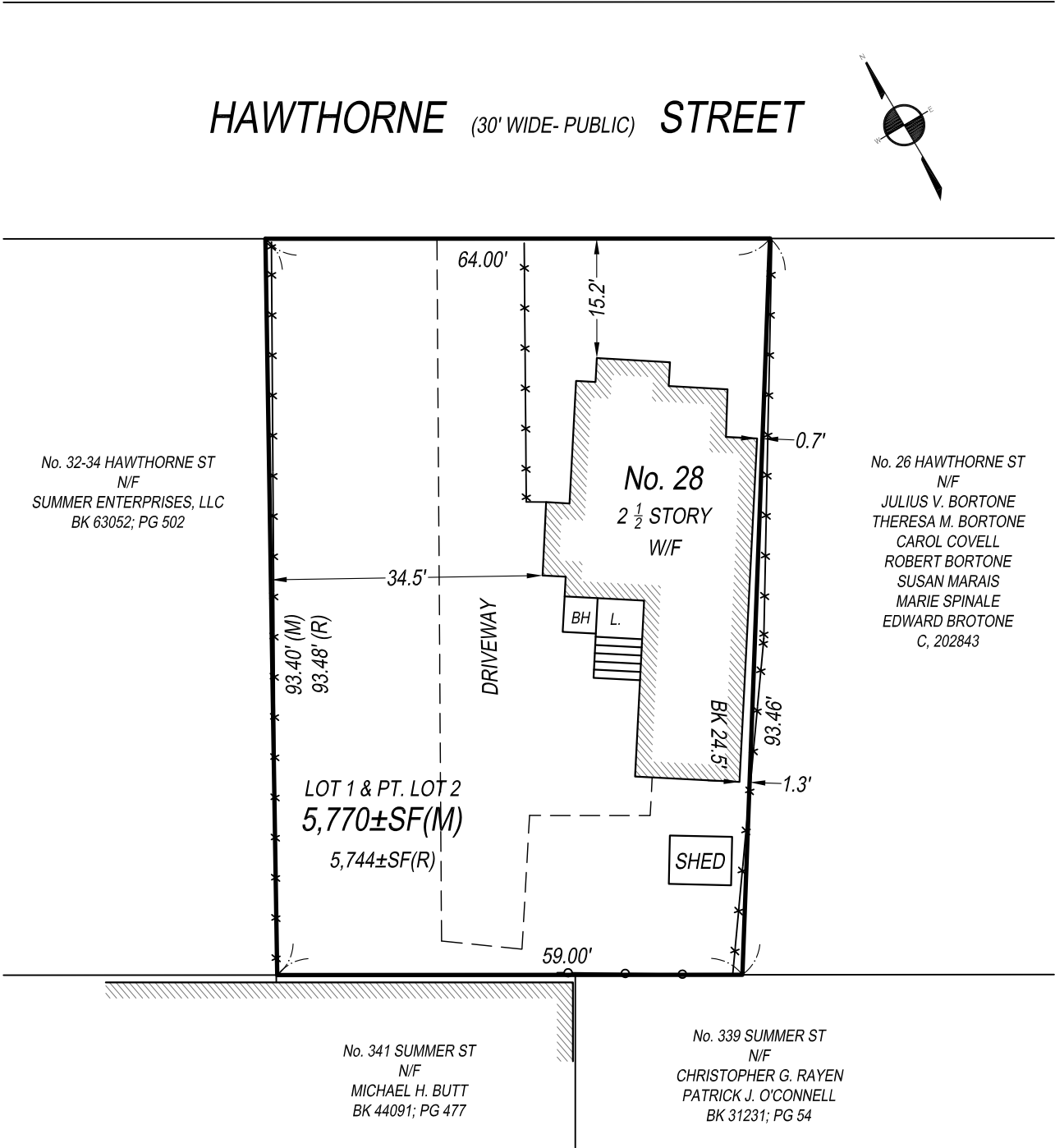
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2 % ANNUAL CHANCE FLOODPLAIN).
COMMUNITY PANEL #25017C0438E
EFFECTIVE DATE: JUNE 4, 2010

REFERENCES:

DEED: BK 55232; PG 1
PLAN: BK 2214; PG END
BK 2874; PG END
#808 of 2002
PL BK 21; PL 37
PL BK 6; PL 4
LCC: 7004-A
1825-A

NOTES:

PARCEL ID: 25-D-11

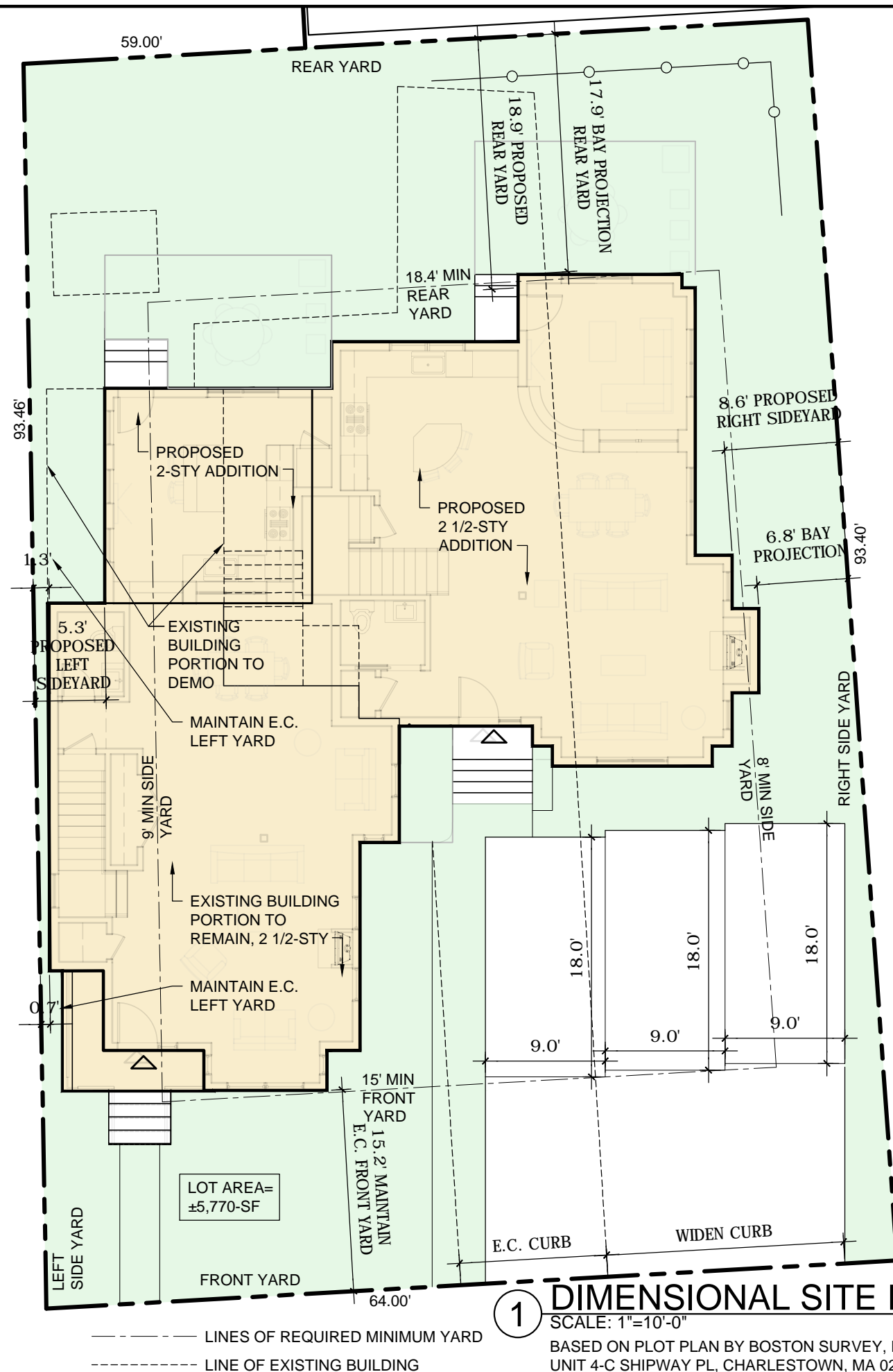


CERTIFIED PLOT PLAN
LOCATED AT
28 HAWTHORNE STREET
SOMERVILLE, MA

PREPARED FOR:
WILLIAM J. BOLT
ELIZABETH M. HARDY
3 CHAPEL ROAD
BEVERLY, MA 01915



FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
M	N/A	MO	RAP	GCC
SCALE: 1 INCH = 10 FEET 		DATE: OCTOBER 26, 2016		
		JOB #16-00656		
		FILE #16-00656 - CPP.DWG		



HAWTHORNE 28 - DIMENSIONAL TABLE - RB ZONING DISTRICT

ITEM	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	± 5,770	NO CHANGE	EXTG NON CONFORMITY, NO CHANGE
MIN LOT AREA / UNIT 1-10 UNITS (SF)	1,500	± 5,770	± 2,885	COMPLIES
MAX GROUND COVERAGE (%)	50	± 19	± 37	COMPLIES
MIN LANDSCAPED AREA (% OF LOT)	25	± 57	± 41	COMPLIES
PERVIOUS AREA (% OF LOT)	35	± 57	± 47	COMPLIES
FLOOR AREA RATIO (FAR)	1.0	0.34	0.84	COMPLIES
NET FLOOR AREA (NSF)	± 5,770	± 1,962	± 4,833	COMPLIES
MAX HEIGHT (FT/ STORIES)	40 / 3	± 28.3 / 2.5	± 30.4 / 2.5	COMPLIES
MIN FRONT YARD (FT)	15	15.2	NO CHANGE	COMPLIES
MIN SIDE YARD - LEFT (FT)	9	1.3	NO CHANGE EXIST BLDG 5.3 ADDITION	EXTG NON CONFORMITY, NO CHANGE. ADDITION REQUIRES RELIEF.
MIN SIDE YARD - RIGHT (FT)	8	34.5	8.6	COMPLIES
MIN REAR YARD (FT)	18.4*	± 24.5	18.9	COMPLIES
MIN FRONTAGE (FT)	50	64	NO CHANGE	COMPLIES
MIN NO. OF PARKING SPACES	4**	1	3	COMPLIES
MIN NO. BIKE PARKING SPACES	0***	0	2	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN.

*REAR YARD CALCULATION PER §8.5
 3" REDUCTION PER FOOT THAT THE LOT DEPTH IS
 UNDER 100'. LOT DEPTH IS 93.4'.
 100'-93.4' LOT DEPTH = 6.6'
 6.6' X 3"/FOOT = 19.8" (OR 1.6') REDUCTION
 20' - 1.6' = 18.4' REDUCED REAR YARD REQUIRED

****NUMBER OF REQUIRED PARKING SPACE PER §9.5
RESIDENTIAL**

(0) 1OR2-BR UNITS AT 1.5 PER UNIT = 0X1.5 = 0

(2) 3-BR UNITS AT 2 PER UNIT = 2X2 = 4

VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS)

4 RES SPACES REQUIRED
LESS ONE FOR GRANDFATHERED
EXISTING NONCONFORMITY =
3 RES SPACES REQUIRED

***NUMBER OF REQUIRED BICYCLE PARKING SPACES PER §9.15.1.A.B
RESIDENTIAL

(0) FIRST 7 UNITS AT 1 BIKE SPACE PER FIRST 7 UNITS = 0X1 = 0

(0) FOR EVERY 3 UNITS OVER FIRST 7 UNITS = 0X1 = 0

0 RES BIKE
SPACES
REQUIRED

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DRAWING TITLE

ZONING ANALYSIS

SCALE AS NOTED

REVISION	DATE
ZBA APPL	17 NOV 2016
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Z1





BASEMENT: 0-NSF
1ST FLOOR: 2,013-NSF
(-) B-1 STAIR: 107-NSF
1ST FLOOR: 1,906-NSF

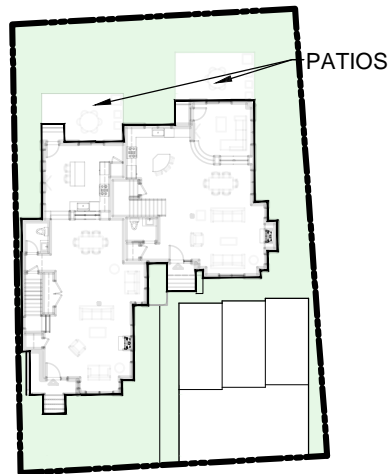
2ND FLOOR: 1,823-NSF
(-) 1-2 STAIR: 139-NSF
2ND FLOOR: 1,684-NSF

3RD FLOOR: 1,377-NSF
(-) 2-3 STAIR: 134-NSF
3RD FLOOR: 1,243-NSF

NET SQUARE FOOTAGE SUMMARY

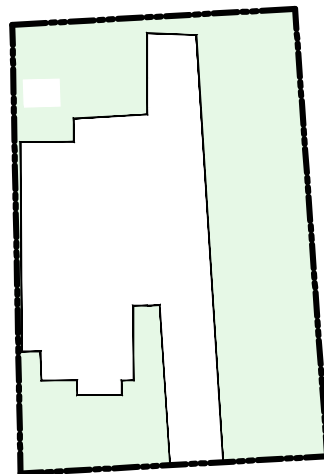
FLOOR	PROPOSED NSF
3RD FL	1,243
2ND FL	1,684
1ST FL	1,906
BSMNT	0
TOTAL	4,833-NSF

1 NET SQUARE FOOTAGE CALC
SCALE: 1"= 40'-0"



PROPOSED

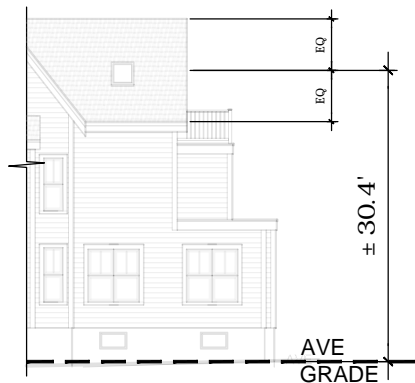
LANDSCAPE AREA $\frac{2,377 \text{ SF}}{5,770 \text{ LOT SF}} = 41\%$ PERVIOUS AREA $\frac{2,695 \text{ SF}}{5,770 \text{ LOT SF}} = 47\%$ LOT COVERAGE $\frac{2,144 \text{ SF}}{5,770 \text{ LOT SF}} = 37\%$



EXISTING

LANDSCAPE AREA $\frac{3,307 \text{ SF}}{5,770 \text{ LOT SF}} = 57\%$ PERVIOUS AREA $\frac{3,307 \text{ SF}}{5,770 \text{ LOT SF}} = 57\%$ LOT COVERAGE $\frac{1,093 \text{ SF}}{5,770 \text{ LOT SF}} = 19\%$

2 SITE AREAS
SCALE: 1"= 40'-0"



3 BUILDING HEIGHT
SCALE: 1"= 20'-0"

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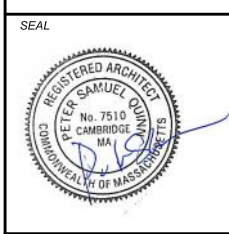
SHEET

Z2



1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

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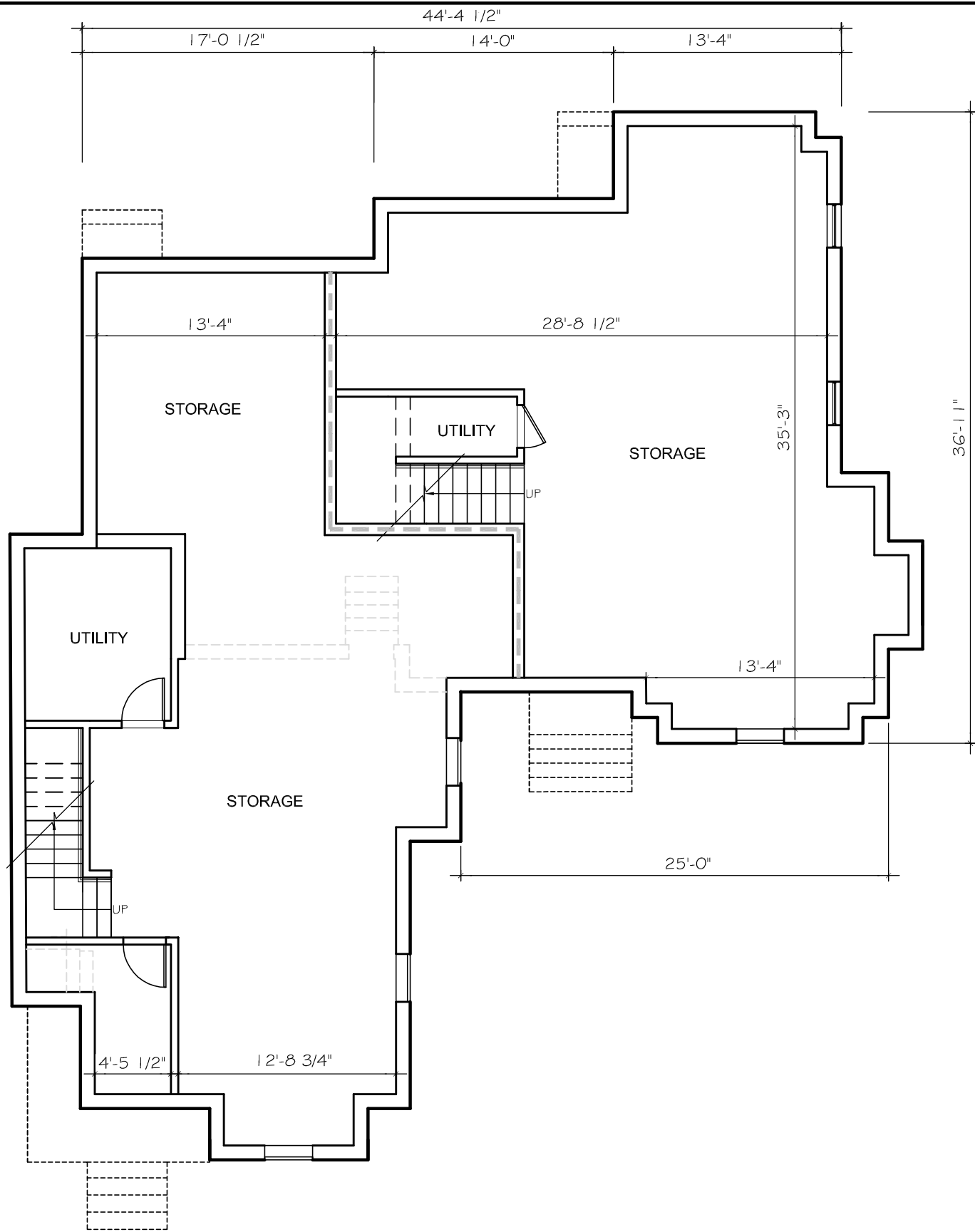
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PROPOSED
SITE PLAN

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SHEET
A-0



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1' = 0"

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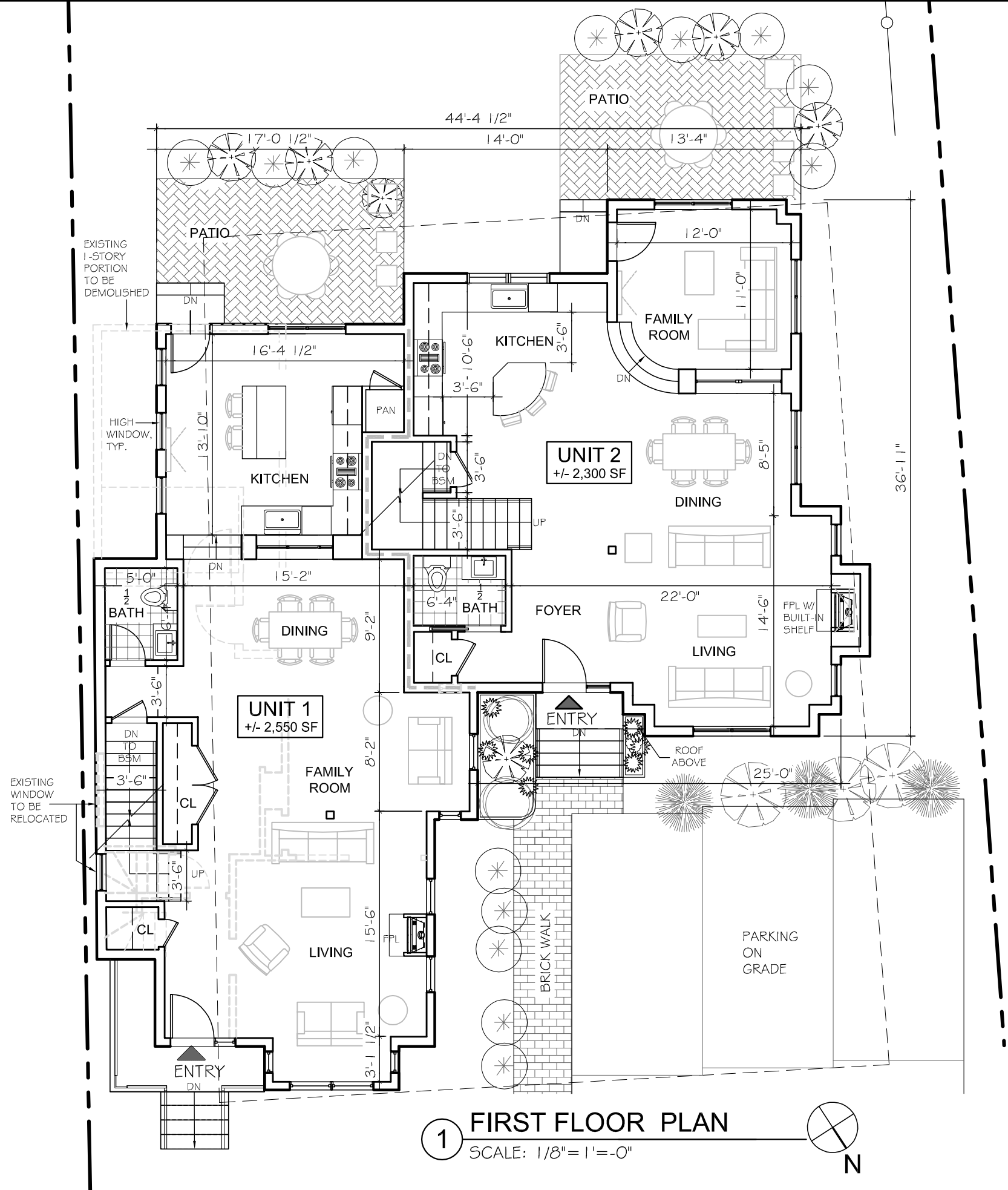
PROPOSED
BASEMENT
FLOOR PLAN

SCALE AS NOTED

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SHEET

A-1



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1' = 0"

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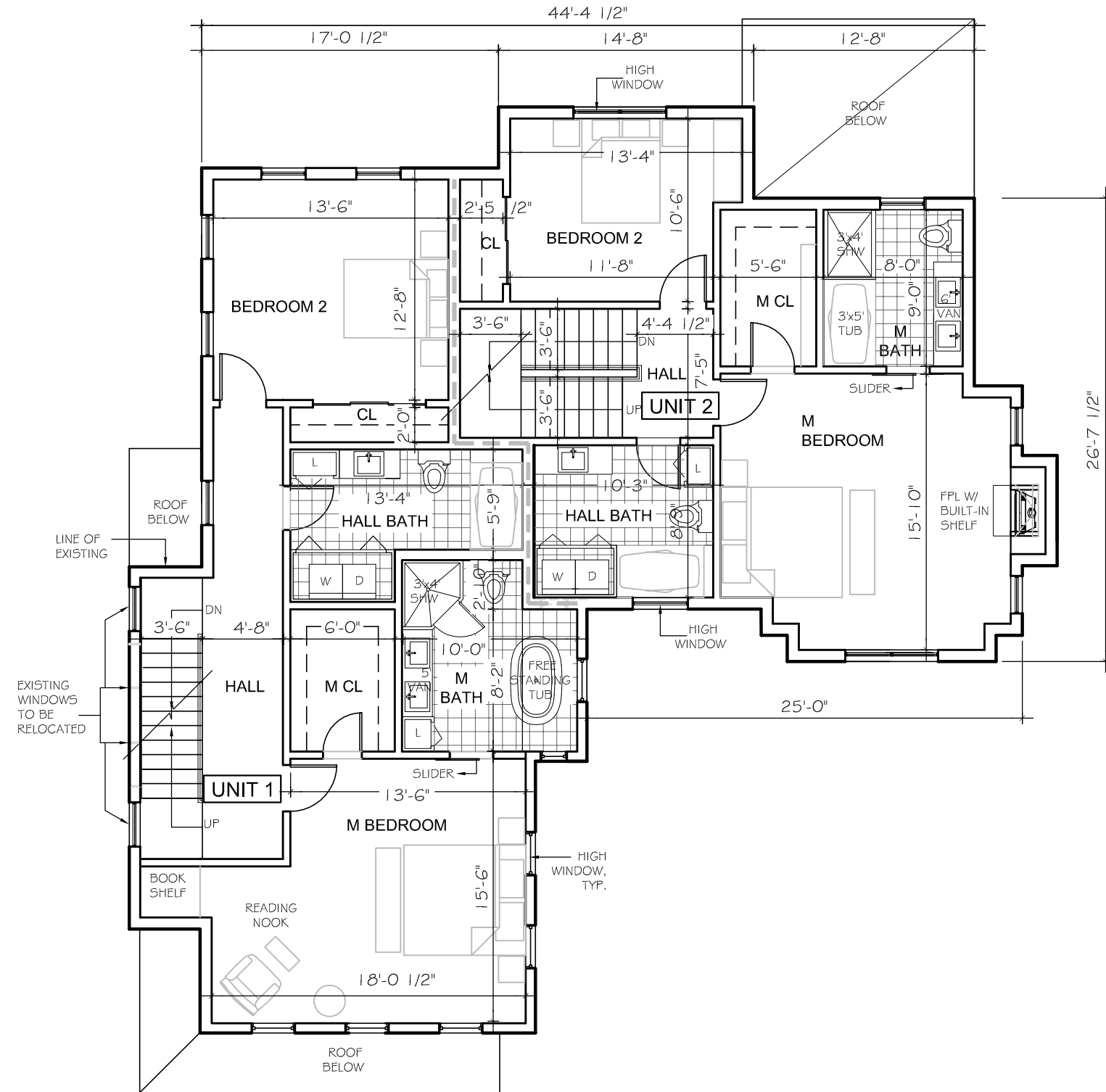
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PROPOSED FIRST FLOOR PLAN

SCALE AS NOTED	
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A-2



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1' = -0"



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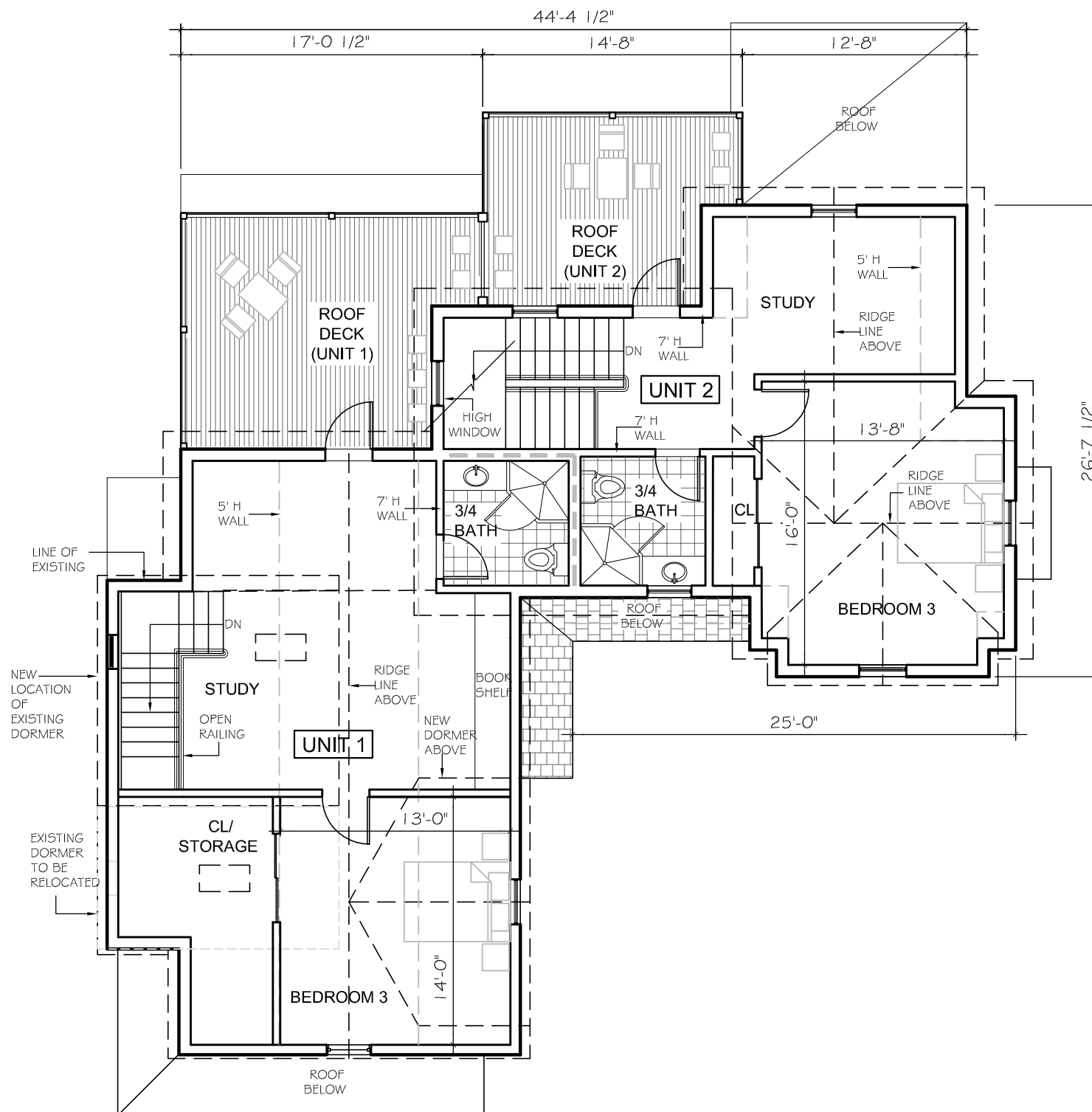
DRAWING TITLE
PROPOSED
SECOND
FLOOR PLAN

SCALE AS NOTED

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A-3



1 ATTIC LEVEL

SCALE: 1/8" = 1' = 0"

N



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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DRAWING TITLE
PROPOSED
FRONT
ELEVATION

SCALE AS NOTED	
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SHEET
A-5



1 **LEFT SIDE ELEVATION**
SCALE: 1/8" = 1'-0"

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PROPOSED
LEFT SIDE
ELEVATION

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A-6



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



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PROPOSED
REAR
ELEVATION

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A-7



1 RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"

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RIGHT SIDE
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A-8