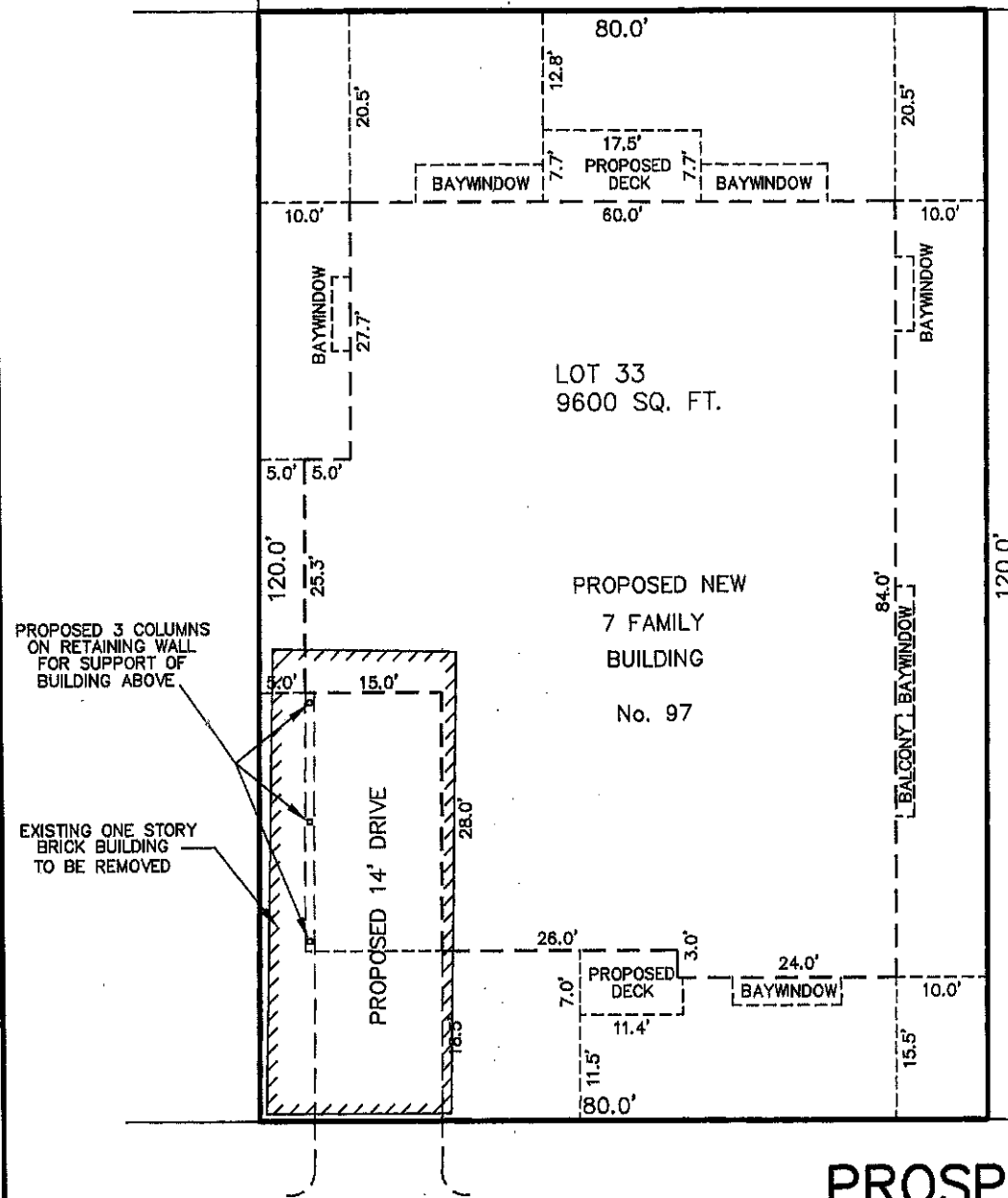
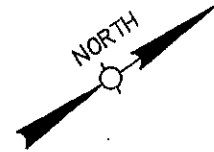




PROSPECT STREET

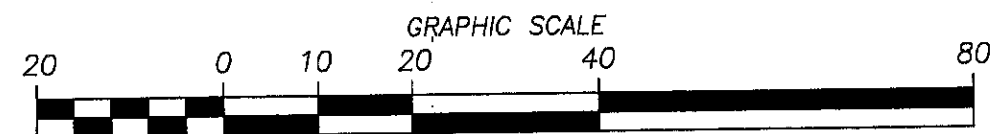
OAK STREET

PLOT PLAN
97 PROSPECT STREET
SOMERVILLE, MASS.

SCALE : 1" = 20' AUGUST 26, 2013
AGH ENGINEERING
166 WATER STREET STOUGHTON, MA 02072
PHONE: (781)344-2386

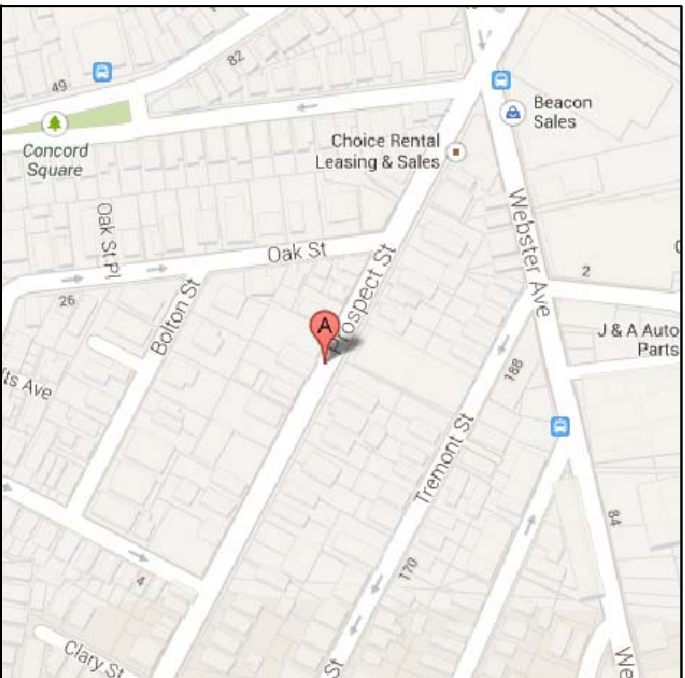


Antoni Szerszunowicz



Civil Site Plan

97 Prospect St.
Somerville, MA



REFERENCES:

SURVEY:
By AGH Engineering on 8/22/13

ARCHITECT:
Reisen Design Associates on 8/23/13

OPERATIONS AND MAINTENANCE

1. STORMTECH: THE PROPOSED UNDERGROUND INFILTRATION SYSTEMS HAVE INSPECTION PORTS THAT CAN BE USED TO OBSERVE ANY EXCESSIVE BUILD UP OF SEDIMENTS OR STANDING WATER. INSPECTIONS ARE TO BE PERFORMED AFTER EVERY MAJOR STORM DURING FIRST THREE MONTHS AND TWICE PER YEAR THEREAFTER. REMOVAL OF SEDIMENT, IF REQUIRED, TO BE PERFORMED BY A MAINTENANCE COMPANY FAMILIAR WITH THE SYSTEM DESIGN.

2. MINI MHs: SHALL BE INSPECTED TWICE PER YEAR AND CLEANED OF DEBRIS AS NEEDED.

MATERIALS:

STORM DRAIN: 8" PVC ASTM D3034-SDR 35
SIZE AS NOTED ON PLANS
(1% MINIMUM SLOPE)

ROOF DRAINS: 4" PVC SCHED. 40 (TYP.) SIZES
AS NOTED ON THE PLANS

SEWER: 6" SEWER - PVC ASTM
D3034-SDR 35 (2% MIN. SLOPE)

WATER: 4" DUCTILE IRON CEMENT LINED
(CLASS 56)
1.5" COPPER TUBING TYPE K
(MINIMUM OF 5 FEET BELOW GRADE)

No.	Date	Comment
-----	------	---------

Columbia Design Group, LLC
Consulting Engineers

14 Upham Avenue
Boston, MA 02125
(T) 617.506.1474 (F) 617.507.7740

97 Prospect St.
Somerville

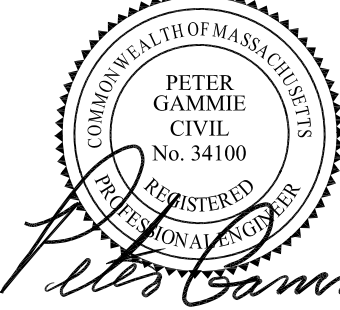
Date:
August 28, 2013

Project No.:
2013-138

Scale:
1" = 10'

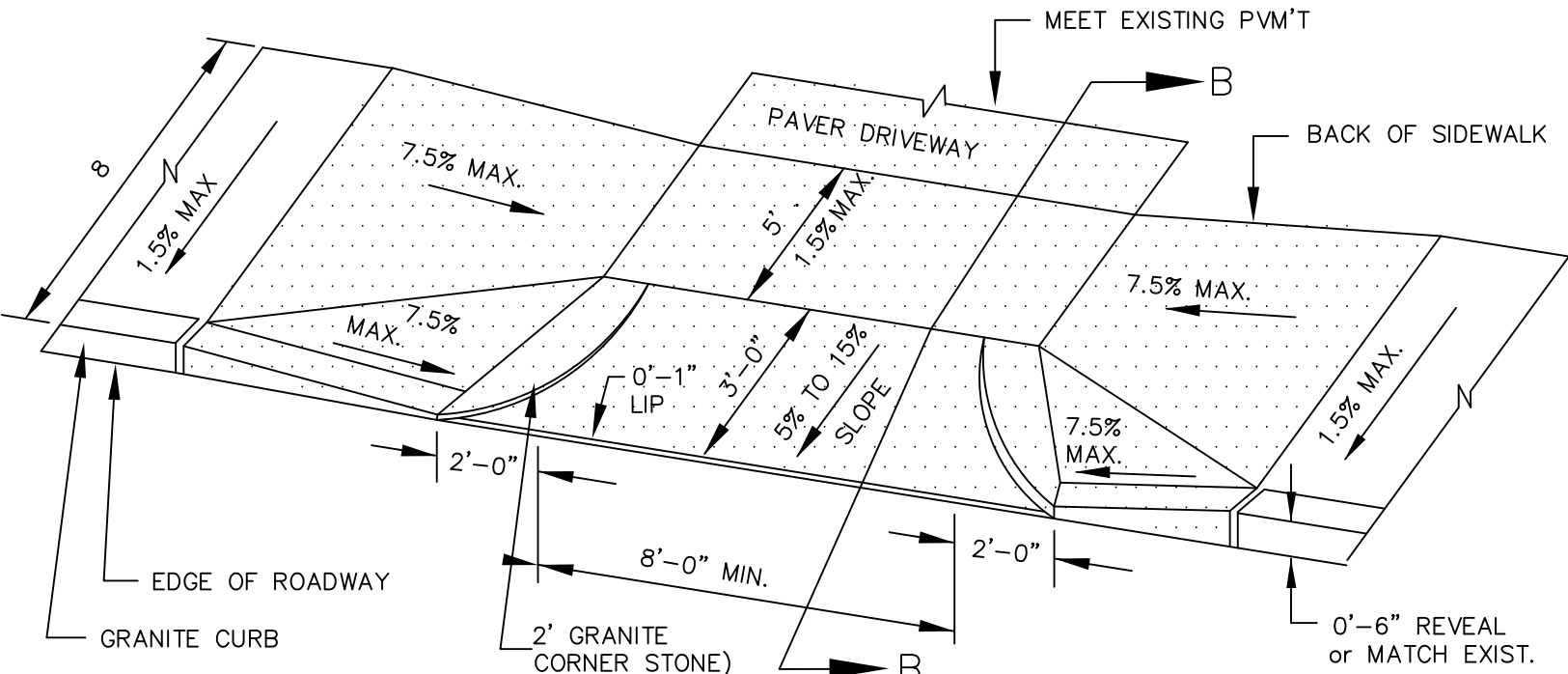
Drawing by:
NG/PG

C-1



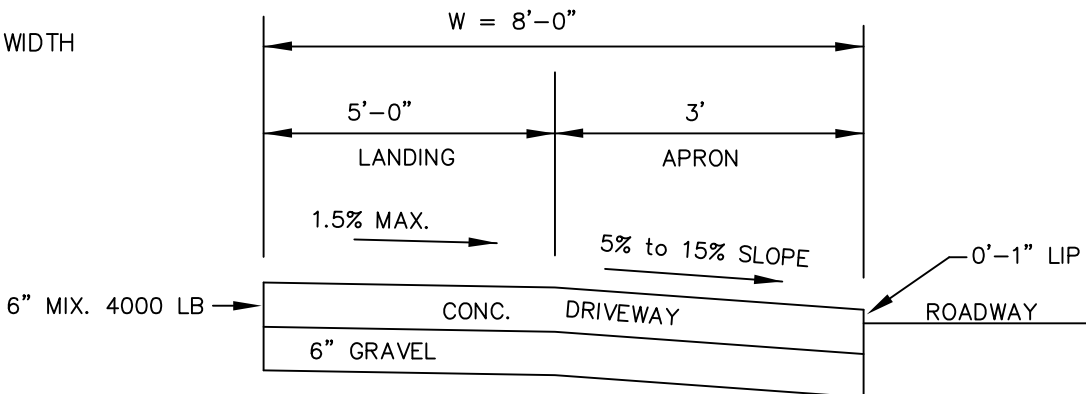
GENERAL NOTES

- THE PURPOSE OF THIS SITE PLAN IS TO DEPICT THE DESIGN AND LAYOUT OF THE DRIVEWAY, PROP. BUILDING, UTILITIES AND STORM DRAINAGE SYSTEM. FOR ADDITIONAL INFORMATION SEE ARCHITECTURAL AND LAND SURVEY PLANS.
- ROOF RUNOFF IS TO BE COLLECTED BY TWO AREA DRAINS ON THE FLAT TOP ROOF AND PIPED TO INFILTRATION SYSTEMS LOCATED UNDER GRASS AREAS AT THE FRONT AND REAR OF THE PROPERTY.
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OR SIZE OF EXISTING UTILITIES ON THE SITE OR WITHIN THE STREET. IT IS THE CONTRACTORS RESPONSIBLE TO VERIFY AND RECORD THE LOCATION OF EACH UTILITY.
- THE CONTRACTOR SHALL CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF EXISTING MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233, FAX 1-800-322-4844. DIGSAFE MUST BE NOTIFIED AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- ALL WORK PERFORMED SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE CITY OF SOMERVILLE AND TO ALL APPLICABLE LOCAL AND STATE REGULATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO COMPLETE THE STORM DRAINAGE SYSTEMS AS INDICATED ON THE PLANS.
- THE CITY RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED TO PROTECT AGAINST CAVE-IN.
- THE CONTRACTOR SHALL TIE IN ALL ROOF DRAINS FROM THE BUILDING TO THE INFILTRATION SYSTEM. COORDINATION WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS IS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SOIL IS TRACKED FROM THE SITE ONTO CITY STREETS OR SIDEWALKS. NO VEHICLES MAY PARK ON CITY SIDEWALKS AT ANY TIME.
- AN AS-BUILT DRAWING (CERTIFIED BY A P.E.) OF THE PROPOSED SITE WORK, INCLUDING BUILDING FOOTPRINT, UTILITIES ABANDONED AND INSTALLED, DRAINAGE IMPROVEMENTS AND FINAL GRADING MUST BE SUBMITTED TO THE DPW. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER AND SOMERVILLE DPW FOR INSPECTION PRIOR TO BACKFILLING.
- SOIL TESTS MAY BE REQUIRED BY THE DPW AT THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE TESTS AND INSPECTIONS WITH THE DPW.
- FIRE SERVICE SIZE IS PER THE OWNERS MECHANICAL ENGINEER/FIRE SUPPRESSION DESIGNER. THE CONTRACTOR SHALL VERIFY SIZE PRIOR TO CONSTRUCTION.



LEGEND

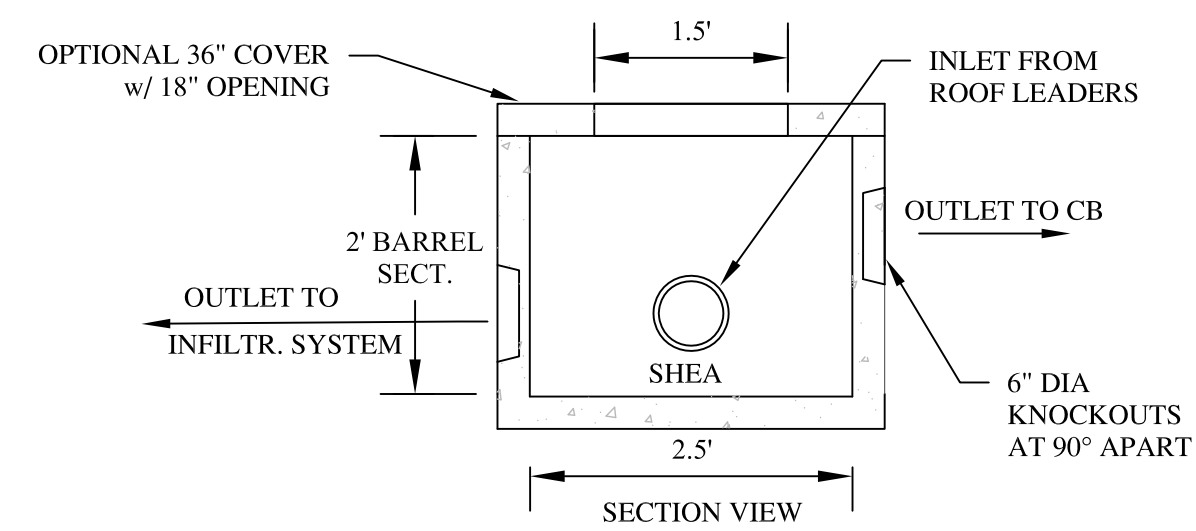
W = SIDEWALK WIDTH



SECTION B-B

CONC. DRIVEWAY APRON
(2 FT CURB CORNERS)

NOT TO SCALE



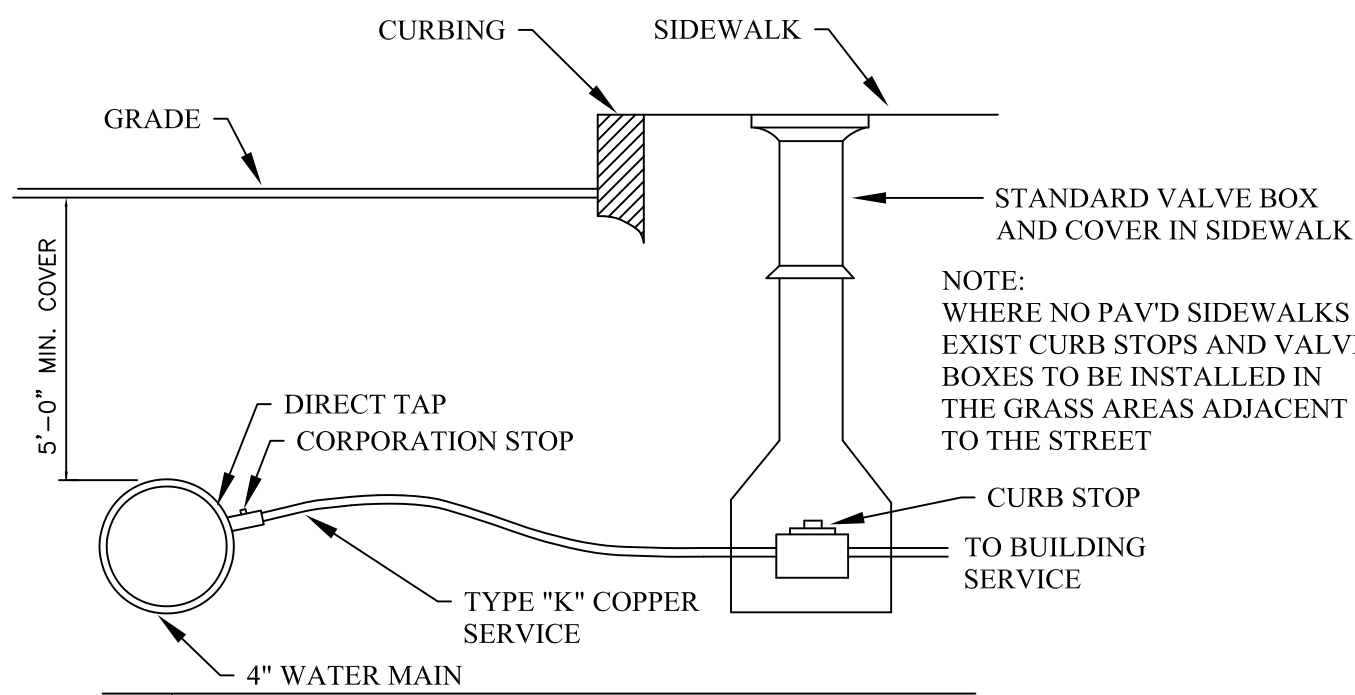
NOTES:

1. CONCRETE: 4,000 PSI MIN. AFTER 28 DAYS.

2. CAST IRON FRAME & COVER

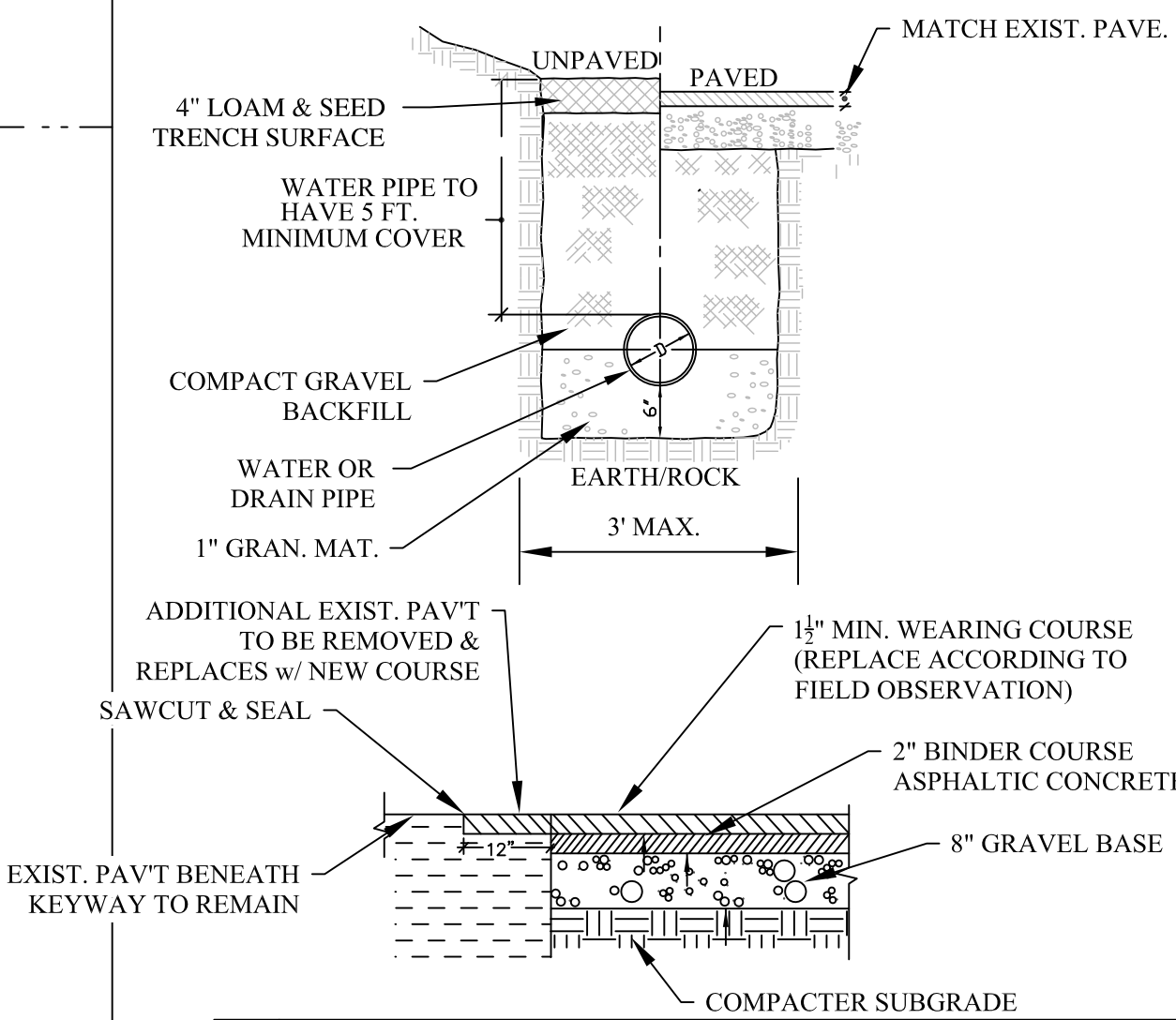
PRECAST CONC. MINI DRAIN MH

NOT TO SCALE



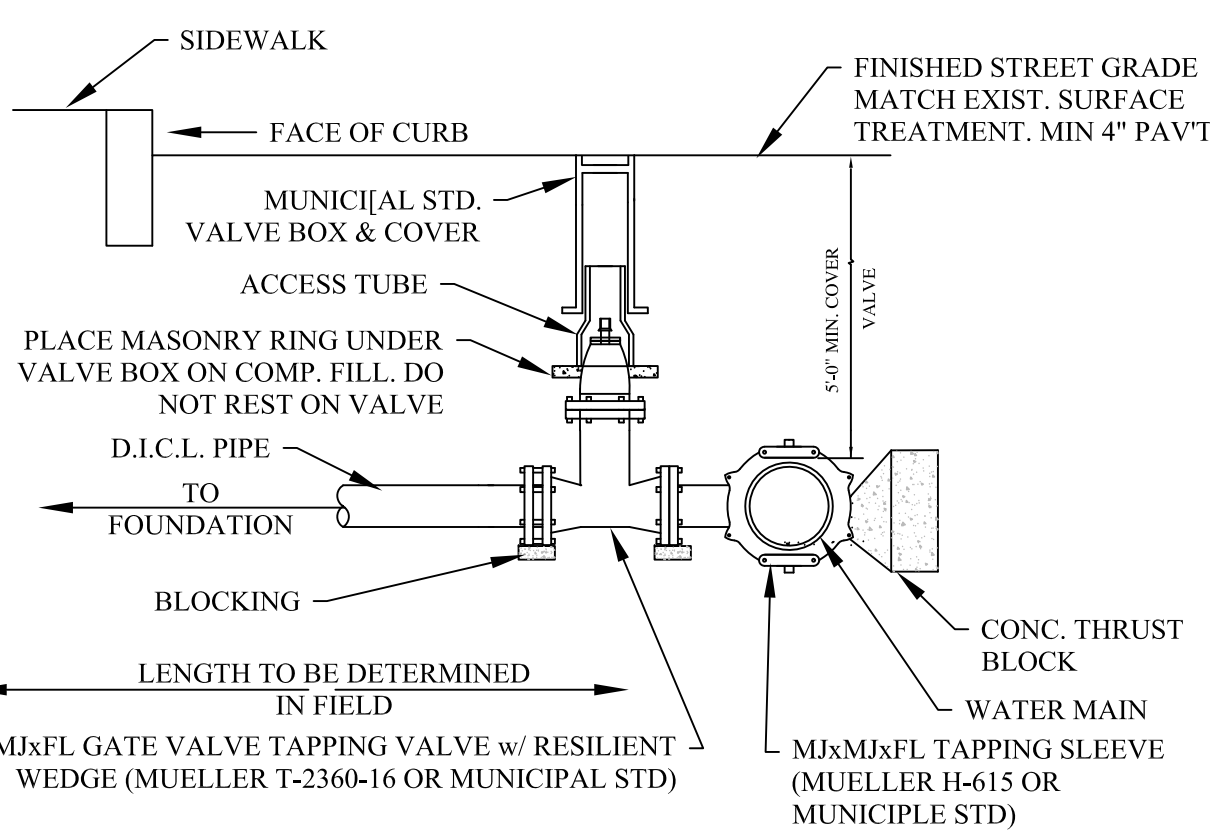
COPPER SERVICE 1.5"Ø

NOT TO SCALE



PIPE EXCAVATION & TRENCH PATCH

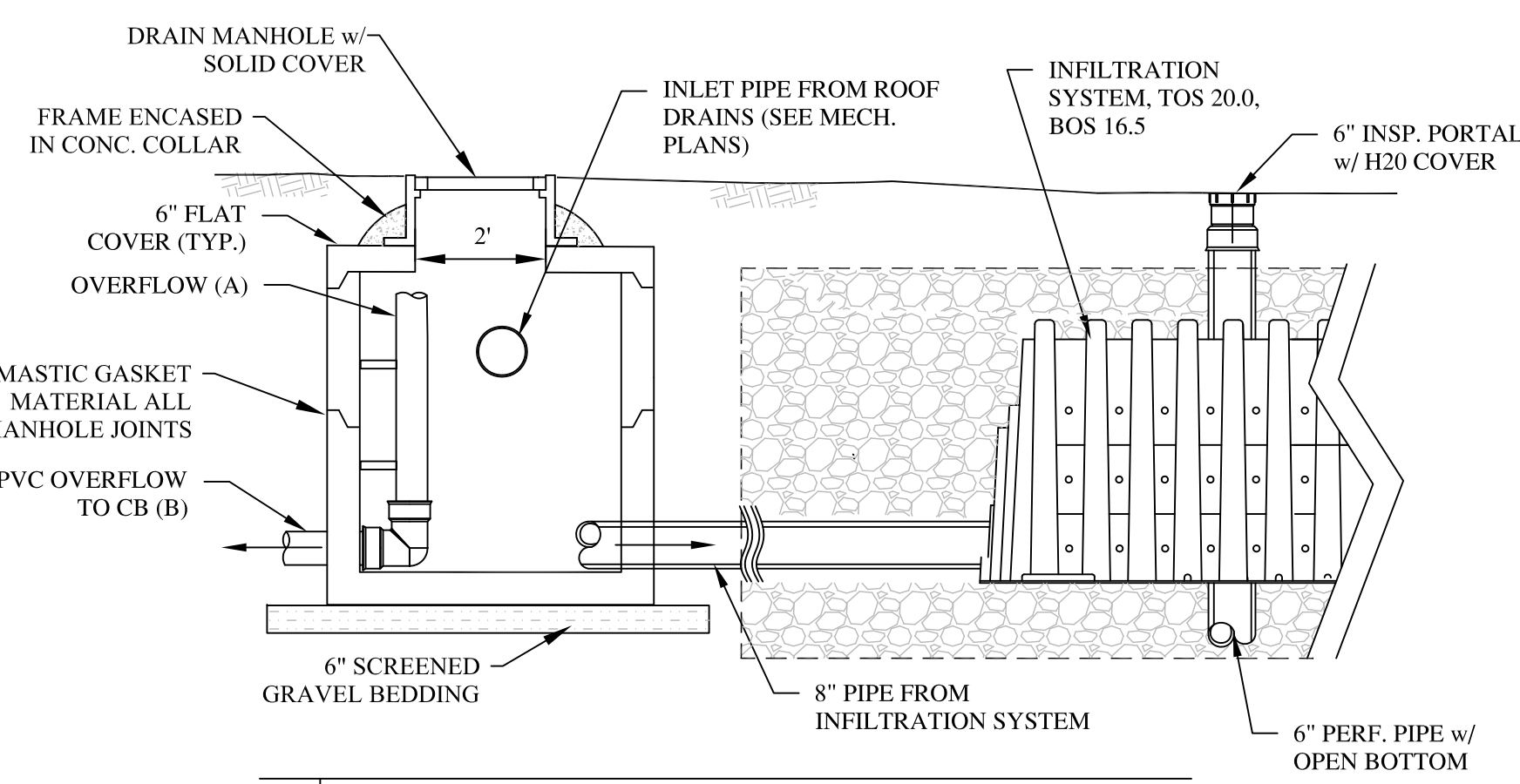
NOT TO SCALE



NOTE: ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.

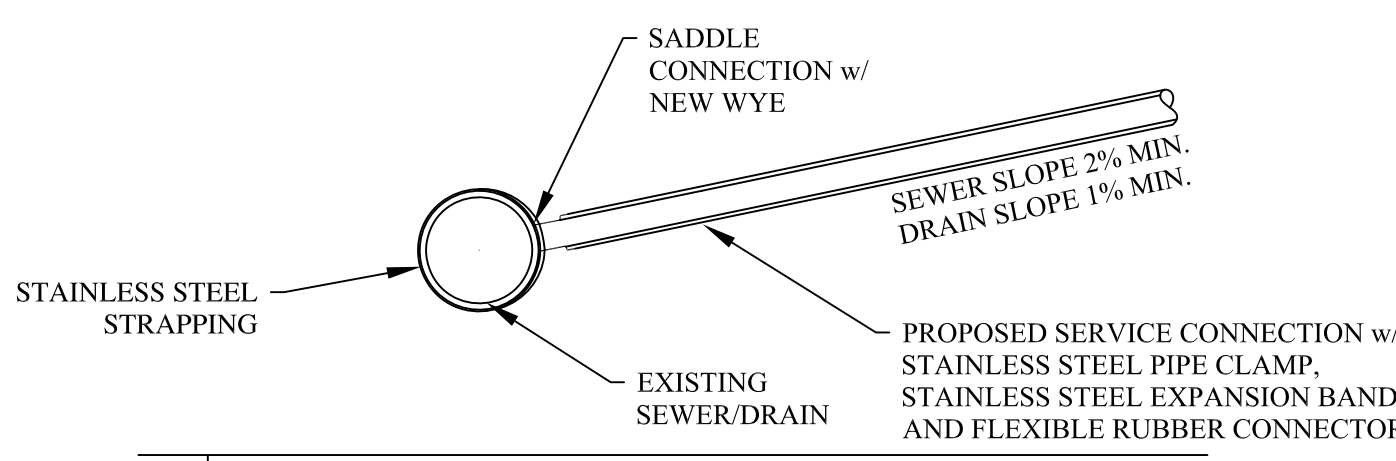
TYPICAL WATER CONNECTION W/ WET TAP FOR 4 INCH SERVICE PIPE

NOT TO SCALE



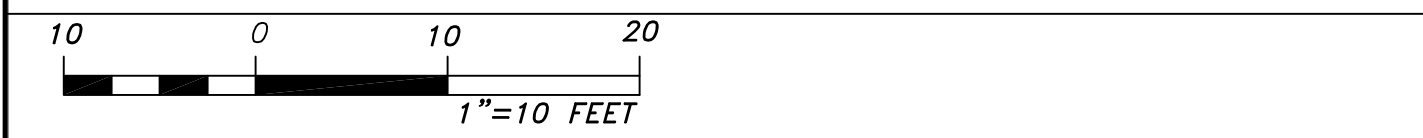
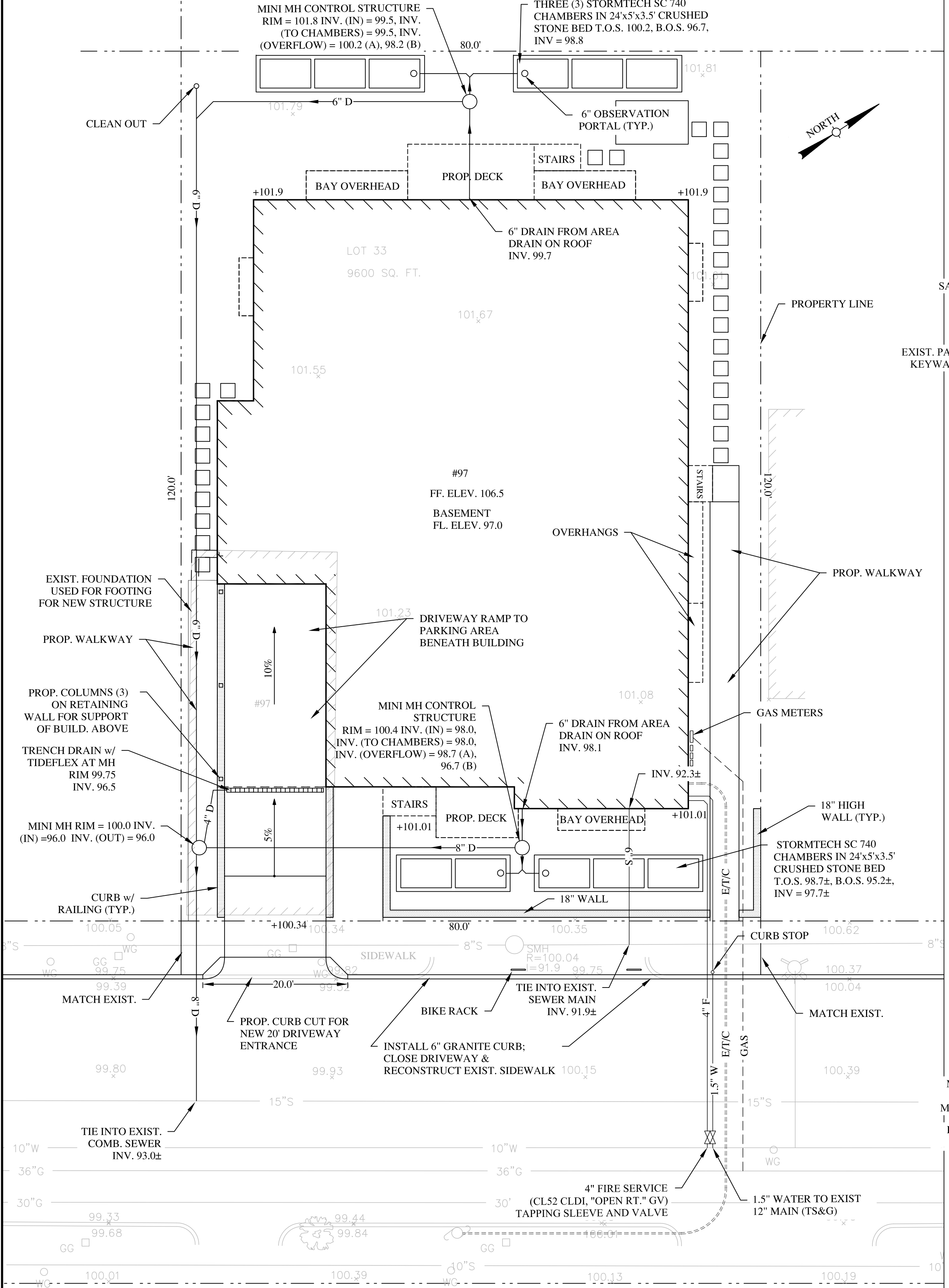
DRAIN MANHOLE w/ OVERFLOW

NOT TO SCALE, (H-20 LOADING)



SEWER/RAIN SADDLE CONNECTION

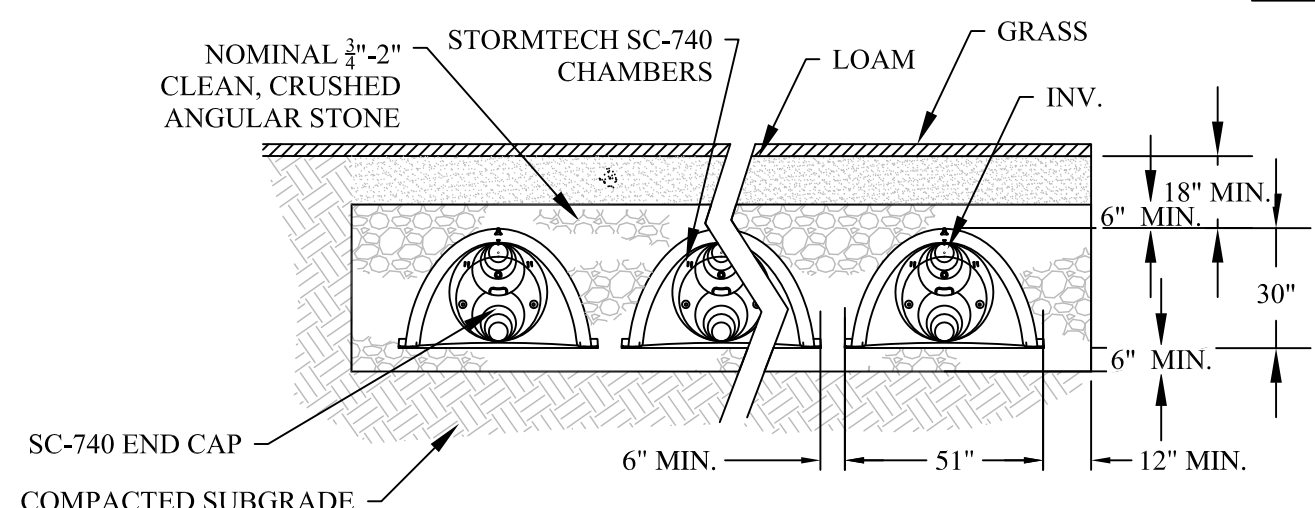
NOT TO SCALE



NOTES:
1. MEDIUM DUTY
2. CLOSED ENDS

TRENCH DRAIN w/ GRATED FRAME

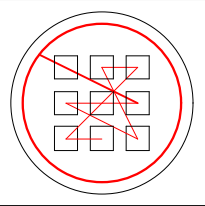
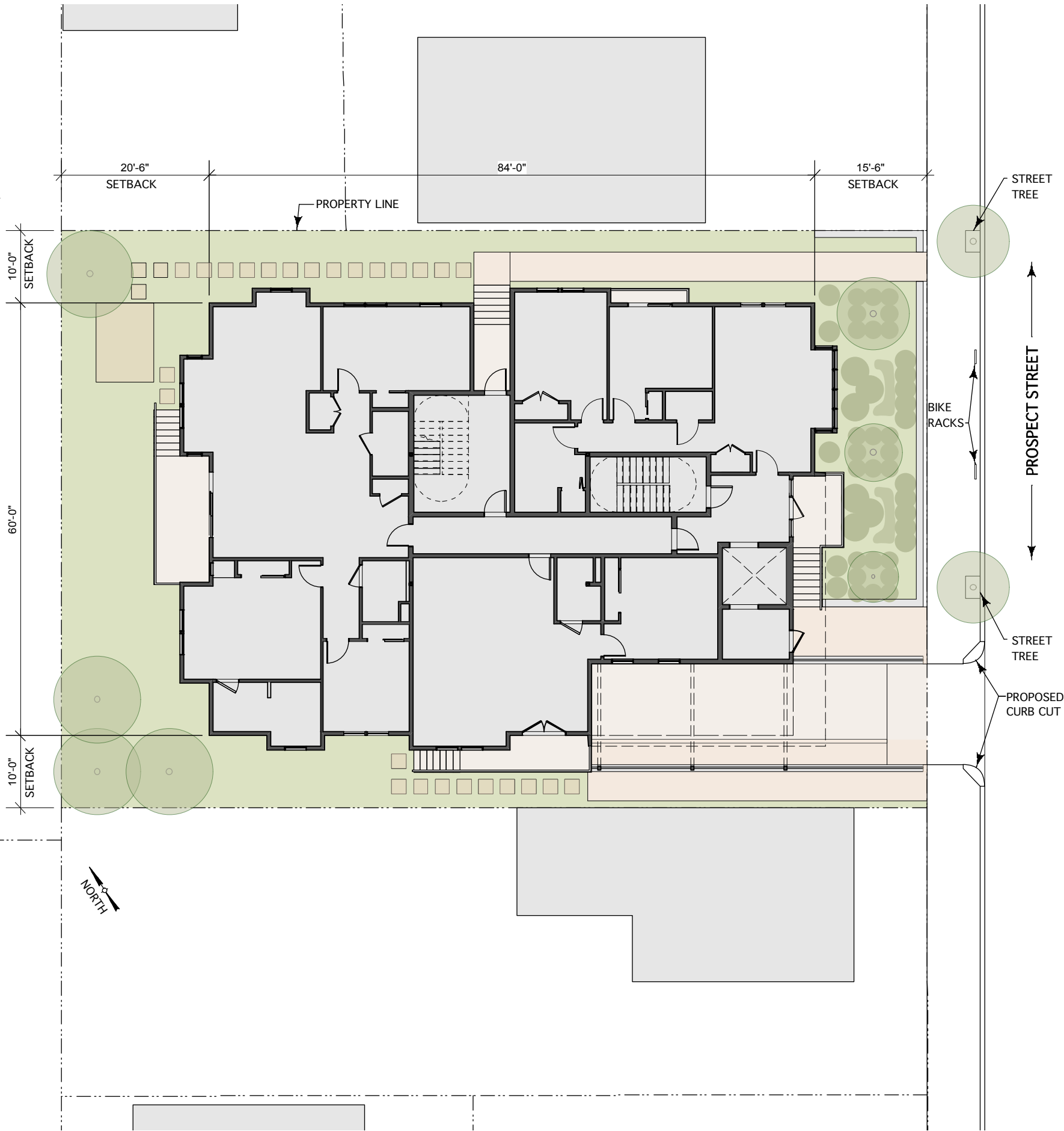
NOT TO SCALE



STORMTECH SC 740 SECTION H2O LOADING

NOT TO SCALE

NET FLOOR AREA	
BASEMENT:	64 sq. ft.
FIRST FLR.:	4,402 sq. ft.
SECOND FLR.:	4,691 sq. ft.
THIRD FLR.:	4,663 sq. ft.
TOTAL:	13,820 sq. ft.
TOTAL ALLOWABLE F.A.R.	
9,600 sq. ft. lot size x 2 = 19,200 sq. ft.	
GROSS FLOOR AREA PER UNIT	
UNIT #1:	1,090 sq. ft.
UNIT #2:	928 sq. ft.
UNIT #3:	1,932 sq. ft.
UNIT #4:	1,899 sq. ft.
UNIT #5:	2,556 sq. ft.
UNIT #6:	2,630 sq. ft.
UNIT #7:	1,899 sq. ft.

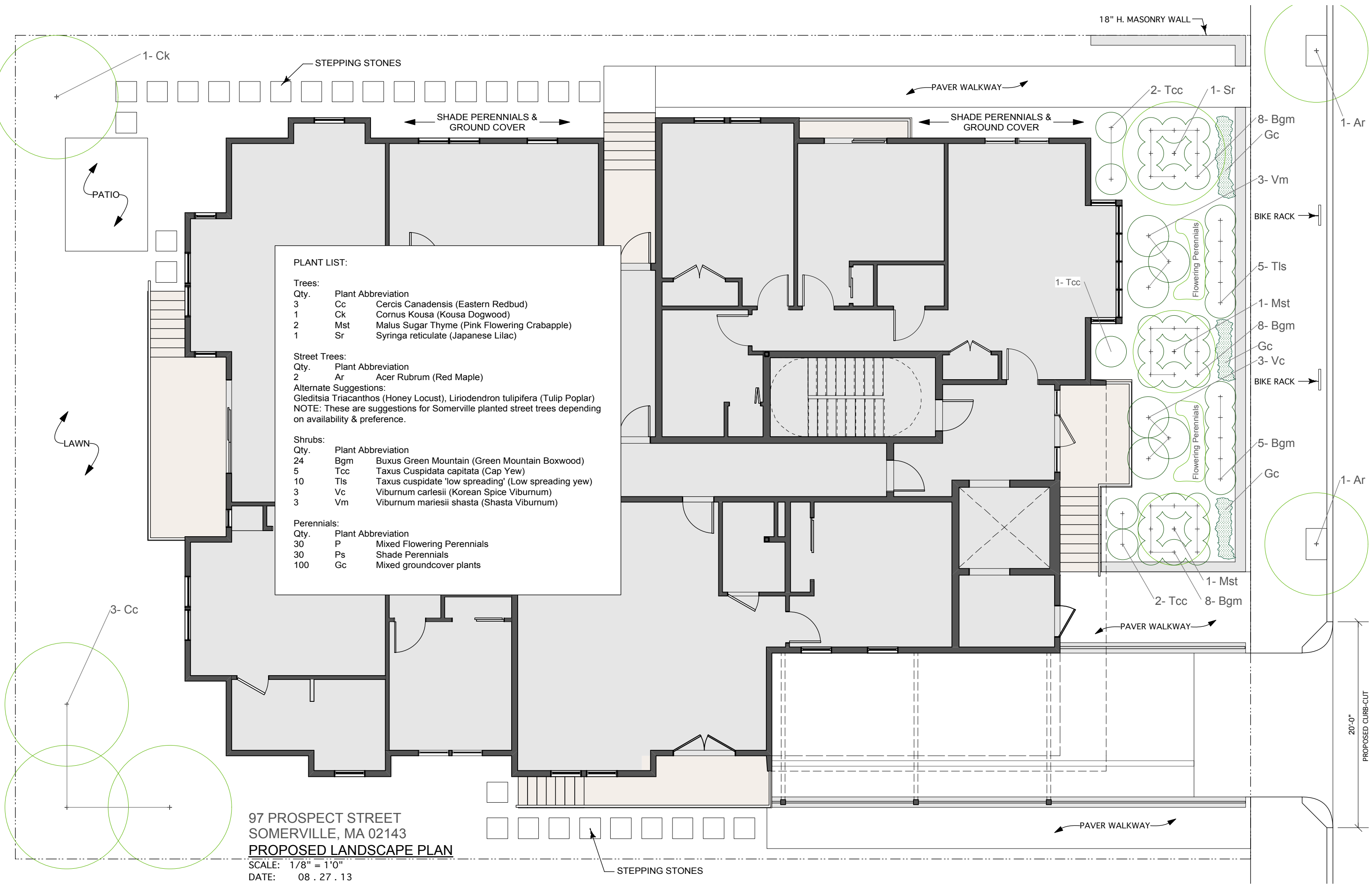


REISEN DESIGN ASSOCIATES
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97 PROSPECT STREET
SOMERVILLE, MA 02143

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"
DATE: 08 . 27 . 13
BY: DV



PLANT LIST:

Trees:

Qty.	Plant Abbreviation	
3	Cc	Cercis Canadensis (Eastern Redbud)
1	Ck	Cornus Kousa (Kousa Dogwood)
2	Mst	Malus Sugar Thyme (Pink Flowering Crabapple)
1	Sr	Syringa reticulata (Japanese Lilac)

Street Trees:

Qty.	Plant Abbreviation	
2	Ar	Acer Rubrum (Red Maple)

Alternate Suggestions:

Gleditsia Triacanthos (Honey Locust), Liriodendron tulipifera (Tulip Poplar)
NOTE: These are suggestions for Somerville planted street trees depending on availability & preference.

Shrubs:

Qty.	Plant Abbreviation	
24	Bgm	Buxus Green Mountain (Green Mountain Boxwood)
5	Tcc	Taxus Cuspidata capitata (Cap Yew)
10	Tls	Taxus cuspidate 'low spreading' (Low spreading yew)
3	Vc	Viburnum carlesii (Korean Spice Viburnum)
3	Vm	Viburnum mariesii shasta (Shasta Viburnum)

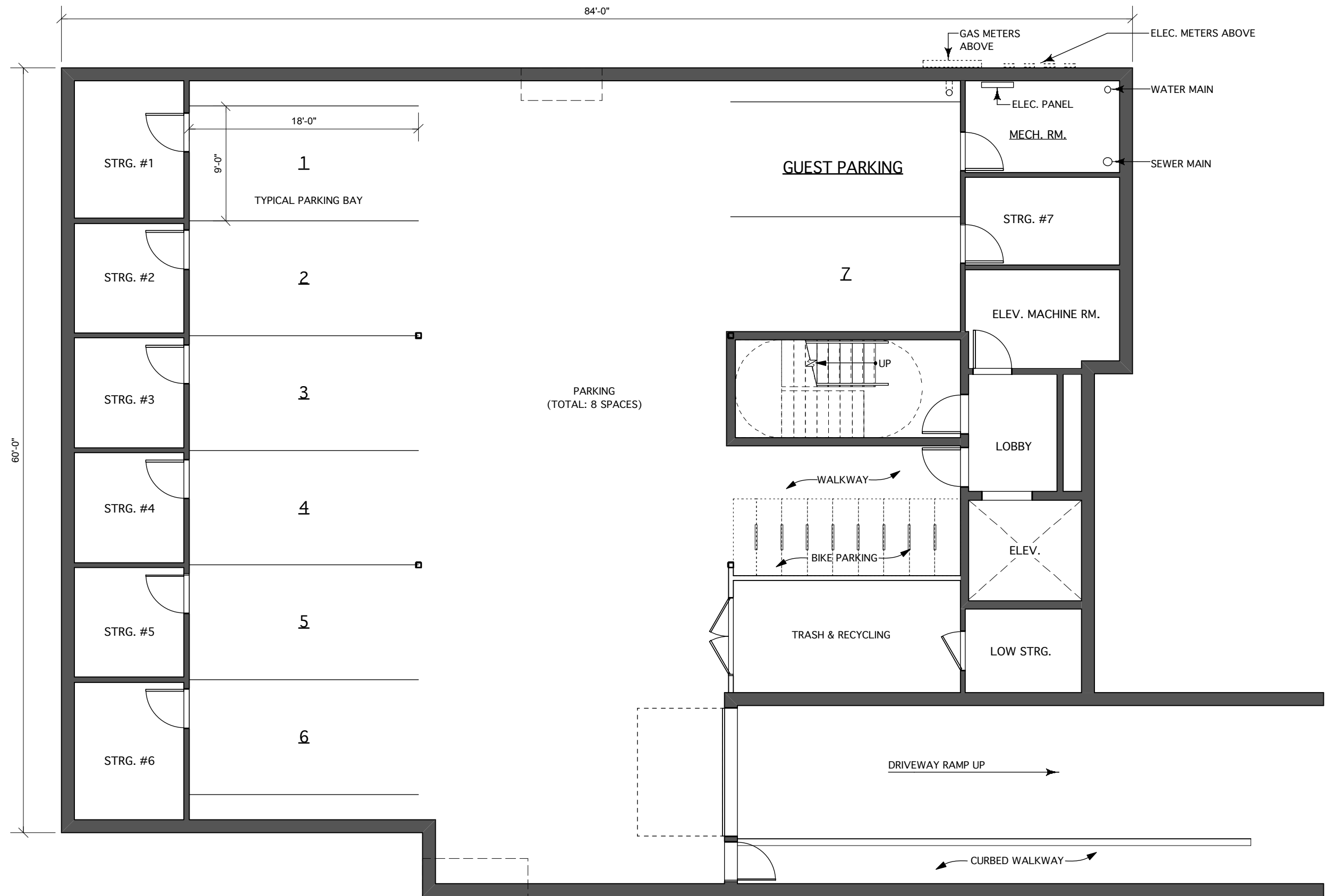
Perennials:

Qty.	Plant Abbreviation	
30	P	Mixed Flowering Perennials
30	Ps	Shade Perennials
100	Gc	Mixed groundcover plants

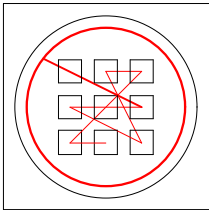
97 PROSPECT STREET
SOMERVILLE, MA 02143
PROPOSED LANDSCAPE PLAN

SCALE: 1/8" = 1'0"

DATE: 08 . 27 . 13



1 PROPOSED BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"

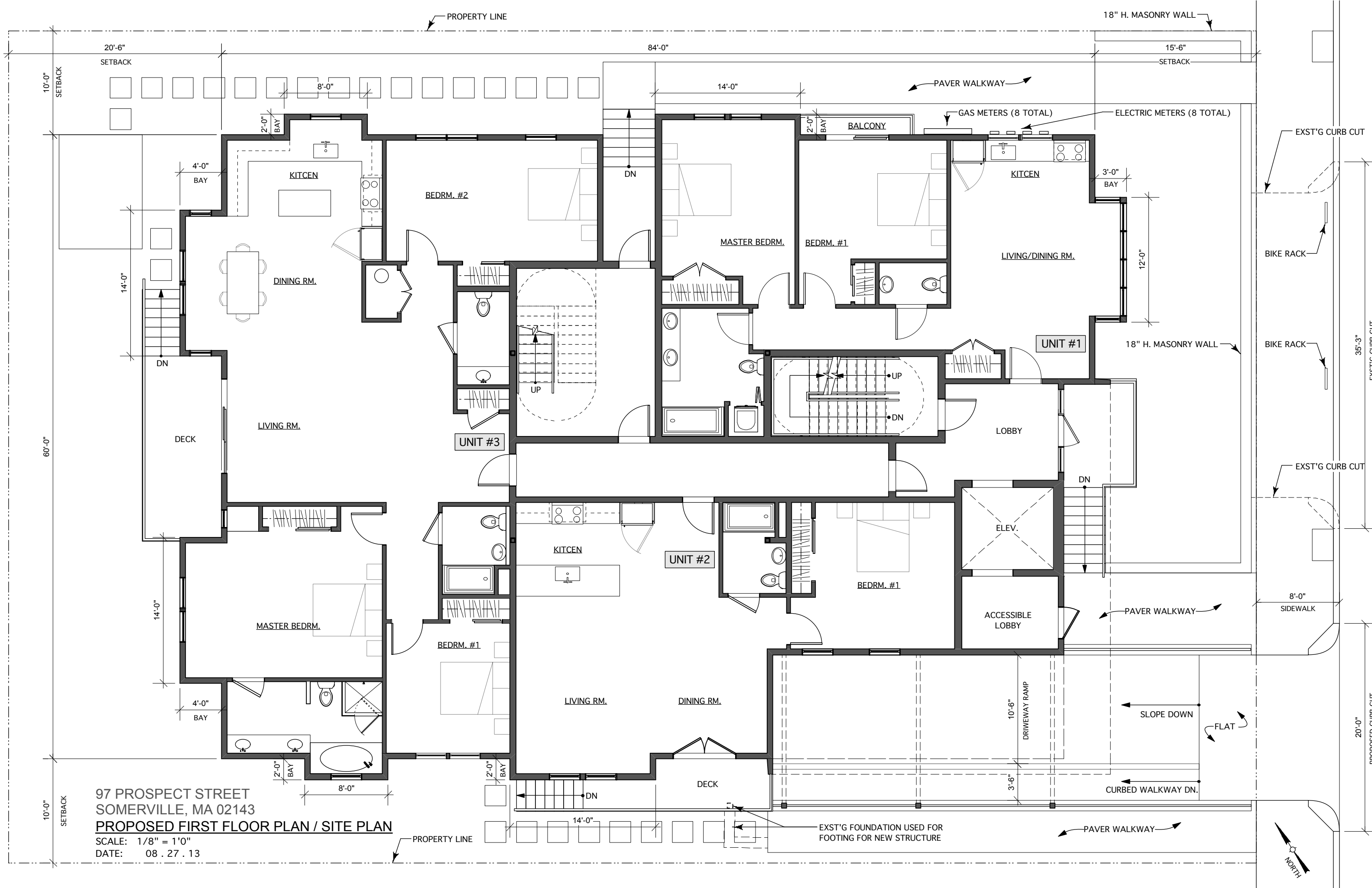


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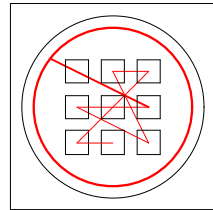
PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"
DATE: 08 . 27 . 13
BY: DV





1 PROPOSED SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



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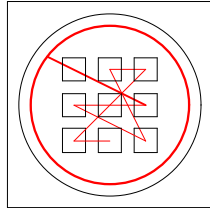
97 PROSPECT STREET
SOMERVILLE, MA 02143

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
DATE: 08.27.13
BY: DV



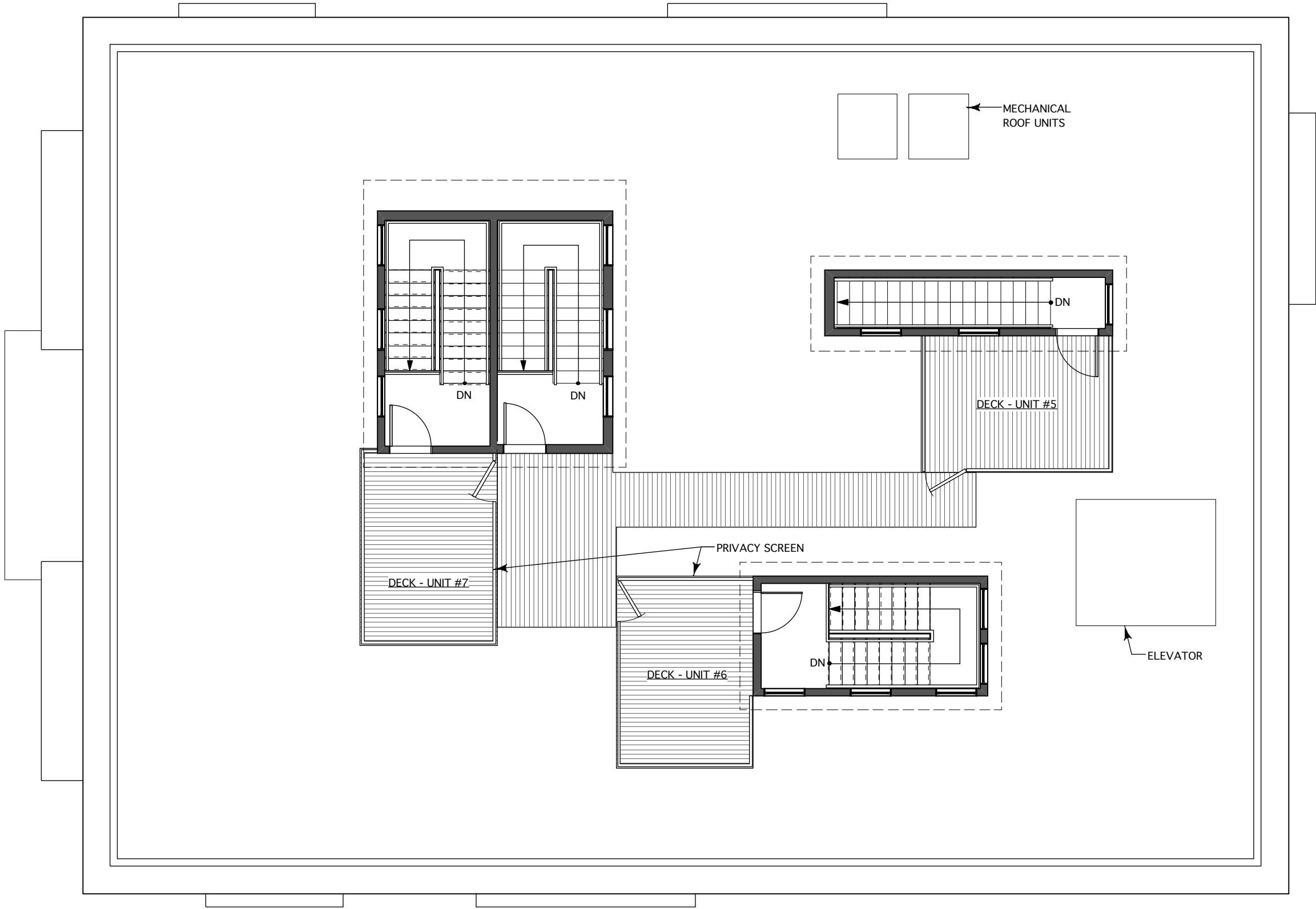
1 PROPOSED THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"



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97 PROSPECT STREET
SOMERVILLE, MA 02143
PROPOSED THIRD FLOOR PLAN

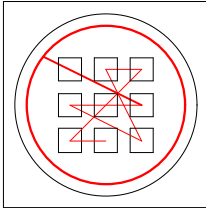
SCALE: 1/8" = 1'-0"
DATE: 08 . 27 . 13
BY: DV





1

PROPOSED FRONT ELEVATION
Scale: 1/8" = 1'-0"



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97 PROSPECT STREET
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PROPOSED ROOF FLOOR PLAN

SCALE: 1/8" = 1'-0"
DATE: 08 . 07 . 13
BY: DV



1

PROPOSED SOUTH FACING ELEVATION

Scale: 1/8" = 1'-0"

97 PROSPECT STREET
SOMERVILLE, MA 02143

PROPOSED SOUTH FACING ELEVATION

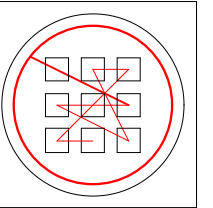
SCALE: 1/8" = 1'-0"

DATE: 08 . 27 . 13



1

PROPOSED REAR ELEVATION
Scale: 1/8" = 1'-0"



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97 PROSPECT STREET
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PROPOSED REAR ELEVATION

SCALE: 1/8" = 1'-0"
DATE: 08 . 27 . 13
BY: DV

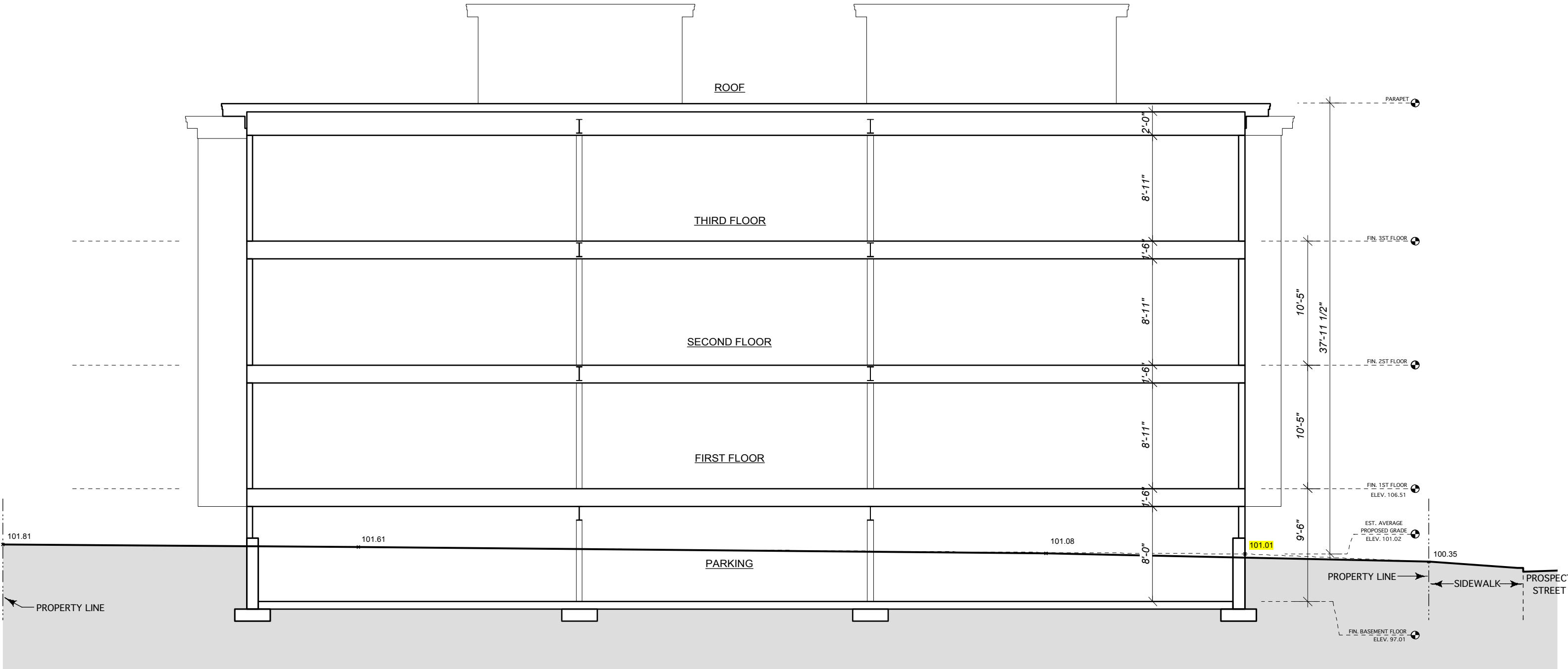


1 PROPOSED NORTH FACING ELEVATION
Scale: 1/8" = 1'-0"

97 PROSPECT STREET
SOMERVILLE, MA 02143

PROPOSED NORTH FACING ELEVATION

SCALE: 1/8" = 1'-0"
DATE: 08 . 27 . 13



1 PROPOSED BUILDING SECTION
Scale: 1/8" = 1'-0"

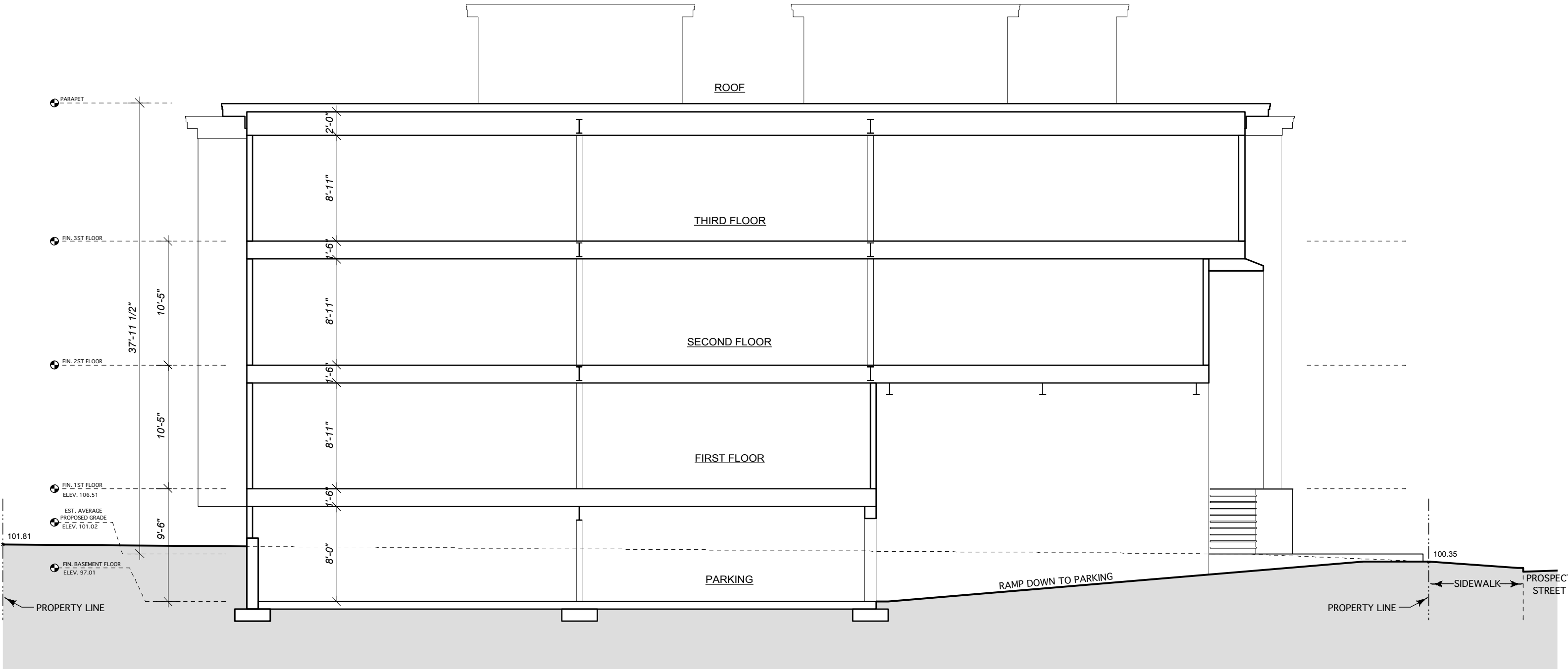
NOTE:
ESTIMATED FINISED GRADES SHOWN.
TO BE ADJUSTED DURING CONSTRUCTION
DOCUMENTS PHASE.

LEGEND:
----- PROPOSED GRADE
———— EXISTING GRADE

97 PROSPECT STREET
SOMERVILLE, MA 02143

SCALE: AS NOTED
DATE: 08-27-2013

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2

PROPOSED BUILDING SECTION (THROUGH RAMP)
Scale: 1/8" = 1'-0"

NOTE:
ESTIMATED FINISED GRADES SHOWN.
TO BE ADJUSTED DURING CONSTRUCTION
DOCUMENTS PHASE.

LEGEND:
----- PROPOSED GRADE
————— EXISTING GRADE

97 PROSPECT STREET
SOMERVILLE, MA 02143

SCALE: AS NOTED
DATE: 08-27-2013

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