

GARAGE FOR
21 ELMWOOD ST

ZONING DATA (EXISTING)

- A. USE: SINGLE-FAMILY RESIDENTIAL
- B. # OF DWELLINGS = 1 UNIT
- C. LOT AREA: 3,750 SQUARE FEET
- D. LOT AREA / # OF DWELLING
UNITS: 3,750 SQUARE FEET PER D.U.
- E. GROSS FLOOR AREA OF FOOTPRINTS OF
ALL BUILDINGS: 1,200 SQUARE FEET
- F. GROUND COVERAGE: 39%
- G. LANDSCAPED AREA: 29%
- H. PERVIOUS AREA: 29%
- I. NET FLOOR AREA: 1,555 SQUARE FEET
- J. FLOOR AREA RATIO (FAR): 0.41
- K. BUILDING HEIGHT: APPROXIMATELY
33 FEET
- L. FRONT YARD SETBACK: 15.29 FEET
- M. REAR YARD SETBACK: 46.5 FEET
- N. SIDE YARD SETBACK (LEFT): 11.4 FEET
- O. SIDE YARD SETBACK (RIGHT): 3.14 FEET
- P. STREET FRONTAGE: 37.5 FEET
- Q. # OF PARKING SPACES: 1
- R. # OF BICYCLE PARKING: N/A
- S. # OF LOADING SPACES: N/A

ELMWOOD ST



EXISTING
DECK

25 ELMWOOD ST
(2.5 STORIES)

EXISTING
GARAGE

EXISTING DRIVEWAY
(CONCRETE AND ASPHALT)

EXISTING
PARKING
SPACE

APPROVED 2-FAMILY RESIDENCE
29 ELMWOOD ST
ZBA CASE 2012-77



IHCDStudio
200 Portland Street
Boston MA 02114
www.HumanCenteredDesign.org

vancini residence

25 elmwood street, somerville, ma

SPECIAL PERMIT APPLICATION

EXISTING SITE PLAN - SCALE: 1/8" = 1'-0"

drawing 1 of 6

30 May 2013

GARAGE FOR
21 ELMWOOD ST

PROPOSED
SIDE YARD
SETBACK
3.14'

EXISTING
SIDE YARD
SETBACK
3.14'

PROPOSED REAR YARD
SETBACK 20.61'
MIN 20'-0"

PORCH

PROPOSED ADDITION
(1 STORY)

25 ELMWOOD ST
(2.5 STORIES)

PORCH

PROPOSED
BAY
6'-1" x 1'-9"

PROPOSED
SIDE YARD
SETBACK
7.03'
MIN 7'-0"

PROPOSED
PATIO

PROPOSED
NON-CONFORMING
TANDEM
PARKING SPACE

EXISTING
PARKING
SPACE

SECTION 8.6
FOOTNOTE
REFERENCES:

- FOR PROPOSED BAYS, REFER TO FOOTNOTES 6 & 14
- FOR SIDE YARD SETBACK, REFER TO FOOTNOTE 10

APPROVED 2-FAMILY RESIDENCE
29 ELMWOOD ST
ZBA CASE 2012-77

ELMWOOD ST

ZONING DATA (PROPOSED)

- A. USE: SINGLE-FAMILY RESIDENTIAL
- B. # OF DWELLINGS = 1 UNIT
- C. LOT AREA: 3,750 SQUARE FEET
- D. LOT AREA / # OF DWELLING UNITS: 3,750 SQUARE FEET PER D.U.
- E. GROSS FLOOR AREA OF FOOTPRINTS OF ALL BUILDINGS: 1,606 SQUARE FEET
- F. GROUND COVERAGE: 49%
- G. LANDSCAPED AREA: 34%
- H. PERVIOUS AREA: 34%
- I. NET FLOOR AREA: 2,416 SQUARE FEET
- J. FLOOR AREA RATIO (FAR): 0.65
- K. BUILDING HEIGHT: APPROXIMATELY 33 FEET
- L. FRONT YARD SETBACK: 15.29 FEET
- M. REAR YARD SETBACK: 20.61 FEET
- N. SIDE YARD SETBACK (LEFT): 7.03 FEET
- O. SIDE YARD SETBACK (RIGHT): 3.14 FEET
- P. STREET FRONTAGE: 37.5 FEET
- Q. # OF PARKING SPACES: 1
- R. # OF BICYCLE PARKING: N/A
- S. # OF LOADING SPACES: N/A

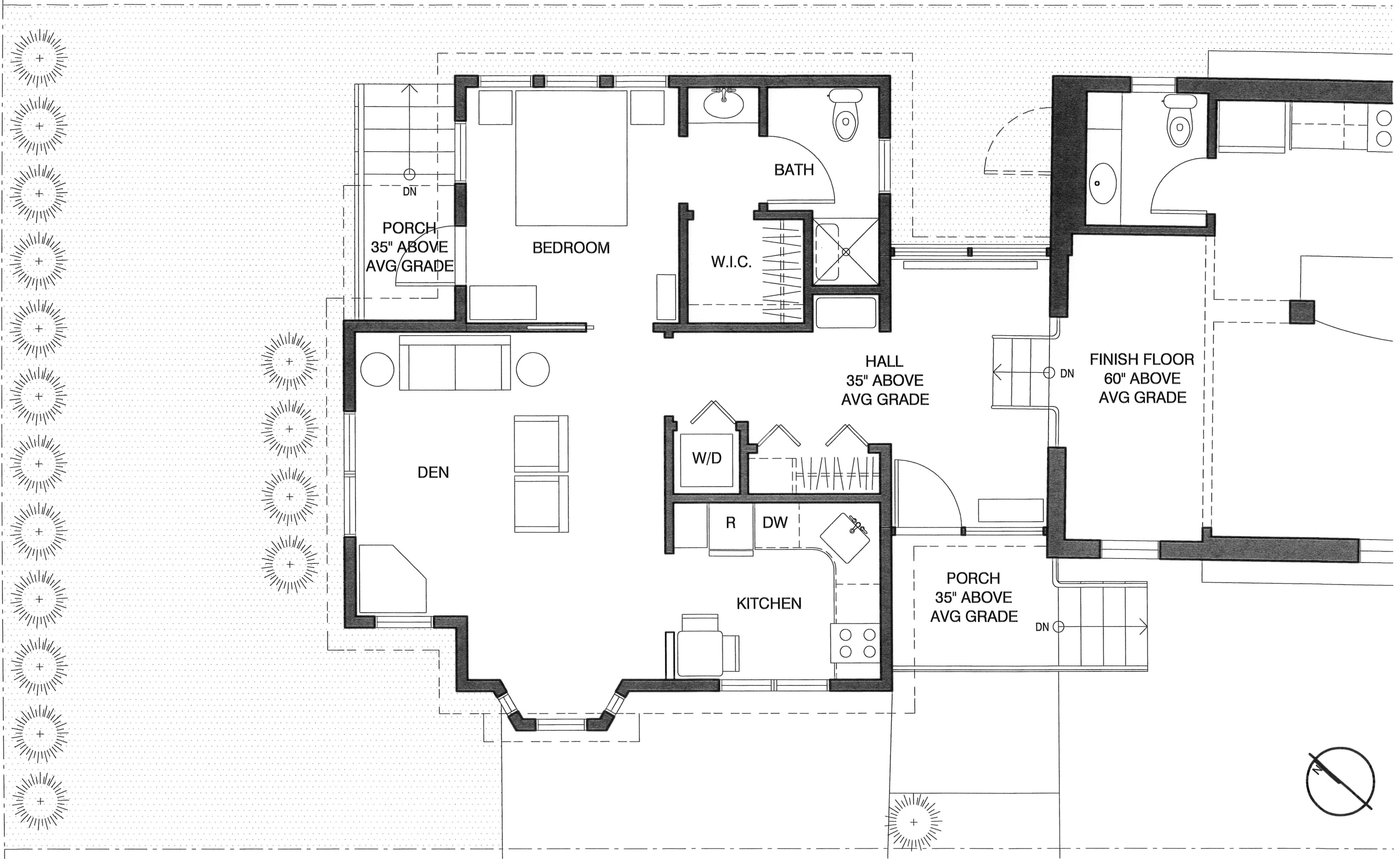


IHCDStudio
200 Portland Street
Boston MA 02114
www.HumanCenteredDesign.org

vancini residence
25 elmwood street, somerville, ma

SPECIAL PERMIT APPLICATION
PROPOSED SITE PLAN - SCALE: 1/8" = 1'-0"

drawing 2 of 6
30 May 2013



EXTERIOR MATERIALS:

ROOF:

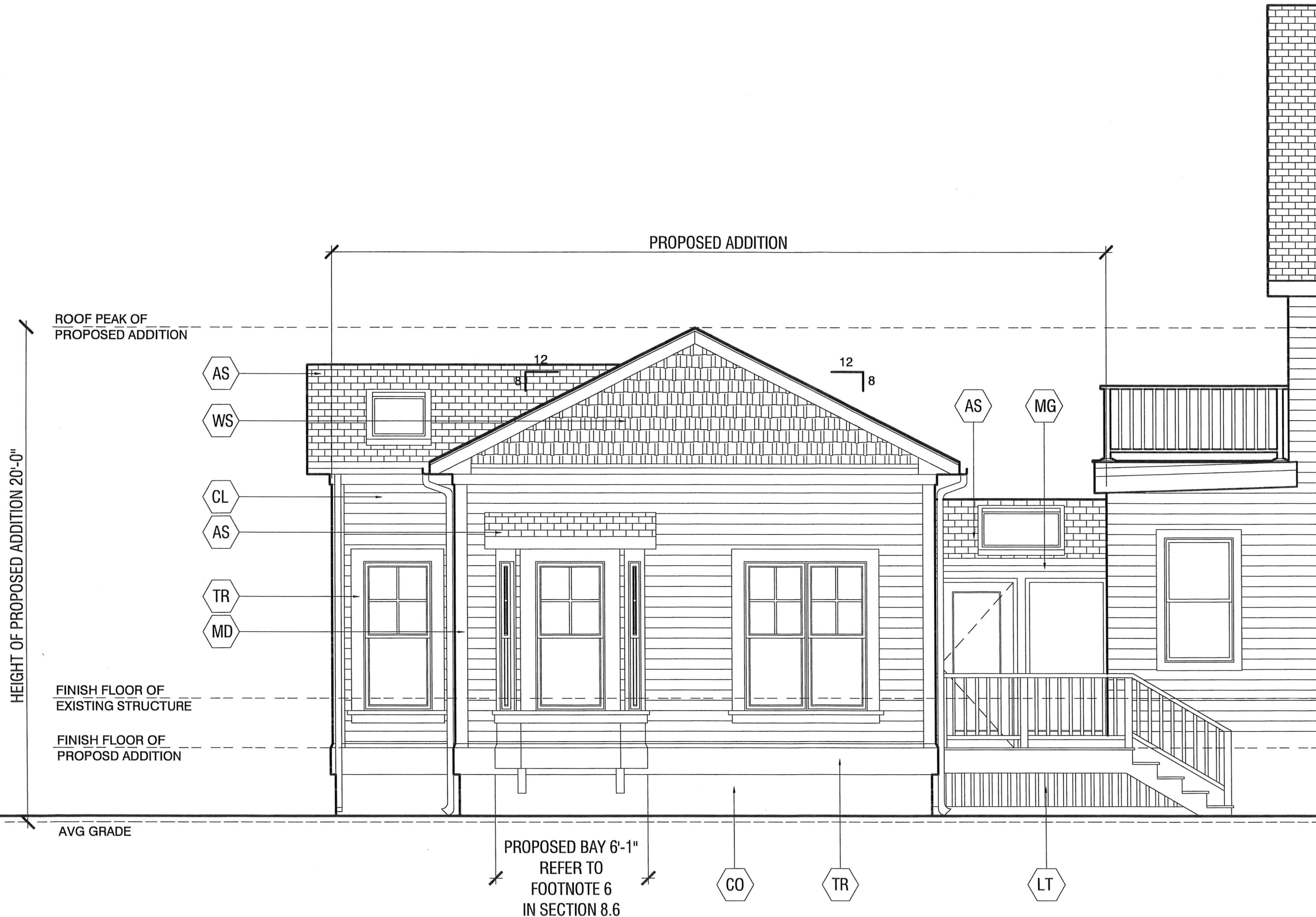
- AS ASPHALT SHINGLES TO MATCH EXISTING
- MG METAL GUTTER - PAINTED TO MATCH FASCIA BOARD

WALLS:

- CL FIBER CEMENT CLAPBOARD
- WS WOOD SHINGLES
- TR FIBER CEMENT TRIM
- LT LATTICE - PAINTED WOOD
- MD METAL DOWNSPOUT - PAINTED TO MATCH SIDING

FOUNDATION:

- CO CONCRETE



EXTERIOR MATERIALS:

ROOF:

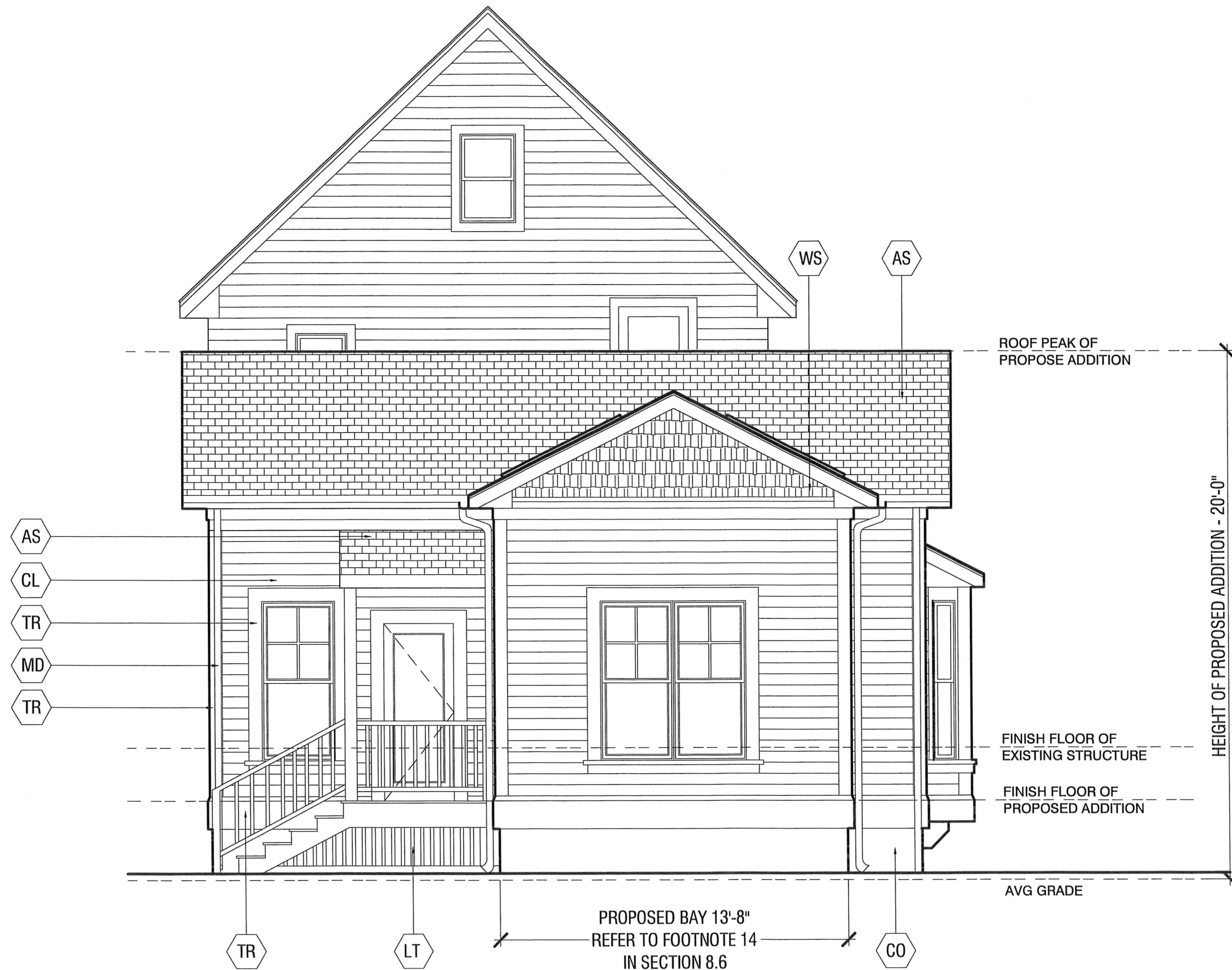
- AS ASPHALT SHINGLES TO MATCH EXISTING
- MG METAL GUTTER - PAINTED TO MATCH FASCIA BOARD

WALLS:

- CL FIBER CEMENT CLAPBOARD
- WS WOOD SHINGLES
- TR FIBER CEMENT TRIM
- LT LATTICE - PAINTED WOOD
- MD METAL DOWNSPOUT - PAINTED TO MATCH SIDING

FOUNDATION:

- CO CONCRETE



EXTERIOR MATERIALS:

ROOF:

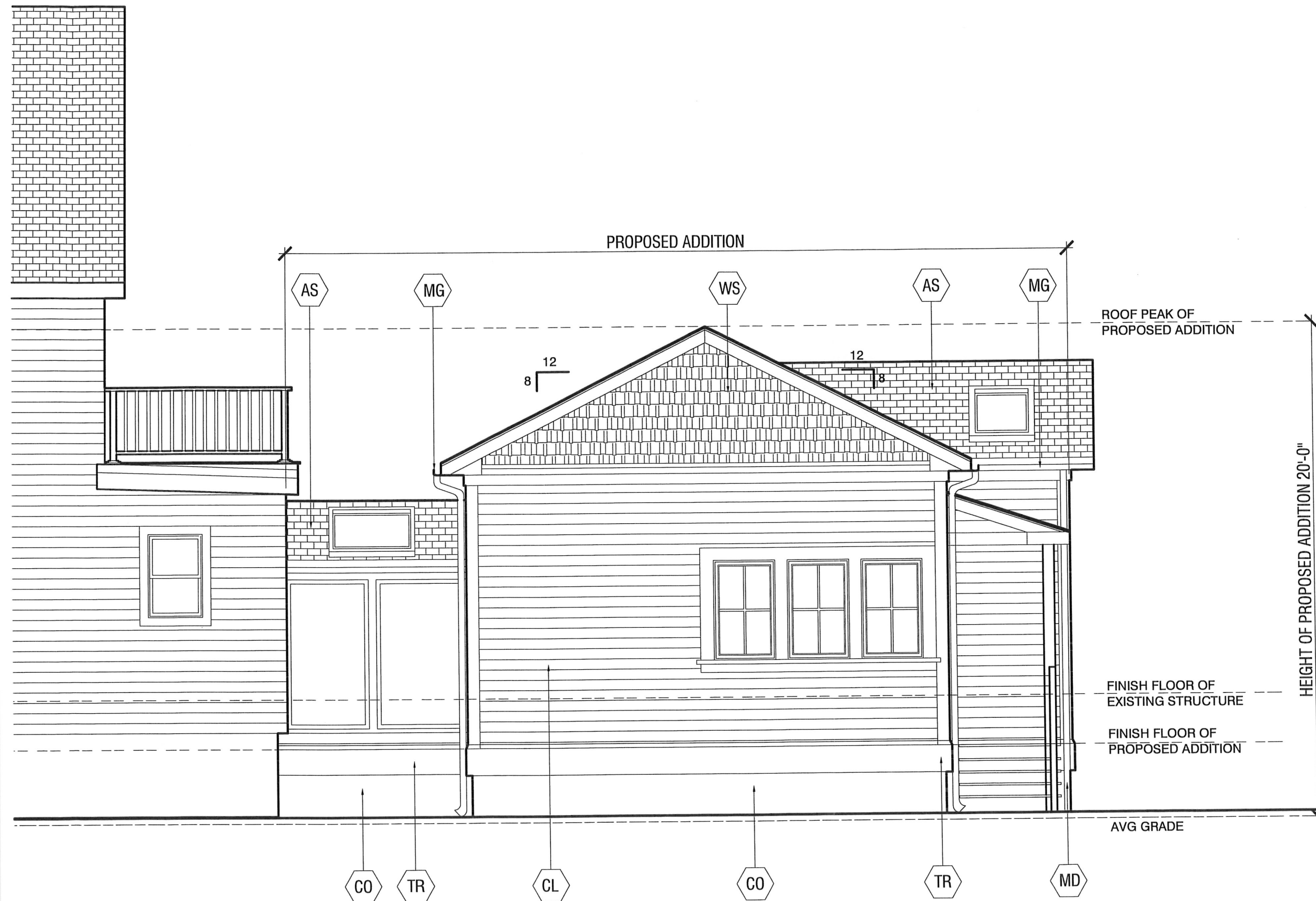
- AS ASPHALT SHINGLES TO MATCH EXISTING
- MG METAL GUTTER - PAINTED TO MATCH FASCIA BOARD

WALLS:

- CL FIBER CEMENT CLAPBOARD
- WS WOOD SHINGLES
- TR FIBER CEMENT TRIM
- LT LATTICE - PAINTED WOOD
- MD METAL DOWNSPOUT - PAINTED TO MATCH SIDING

FOUNDATION:

- CO CONCRETE



drawing 6 of 6

30 May 2013