

PROJECT:  
THIRD FLOOR DORMER ADDITION  
AND INTERIOR RENOVATIONS  
7 CURTIS STREET  
SOMERVILLE, MA  
02144

PREPARED FOR:  
ARUN RAVINDRAN  
7 CURTIS STREET  
SOMERVILLE, MA  
02144

ARCHITECT:  
ADAM J. GLASSMAN, R.A.  
GCD ARCHITECTS  
2 WORTHINGTON ST  
CAMBRIDGE, MA 02138  
Tel (617) 412-8450

GENERAL CONTRACTOR:  
High Tech Dormer Corp.  
98 BOSTON AVE,  
MEDFORD, MA 02155

SURVEYOR:  
PETER NOLAN  
27 NEWTON ST.  
BRIGHTON, MA 02135  
TEL (857) 891-7478

ISSUED FOR ZBA  
SPECIAL PERMIT  
APPLICATION

07 DECEMBER 2016

GENERAL DEMOLITION NOTES:

1. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL SCOPE WITH FIELD CONDITIONS AND THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
2. SELECTIVE DEMOLITION SHALL INCLUDE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLIES, AND THE PERFORMANCE OF ALL OPERATIONS REQUIRED TO COMPLETE THE INDICATED SCOPE OF WORK.
3. THE SELECTIVE DEMOLITION SCOPE OF WORK IS INDICATED ON THE DRAWINGS AND SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:  
-DEMOLITION OF INDICATED ITEMS PER THE DRAWINGS;  
-PROTECTION FROM DAMAGE OF ALL EXISTING ITEMS TO REMAIN;  
-SALVAGE AND STORAGE OF ALL INDICATED ITEMS PER THE DRAWINGS;  
-COMPLETE REMOVAL FROM THE PREMISES AND THE LEGAL DISPOSAL THEREOF  
OF ALL REMOVED OR DEMOLISHED MATERIALS, OTHER THAN THOSE ITEMS EITHER DIRECTED BY THE ARCHITECT OR INDICATED ON THE DRAWINGS TO BE SALVAGED.  
-LANDFILL DUMPING SLIPS SHALL BE RETAINED BY THE CONTRACTOR AND GIVEN TO THE OWNER UPON REQUEST.
4. THE CONTRACTOR SHALL USE DUE CARE IN CUTTING INTO AND WORKING ADJACENT TO EXISTING CONDITIONS WHICH ARE TO REMAIN. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK, AND SHALL BE SUBJECT AT ALL TIMES TO THE ARCHITECT'S APPROVAL.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THE SELECTIVE DEMOLITION PROCESS REVEALS PRE-EXISTING AND UNFORESEEN LATENT CONDITIONS OR DEFECTS REQUIRING IMMEDIATE REMEDIAL REPAIRS, TEMPORARY SUPPORT, OR OTHER ATTENTION.
6. WHERE WORK INVOLVES LOAD BEARING STRUCTURES, PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO SAFELY TRANSFER REQUIRED LOAD. DO NOT PROCEED WITH WORK UNLESS ALL SHORING IS IN PLACE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK, AND ARRANGING FOR ANY REQUIRED INSPECTIONS.

DORMER SCOPE BY HIGH-TECH DORMER CORP. : DORMER FINISH SHELL AND ASSOCIATED STRUCTURAL WORK

- \* REMOVE THE MAIN ROOF AND DISCARD THE DEBRIS.
- \* BUILD NEW DORMER FACE AND SIDE WALLS WITH 2X4 WALL FRAMING AND ½" EXTERIOR PLYWOOD, NEW DORMER SIDING TO BE CEDAR SHINGLE, PAINTED
- \* FRAME THE ROOF WITH 2X10 RAFTERS 16" ON CENTER AND 5/8"ROOF PLYWOOD.
- \* INSTALL FASCIA AND RAKE BOARDS WITH PAINTED WOOD TRIMBOARDS.
- \* PAPER THE DORMER SHELL WITH TYVEK OR EQUAL QUALITY HOUSE WRAP.
- \* INSTALL WINDOWS PER NEW 3RD FLOOR AND DORMER PLANS AND ELEVATIONS, ALL UNITS ARE BASED ON HARVEY CLASSIC DOUBLE HUNG ENERGY STAR SERIES. SIZED AS SHOWN IN THE PLANS
- \* INSTALL A RIDGE BEAM FOR SUPPORT AND COLUMNS AS SHOWN IN THE PLANS. SIZE TBD PER ENGINEER
- \* INSTALL FIBER CEMENT SIDING HARDY OR EQUAL ON THE NEW DORMERS AND GABLE ENDS.
- \* REINFORCE 24' OF THE BASEMENT BEAM UNDER THE DORMER LOCATION WITH STEEL PLATES THREW BOLTED ONTO THE MAIN SUPPORT GIRDER. TBD BY ENGINEER
- \* INSTALL 40 YEAR ARCHITECTURAL ASPHALT ON THE NEW DORMERS, AND A 40 YEAR ARCHITECT ROOF SHINGLE ON THE REMAINING NEW PITCHED ROOF AREAS.
- \* INSTALL A ONE PIECE ALUMINUM GUTTER AND DOWNSPOUT/S ON THE NEW DORMERS.
- \* REMOVE ALL BUILDING DEBRIS GENERATED BY HIGH TECH DORMER CORP.
- \* PROVIDE A BUILDING PERMIT FOR THE DORMER SHELL.

DRAWING LIST

COVER

EXISTING PROPERTY PHOTOS

SURVEYED SITE PLAN

- 0.1 EXISTING FAR PLANS  
0.2 PROPOSED FAR PLANS

- D1.1 EXISTING PLANS BASEMENT, FIRST & SECOND FLOORS  
D1.2 EXISTING THIRD FLOOR & ROOF PLANS & EXISTING SECTION  
D2.1 EXISTING BUILDING ELEVATIONS

- A1.1 PROPOSED BASEMENT, FIRST & SECOND FLOORS  
A1.2 PROPOSED THIRD FLOOR & ROOF PLANS  
A2.1 PROPOSED BUILDING ELEVATIONS  
A2.2 PROPOSED BUILDING ELEVATIONS  
A2.3 PROPOSED BUILDING ELEVATIONS

- A3.1 PROPOSED NEW ROOF AND DORMER SECTIONS

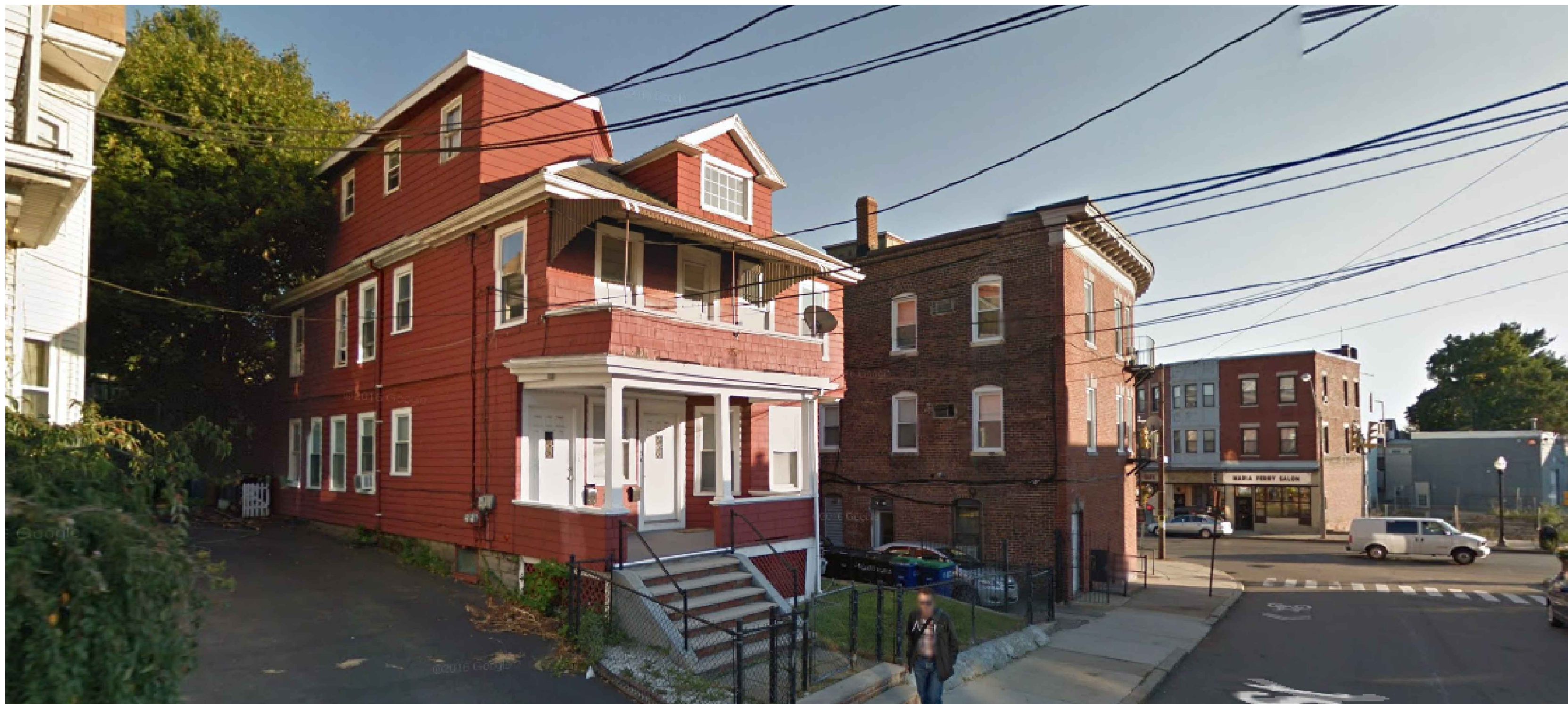
GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS RESIDENTIAL BUILDING CODE 8TH ADDITION AND THE RULES AND REGULATIONS OF ALL GOVERNING BODIES.
2. THE CONTRACTOR SHALL APPLY FOR AND MAINTAIN IN GOOD ORDER ALL REQUIRED PERMITS AND SHALL COORDINATE WITH OFFICIALS ALL REQUIRED INSPECTIONS AND CERTIFICATIONS
3. THE CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS WHERE REQUIRED AND VERIFY ALL FIELD CONDITIONS FOR CLEARANCES, DIMENSIONS, AND ELEVATIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES SHALL BE MARKED ON A PRINT OF THE RELEVANT DRAWING AND FORWARDED IMMEDIATELY TO THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT ALL REQUIREMENTS FOR INSTALLATION OF REQUIRED FURNISHINGS, WINDOWS, FIXTURES AND EQUIPMENT
5. HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK WILL BE PROCURED BY THE OWNER FROM THE CONTRACTOR ON A DESIGN/BUILD BASIS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS WORK AND FOR CONFORMING THE WORK TO ARCHITECTURAL REQUIREMENTS. CONTRACTOR RESPONSIBLE FOR ALL MEP TO CODE. NOTE: OWNER MAY OBTAIN INDEPENDENT PRICING FOR NEW HVAC, GC TO CONSULT OWNER.
6. DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED
10. GC TO INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
11. ALL EXISTING WINDOWS TO REMAIN UNLESS OTHERWISE NOTED
12. HARDWIRED SMOKE DETECTORS & CO2 DETECTORS WILL BE INSTALLED PER CODE THROUGHOUT THE ENTIRE HOUSE AS REQUIRED INCLUDING BASEMENT. (CO2 WITHIN 10'-0" OF EVERY BEDROOM) FINAL LOCATIONS TO BE REVIEW BY GC / GC'S ELECTRICIAN / AND SOMERVILLE FIRE DEPARTMENT
13. ANY NEW WINDOWS, BY OWNER, TO BE ENERGY STAR RATED, DOUBLE GLAZED, LOW-E COATED, MAX U FACTOR .30

INTERIOR SCOPE BY OWNER'S GC :

- \* ENTIRE ROOF TO BE INSULATED WITH CLOSED CELL SPRAY FOAM FOR R-49.
- \* ALL NEW THIRD FLOOR WALLS TO BE INSULATED WITH CLOSED CELL SPRAY FOAM FOR R-49.
- \* ALL NEW THIRD FLOOR WALLS AND CEILINGS TO BE ½" BLU-BD PLASTER, PAINTED, 4" SOLID WOOD BASE BOARD.
- \* NEW HARDWOOD FLOOR, ENTIRE THIRD FLOOR EXCEPT BATHROOM.
- \* BATHROOM: CERAMIC TILE FLOOR AND WET WALL UP TO 48" AFF, ALL FIXTURES TO GC GRADE TO BE APPROVED BY OWNER
- \* ALL MEP ROUGH AND FINISH
- \* GC TO CARRY ALLOWANCES FOR A INTERIOR FINISHES AND FIXTURES TO BE REVIEWED BY AND APPROVED BY OWNER





5-7 CURTIS STREET - STREET VIEW



5-7 CURTIS STREET - BIRD'S EYE VIEW



5-7 CURTIS STREET - STREET VIEW

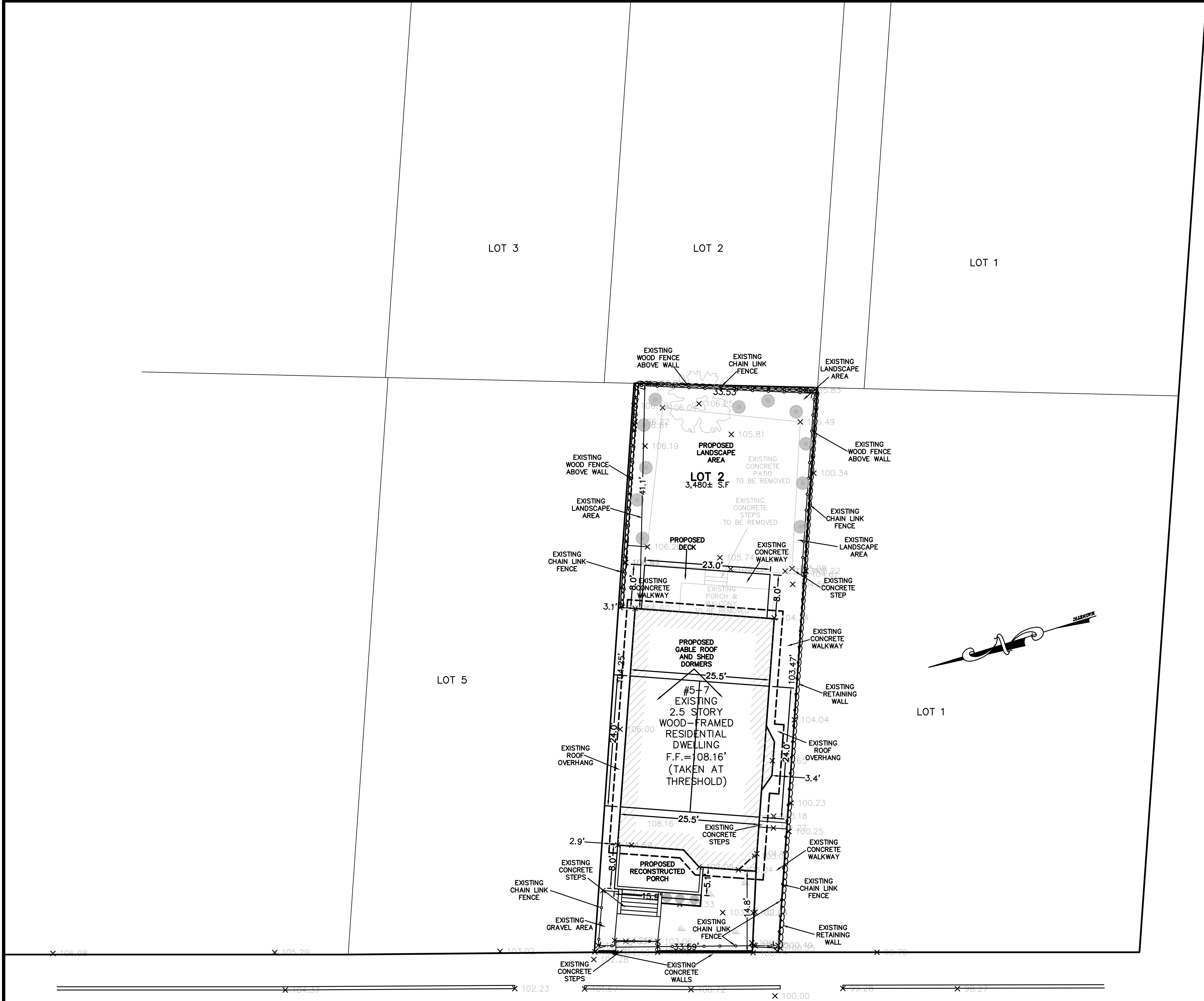


5-7 CURTIS STREET - REAR VIEW



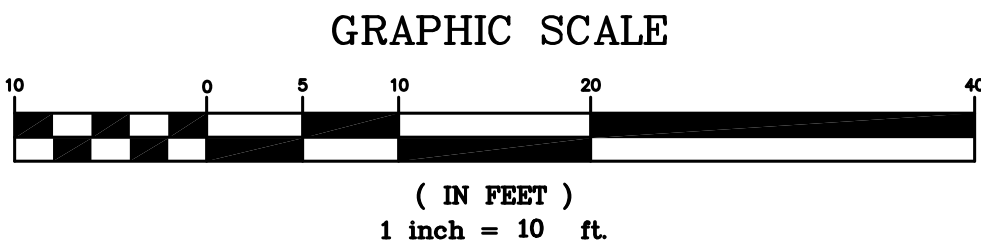






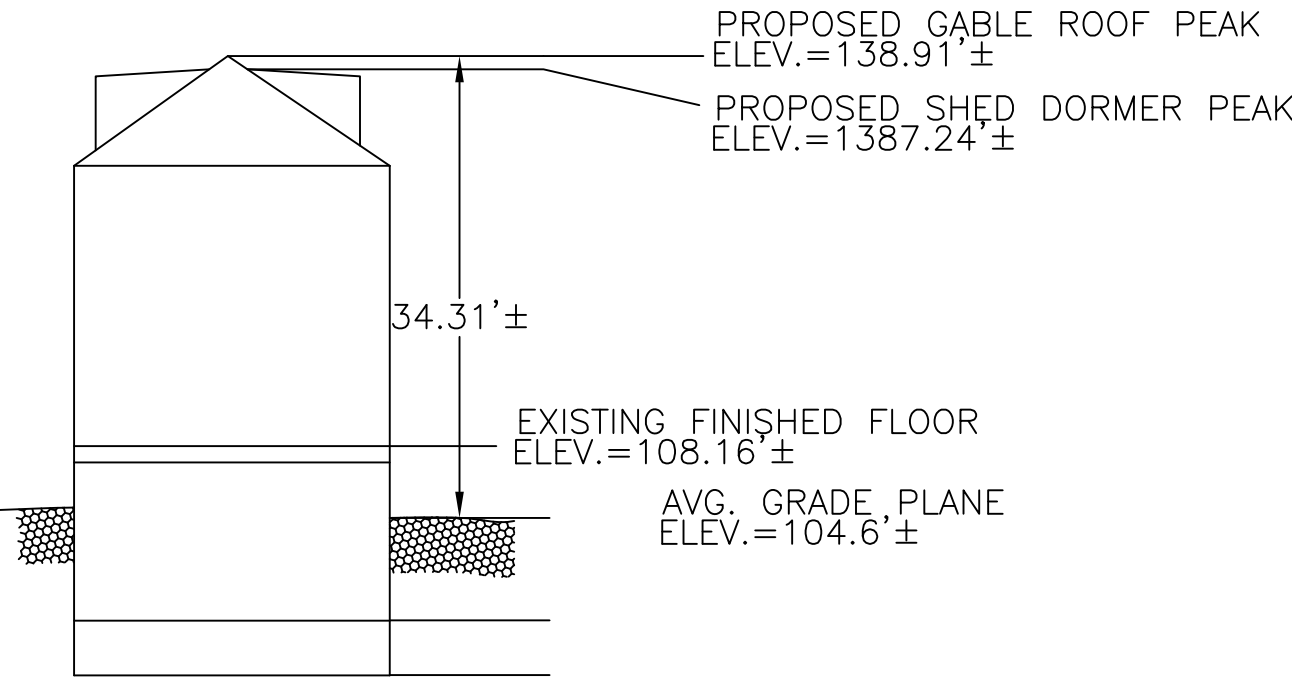
CURTIS STREET  
(PUBLIC WAY-VARIABLE WIDTH)

BROADWAY  
(PUBLIC WAY-VARIABLE WIDTH)

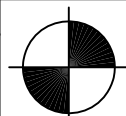


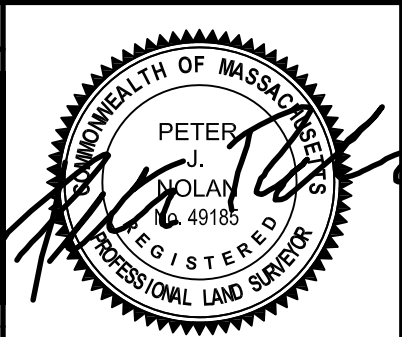
ZONING LEGEND				
ZONING DISTRICT: RA — RESIDENCE A				
	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN. AREA	4,500 S.F	3,480 S.F.	3,480 S.F.	EXISTING NON—CONFORMING
MIN. YARD FRONT SIDE (RIGHT) SIDE (LEFT) REAR	15’	14.8’	14.8’	EXISTING NON—CONFORMING
	8’	3.4’	3.4’	EXISTING NON—CONFORMING
	8’	3.1’	3.1’	EXISTING NON—CONFORMING
	20’	41.1’	41.1’	YES
MAX. LOT COVERAGE	50%	33.2% ±	44.6% ±	YES
LANDSCAPED AREA	25%	15.9% ±	55.4% ±	YES
MIN. FRONTAGE	50’	33.58’	33.58’	EXISTING NON—CONFORMING
MAX. BLDG. HEIGHT	35’	32.05’±	34.3’±	YES
MAX. STORIES	2.5	2.5	2.5	YES
MAX. FAR	0.75	0.76	0.78	EXISTING NON—CONFORMING

- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11–23–16.
  2. DEED REFERENCE BOOK 41069 PAGE 094, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
  3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
  4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, PANEL NUMBER 0419E, COMMUNITY NUMBER: 25017, DATED JUNE 4, 2010.
  5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
  6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.



PROPOSED PROFILE  
NOT TO SCALE

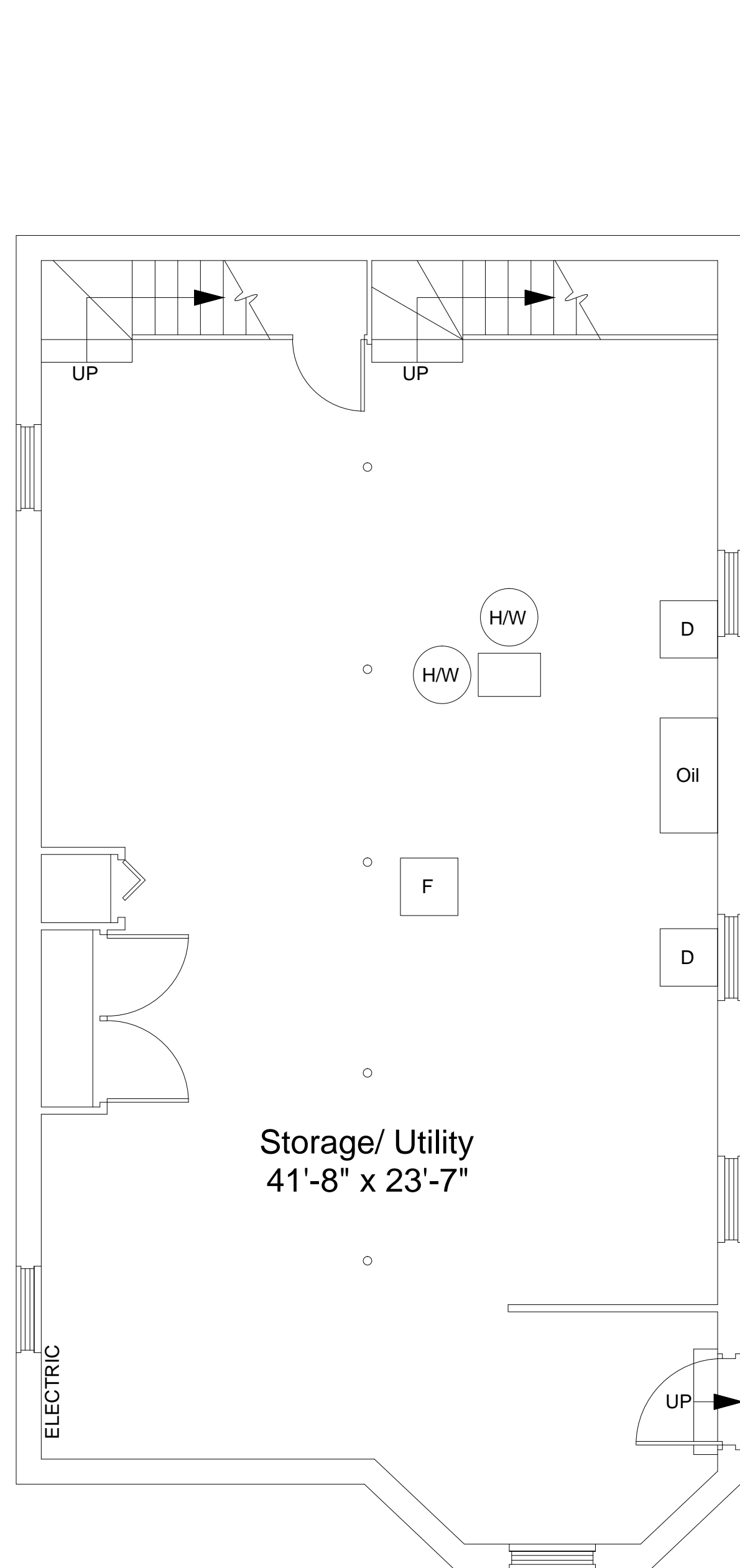
SCALE 1"=10'				
DATE 11/23/2016	REV	DATE	REVISION	BY
SHEET 1	5-7 CURTIS STREET SOMERVILLE MASSACHUSETTS			
PLAN NO. 1 OF 1				
CLIENT:	PROPOSED PLOT PLAN			
DRAWN BY				
CHKD BY PUN		<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS		
APPD BY PUN		697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533      FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		



PETER J. NOLAN  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 49165  
STATE OF MASSACHUSETTS

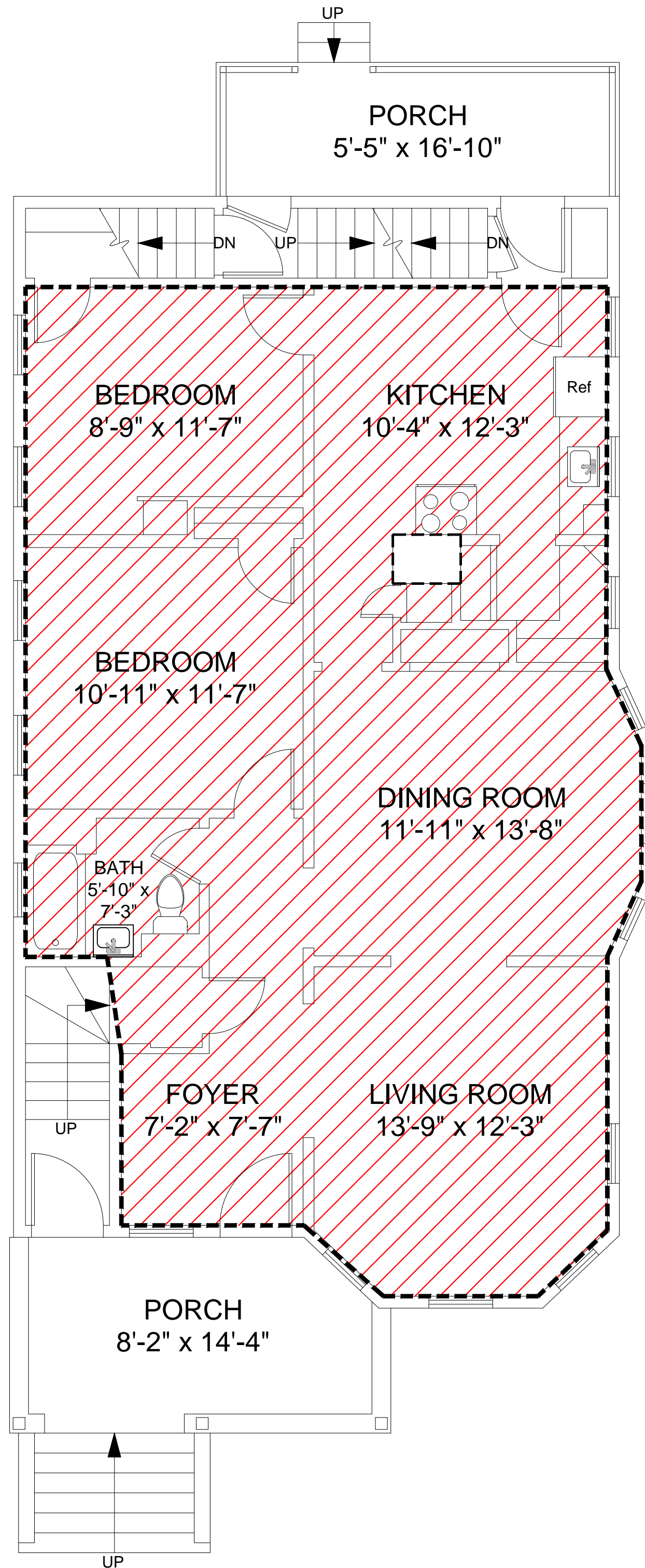
SHEET NO.

**1**



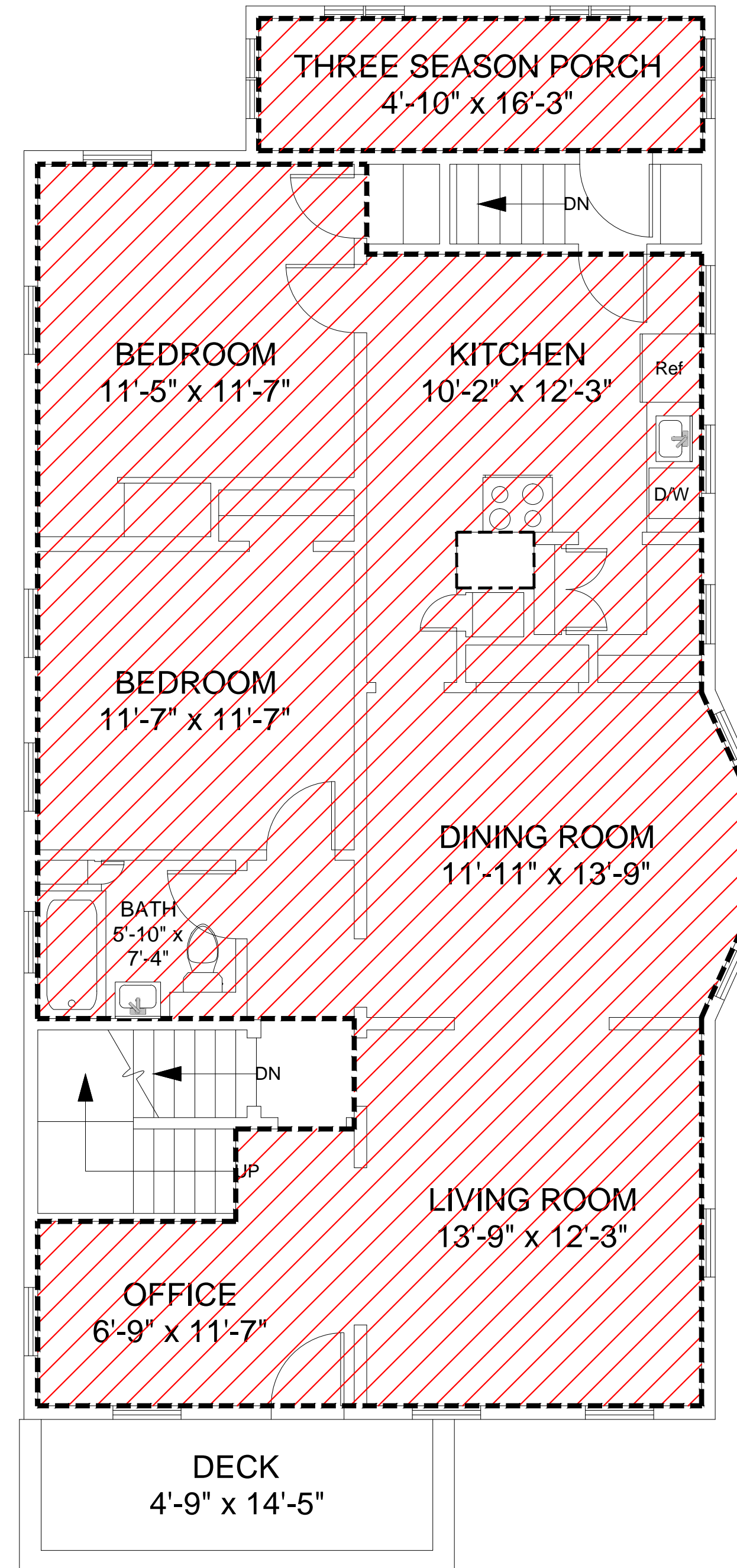
1: BASEMENT PLAN  
Ceiling Height = 7'-2"

0.0 NSF



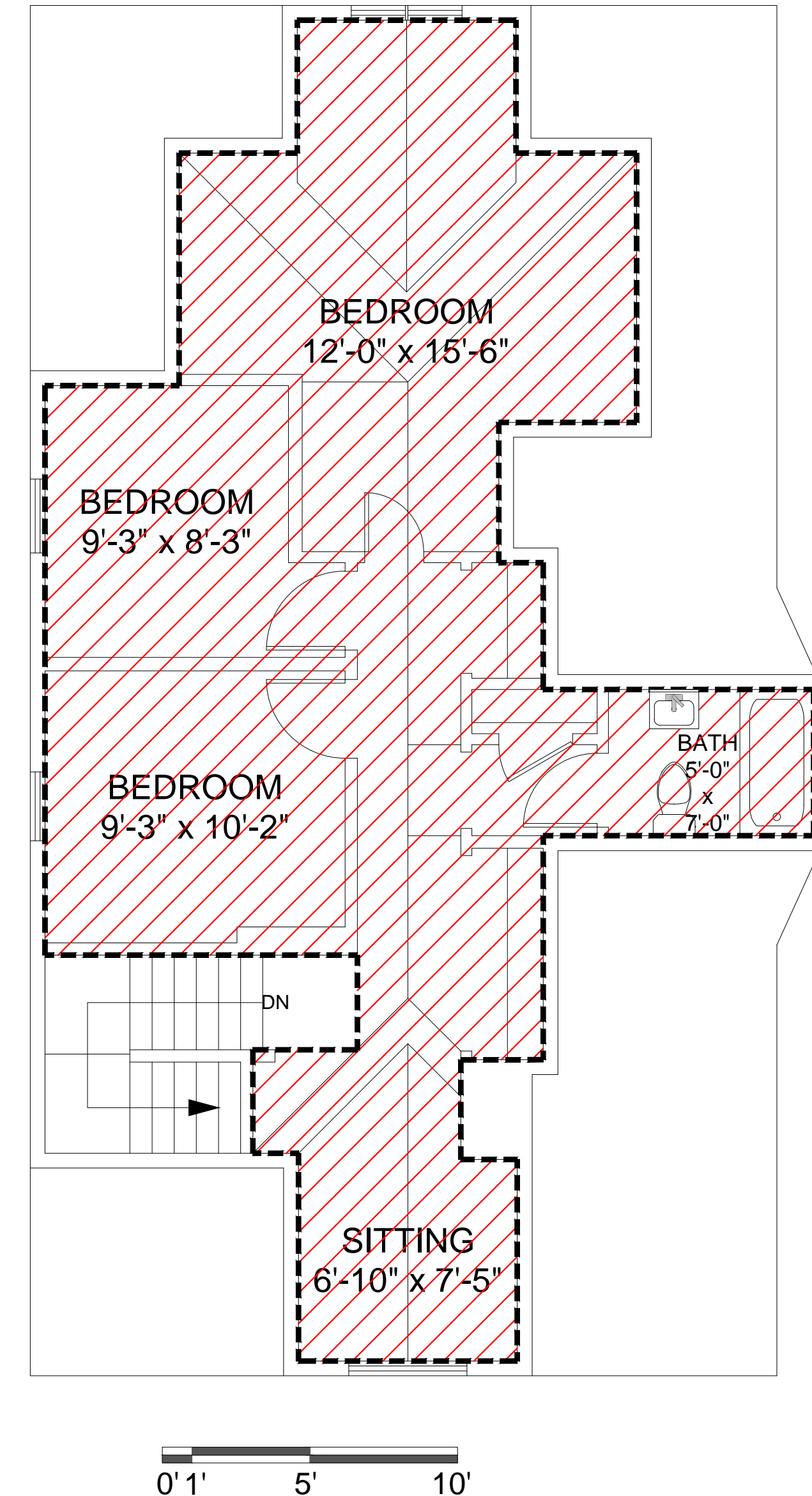
2: FIRST FLOOR PLAN  
Ceiling Height = 8'-5"

948.00 NSF



3: SECOND FLOOR PLAN  
Ceiling Height = 8'-5"

998.00 NSF HOUSE  
78.00 NSF PORCH  
1,076.00 NSF TOTAL



4: THIRD FLOOR PLAN  
Ceiling Height = 7'-7"

630.0 NSF

TOTAL EXISTING NSF: 2,654.00 NSF / 3,484.8 SF LOT = .76 FAR  
ZONE RA = .75

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SUBMITTED  
FOR ZBA  
REVIEW

Drawing Title:

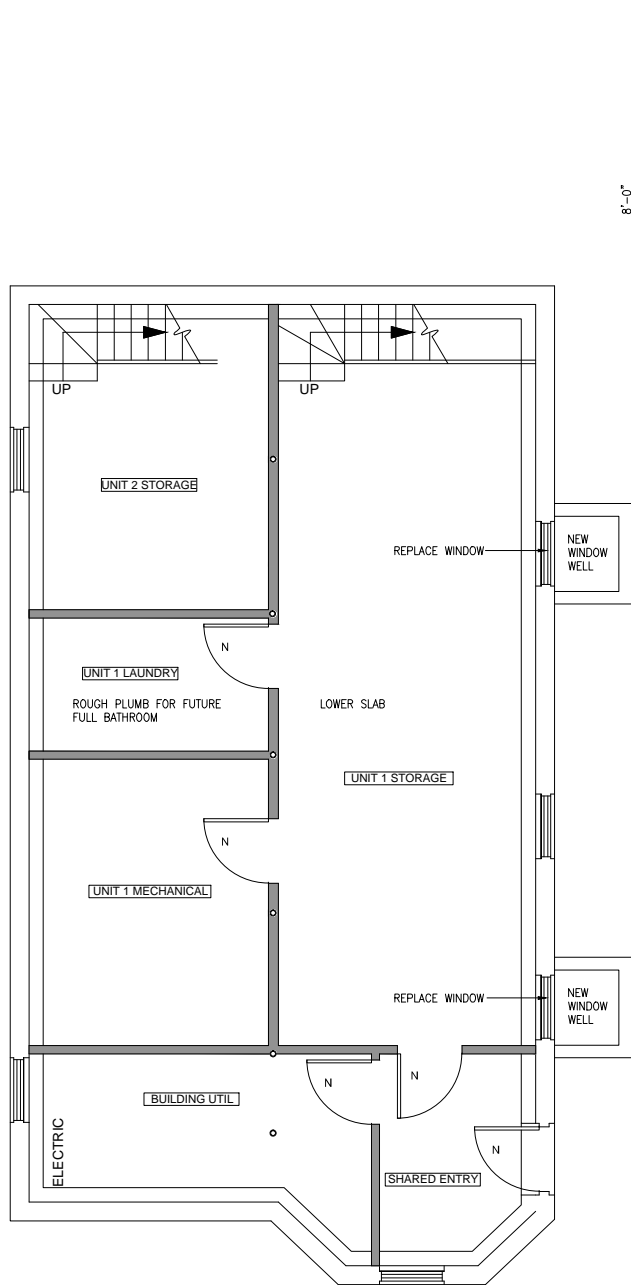
FAR Plans  
Existing

Scale: As Noted Drawing No. :


Job No.: A107.00

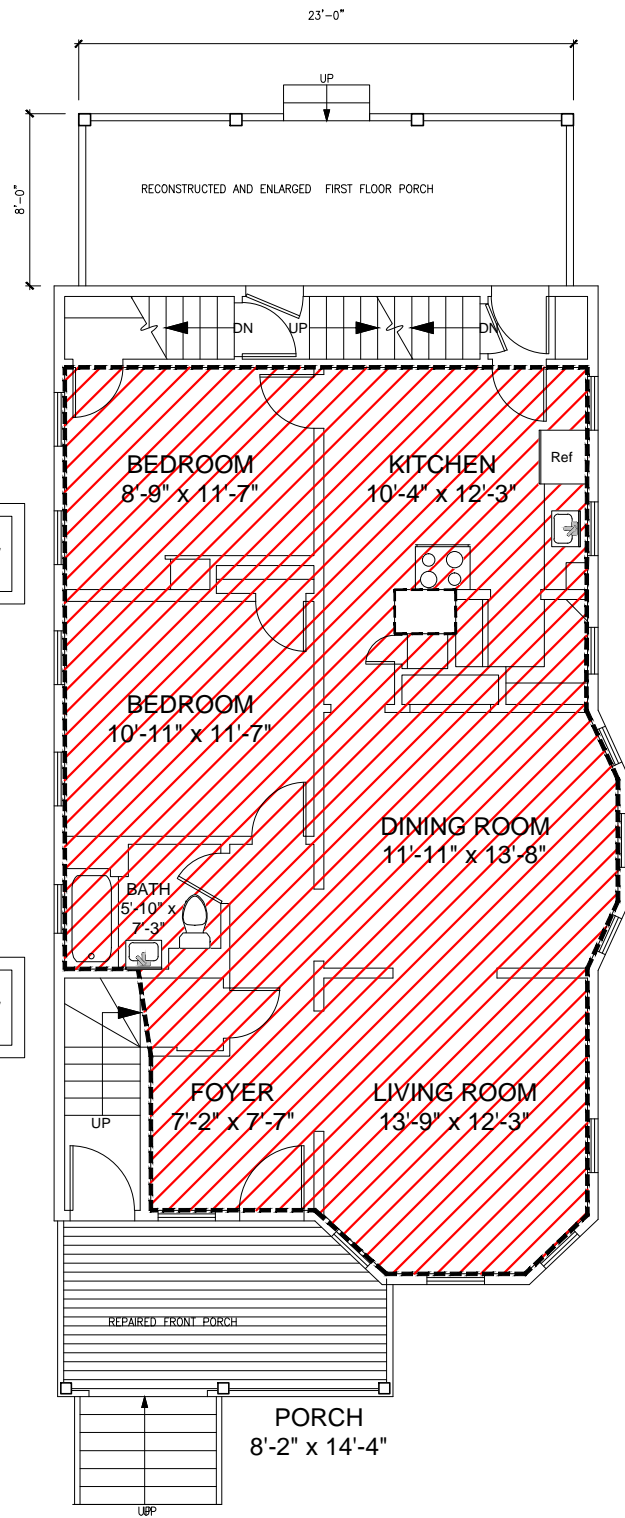
Date: 07 DECEMBER 2016

0.1




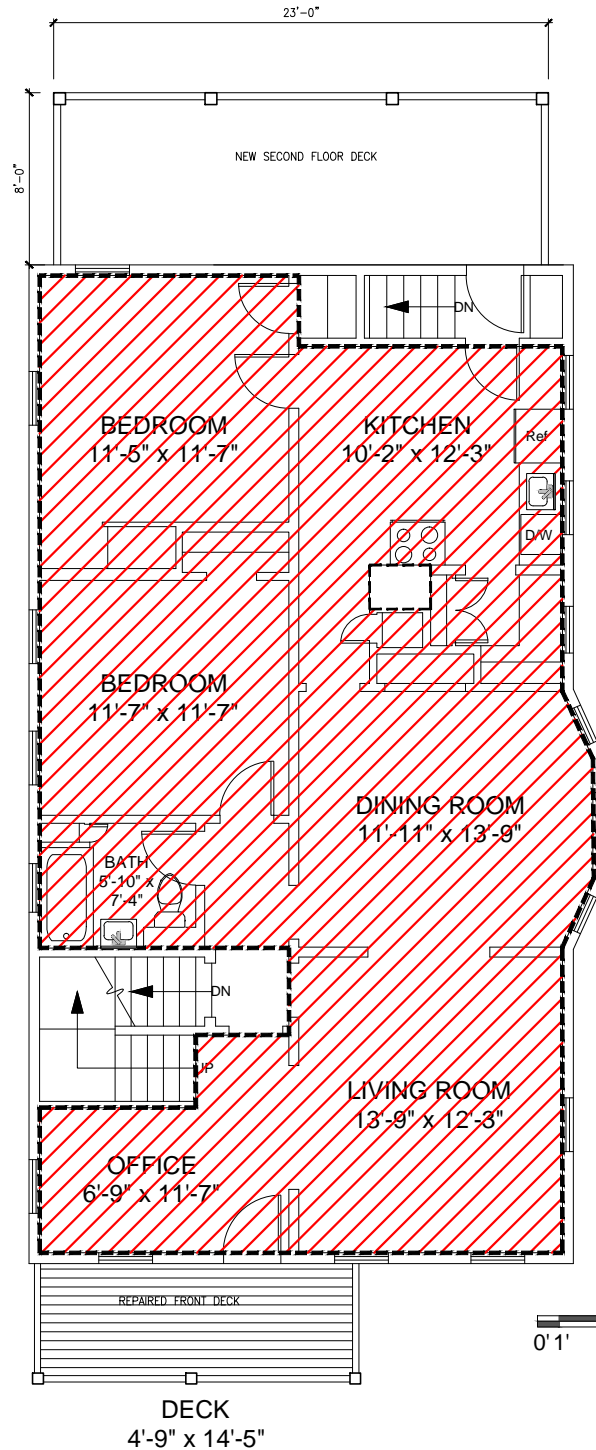
1: BASEMENT PLAN  
Ceiling Height = 8'-0"

 0.0 NSF




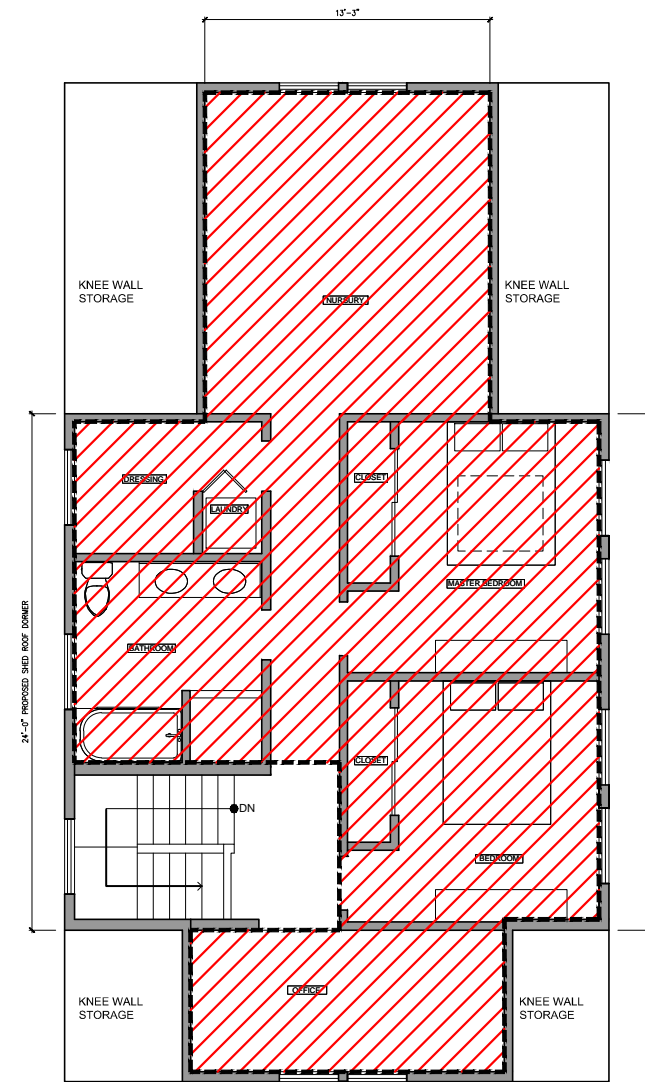
2: FIRST FLOOR PLAN  
Ceiling Height = 8'-5"

 948.00 NSF




3: SECOND FLOOR PLAN  
Ceiling Height = 8'-5"

 998.00 NSF HOUSE



4: PROPOSED THIRD FLOOR PLAN  
Ceiling Height = VARIES

 776.0 NSF

TOTAL PROPOSED NSF: 2,722.00 NSF / 3,484.8 SF LOT = .781 FAR  
ZONE RA = .75

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Drawing Title:

FAR Plans  
Proposed

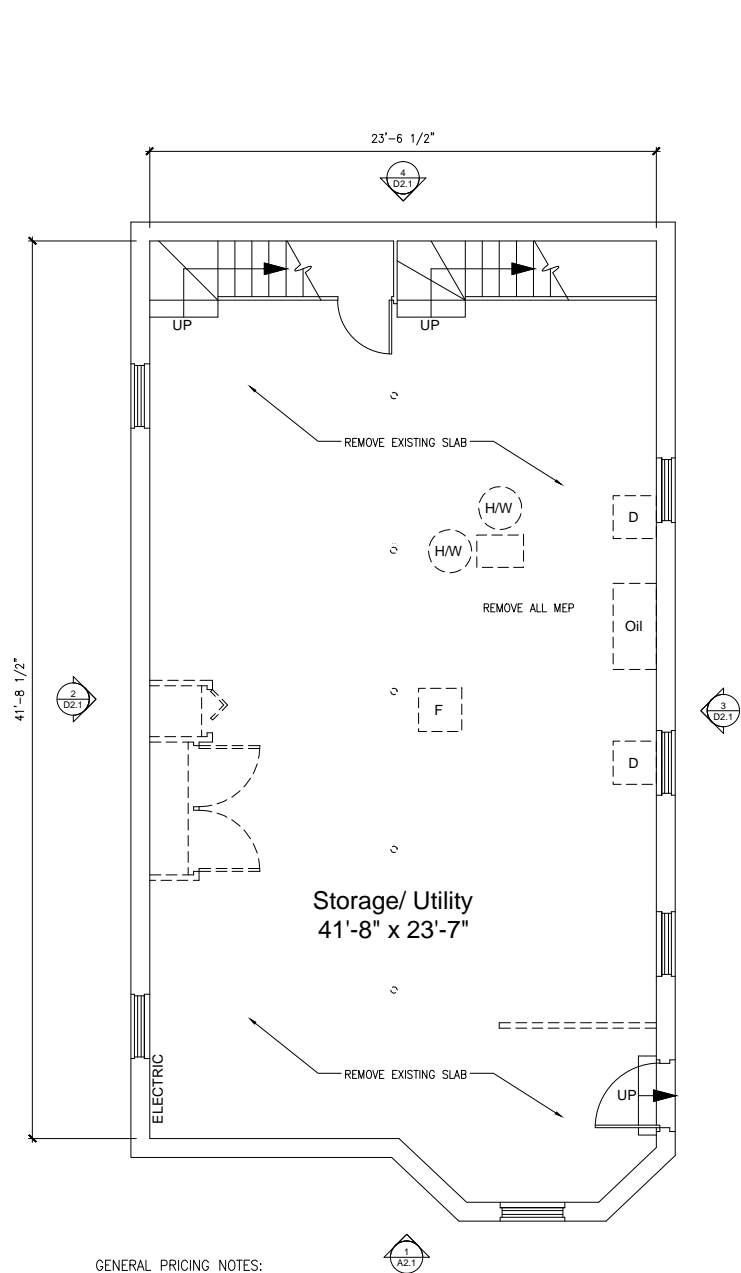
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Drawing No. :

Job No.: A107.00

Date: 07 DECEMBER 2016

0.2

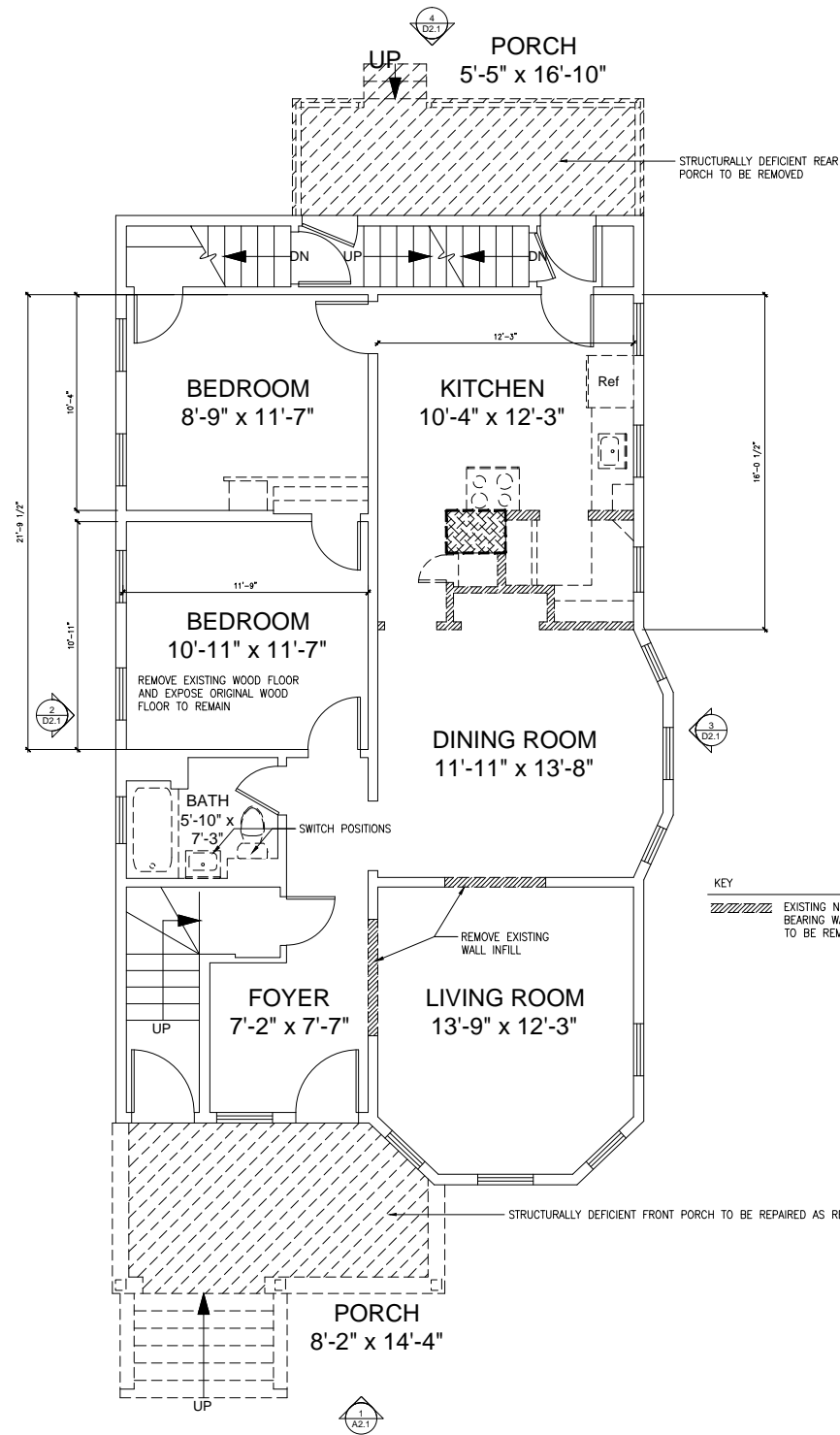


GENERAL PRICING NOTES:

1. REMOVE ALL WINDOWS AND EXTERIOR DOORS AND REPLACE WITH HIGH QUALITY VINYL ENERGY STAR PRODUCTS
2. FULLY GUT ALL BATHROOMS AND KITCHENS
3. PROTECT ALL EXISTING WOOD FLOORS TO REMAIN
- 4A. ALL EXISTING BASEBOARD, TRIMS AND WINDOW CASINGS TO REMAIN
- 4B. ADD ALT 1: REMOVE ALL INTERIOR FINISH TO EXPOSE EXISTING EXTERIOR WALL STUDS, PREPARE TO INSULATE AND REFINISH
- 5A. EXISTING CEILING FINISH TO REMAIN AND BE CONCEALED
- 5B. ADD ALT 2: REMOVE ALL PLASTER CEILINGS, PREPARE TO INSULATE AND REPLASTER WITH 1-HR RATED GWB
6. REMOVE ALL STAIRWELL FAUX WOOD PANELING
7. REMOVE ALL APPLIANCES, FIXTURES, MEP PER NEW SYSTEMS
8. REMOVE CHIMNEY (BY HI-TECH DORMER)
9. ALL DEMO PER NEW ROOF AND DORMER STRUCTURAL BY HI-TECH DORMER

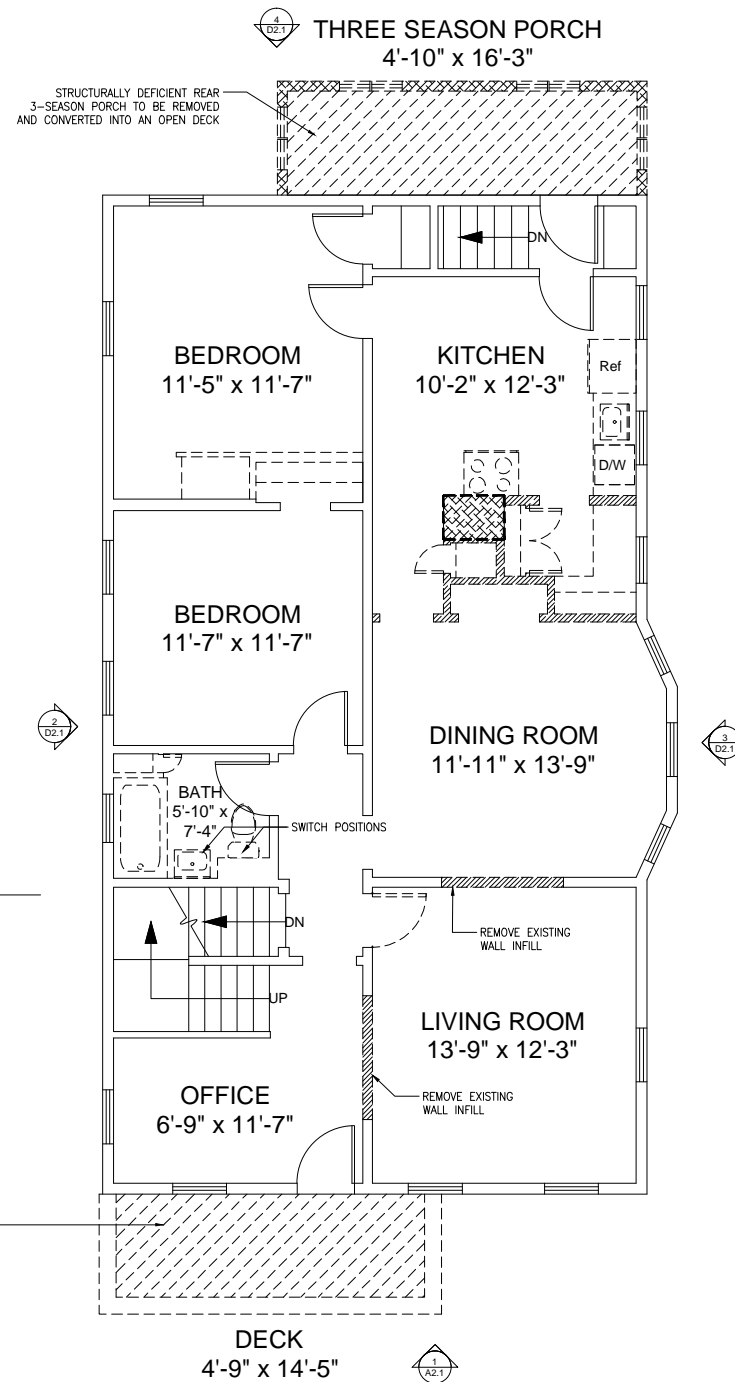
## 1 BASEMENT TO REMAIN UNFINISHED / UNHEATED

SCALE: 1/4" = 1'-0"



## 2 FIRST FLOOR - COSEMETIC RENOVATIONS

SCALE: 1/4" = 1'-0"



## 3 SECOND FLOOR - COSMETIC RENOVATIONS

SCALE: 1/4" = 1'-0"

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Drawing Title:

Existing Plans

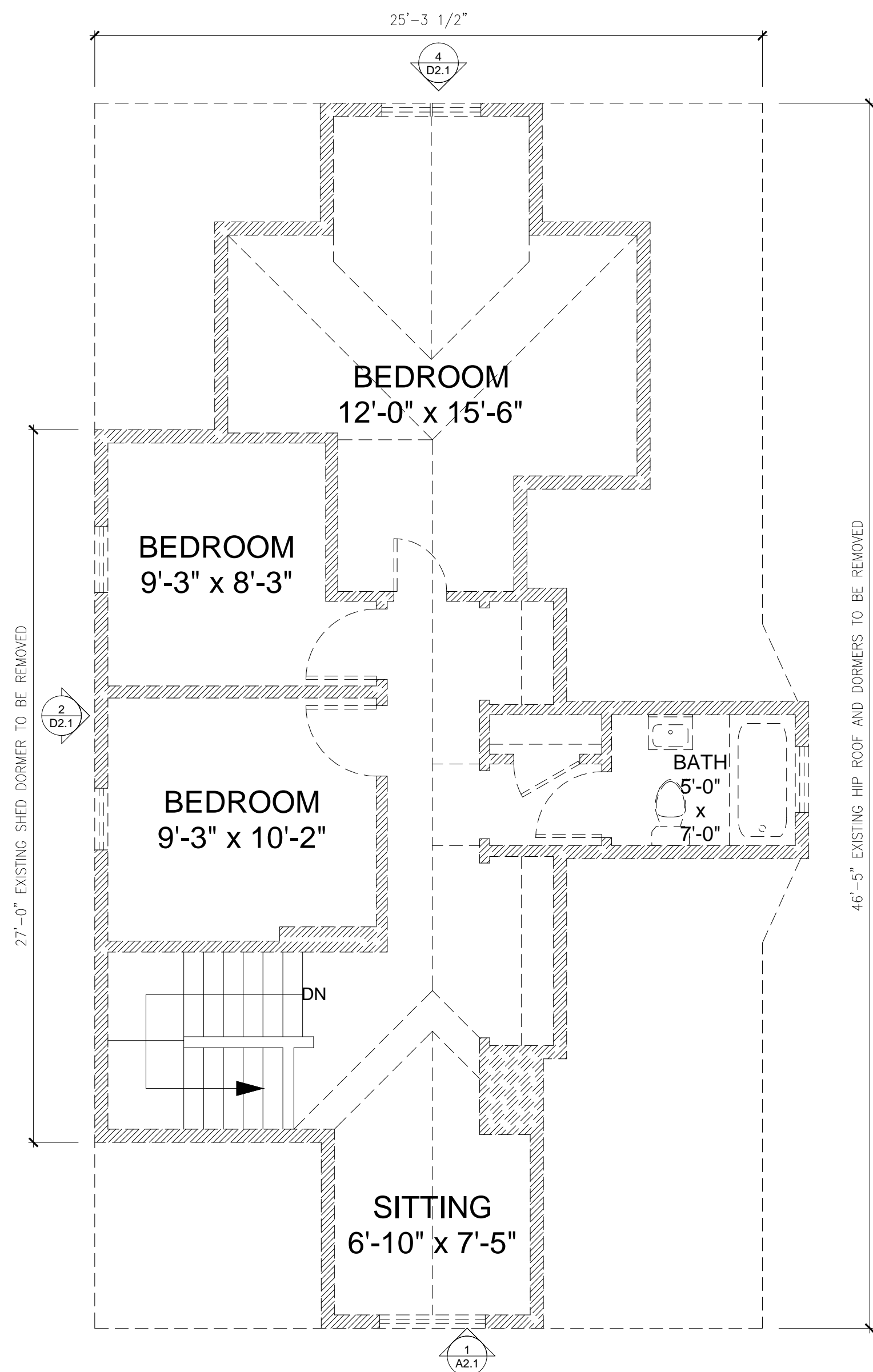
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Job No.: A107.00

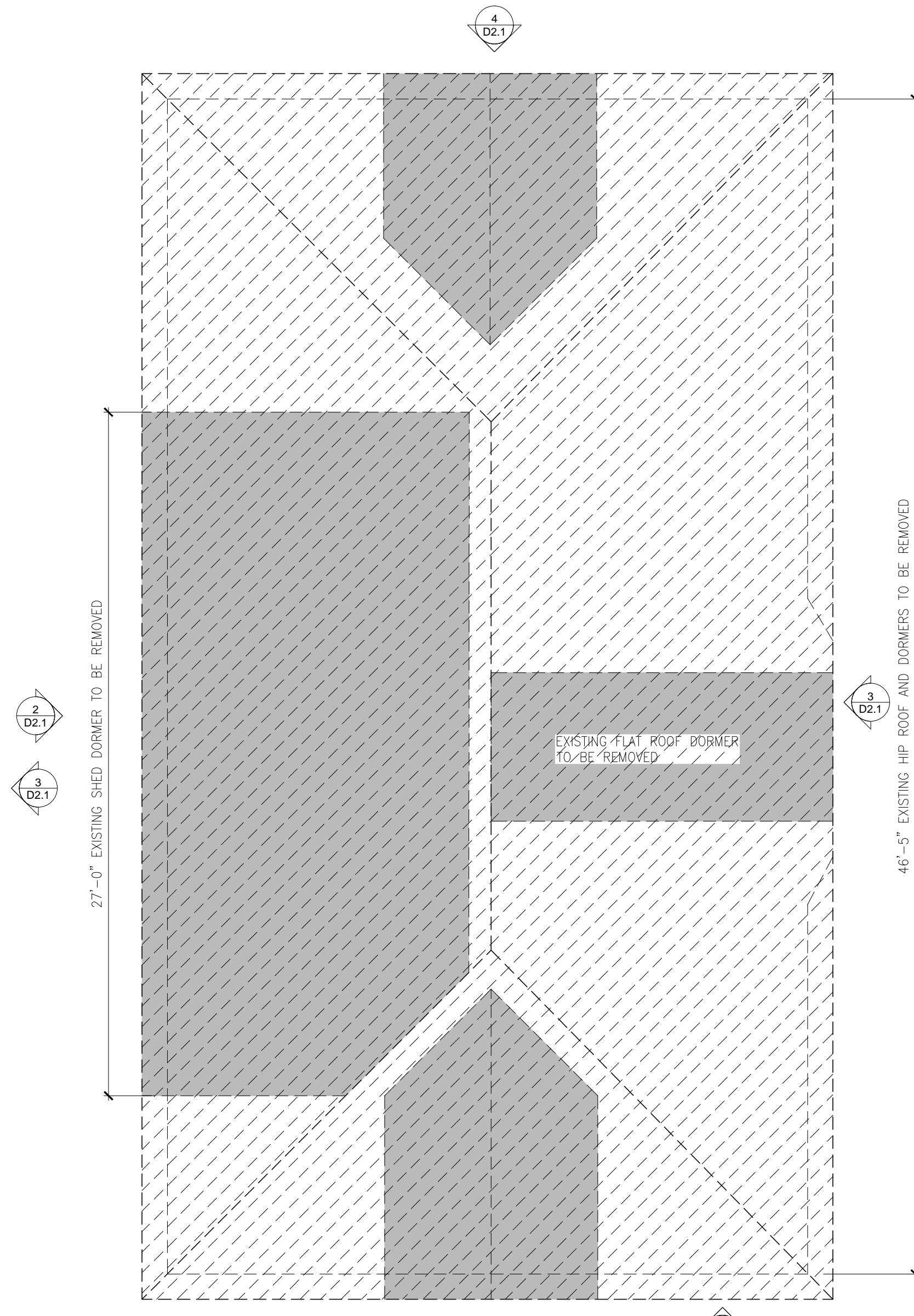
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D1.1

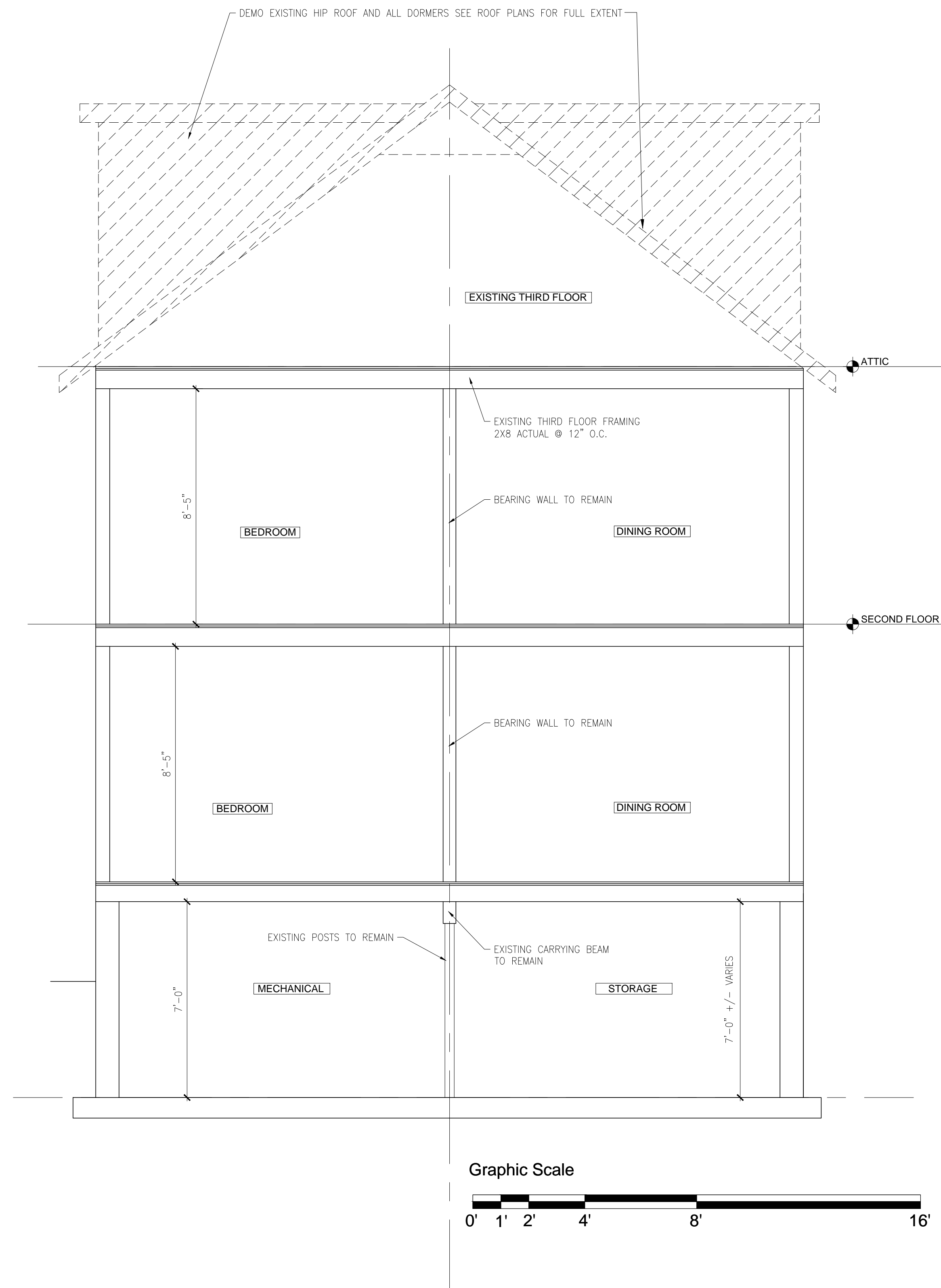




1 EXISTING THIRD FLOOR  
SCALE: 1/4" = 1'-0"



2 EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"



3 EXISTING SECTION  
SCALE: 3/8" = 1'-0"

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Drawing Title:  
Existing 3rd  
Floor Plan  
& Section

Scale: As Noted Drawing No. :

Job No.: A107.00

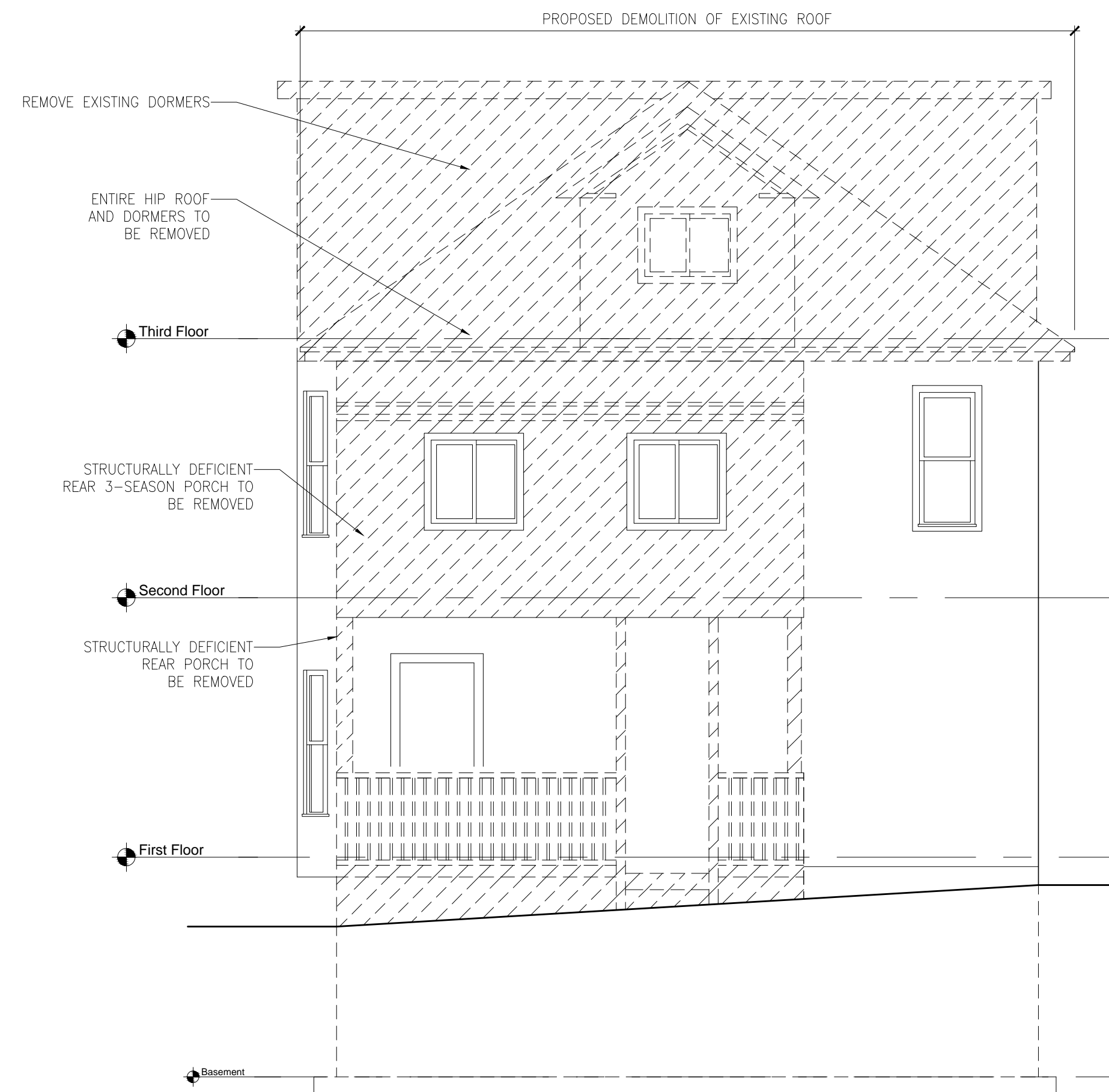
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D1.2

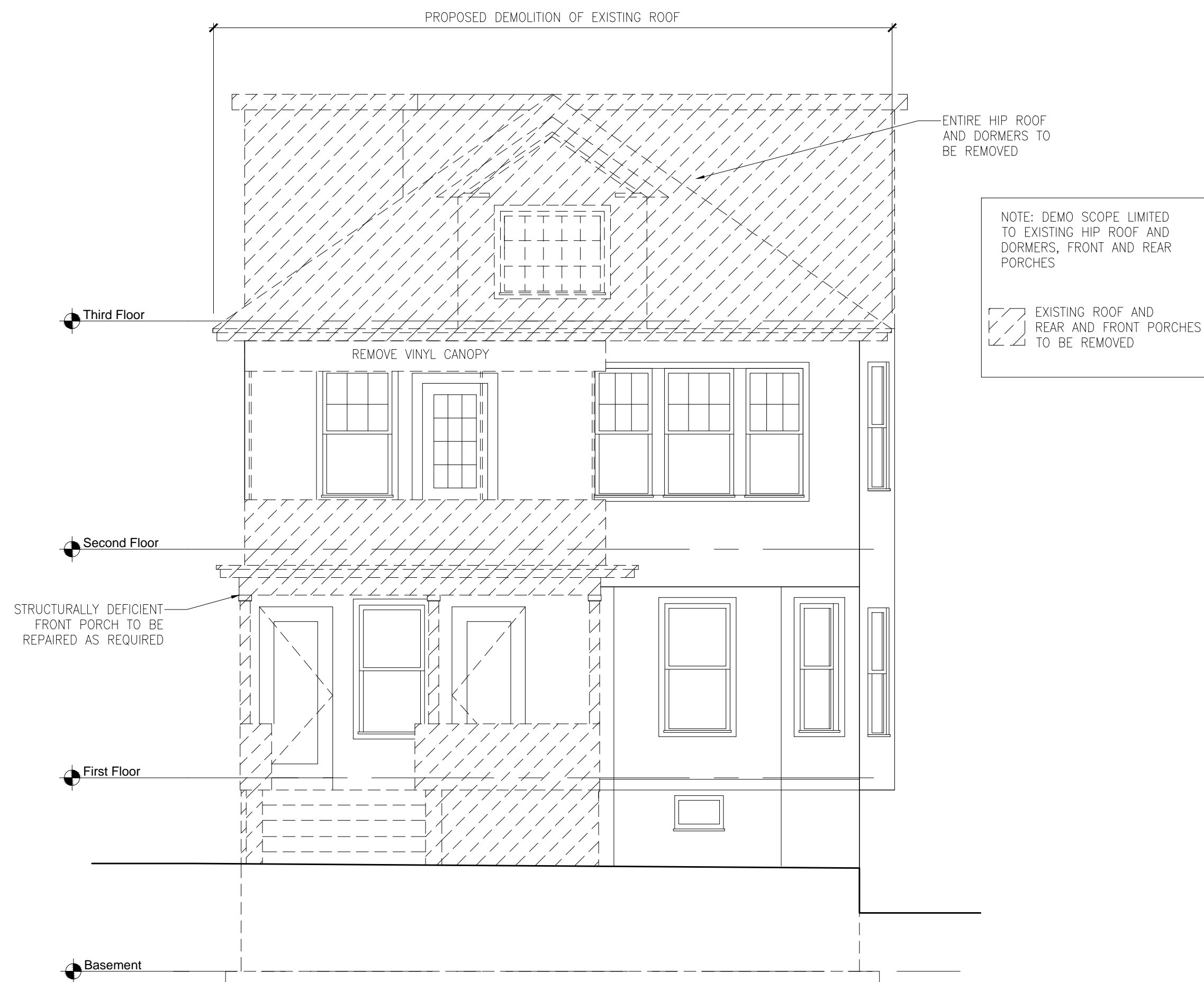




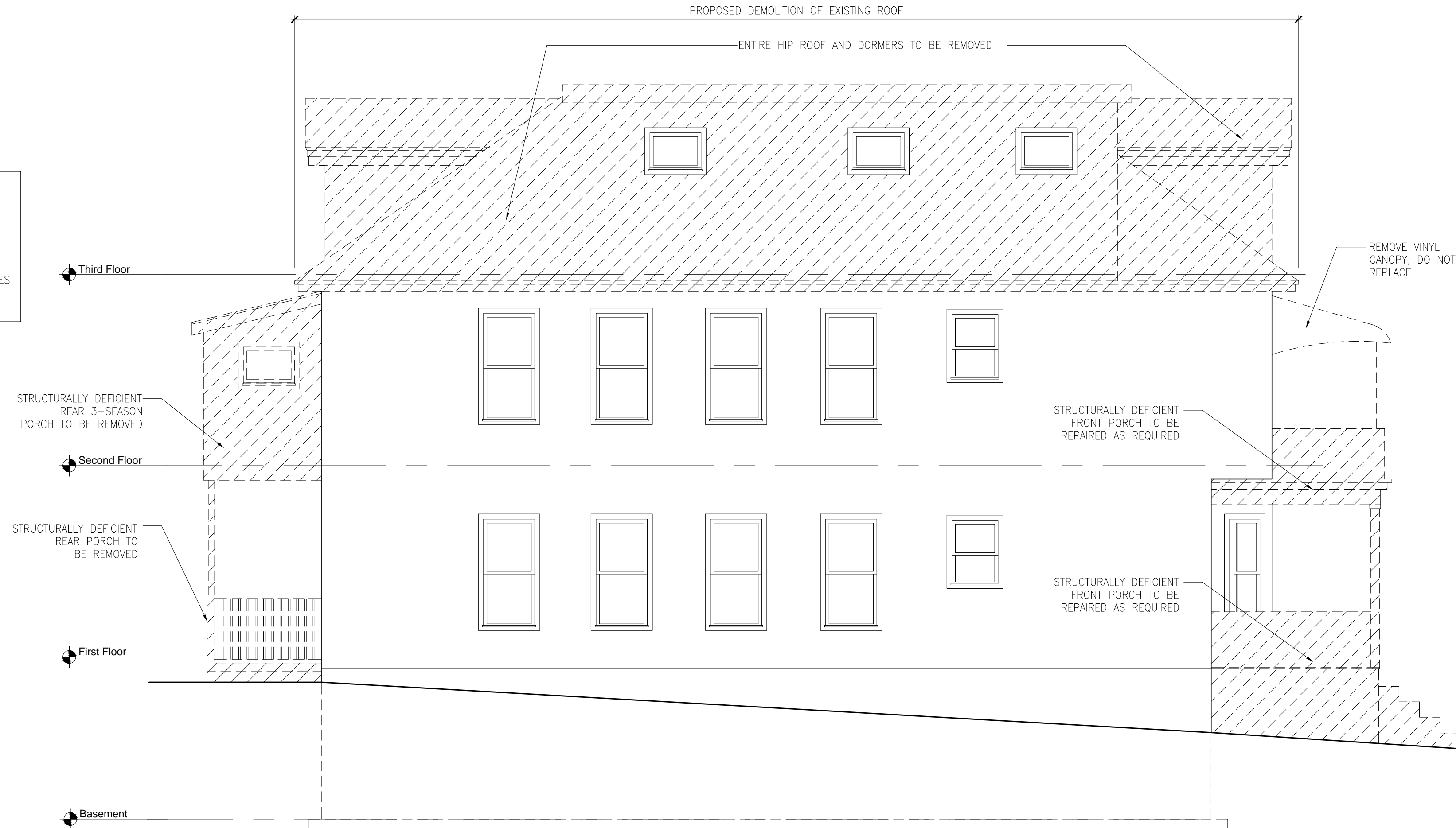
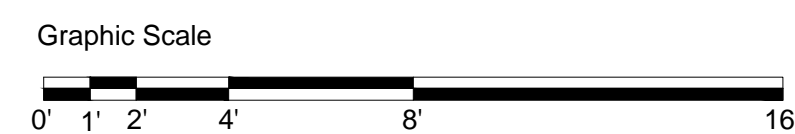
3 SIDE ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION - WEST  
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"

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Drawing Title:

Existing  
Elevations

Scale: As Noted

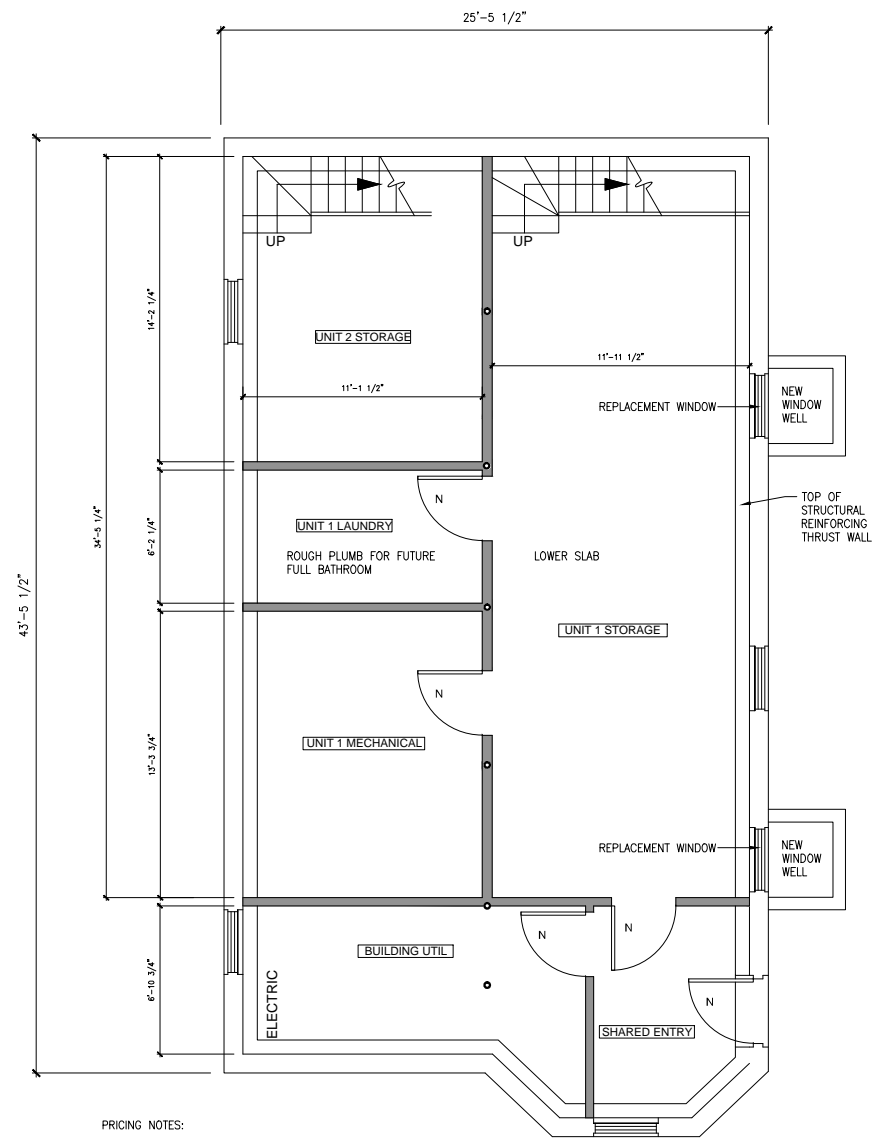
Drawing No. :

Job No.: A107.00

Date: 07 DECEMBER 2016

D2.1

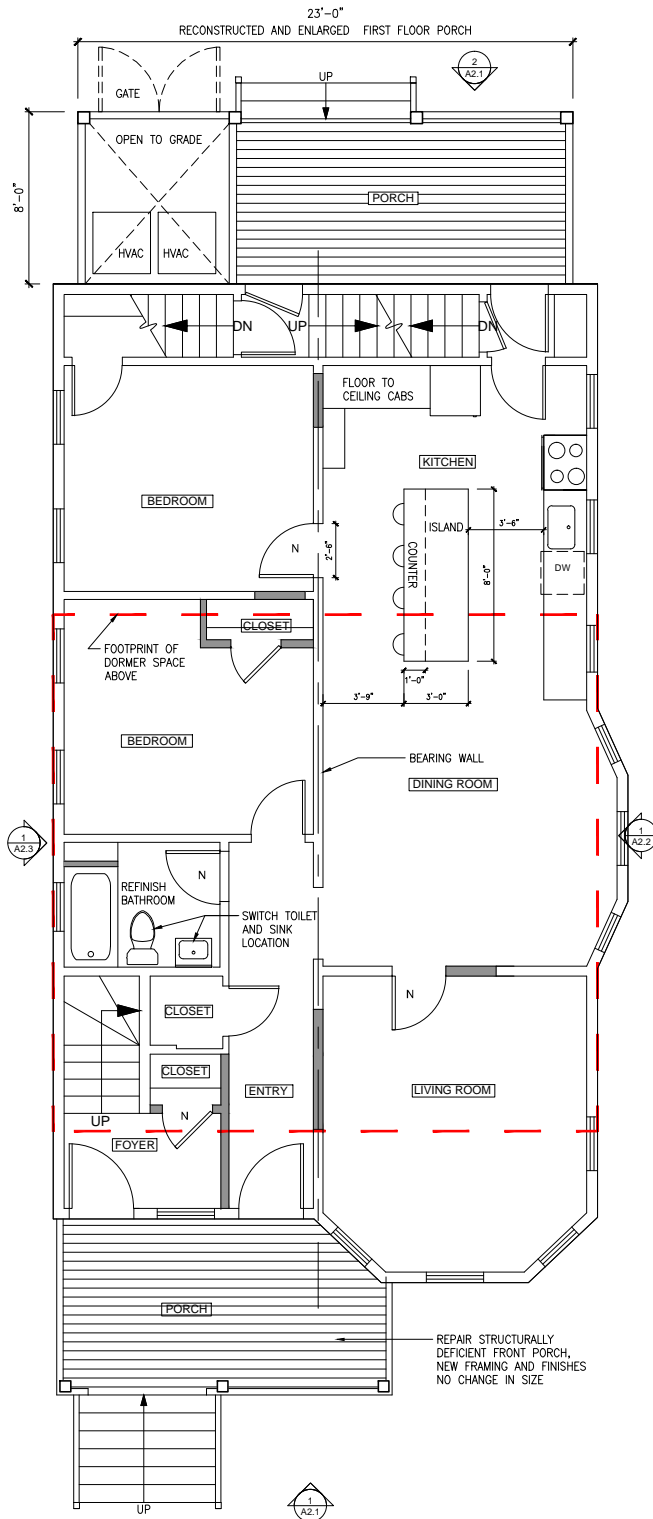




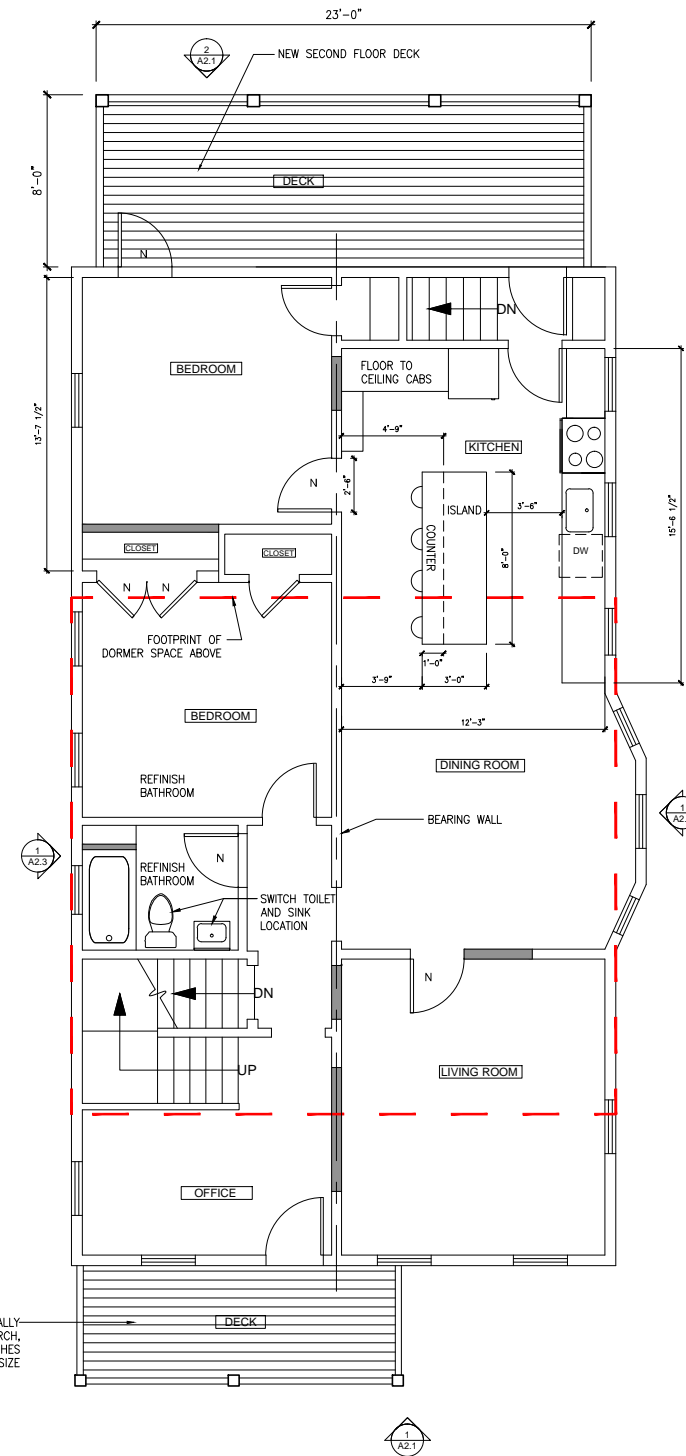
PRICING NOTES:

- 1) REFINISH ALL WOOD FLOORS TO REMAIN, TYP
- 2A) APPLY 3/8" GWB OVER EXISTING PLASTER CEILING, TYP
- 2B) REMOVE EXISTING CEILINGS, INSULATE WITH ROXUL, APPLY 3/8" GWB FINISHED CEILING, TYP
- 3A) ALL INTERIOR PLASTER FINISH AND BASEBOARDS AND WINDOW CASING TO REMAIN
- 3B) REMOVE ALL EXTERIOR WALL PLASTER, INSULATE, NEW 1/2" BLU BD PLASTER, ALL NEW EXTERIOR WALL BASEBOARD AND WINDOW CASING.
- 4) PAINT ALL INTERIOR
- 5) PAINT ALL EXTERIOR AND REPAIR / REPLACE SHINGLES AS REQUIRED
- 6) LOWERED BASEMENT TO REMAIN UNFINISHED
- 7) REPLACE ALL WINDOWS AND EXTERIOR DOORS
- 8) PATCH AS REQUIRED PER REMOVED CHIMNEY, MEP
- 9) REMOVE ALL FAUX WOOD PANELING IN EXISTING STAIRS

**1 BASEMENT - UNFINISHED / UNHEATED**  
SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR - COSEMETIC RENOVATIONS**  
SCALE: 1/4" = 1'-0"



**3 SECOND FLOOR - COSMETIC RENOVATIONS**  
SCALE: 1/4" = 1'-0"

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Drawing Title:

**Proposed  
Plans**

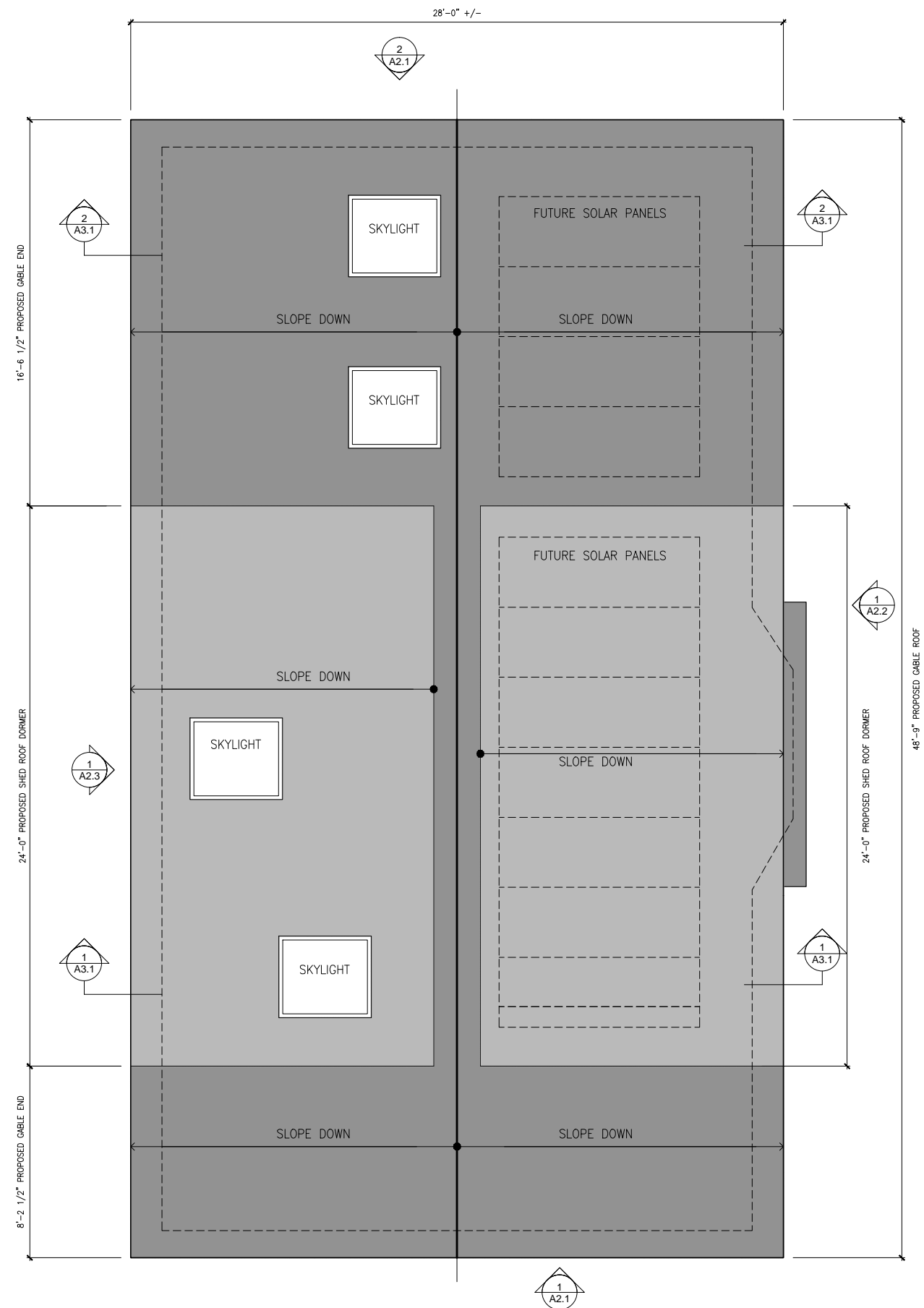
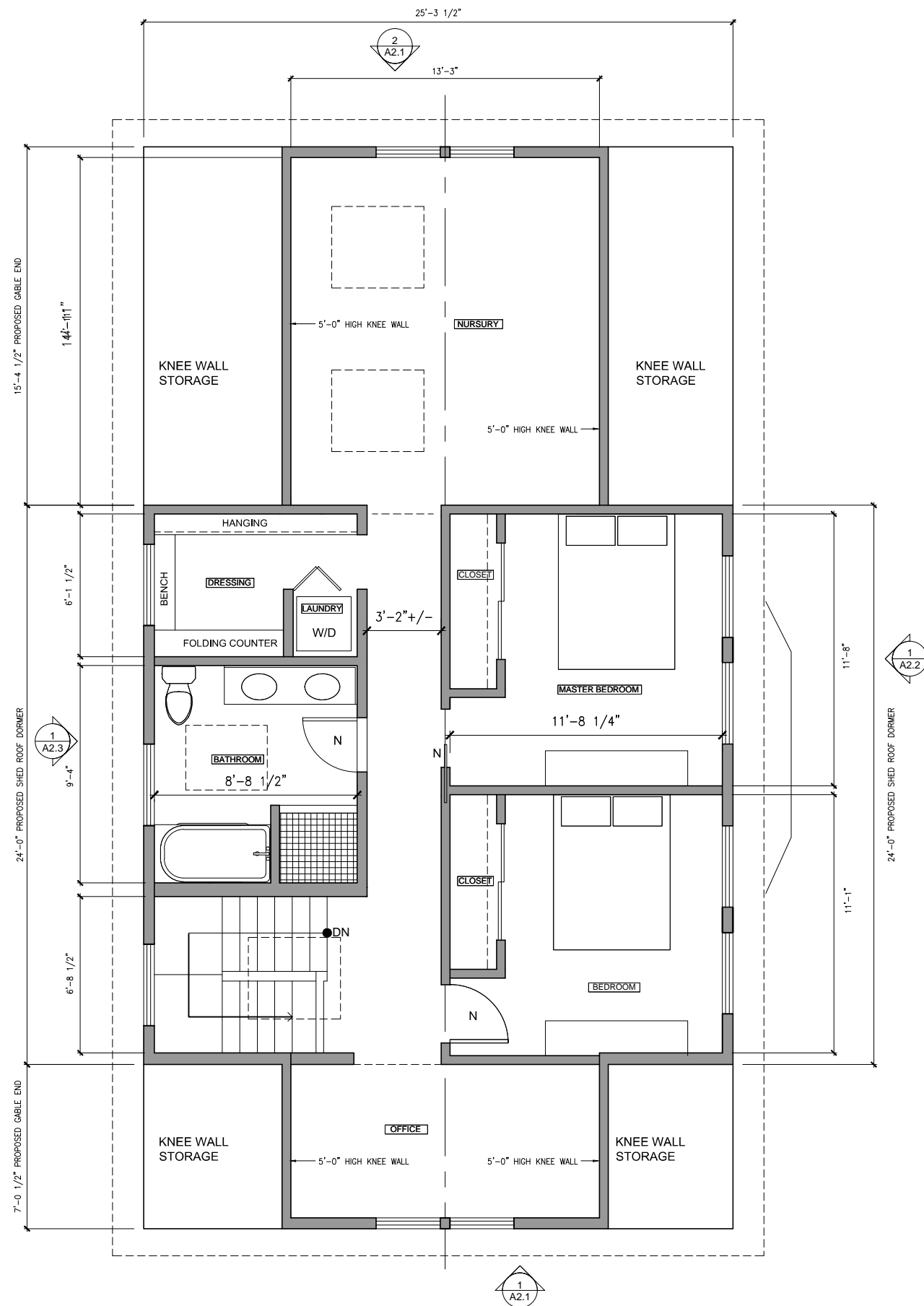
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Job No.: A107.00

Date: 07 DECEMBER 2016

**A1.1**





PROJECT:

Proposed Third Floor Renovation  
& Dormer Additions  
7 Curtis Street  
Somerville, MA  
02144

GCD ARCHITECTS

Adam J. Glassman, R.A.  
2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450  
ajglassman.ra@gmail.com  
www.glassmanchungdesign.com

SUBMITTED  
FOR ZBA  
REVIEW

Drawing Title:

## Proposed Plans

Scale: As Noted

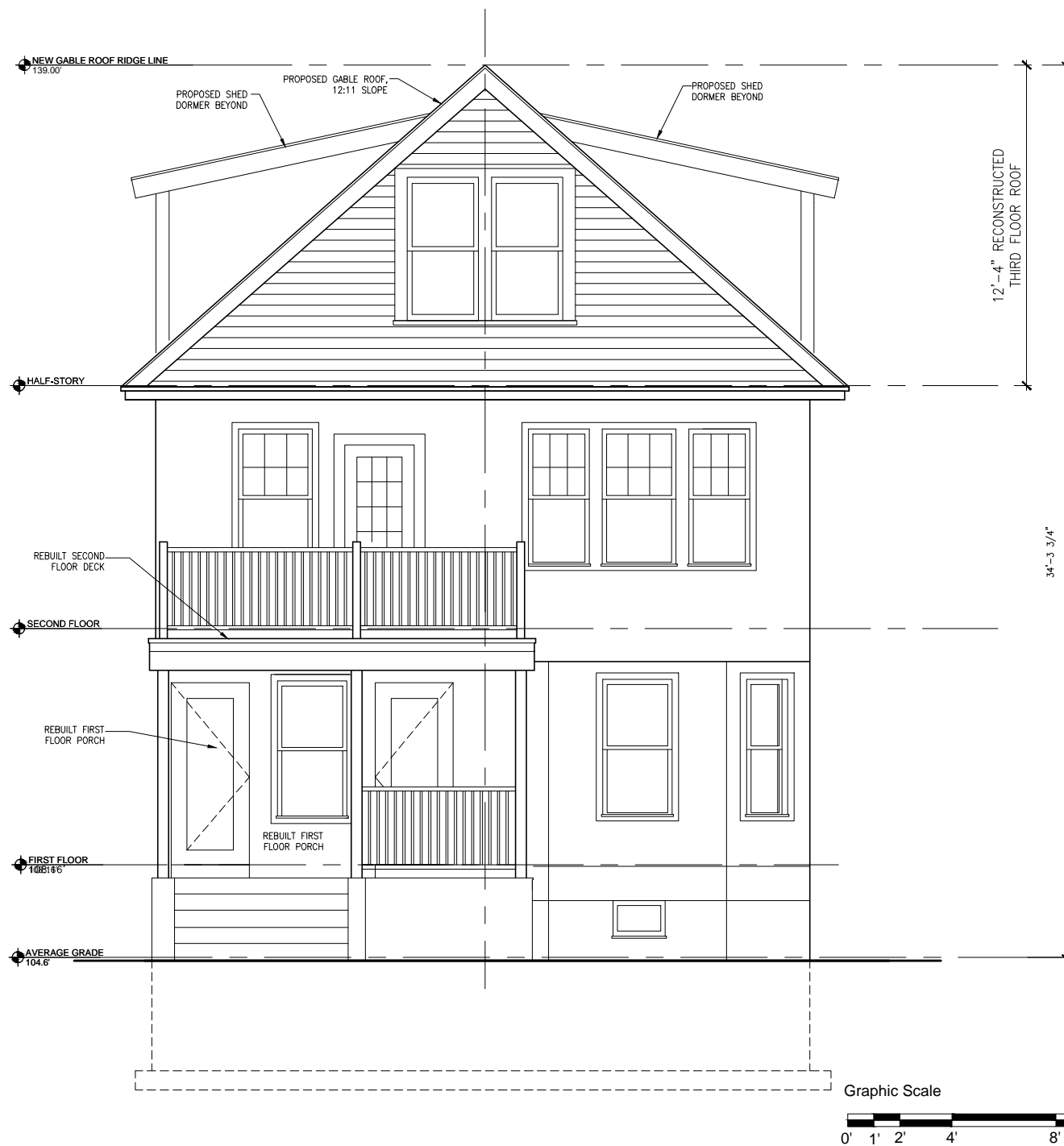
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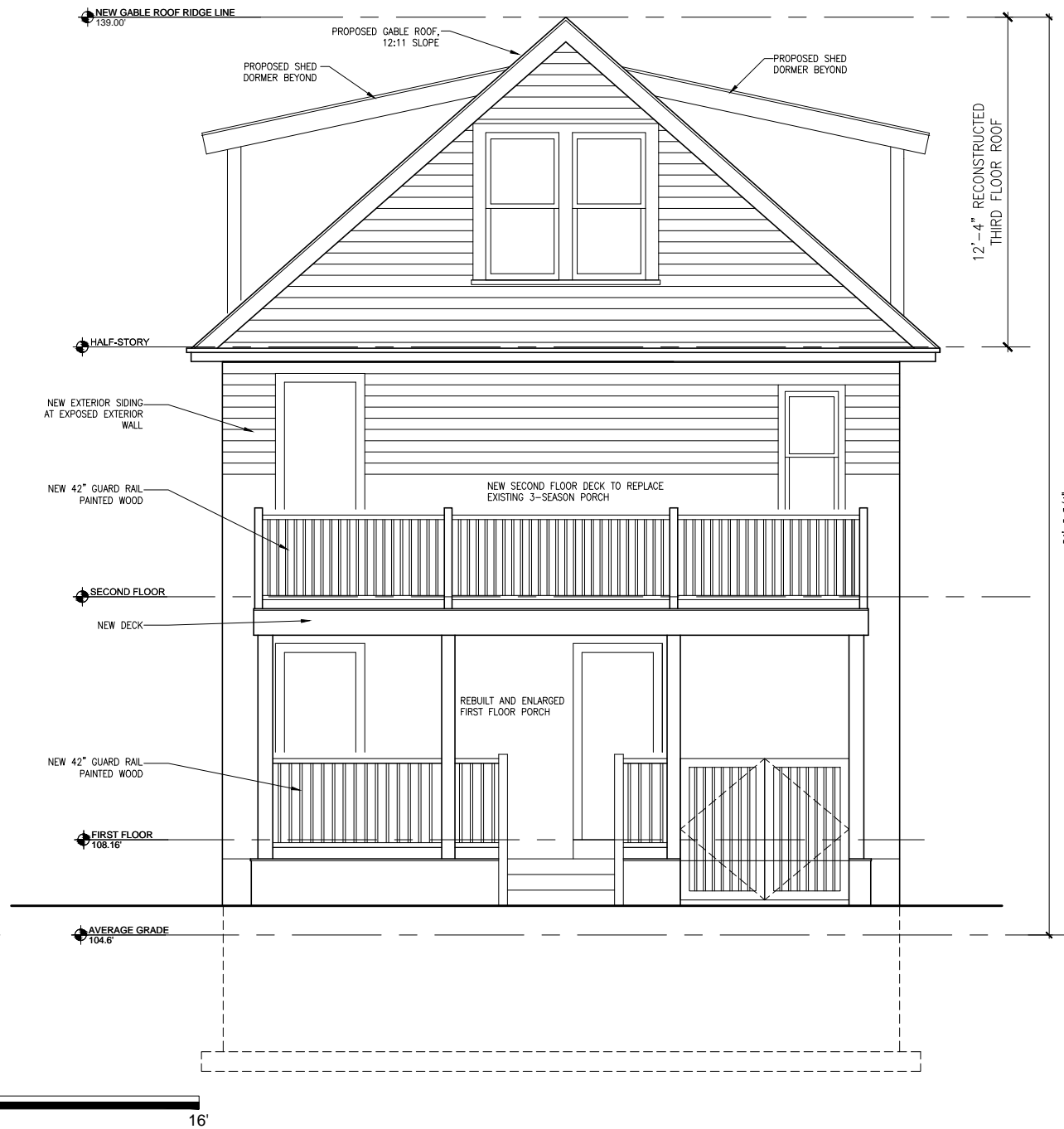
Date: 07 DECEMBER 2016

## A1.2





1 PROPOSED ELEVATION - WEST FACING CURTIS STREET  
SCALE: 3/8" = 1'-0"



2 PROPOSED ELEVATION - EAST FACING BACK YARD  
SCALE: 3/8" = 1'-0"

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2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450  
ajglassman.ra@gmail.com  
www.glassmanchungdesign.com

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Drawing Title:

Propsoed  
Elevations

Scale: As Noted Drawing No. :

Job No.: A107.00

Date: 07 DECEMBER 2016

A2.1





1 PROPOSED ELEVATION - SIDE FACING SOUTH  
SCALE: 3/8" = 1'-0"

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2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450  
ajglassman.ra@gmail.com  
www.glassmanchungdesign.com

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REVIEW

Drawing Title:

Propsoed  
Elevations

Scale: As Noted

Drawing No. :

Job No.: A107.00

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A2.2





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## GCD ARCHITECTS

Adam J. Glassman, R.A.  
2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450  
ajglassman.ra@gmail.com  
www.glassmanchungdesign.com

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Drawing Title:

Propsoed  
Elevations

Scale: As Noted

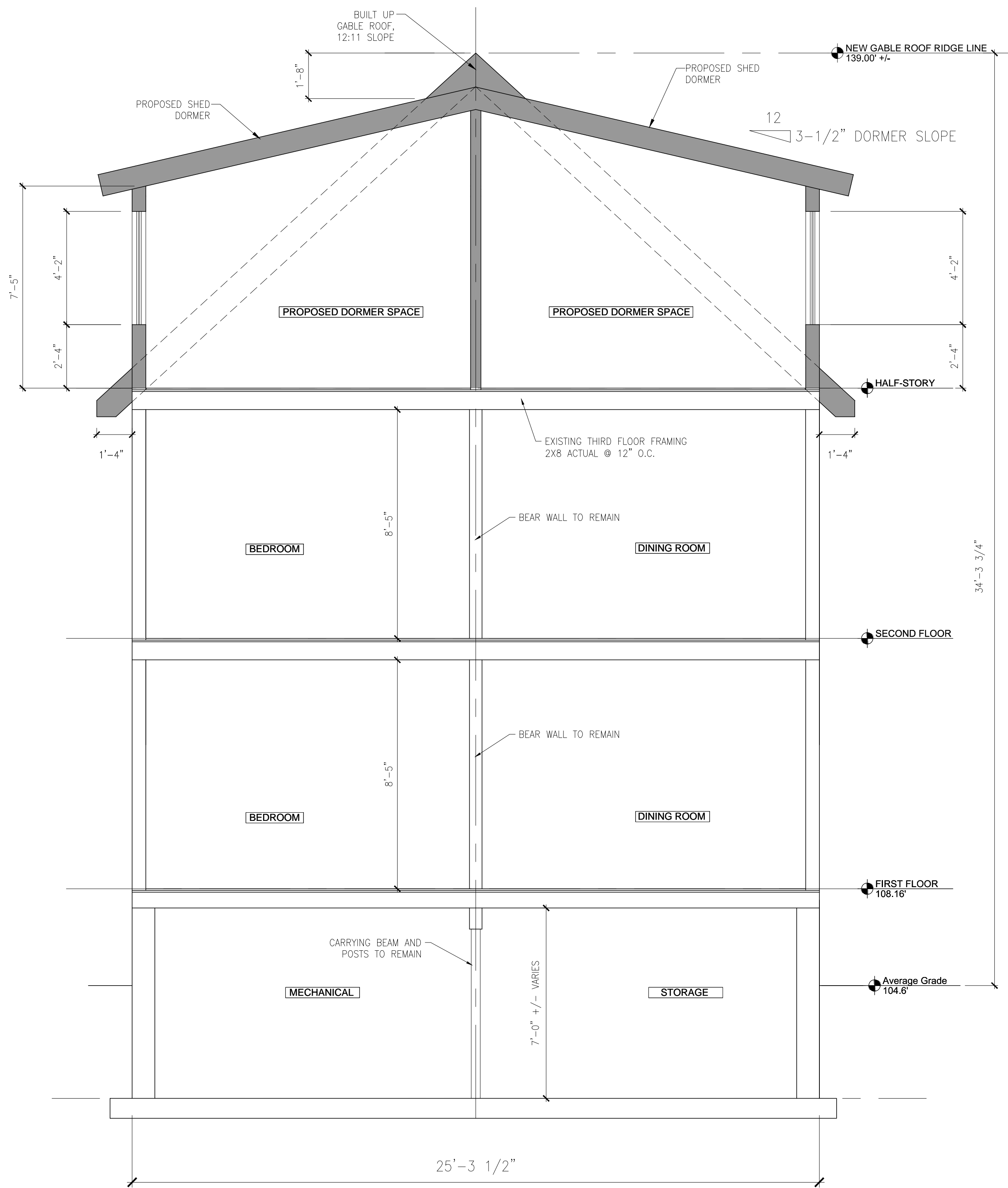
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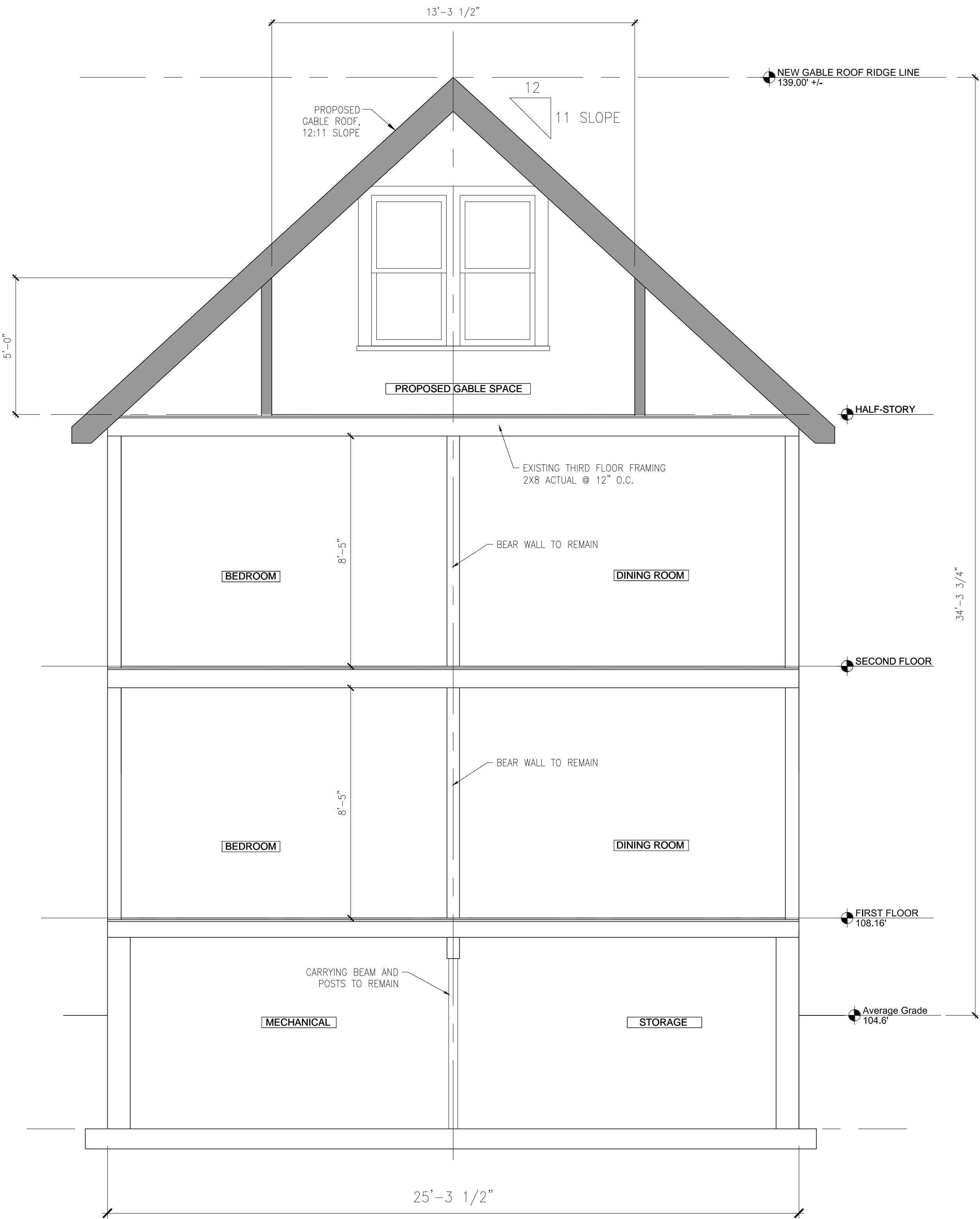
Date: 07 DECEMBER 2016

A2.3

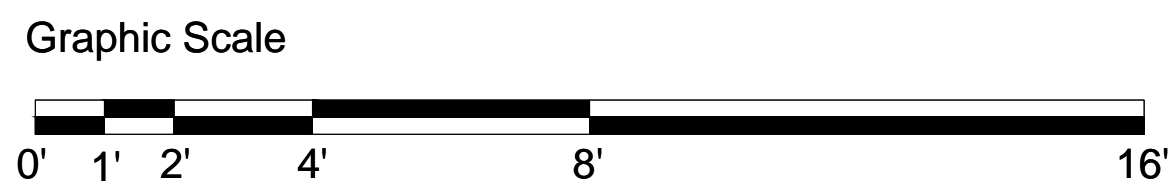




1 PROPOSED DORMER SPACE SECTION  
SCALE: 3/8" = 1'-0"



2 PROPOSED GABLE ROOF SECTION  
SCALE: 3/8" = 1'-0"



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2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450  
ajglassman.ra@gmail.com  
www.glassmanchungdesign.com

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FOR ZBA  
REVIEW

Drawing Title:  
Proposed  
Sections

Scale: As Noted Drawing No. :  
Job No.: A107.00  
Date: 07 DECEMBER 2016

A3.1