

# BROADWAY RESIDENCES



## 05-23-2013 SET (REVISED 05-21-13)

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### PROJECT NAME

**Broadway  
Residences**

### PROJECT ADDRESS

315 Broadway  
Somerville, MA 02143

### CLIENT

**Young Investments  
LLC**

### ARCHITECT

**KHALSA DESIGN INC.**



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

### CONSULTANTS:

#### LANDSCAPE ARCHITECT

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T: x

W: x

#### CIVIL ENGINEER

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x

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T: x

F: x

#### STRUCTURAL ENGINEER

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T: x

F: x

#### MEP ENGINEER

x

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T: x

F: x

W: x

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### REGISTRATION

Project number 12025  
Date 03-04-2013  
Drawn by MG / KK  
Checked by JSK  
Scale

### REVISIONS

No.	Description	Date
1	Revision 1	05-08-13
2	Revision 2	05-21-13

Cover Sheet

# A-000

Broadway Residences

HEATH STREET

TEMPLE STREET

LANGMAID AVE

BROADWAY

LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	
CONTOUR	
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	
DRAIN LINE	
WATER LINE	
GAS LINE	
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
ELECTRIC MANHOLE	
TELECOMMUNICATION MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	
CONIFEROUS TREE	



ZONING CHART		
NEWTON, MASSACHUSETTS		
ZONE: CDD55	SUBMISSION: EXISTING	
REGULATION	REQUIRED	EXISTING
MIN. LOT AREA	N/A	33,676±s.f.
MIN. LOT AREA/DWELLING UNIT		
1-9 Units (s.f.)	600'	
10 or more Units (s.f.)	600'	
LOT COVERAGE	80.0%	—%
LANDSCAPE AREA MIN. % OF LOT	10.0%	—%
F.A.R.	3	—
BUILDING HEIGHT	55.0'	—
AVERAGE GRADE	—	—
FRONT SETBACK	N/A	N/A
SIDE SETBACK	N/A	N/A
REAR SETBACK	N/A	N/A
FRONTAGE	N/A	N/A

TOPOGRAPHIC SITE PLAN  
SOMERVILLE, MASSACHUSETTS  
SHOWING EXISTING CONDITIONS AT  
#315 BROADWAY

SCALE: 1in.=20ft. DATE: NOVEMBER 30, 2012

PROJECT: 212217

VTP  
ASSOCIATES  
INC.

LAND SURVEYORS — CIVIL ENGINEERS, 132  
ADAMS STREET 2ND FLOOR SUITE 3  
NEWTON, MA 02458  
(617) 332-6271

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CONSULTANTS:

LANDSCAPE ARCHITECT

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CIVIL ENGINEER

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STRUCTURAL ENGINEER

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MEP ENGINEER

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REGISTRATION

Project number	12025
Date	03-04-2013
Drawn by	Author
Checked by	Checker
Scale	1" = 20'-0"

REVISIONS

No.	Description	Date

CIVIL

C-01

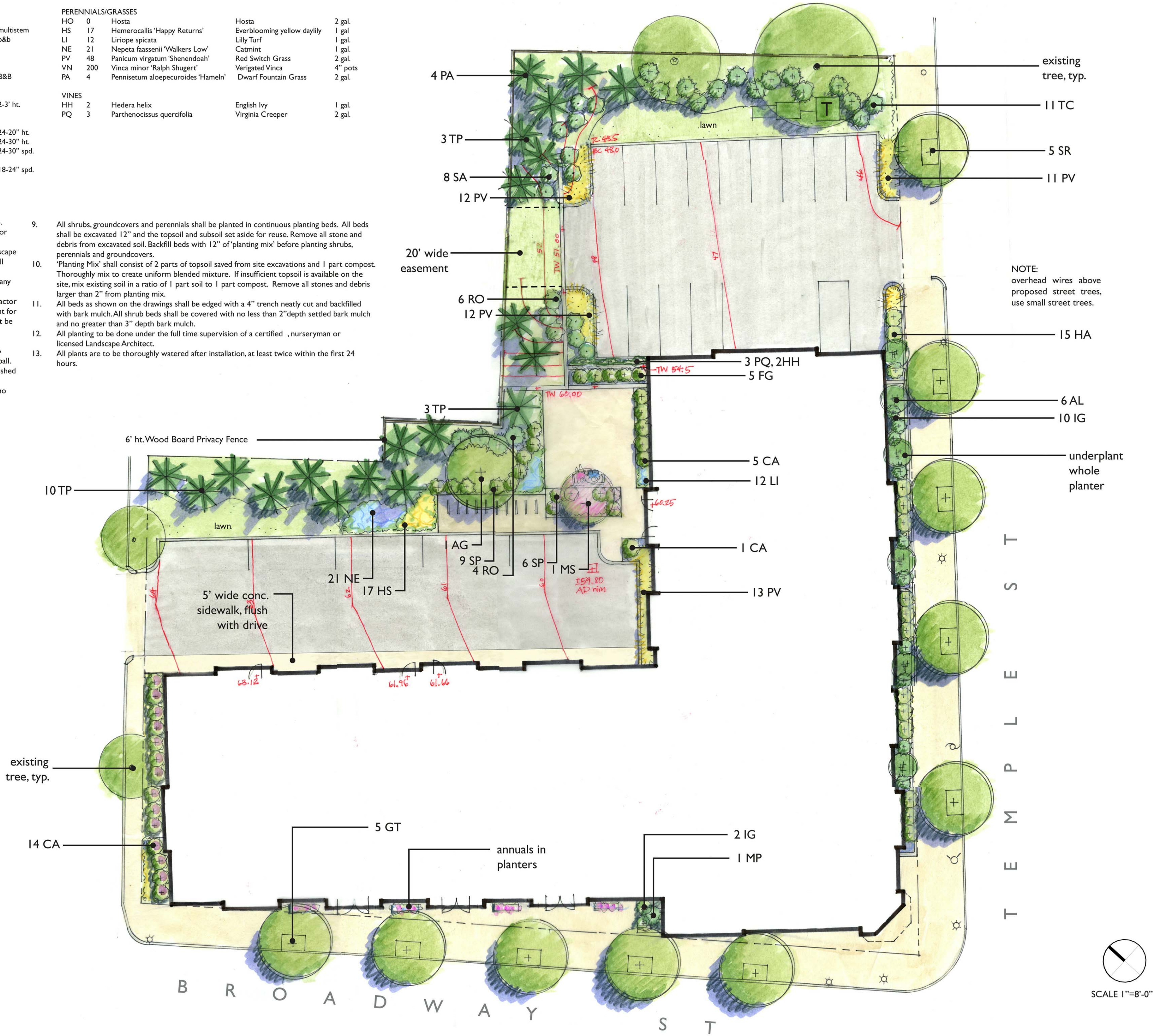
Broadway Residences

PLANT LIST	KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES						
AG	1		Acer griseum	Paperbark Maple	2-2.5" cal.	
AL	6		Amelanchier laevis	Allegheny Serviceberry	2-2.5" cal.	multistem
GT	5		Gleditsia triacanthos 'inermis'	Thornless Honeylocust	2.5-3" cal.	b&b
MS	1		Magnolia soulangiana	Magnolia	8-10' ht.	
PA	4		Picea abies	Norway Spruce	7-8' ht.	
SR	5		Syringa reticulata	Japanese Tree Lilac	1.5-2" cal.	
TP	16		Thuja plicata 'Green Giant'	Green Giant Arborvitae	8-10' Ht.	B&B
SHRUBS						
CA	20		Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	2-3' ht.
FG	5		Fothergilla 'gardenii'	Dwarf Fothergilla	30" ht.	
HA	15		Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	
IG	10		Ilex glabra	Inkberry	5 gal.	24-20" ht.
MP	1		Myrica pensylvanica	Bayberry	5 gal.	24-30" ht.
RO	10		Rhododendron 'Chionoides'	White Flowering Rhodo.	5 gal.	24-30" spd.
SA	8		Spiraea j. 'Anthony Waterer'	Spiraea	36" ht.	
SP	15		Spiraea j. 'Little Princess'	Little Princess Spiraea	5 gal.	18-24" spd.
TC	11		Taxus cuspidata	Japanese Yew	30" ht.	

PERENNIALS/GRASSES					
HO	0	Hosta	Hosta	2 gal.	
HS	17	Hemerocallis 'Happy Returns'	Everblooming yellow daylily	1 gal.	
LI	12	Liriope spicata	Lilly Turf	1 gal.	
NE	21	Nepeta faassenii 'Walkers Low'	Catmint	1 gal.	
PV	48	Panicum virgatum 'Shenendoah'	Red Switch Grass	2 gal.	
VN	200	Vinca minor 'Ralph Shugert'	Verigated Vinca	4" pots	
PA	4	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	2 gal.	
VINES					
HH	2	Hedera helix	English Ivy	1 gal.	
PQ	3	Parthenocissus quercifolia	Virginia Creeper	2 gal.	

PLANTING NOTES

- All plant material shall be approved by the Landscape Architect prior to arrival on the site.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc.
- No substitution of plant species will be allowed without the written approval of the Landscape Architect. Any proposed substitutions of plant species shall be a plant of equivalent overall form, height and branching habit, flower, leaf and fruit, color and time of bloom.
- The Contractor shall locate and verify all utility line locations prior to staking and report any conflicts to the Landscape Architect.
- All plants shall be staked out in their approximate location by the Contractor. The Contractor shall adjust the locations of these stakes as required by the Landscape Architect to account for subsurface utilities, other field conditions and to achieve design intent. Final locations must be approved by the Landscape Architect prior to planting.
- No planting shall be installed before acceptance of rough grading of topsoil.
- The rootballs of trees shall be planted 3" above adjacent finished grade. Excavate holes no deeper than the rootball of trees. Holes shall be at least 3' greater in diameter than root ball. Backfill planting hole with 'planting mix'. All plants which settle out of plumb or below finished grade shall be immediately replanted.
- The rootballs of shrubs shall be planted 2" above adjacent finished grade. Excavate holes no deeper than the rootball of shrubs.
- All shrubs, groundcovers and perennials shall be planted in continuous planting beds. All beds shall be excavated 12" and the topsoil and subsoil set aside for reuse. Remove all stone and debris from excavated soil. Backfill beds with 12" of 'planting mix' before planting shrubs, perennials and groundcovers.
- 'Planting Mix' shall consist of 2 parts of topsoil saved from site excavations and 1 part compost. Thoroughly mix to create uniform blended mixture. If insufficient topsoil is available on the site, mix existing soil in a ratio of 1 part soil to 1 part compost. Remove all stones and debris larger than 2" from planting mix.
- All beds as shown on the drawings shall be edged with a 4" trench neatly cut and backfilled with bark mulch. All shrub beds shall be covered with no less than 2" depth settled bark mulch and no greater than 3" depth bark mulch.
- All planting to be done under the full time supervision of a certified , nurseryman or licensed Landscape Architect.
- All plants are to be thoroughly watered after installation, at least twice within the first 24 hours.



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CONSULTANTS:

LANDSCAPE ARCHITECT

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W: x

CIVIL ENGINEER

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STRUCTURAL ENGINEER

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MEP ENGINEER

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Date 03-04-2013

Drawn by MG / KK

Checked by JSK

Scale

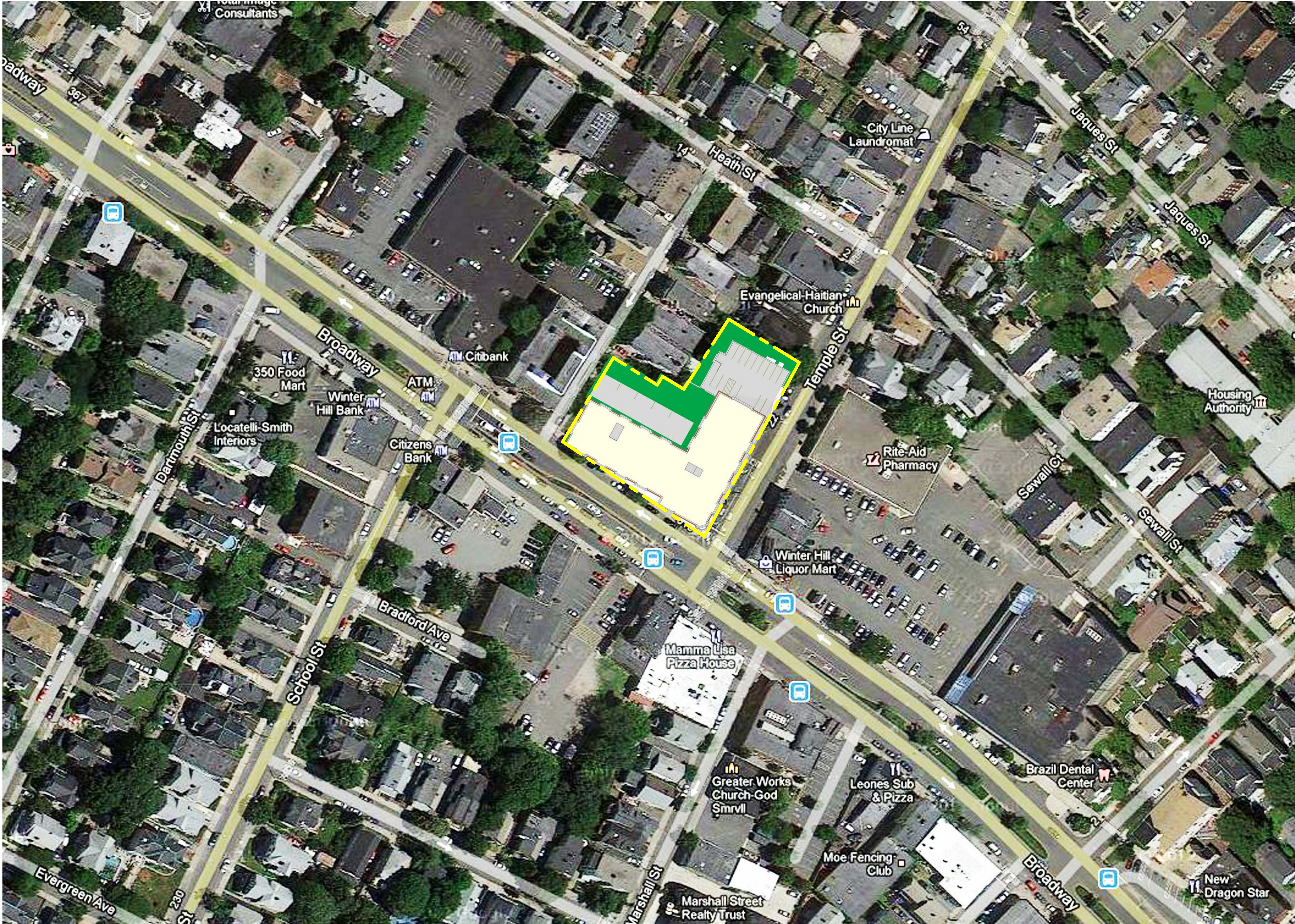
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Landscape Plan

L-01

Broadway Residences



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Aerial View of Site  
Location &  
Surrounding  
Context

**A-008**

Broadway Residences



VIEW FROM LANGMAIND AVE



VIEW FROM TEMPLE STREET



ELEVATION VIEW FROM BROADWAY ST



PANORAMIC VIEW FROM BROADWAY ST

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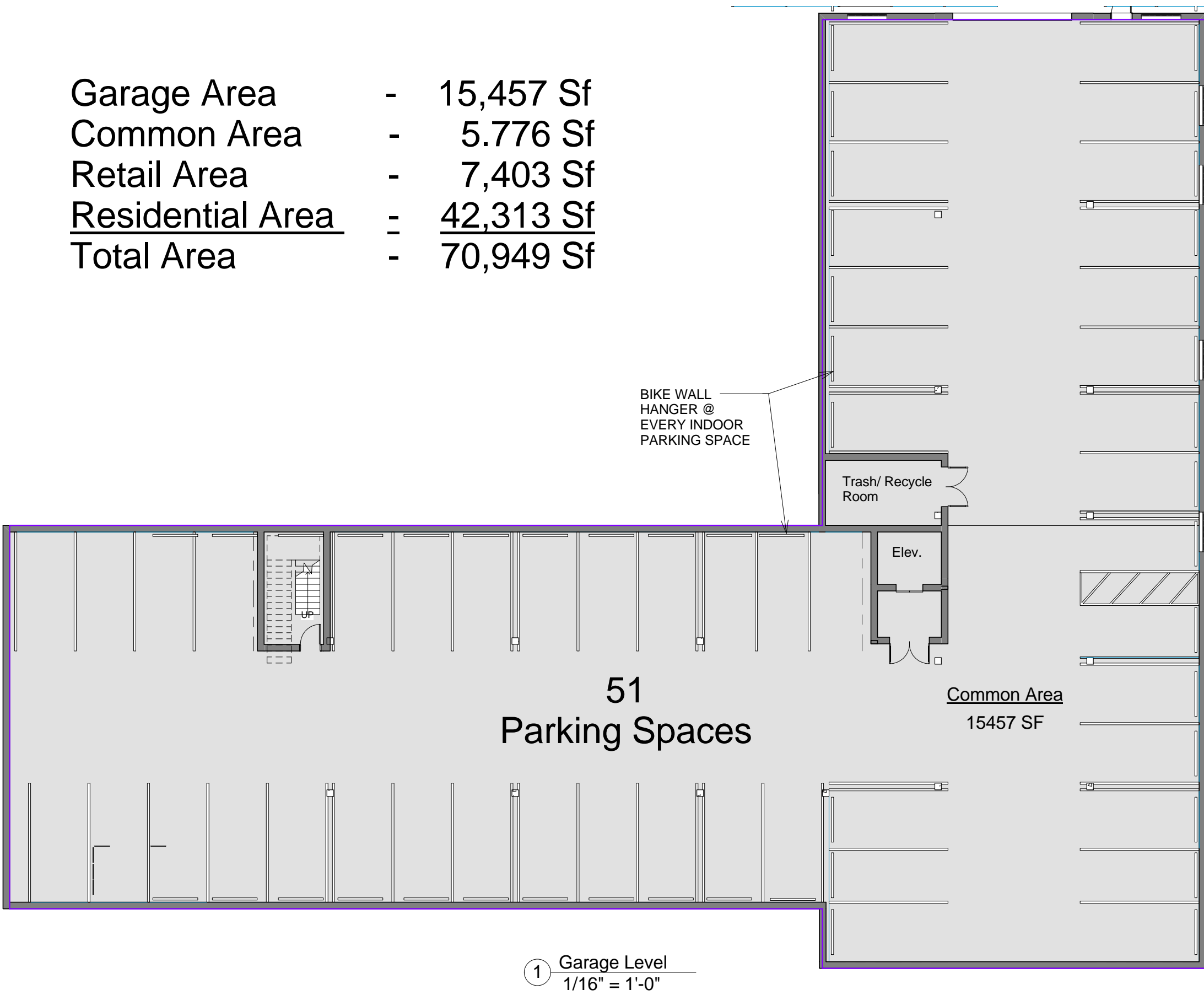
EXISTING SITE  
PHOTOS

**A-009**  
Broadway Residences

Room Schedule		
Name	Area	Level

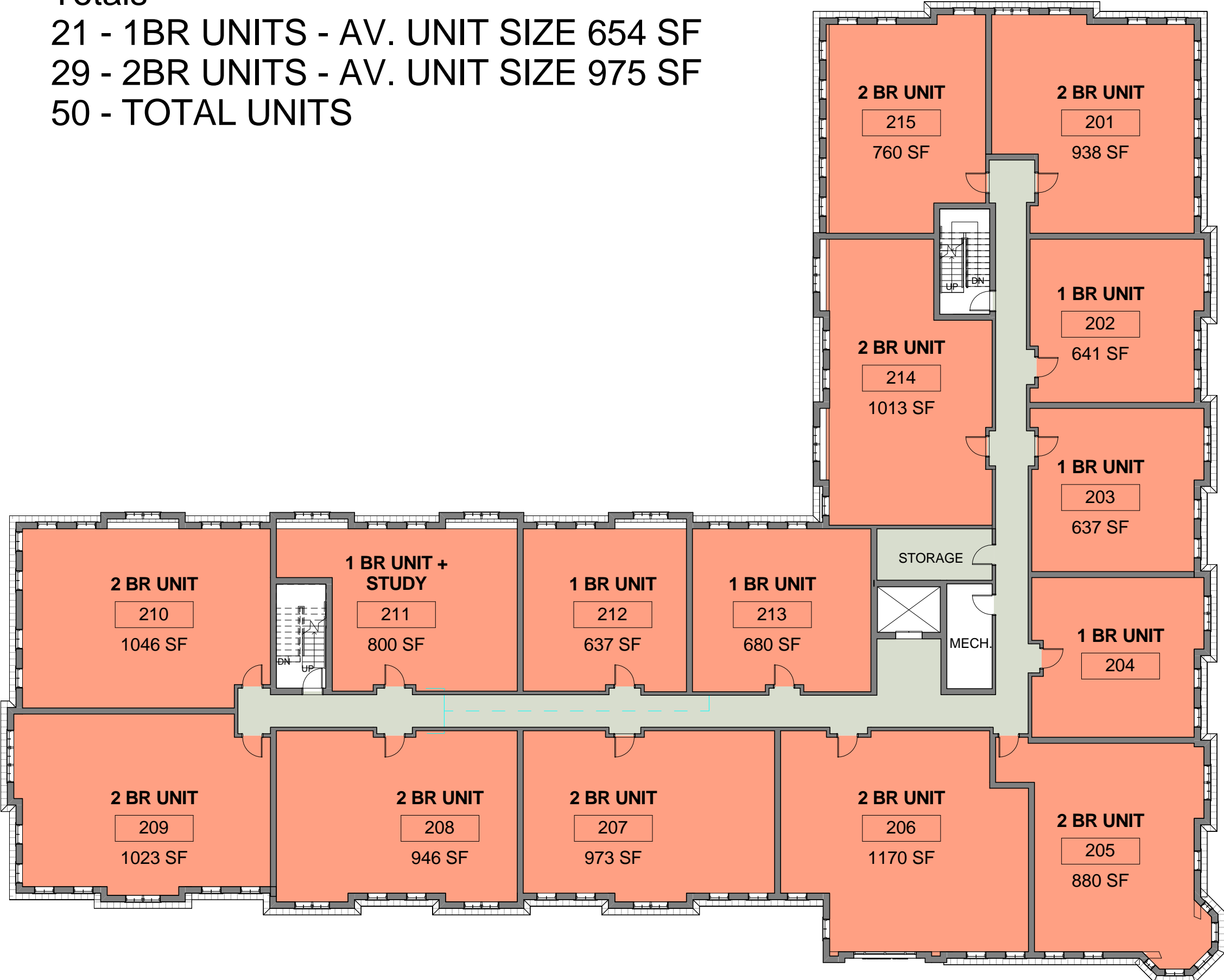
1 BR UNIT		
1 BR UNIT	760 SF	1st Floor level
1 BR UNIT	633 SF	1st Floor level
1 BR UNIT	636 SF	1st Floor level
1 BR UNIT	613 SF	1st Floor level
1 BR UNIT	610 SF	1st Floor level
1 BR UNIT	786 SF	1st Floor level
COMMON SPACE		
COMMON SPACE	781 SF	1st Floor level
COMMON SPACE	383 SF	1st Floor level
COMMON SPACE	518 SF	1st Floor level
COMMON SPACE	75 SF	1st Floor level
COMMON SPACE	55 SF	1st Floor level
COMMON SPACE	25 SF	1st Floor level
RETAIL SPACE		
RETAIL SPACE	1454 SF	1st Floor level
RETAIL SPACE	1416 SF	1st Floor level
RETAIL SPACE	1426 SF	1st Floor level
RETAIL SPACE	1007 SF	1st Floor level
RETAIL SPACE	1796 SF	1st Floor level
RETAIL SPACE	67 SF	1st Floor level
RETAIL SPACE	79 SF	1st Floor level
RETAIL SPACE	79 SF	1st Floor level
RETAIL SPACE	79 SF	1st Floor level
1 BR UNIT		
1 BR UNIT	637 SF	2nd Floor Level
1 BR UNIT	637 SF	2nd Floor Level
1 BR UNIT	641 SF	2nd Floor Level
1 BR UNIT	680 SF	2nd Floor Level
1 BR UNIT	619 SF	2nd Floor Level
1 BR UNIT + STUDY		
1 BR UNIT + STUDY	800 SF	2nd Floor Level
2 BR UNIT		
2 BR UNIT	760 SF	2nd Floor Level
2 BR UNIT	938 SF	2nd Floor Level
2 BR UNIT	1013 SF	2nd Floor Level
2 BR UNIT	880 SF	2nd Floor Level
2 BR UNIT	1170 SF	2nd Floor Level
2 BR UNIT	973 SF	2nd Floor Level
2 BR UNIT	946 SF	2nd Floor Level
2 BR UNIT	1023 SF	2nd Floor Level
2 BR UNIT	1046 SF	2nd Floor Level
COMMON SPACE		
COMMON SPACE	140 SF	2nd Floor Level
COMMON SPACE	1175 SF	2nd Floor Level
1 BR UNIT		
1 BR UNIT	641 SF	3rd Floor Level
1 BR UNIT	637 SF	3rd Floor Level
1 BR UNIT	637 SF	3rd Floor Level
1 BR UNIT	680 SF	3rd Floor Level
1 BR UNIT	619 SF	3rd Floor Level
1 BR UNIT + STUDY		
1 BR UNIT + STUDY	800 SF	3rd Floor Level
2 BR UNIT		
2 BR UNIT	938 SF	3rd Floor Level
2 BR UNIT	880 SF	3rd Floor Level
2 BR UNIT	1168 SF	3rd Floor Level
2 BR UNIT	973 SF	3rd Floor Level
2 BR UNIT	946 SF	3rd Floor Level
2 BR UNIT	1023 SF	3rd Floor Level
2 BR UNIT	1046 SF	3rd Floor Level
2 BR UNIT	1013 SF	3rd Floor Level
2 BR UNIT	760 SF	3rd Floor Level
COMMON SPACE		
COMMON SPACE	140 SF	3rd Floor Level
COMMON SPACE	1175 SF	3rd Floor Level
1 BR UNIT		
1 BR UNIT	637 SF	4th Floor Level
1 BR UNIT	641 SF	4th Floor Level
1 BR UNIT	680 SF	4th Floor Level
2 BR UNIT		
2 BR UNIT	760 SF	4th Floor Level
2 BR UNIT	938 SF	4th Floor Level
2 BR UNIT	1289 SF	4th Floor Level
2 BR UNIT	839 SF	4th Floor Level
2 BR UNIT	1166 SF	4th Floor Level
2 BR UNIT	973 SF	4th Floor Level
2 BR UNIT	1023 SF	4th Floor Level
2 BR UNIT	1046 SF	4th Floor Level
2 BR UNIT	1013 SF	4th Floor Level
2 BR UNIT	946 SF	4th Floor Level
2 BR UNIT	800 SF	4th Floor Level
COMMON SPACE		
COMMON SPACE	140 SF	4th Floor Level
COMMON SPACE	1169 SF	4th Floor Level

Garage Area - 15,457 Sf  
Common Area - 5.776 Sf  
Retail Area - 7,403 Sf  
Residential Area - 42,313 Sf  
Total Area - 70,949 Sf



UNIT BREAKDOWN

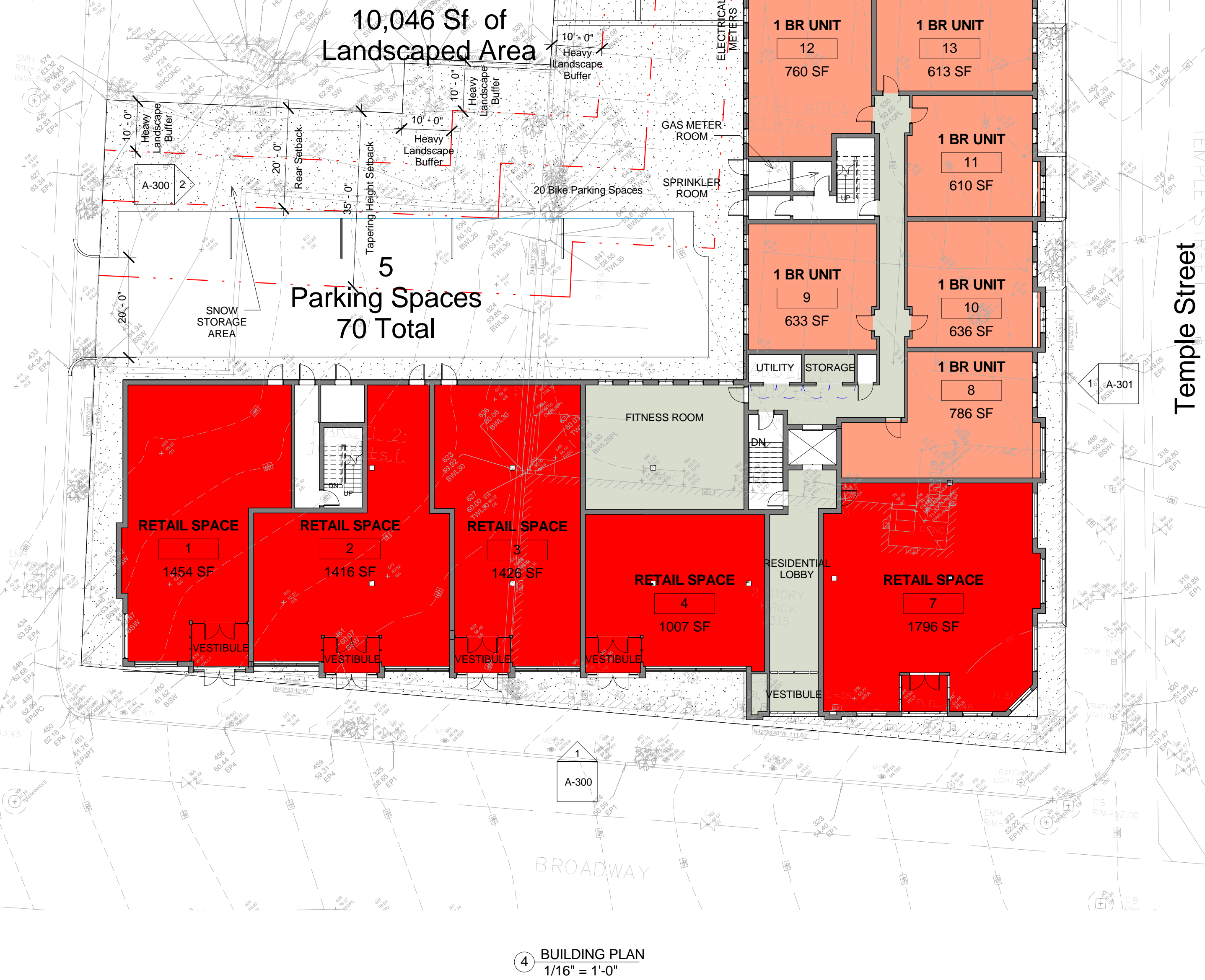
1st Floor - 6 DU - 6 (1Br)  
2nd Floor - 15 DU - 5 (1Br) + 9 (2Br) + 1 (1Br/Study)  
3rd Floor - 15 DU - 5 (1Br) + 9 (2Br) + 1 (1Br/Study)  
4th Floor - 14 DU - 3 (1Br) + 11 (2Br)  
Totals  
21 - 1BR UNITS - AV. UNIT SIZE 654 SF  
29 - 2BR UNITS - AV. UNIT SIZE 975 SF  
50 - TOTAL UNITS



2ND & 3RD FLOOR AREA  
1/16" = 1'-0"

315 Broadway Zoning Summary

CCD 55 Zone Dimensional Controls (Table 8.5)	Required	Allowed	Proposed
Min Lot Size (sq.ft.)	NA	33,676.00	33,676.00
Lot Area/unit (min. sq.ft.)	600.00	601.00	601.00
# Units Based on Lot Area	50.00	50.00	50.00
Max. Ground Coverage (%)	80.00	80.00	46.0%
Max. Ground Coverage (sf)	26,922.40	26,922.40	15,520.00
Landscape Area Min. % Lot	10.00	10.00	31.00%
Landscape Area Min. sf	3,365.30	3,365.30	10,450.00
Floor Area Ratio (2, 23)	3.00	3.00	1.87
Floor Area (sq. ft.)	100,959.00	100,959.00	63,074.00
Building Max. Height	N/A	N/A	4.00
Stories	55.00	55.00	48.75
Height (23)	N/A	N/A	48.75
Setbacks	N/A	N/A	VARIES
Front Setback (5a, 5b, 5c, 17)	N/A	N/A	35' MIN.
Side Setback (5a, 6, 10, 12, 17)	N/A	20'	35' MIN.
Rear Setback (5b, 13, 14, 15, 17)	N/A	20'	35' MIN.
Lot Frontage	30.00	378.00	378.00
Parking Auto	51.00	51.00	51.00
1 sp/du (1-2 BRs) x 50	0.00	0.00	0.00
2 sp/du (3+ BRs) x 0	N/A	0.00	0.00
Visitors on CCD	6.00	10.00	10.00
Medium Retail 7,509 sf @ 1/ 1500 sf	56.00	61.00	70.00
Total	56.00	61.00	70.00
Loading - Retail 5,000sf - 20,000 sf	0.00	0.00	0.00
Parking Bikes	25.00	25.00	50.00
CCD Residential - 1 / 2du	2.00	2.00	20.00
Retail - 1 / 5,000 sf	27.00	27.00	70.00
Total	13.4	13.4	0.00
Compact spaces (max) 20%	3.00	3.00	4.00
Handicap spaces***	3.00	3.00	4.00



NOTES TO TABLE 8.5

22. Transition requirements apply for parcels abutting a residential district (RA, RB or RC) pursuant to Section 6.1.22.G (Transition to Abutting Residential Districts)

LANDSCAPING REQUIREMENTS

**Section 10.3. General Landscaped Area Requirements.** In every instance where there is a required percentage of lot area devoted to landscaping, stipulated as the minimum landscaped area under Article 8 of this Ordinance, there shall be a minimum of two (2) kinds of landscape cover, using some combination of trees, shrubs, and/or ground cover. On each such lot, there shall be a minimum of one (1) tree for each one thousand (1,000) square feet of such space or fraction thereof. The required minimum landscaped area may be located on the development lot or in the immediately adjacent street right-of-way when street tree plantings are utilized.

**Section 10.4. Parking Lot Landscaping Requirements.** Where the provision of off-street parking for twenty (20) or more cars is required under the terms of this Ordinance, some of a lot's minimum landscaped area (as stipulated in Article 8) shall be located so that there shall be landscaped areas within the parking lot and/or immediately adjacent to and within five (5) feet of the perimeter of said parking area(s) in the minimum amount of twenty-four (24) square feet for each parking space. The minimum width of each said area shall be three (3) feet, and the minimum area shall be twenty-four (24) square feet. The required landscaped area need not be contiguous, but it is recommended that no parking space be located more than ninety (90) feet from a landscaped area. The strict provisions above shall not apply where provision of required off-street parking is made within a parking garage structure. However, landscaped area shall be provided adjacent to any parking garage structure, particularly those at or above grade, in a manner allowing for the screening and buffering of the structure from the view of abutting properties and thorough fares. Additionally, there shall be at least some plant material meeting the specifications of Section 10.5 within each separate landscaped area, preferably trees; said trees may be included in computing any total number of trees required in the landscaped area of a lot per Section 10.3. All plant materials in parking areas shall be kept pruned so as to create not hazard to drivers or pedestrians. Some form of water facility or irrigation should be provided to establish and maintain the plants within the parking lot area.

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2	Revision 2	05-21-13

Building Plans &  
Zoning Study

A-010

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17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:  
LANDSCAPE ARCHITECT

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T: x  
W: x

CIVIL ENGINEER

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T: x  
F: x

STRUCTURAL ENGINEER

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MEP ENGINEER

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W: x

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Date 03-04-2013  
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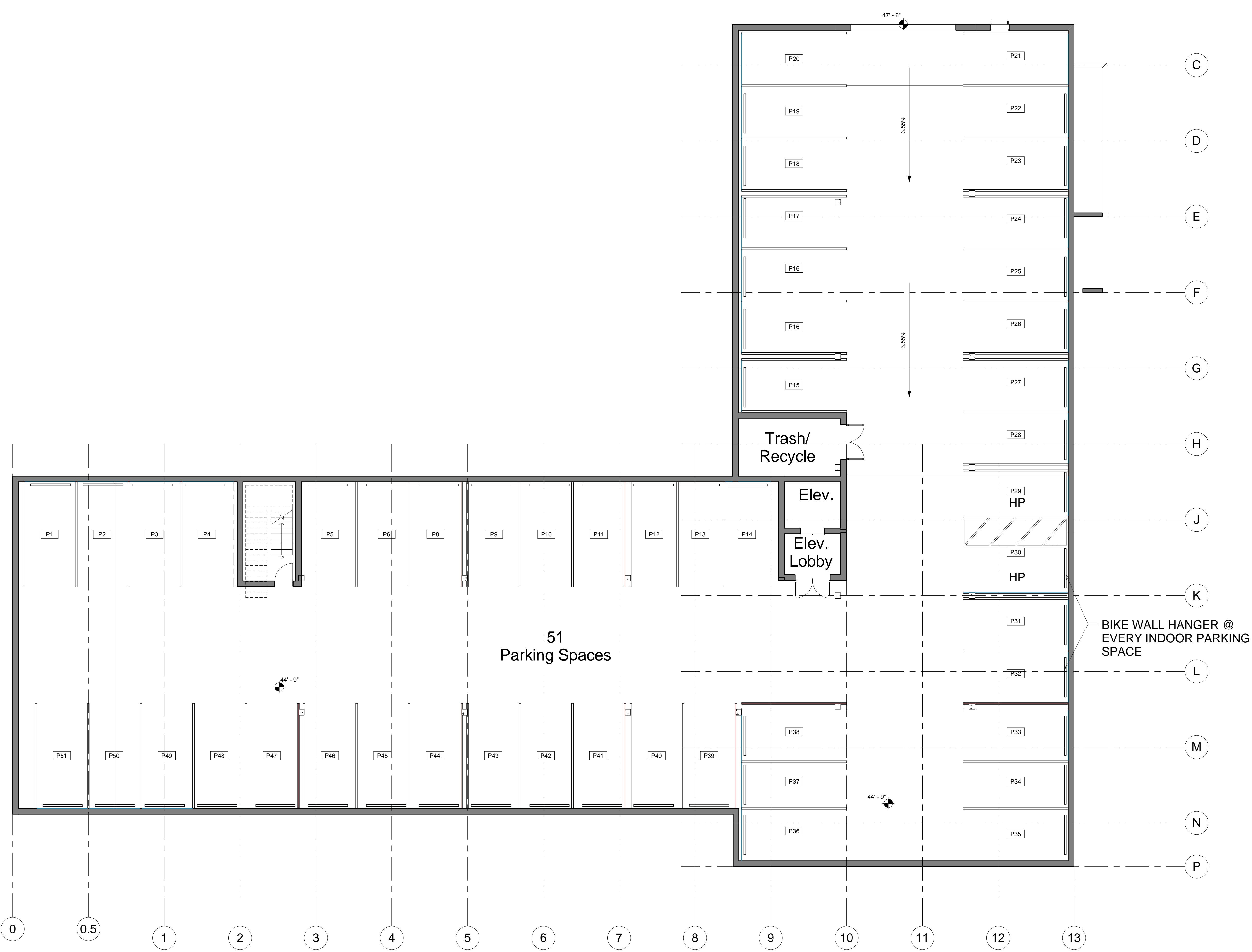
REVISIONS

No.	Description	Date
1	Revision 1	05-08-13
2	Revision 2	05-21-13

**GARAGE FLOOR  
PLAN**

**A-100**

Broadway Residences



1 Garage Level  
1/8" = 1'-0"



PROJECT NAME  
**Broadway  
Residences**

PROJECT ADDRESS  
315 Broadway  
Somerville, MA 02143

CLIENT  
**Young Investments  
LLC**

ARCHITECT  
**KHALSA DESIGN INC.**



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REVISIONS

No.	Description	Date
2	Revision 2	05-21-13

**FIRST FLOOR  
PLAN**

**A-101**  
Broadway Residences



1 2nd Floor Level  
1/8" = 1'-0"

PROJECT NAME  
**Broadway  
Residences**

PROJECT ADDRESS  
315 Broadway  
Somerville, MA 02143

CLIENT  
**Young Investments  
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CIVIL ENGINEER  
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REVISIONS		
No.	Description	Date
2	Revision 2	05-21-13

**SECOND & THIRD  
FLOOR PLAN**

**A-102**

Broadway Residences

PROJECT NAME

Broadway  
Residences

PROJECT ADDRESS

315 Broadway  
Somerville, MA 02143

CLIENT

Young Investments  
LLC

ARCHITECT

KHALSA DESIGN INC.



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LANDSCAPE ARCHITECT

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CIVIL ENGINEER

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STRUCTURAL ENGINEER

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MEP ENGINEER

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Scale 1/8" = 1'-0"

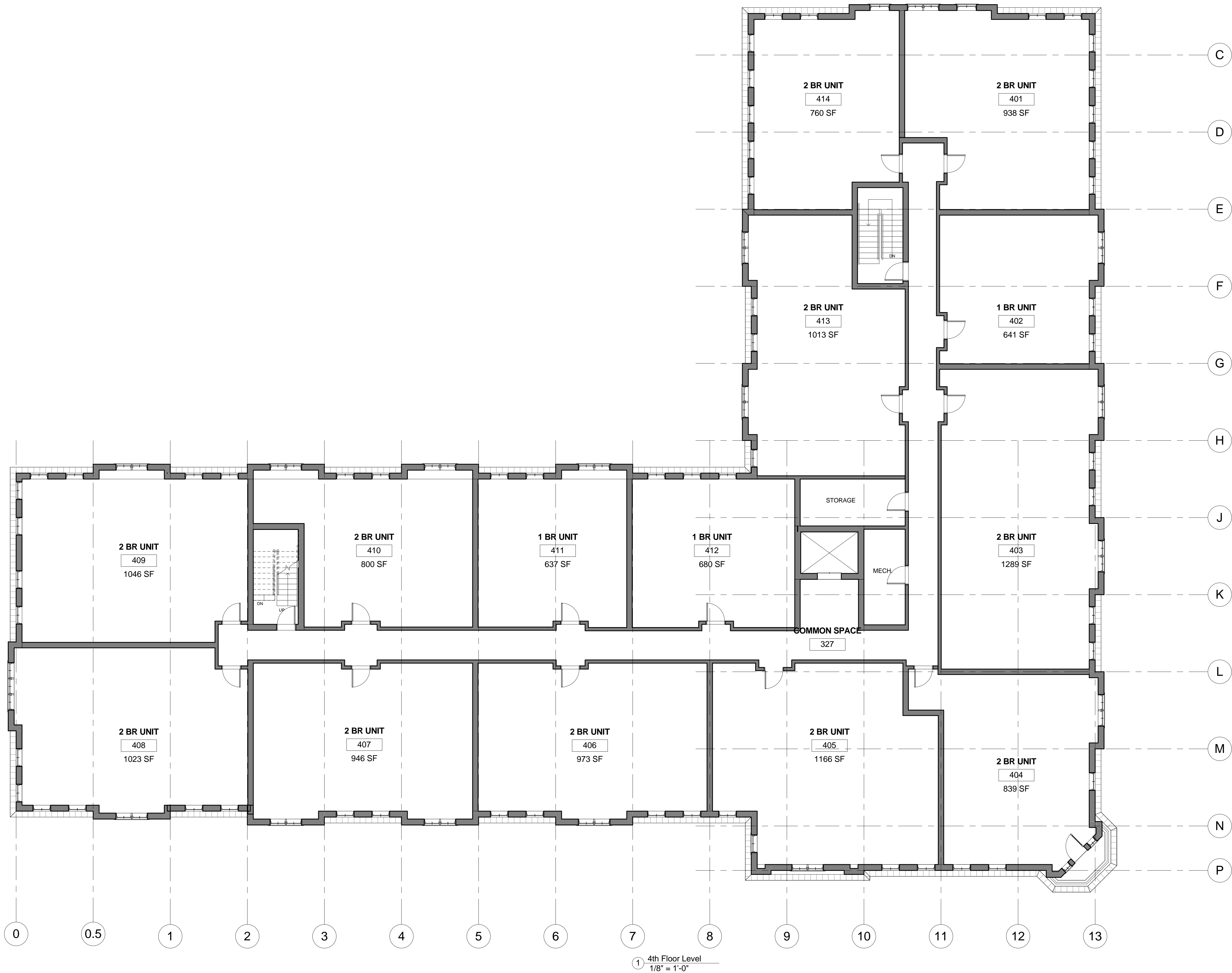
REVISIONS

No.	Description	Date
2	Revision 2	05-21-13

FOURTH FLOOR  
PLAN

A-103

Broadway Residences



1 4th Floor Level  
1/8" = 1'-0"

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1 Roof Level  
1/8" = 1'-0"

PROJECT NAME

Broadway  
Residences

PROJECT ADDRESS

315 Broadway  
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CIVIL ENGINEER

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STRUCTURAL ENGINEER

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MEP ENGINEER

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Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date
2	Revision 2	05-21-13

ROOF PLAN

A-105

Broadway Residences



① South Elevation  
1/8" = 1'-0"



② West Elevation  
1/8" = 1'-0"

PROJECT NAME

**Broadway  
Residences**

PROJECT ADDRESS

315 Broadway  
Somerville, MA 02143

CLIENT

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W: x

CIVIL ENGINEER

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T: x

F: x

STRUCTURAL ENGINEER

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MEP ENGINEER

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F: x

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REVISIONS

No.	Description	Date
1	Revision 1	05-08-13
2	Revision 2	05-21-13

**EXTERIOR  
ELEVATIONS**

**A-300**

Broadway Residences

① East Elevation  
1/8" = 1'-0"

② North Elevation  
1/8" = 1'-0"



PROJECT NAME

**Broadway  
Residences**

PROJECT ADDRESS

315 Broadway  
Somerville, MA 02143

CLIENT

**Young Investments  
LLC**

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CIVIL ENGINEER

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STRUCTURAL ENGINEER

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REVISIONS

No.	Description	Date
1	Revision 1	05-08-13
2	Revision 2	05-21-13

**EXTERIOR  
ELEVATIONS**

**A-301**

Broadway Residences



View of Corner Retail Street



View of Retail from Langmaid Street



View from Broadway & Temple Street



View Residential Entrance



View from Northern Temple Street

PROJECT NAME

**Broadway  
Residences**

PROJECT ADDRESS

315 Broadway  
Somerville, MA 02143

CLIENT

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CIVIL ENGINEER

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STRUCTURAL ENGINEER

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Scale

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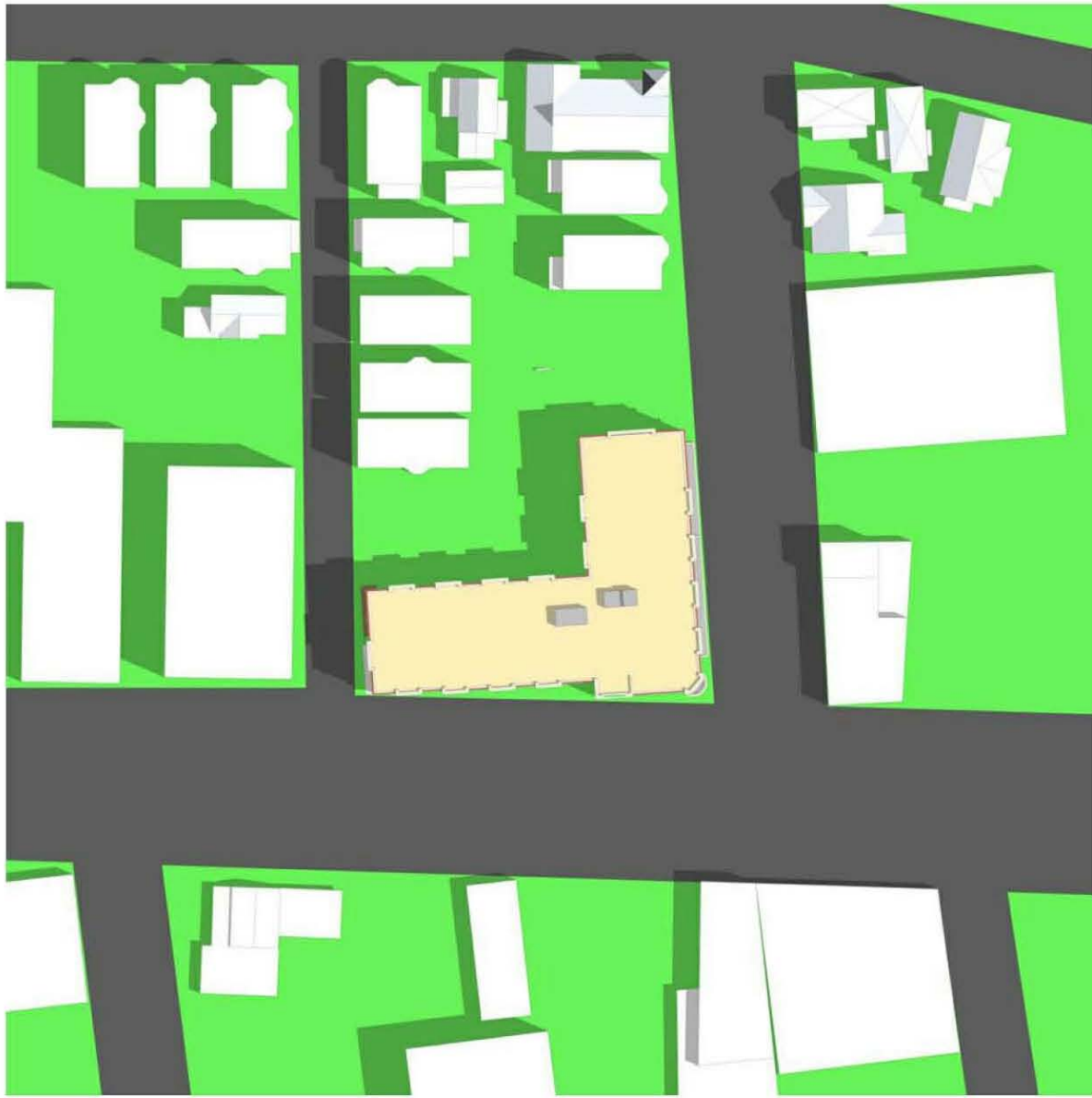
**PERSPECTIVE  
VIEWS**

**A-900**

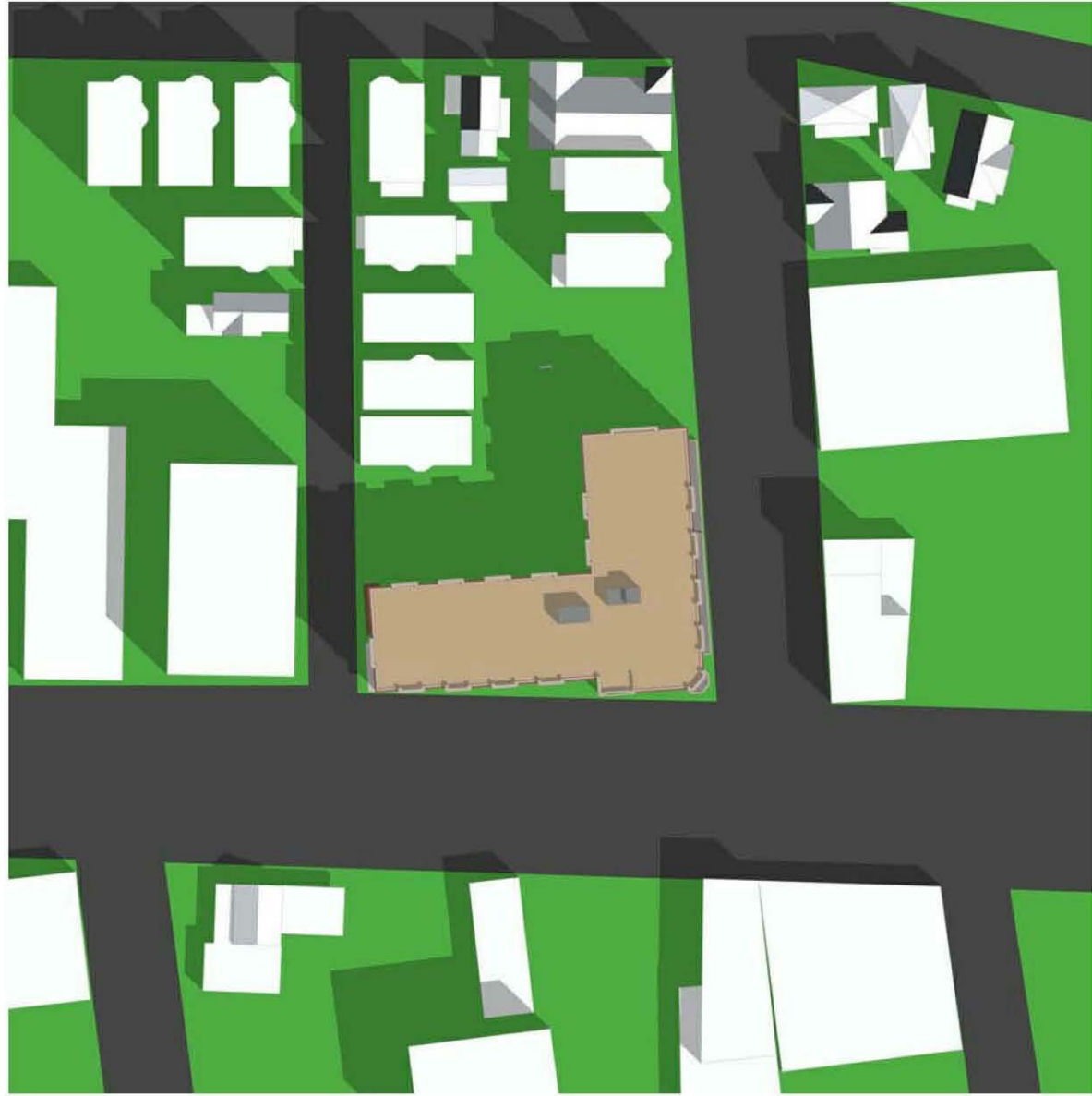
Broadway Residences

SUMMER SOLSTICE

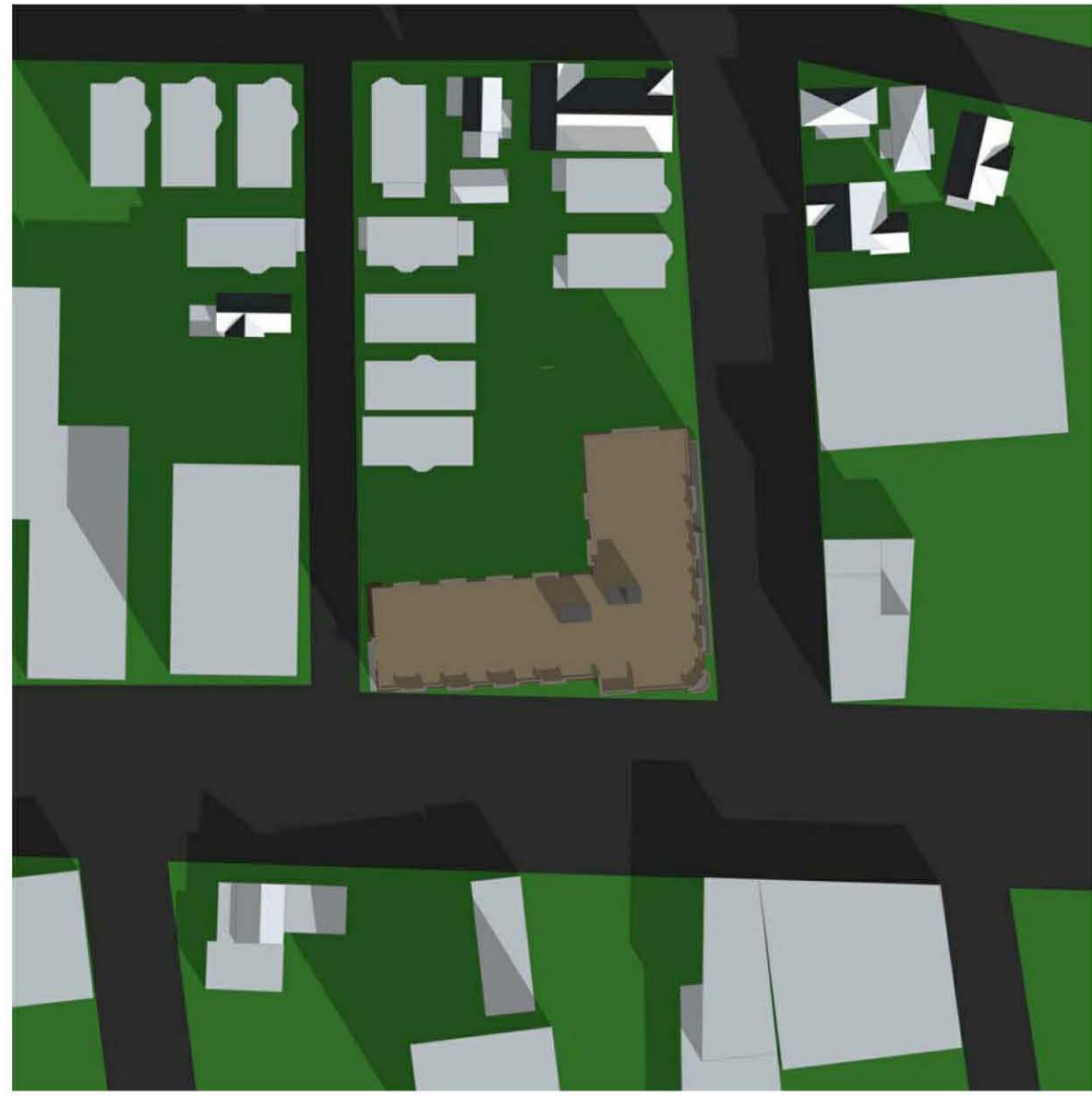
MORNING (9-10 AM)



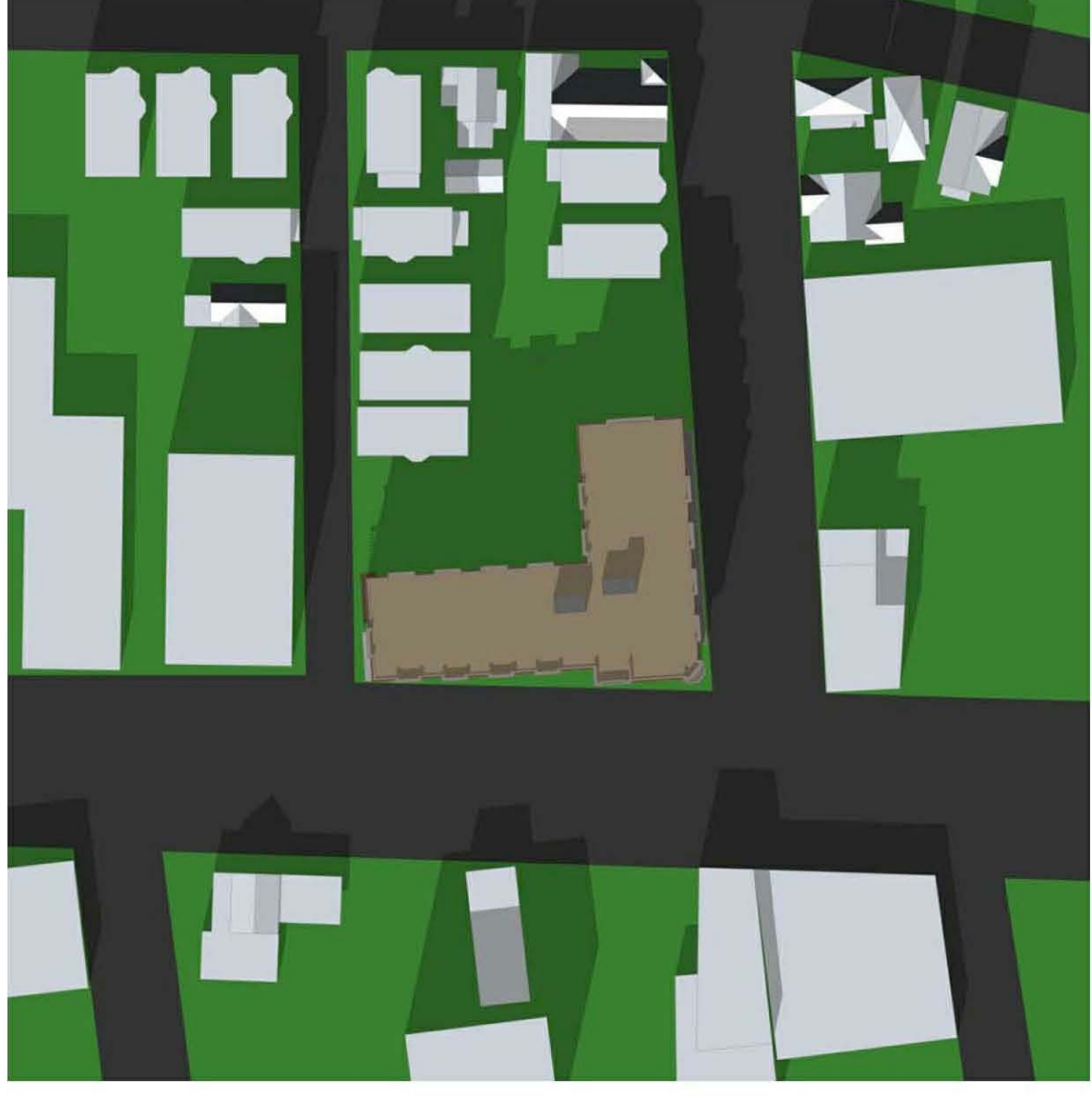
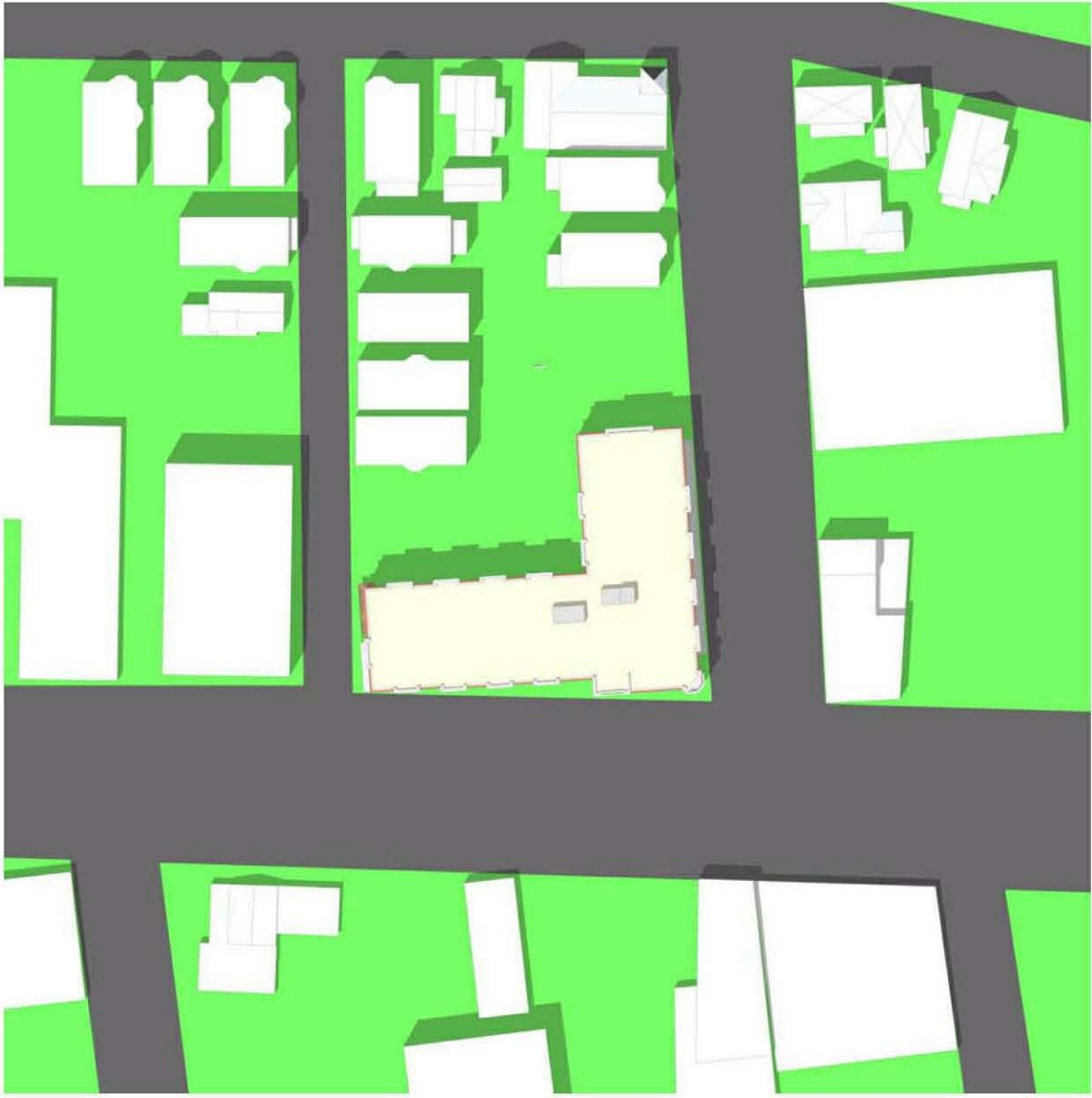
FALL / SPRING EQUINOX



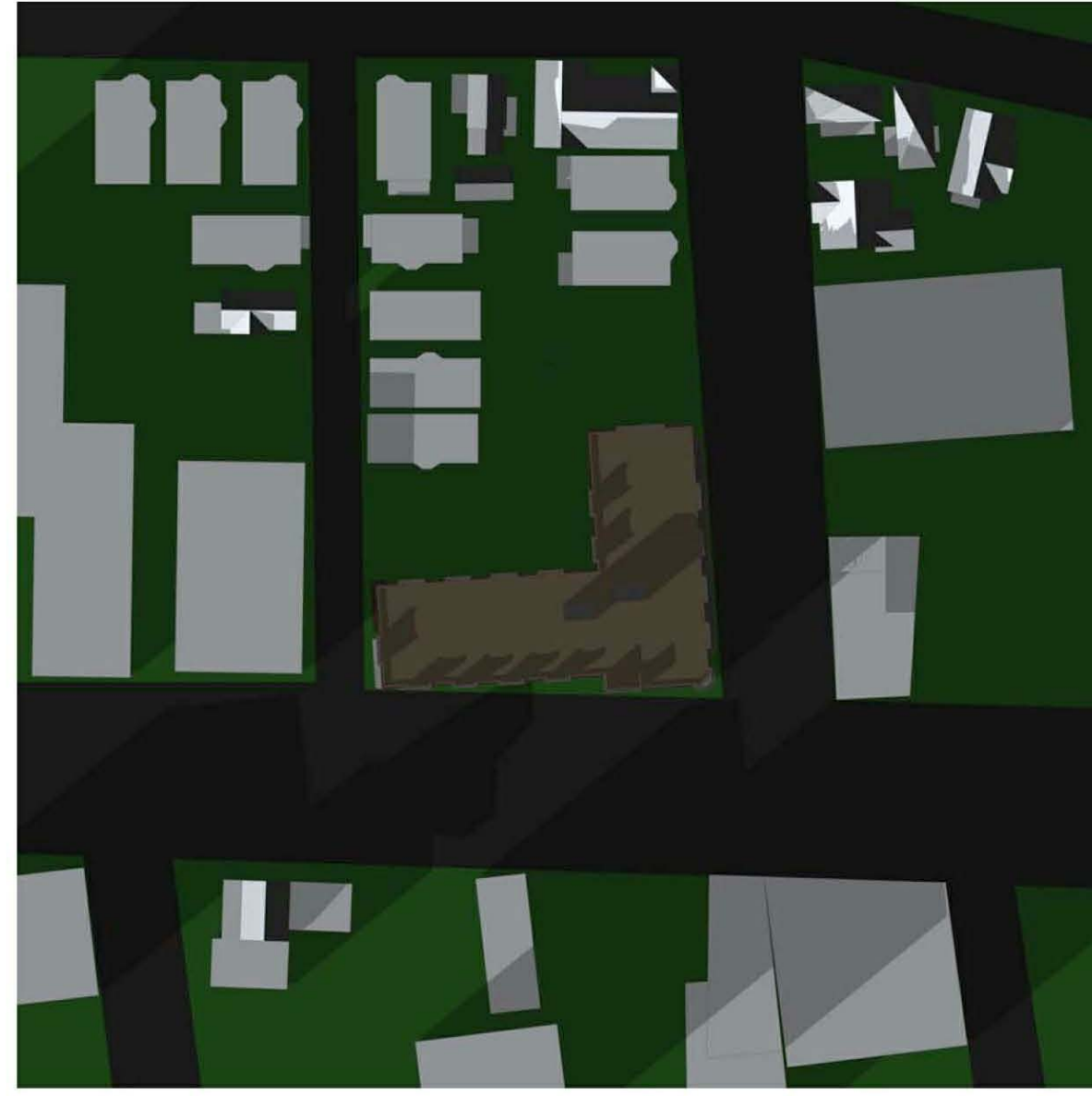
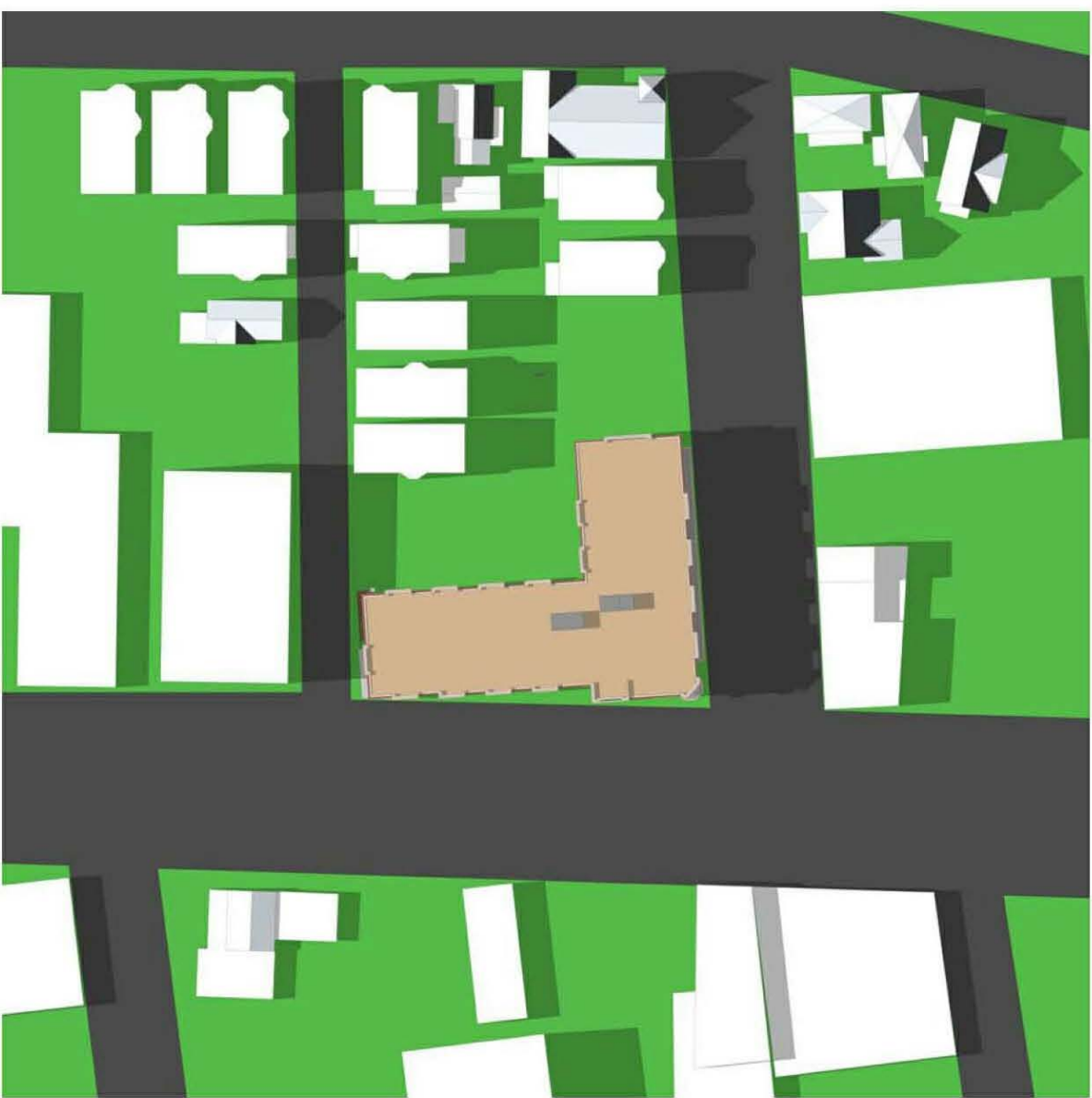
WINTER SOLSTICE



NOON (12 AM-1 PM)



AFTERNOON (3-4 PM)



PROJECT NAME  
**Broadway  
Residences**

PROJECT ADDRESS  
315 Broadway  
Somerville, MA 02143

CLIENT  
**Young Investments  
LLC**



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MEP ENGINEER

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REVISIONS		
No.	Description	Date
2	Revision 2	05-21-13

SHADOW  
STUDIES

**A-901**

Broadway Residences