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ZBA APPLICATION

ADDITION AND RENOVATION OF 18 CHANDLER ST

18 CHANDLER ST, SOMERVILLE, MA 02144



PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL

CONSULTANT

PROJECT

ADDITION &
RENOVATION
18 CHANDLER ST
SOMERVILLE, MA 02144

PREPARED FOR

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION	DATE
ZBA APPL REV 1	13 APR 2015
ZBA APPL	1 APR 2015
DRAWN BY MY	REVIEWED BY PQ

SHEET

T1

LIST OF DRAWINGS		ZBA APPL 1 APR 2015	ZBA APPL REV 1 13 APR 2015
GENERAL			
T1	TITLE SHEET	X	X
	CERTIFIED PLOT PLAN	X	X
Z1	ZONING COMPLIANCE	X	X
Z2	ZONING COMPLIANCE	X	X
Z3	ZONING COMPLIANCE	X	X

ARCHITECTURAL			
A0	DIMENSIONAL SITE PLAN	X	X
A1	1ST & 2ND FLOOR PLAN	X	X
A2	ATTIC FLOOR PLAN & SECTION	X	X
A3	ELEVATIONS	X	X
A4	ELEVATIONS	X	X
EC1	EXISTING ELEVATIONS	X	X

PREPARED BY:

ARCHITECT

PETER QUINN
ARCHITECTS LLC

259 ELM ST, STE 301
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PH (617) 354 3989

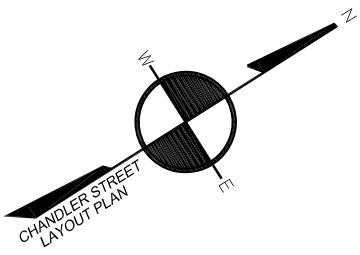
SURVEYOR

BOSTON SURVEY, INC.

UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA 02129
PH (617) 242-1313



LOCUS PLAN

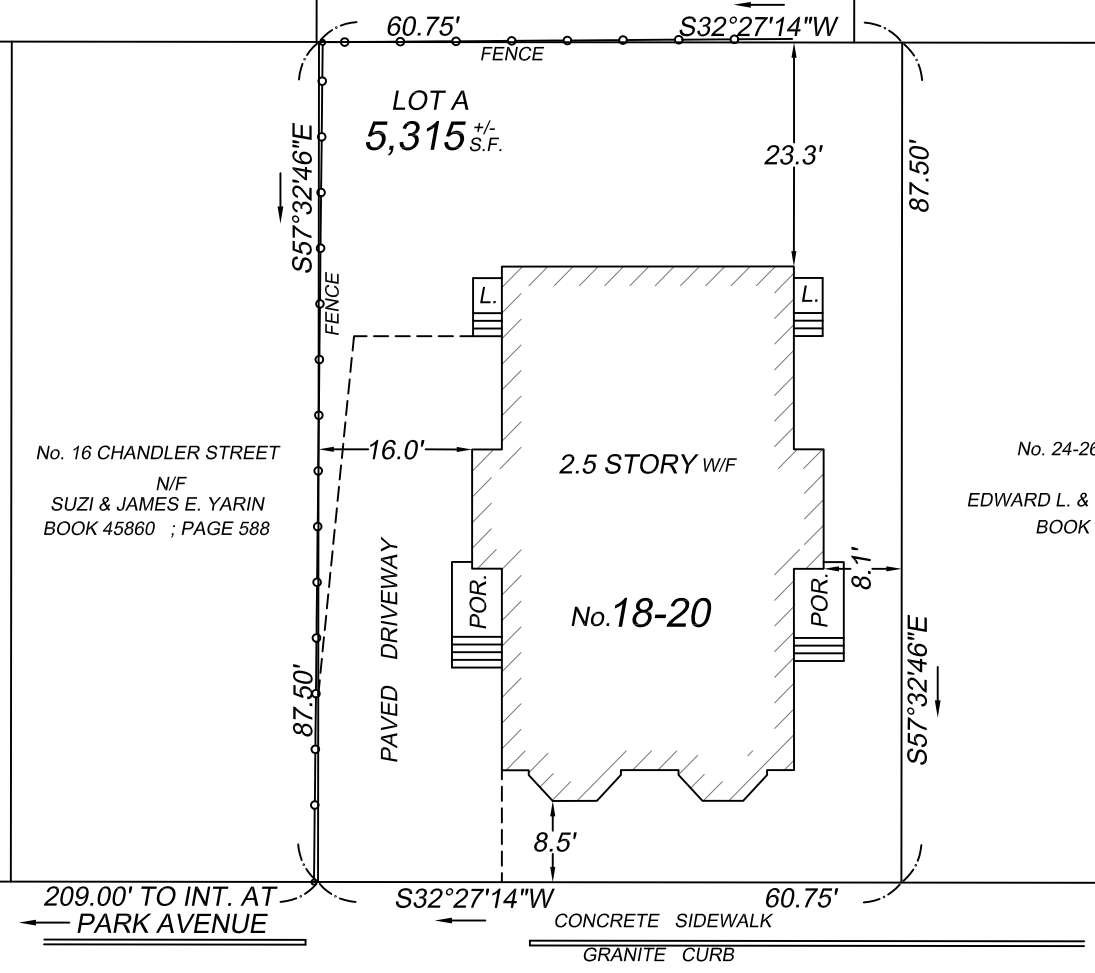


No. 33 WALLACE STREET
N/F
LIZA DALY & DANIEL SCHMIDT
BOOK 58398 ; PAGE 517

No. 37 WALLACE STREET
N/F
MARCUS K. YEE & CHRISTINA R. CHAN
BOOK 20197 ; PAGE 138

No. 16 CHANDLER STREET
N/F
SUZI & JAMES E. YARIN
BOOK 45860 ; PAGE 588

No. 24-26 CHANDLER STREET
N/F
EDWARD L. & CONSTANCE M. McMANUS
BOOK 22376 ; PAGE 446



CHANDLER (PUBLIC - 40.0' WIDE) STREET

REFERENCES

DEED: BOOK 41965 ; PAGE 238
PLAN: PLAN IN BOOK 4276 ; PAGE END
PLAN BOOK 26 ; PLAN 36
PLAN BOOK 154 ; PLAN 29
PLAN BOOK 17B ; PLAN 85
L.C.C. # 19033^A
CHANDLER STREET LAYOUT PLAN

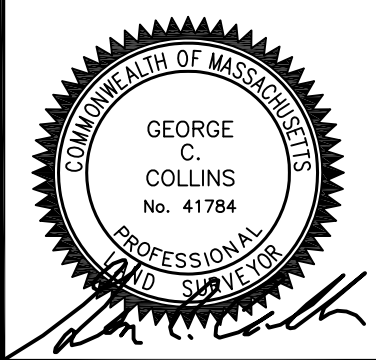
FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
D33	69	D/T	DRM	GCC

CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM
AN INSTRUMENT SURVEY ON THE GROUND
BETWEEN THE DATES OF MARCH 30 AND MARCH
31, 2015 AND ALL STRUCTURES ARE
LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY
MANAGEMENT AGENCY (F.E.M.A.) THE MAJOR
IMPROVEMENTS ON THE PROPERTY SHOWN
FALL IN AN AREA DESIGNATED AS ZONE "X".
(NOT IN FLOOD)
MAP #: 25017C0438E
EFFECTIVE DATE: JUNE 4, 2010

George C. Collins
GEORGE C. COLLINS P.L.S. 4-1-2015
DATE



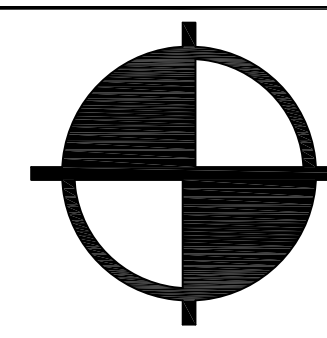
CERTIFIED PLOT PLAN

LOCATED AT
18-20 CHANDLER STREET
SOMERVILLE, MA.

SCALE: 1 INCH = 20 FEET

DATE: APRIL 1, 2015

PREPARED FOR: BRV REALTY LLC
P.O. BOX 400334
N. CAMBRIDGE, MA. 02140



BOSTON
SURVEY, INC.

UNIT C-4 SHIPWAYS PLACE
CHARLESTOWN, MA. 02129
(617)242-1313
WWW.BOSTONSURVEYINC.COM

JOB # 15-00226

FILE # 15-00226-4/1/15

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CHANDLER 18 - DIMENSIONAL TABLE - RES A ZONING DISTRICT

ITEM	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	10,000	5,315	5,315	EXTG NON-CONF, NO CHANGE
MIN LOT AREA / UNIT 1-9 UNITS (SF)	2,250	1,328	1,328	EXTG NON-CONF, NO CHANGE
MAX GROUND COVERAGE (%)	50	± 37	± 40	COMPLIES
MIN LANDSCAPED AREA (% OF LOT)	25	± 22	± 26	COMPLIES
PERVIOUS AREA (% OF LOT)	35	± 22	± 26	EXTG NON-CONF, NO CHANGE
FLOOR AREA RATIO (FAR)	0.75	0.81	0.91	VARIANCE REQUIRED
NET FLOOR AREA (NSF)	3,986	4,299	4,820	VARIANCE REQUIRED
MAX HEIGHT (FT/ STORIES)	35 / 2 1/2	±37.3 / 2 1/2	±37.3 / 2 1/2	EXTG NON-CONF, NO CHANGE
MIN FRONT YARD (FT)	15	± 12	± 12	EXTG NON-CONF, NO CHANGE
MIN SIDE YARD - LEFT (FT)	9	± 20.2	± 20.2 ADDITION	COMPLIES
			± 20.2 EXTG BLDG	COMPLIES
MIN SIDE YARD - RIGHT (FT)	8	± 10	± 10 ADDITION	COMPLIES
			± 10 EXTG BLDG	COMPLIES
MIN REAR YARD (FT)	16.9* 12.7 @ PROJECTION	23.3	± 23 ADD'N, 12.7' PROJ	COMPLIES
			23.3 EXTG BLDG	COMPLIES
MIN FRONTAGE (FT)	50	60.75	60.75	COMPLIES
MAX PROJECTION WIDTH (FT)	10.5 / 31.5	4 / 31.5	31.5 / 31.5	VARIANCE REQUIRED
MIN NO. OF PARKING SPACES	6**	2	2	EXTG NON-CONF, NO CHANGE
MIN NO. BIKE PARKING SPACES	0	0	0	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN FOR REFERENCE ON SHEET A0.

*REAR YARD REDUCTION CALCULATION PER §8.6.13
100' - 87.5' LOT DEPTH = 12.5'
12.5' X 3"/FOOT = 37.5" REDUCTION
20' - 37.5" =
240" - 37.5" = 20.25" = 16.9' REQUIRED REAR YARD

**NUMBER OF REQUIRED PARKING SPACE PER §9.5
FOR (4) 1OR2-BR UNITS:
(4) 1OR2-BR UNITS AT 1.5 PER UNIT = 4X1.5 = 6
VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 0] 6 REQUIRED PARKING SPACES

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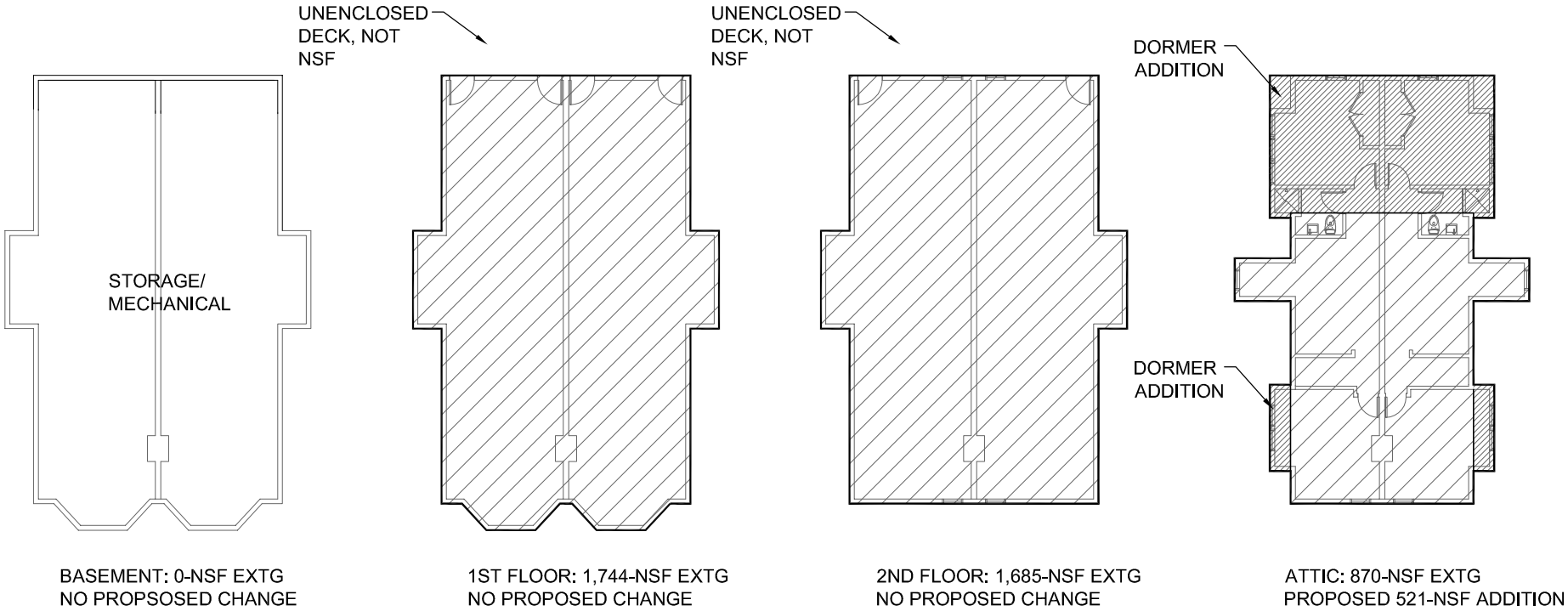
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ZONING
COMPLIANCE

SCALE AS NOTED

REVISION	DATE
ZBA APPL REV 2	29 APR 2015
ZBA APPL REV 1	13 APR 2015
ZBA APPL	1 APR 2015
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SHEET



NET SQUARE FOOTAGE SUMMARY

FLOOR	EXISTING NSF	ADDITION NSF	COMBINED NSF
ATTC FL	870	521	1,391
2ND FL	1,685	0	1,685
1ST FL	1,744	0	1,744
BASEMENT	0	0	0
TOTAL	4,299-NSF	521-NSF	4,820-NSF

LEGEND

	EXISTING BUILDING NSF
	PROPOSED ADDITION NSF

1 NET SQUARE FOOTAGE CALC
SCALE: 1"=20'-0"



2 BUILDING HEIGHT
SCALE: 1"=10'-0"

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Z2

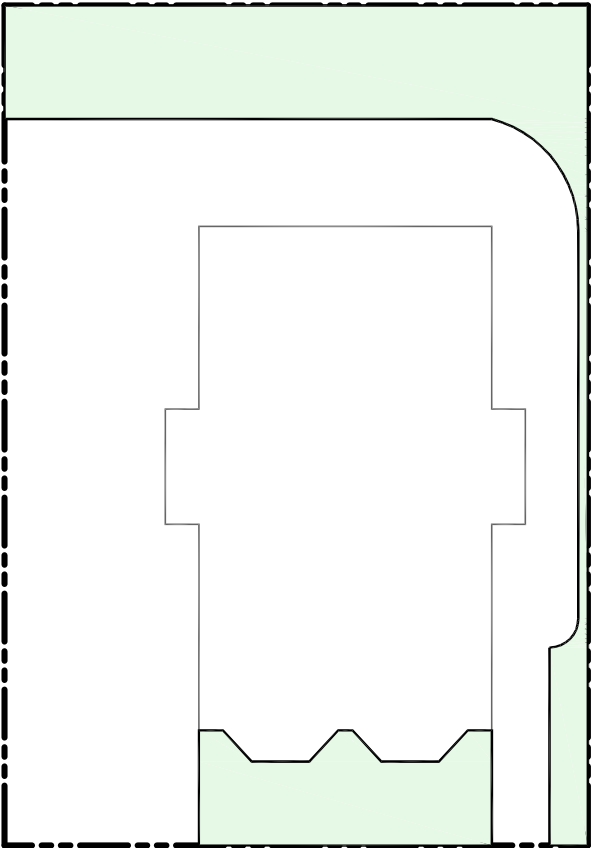
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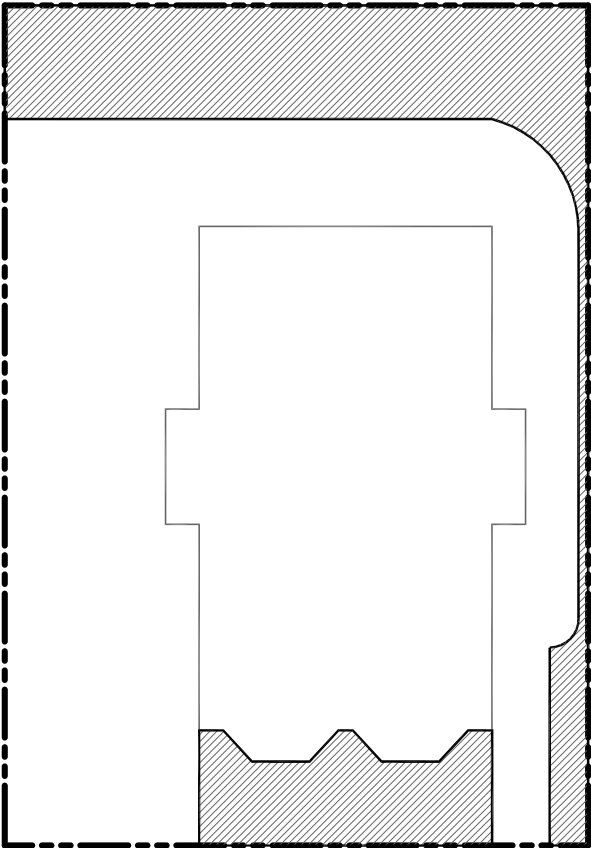
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EXISTING SITE AREAS

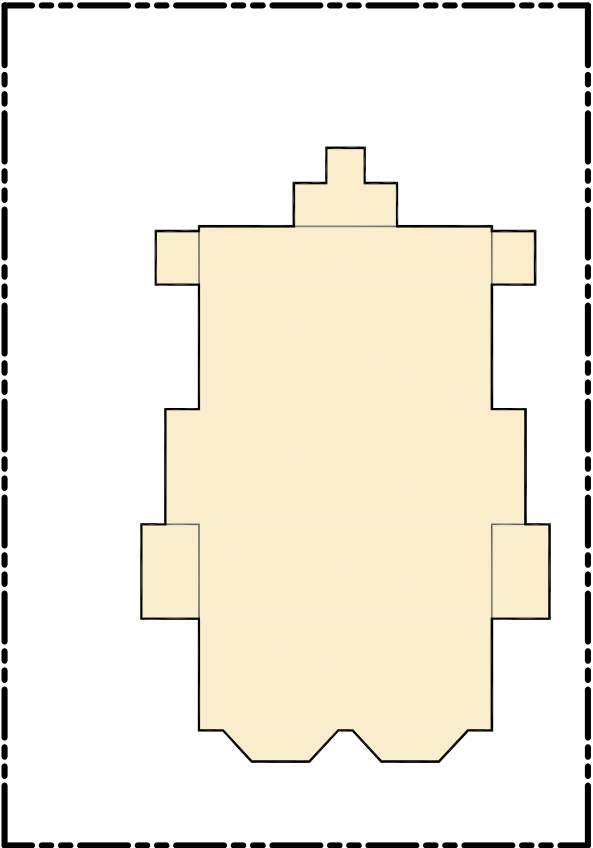
SCALE: 1"=20'-0"



LANDSCAPE AREA $\frac{1,193 \text{ SF}}{5,315 \text{ LOT SF}} = 22\%$



PERVIOUS AREA $\frac{1,193 \text{ SF}}{5,315 \text{ LOT SF}} = 22\%$



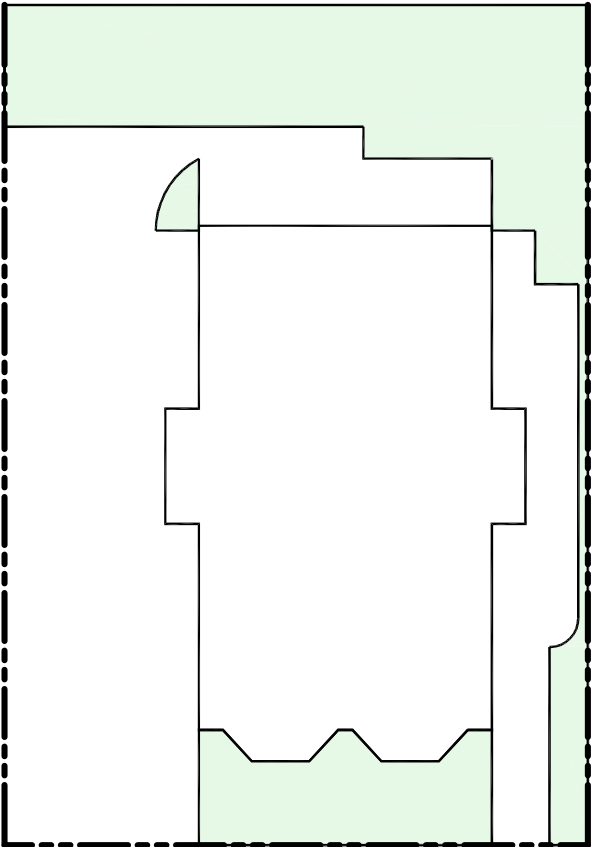
LOT COVERAGE $\frac{1,975 \text{ SF}}{5,315 \text{ LOT SF}} = 37\%$



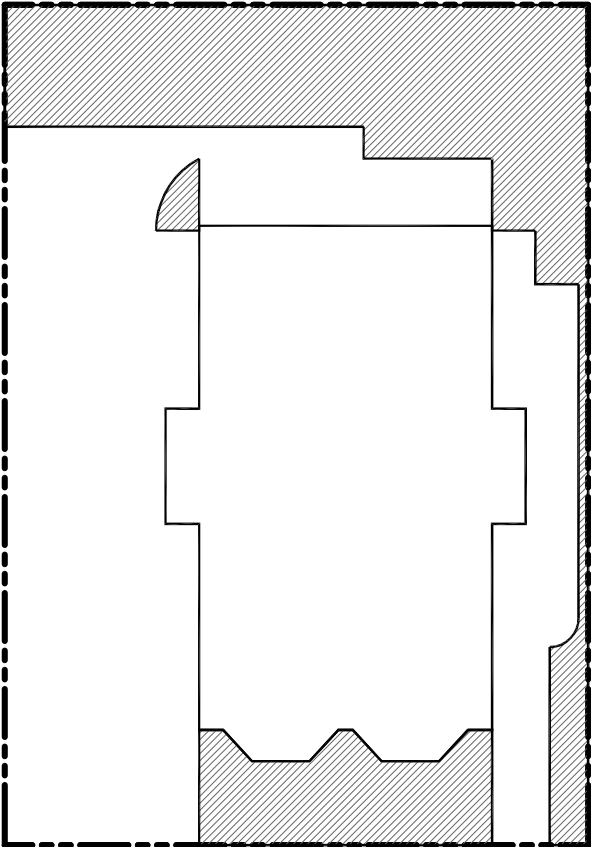
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PROPOSED SITE AREAS

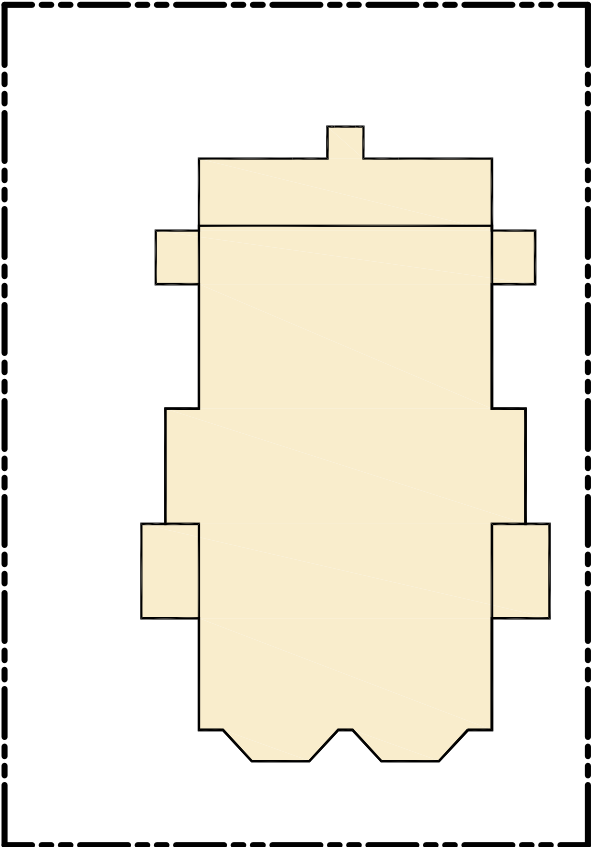
SCALE: 1"=20'-0"



LANDSCAPE AREA $\frac{1,408 \text{ SF}}{5,315 \text{ LOT SF}} = 26\%$



PERVIOUS AREA $\frac{1,408 \text{ SF}}{5,315 \text{ LOT SF}} = 26\%$



LOT COVERAGE $\frac{2,138 \text{ SF}}{5,315 \text{ LOT SF}} = 40\%$

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SHEET	

Z3

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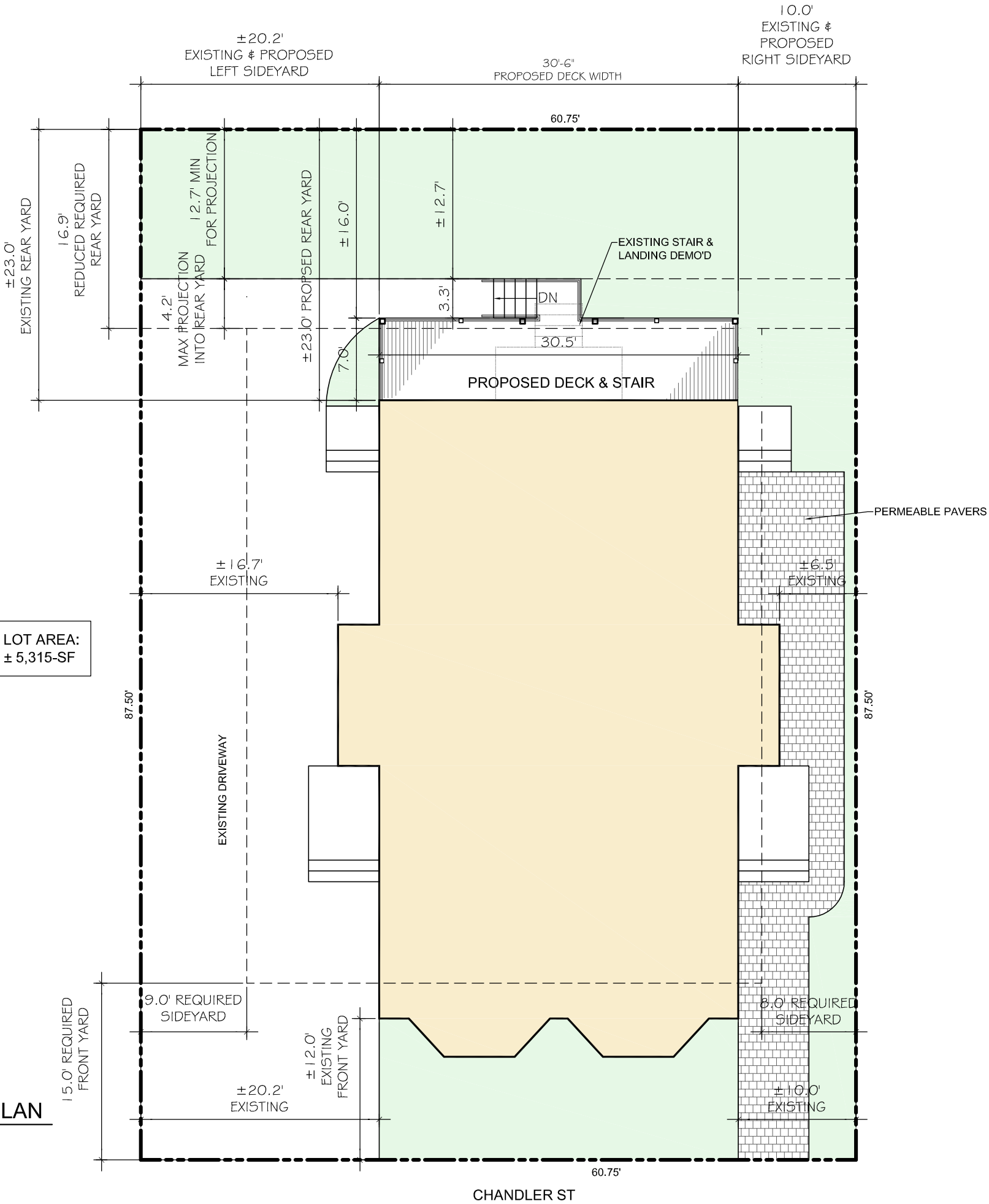
1

DIMENSIONAL SITE PLAN

SCALE: 1" = 10'

DIMENSIONAL SITE PLAN FOR
ILLUSTRATIVE PURPOSES ONLY.
INFORMATION BASED ON MORTGAGE
INSPECTION PLAN BY L.G. BRACKETT
COMPANY, INC. WINCHESTER, MA,
DATED 10 APR 2014.

LOT AREA:
± 5,315-SF



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SITE PLAN

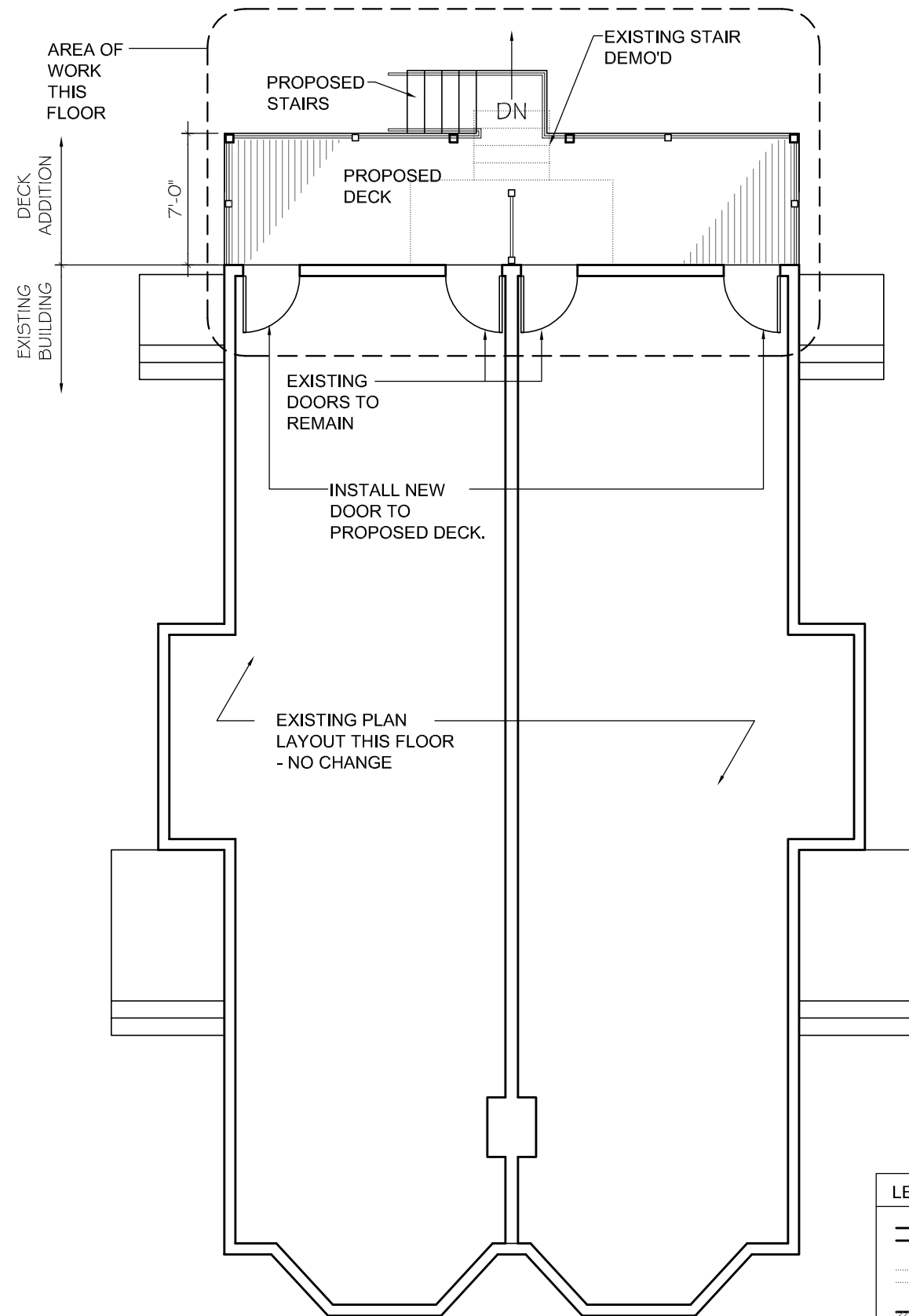
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A0

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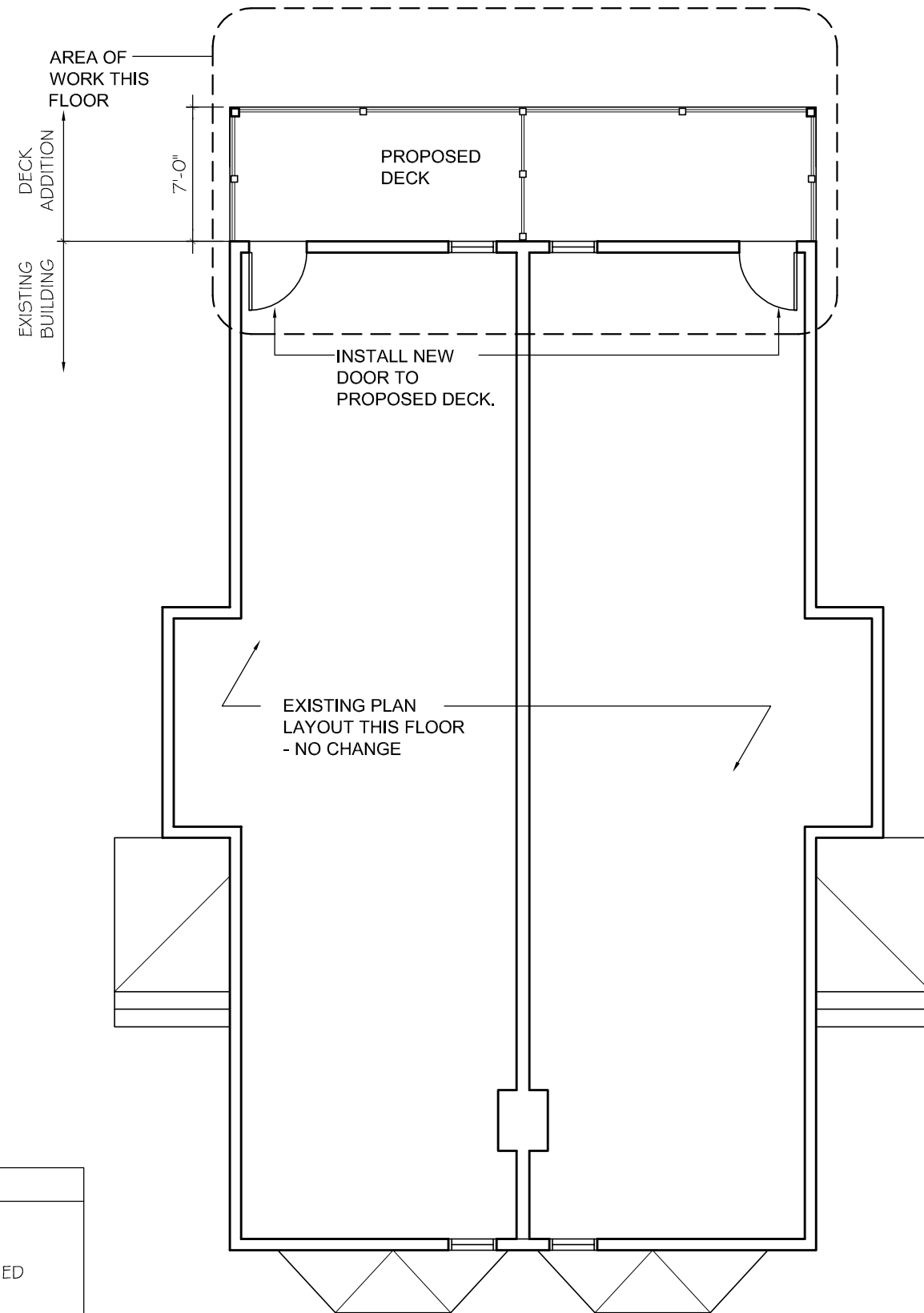
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1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING WALL
- WALL TO BE DEMOLISHED
- NEW WALL



2

2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

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1ST & 2ND
FLOOR PLAN

SCALE AS NOTED

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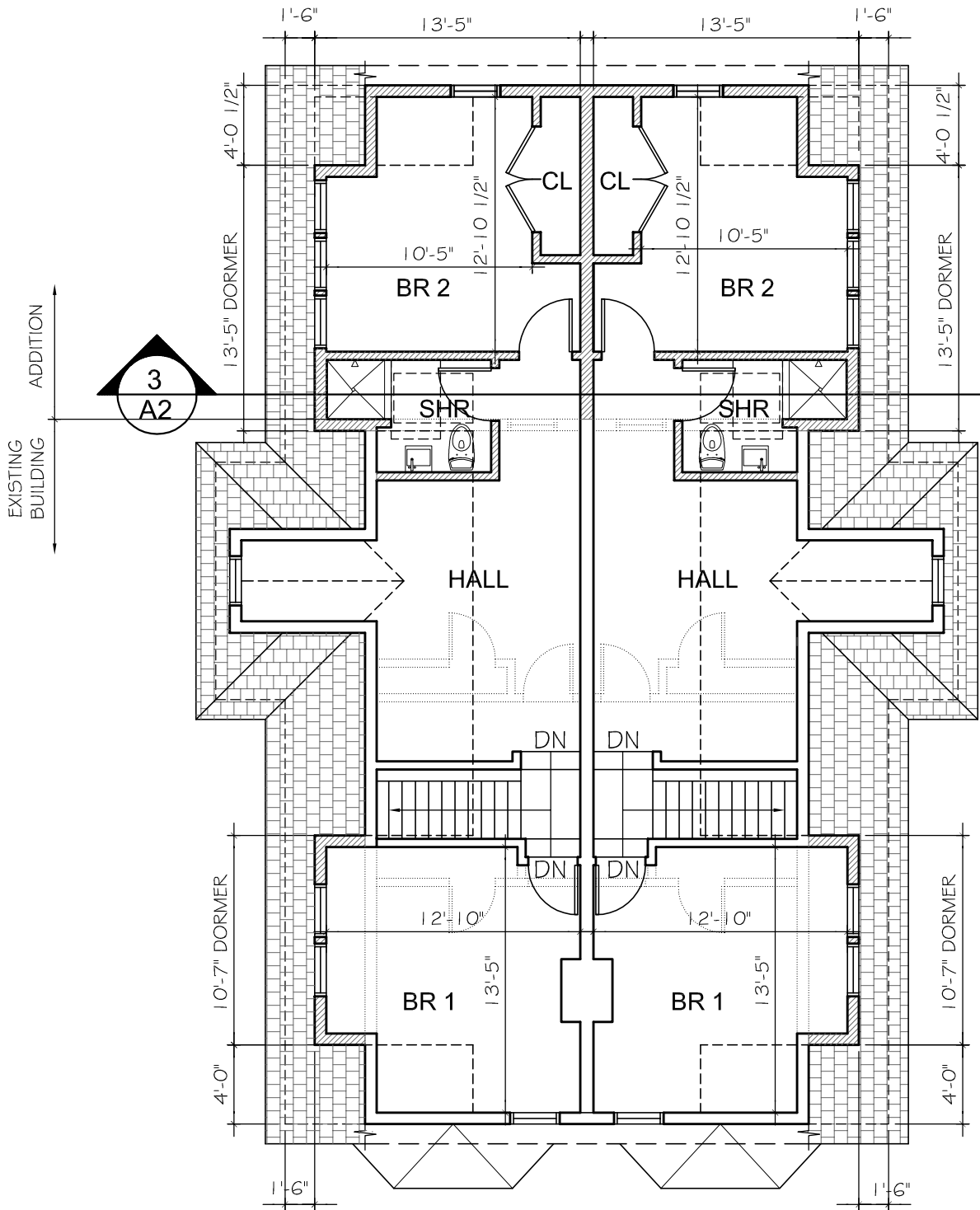
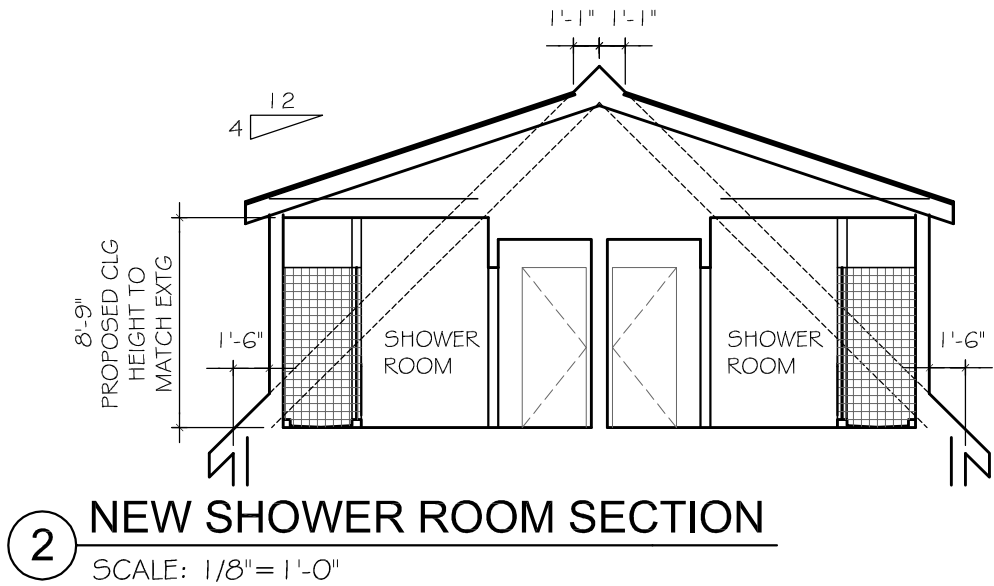
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SHEET

A1

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LEGEND	
	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

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ATTIC FLOOR PLAN

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A2

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1 SOUTH ELEVATION
SCALE: $1/8" = 1'-0"$

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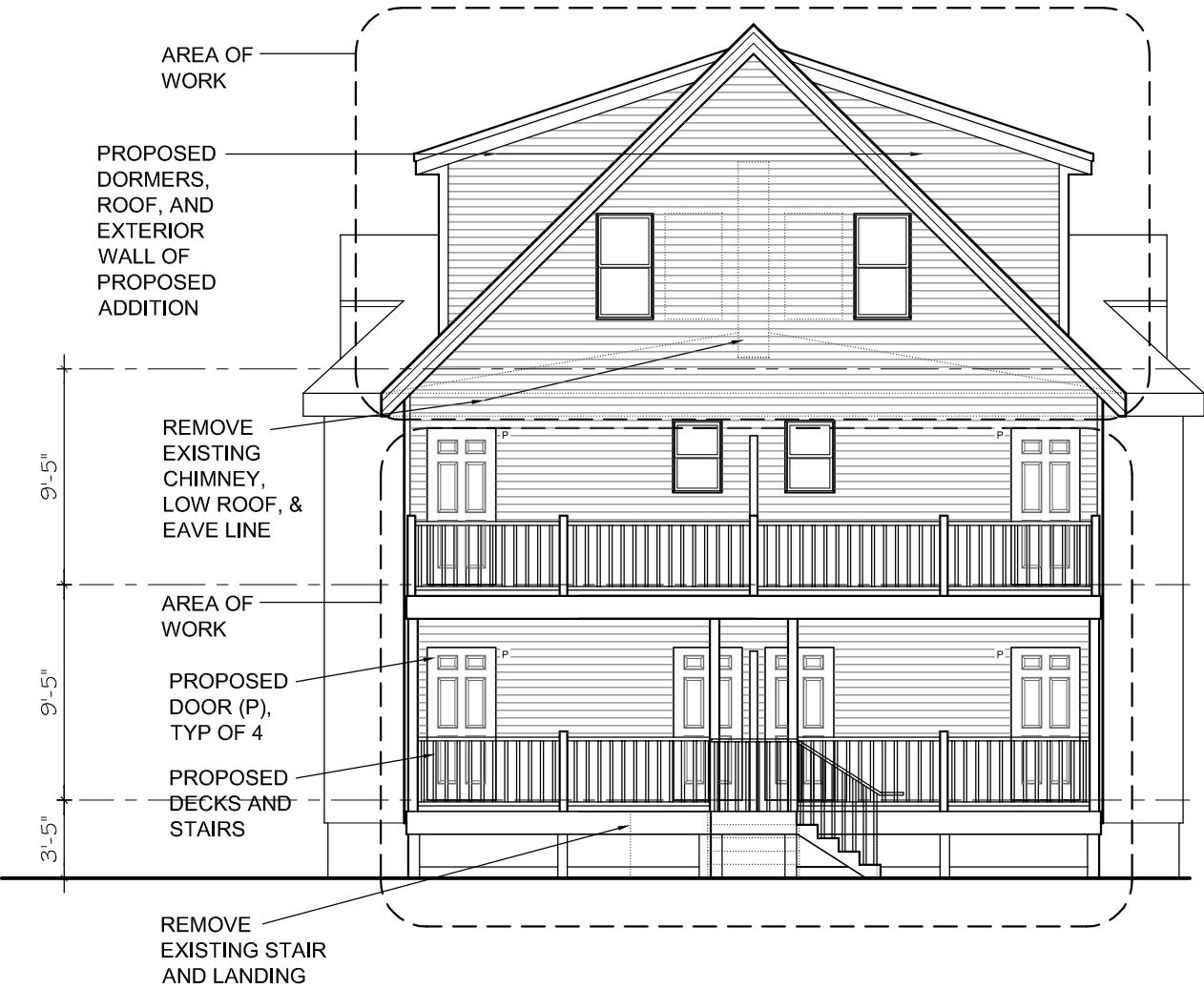
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A3

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2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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A4

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1 E.C. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 E.C. WEST ELEVATION
SCALE: 1/8" = 1'-0"

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