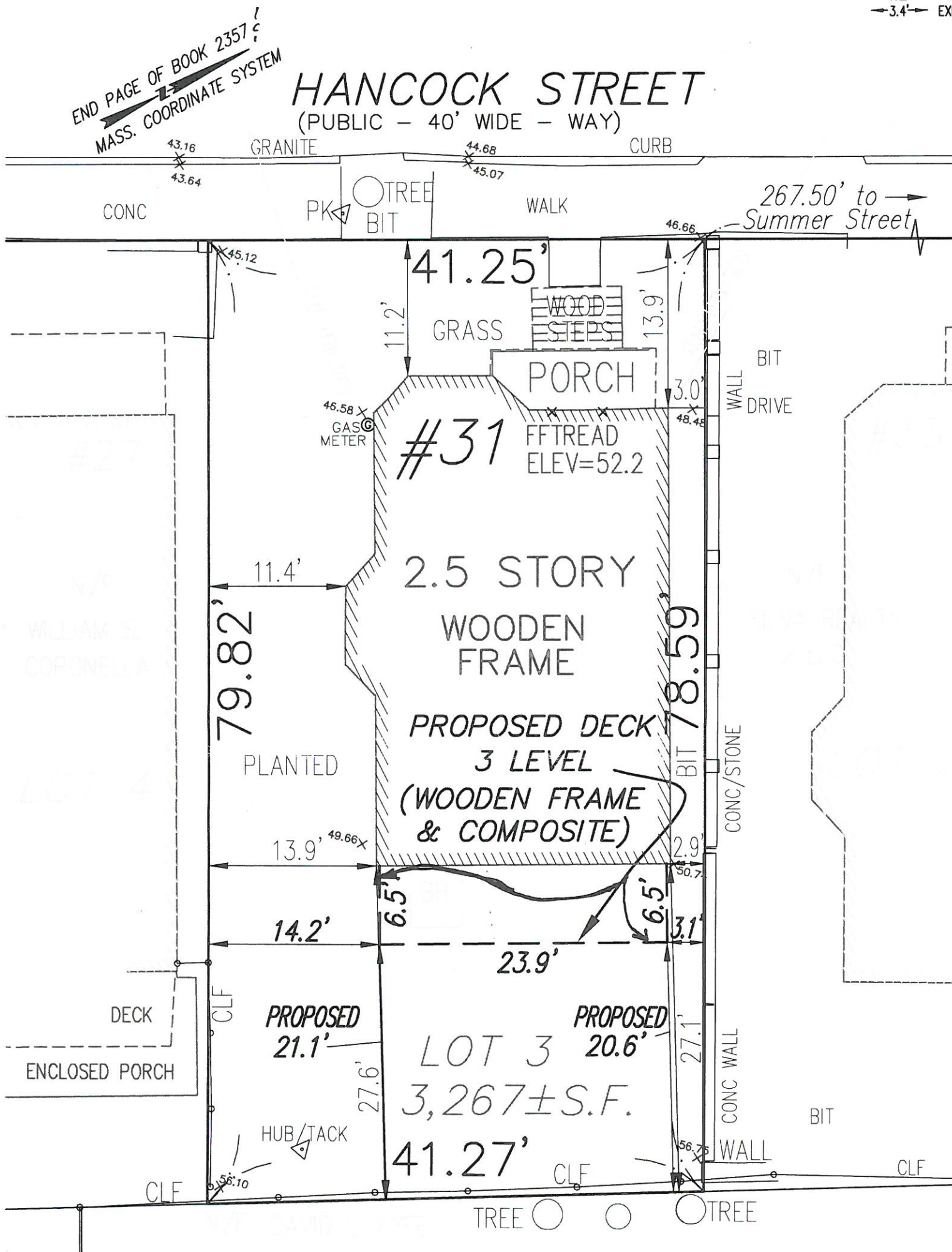


ASSESSORS PID# 6017
RECORD OWNER(S):
CZWROX, LLC
DEED REFERENCE: BOOK 65834 PAGE 468
PLAN REFERENCE: END PAGE OF BOOK 2357
MIDDLESEX COUNTY REGISTRY OF DEEDS
(SOUTHERN DISTRICT)

- NOTE:**
- 1.) ALL OVERHANGS, UTILITIES, TREES, FENCES & LANDSCAPING ARE NOT SHOWN.
 - 2.) ELEVATIONS SHOWN REFERS TO N.G.V.D. 1988.
 - 3.) ZONING ANALYSIS BY OTHERS.
 - 4.) SEE PLANS OF 12/18/15 BY BOURQUE DESIGN FOR CONSTRUCTION DETAILS. GOODNESS OF FIT, ADEQUACY OF DETAIL SOLE RESPONSIBILITY OF CONTRACTOR.

| LEGEND | |
|---------|---------------------------|
| BIT | BITUMINOUS |
| CLF | CHAIN LINK FENCE |
| CONC | CONCRETE |
| FFTREAD | TREAD ELEVATION |
| N/F | NOW OR FORMERLY |
| PK | MASONRY NAIL |
| S.F. | SQUARE FEET(SQ.FT.) |
| W/F | WOOD FRAME |
| X12.34 | SPOT ELEVATION |
| -1.2'- | PROPOSED SETBACK |
| -3.4'- | EXISTING BUILDING SETBACK |



TO CZWROX LLC & CITY OF SOMERVILLE I.S.D.;
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION AND BELIEF THAT:

THIS PLAN SHOWS THE RESULTS OF AN INSTRUMENT
SURVEY OF THE PREMISES BY ME USING A LEICA TS 12
TOTAL STATION ON DECEMBER 20, 2015.

THIS LIMITED INSTRUMENT SURVEY OF THE TRACT SHOWS
THE RELATIONSHIP OF IMPROVEMENTS TO THE PROPERTY
LINES OF RECORD WITH SUFFICIENT ACCURACY FOR THE
PURPOSE OF THE PERMITTING.

THE ACCURACY IS INSUFFICIENT TO IDENTIFY THE EXTENT
OF EXISTING ENCROACHMENTS OR ANY ACQUIRED TITLE RIGHTS.
I RECOMMEND A PROPERTY SURVEY BE PERFORMED UNDER
THE STANDARDS GOVERNING LAND COURT SURVEYS AND THE
PREMISE BE SUBMITTED TO THE COURT FOR CONFIRMATION OR
REGISTRATION SHOULD THE NATURE AND EXTENT OF ANY
ENCROACHMENTS WISH TO BE KNOWN.

THE PREMISES DOES NOT LIE IN AN AREA OF SPECIAL
FLOOD HAZARD AS DEFINED BY THE FLOOD INSURANCE
RATE MAP #250 17C 0438E, EFFECTIVE 6/4/2010.



CERTIFIED PLOT PLAN
OF
#31 HANCOCK STREET
IN
SOMERVILLE, MASS.
(MIDDLESEX COUNTY)

SCALE: 1"=10' DECEMBER 20, 2015

PREPARED FOR: LEGACY BUILDERS

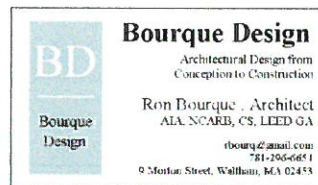
0 5 10 20
FEET
0 2.5 5
METERS

DENNY LAND SURVEYING & ENGINEERING
51 PARK DRIVE (617) 437-7993 BOSTON, MASS.

Residential Alterations for Legacy Building & Construction Inc. 31 Hancock Street, Somerville, MA

LIST OF DRAWINGS

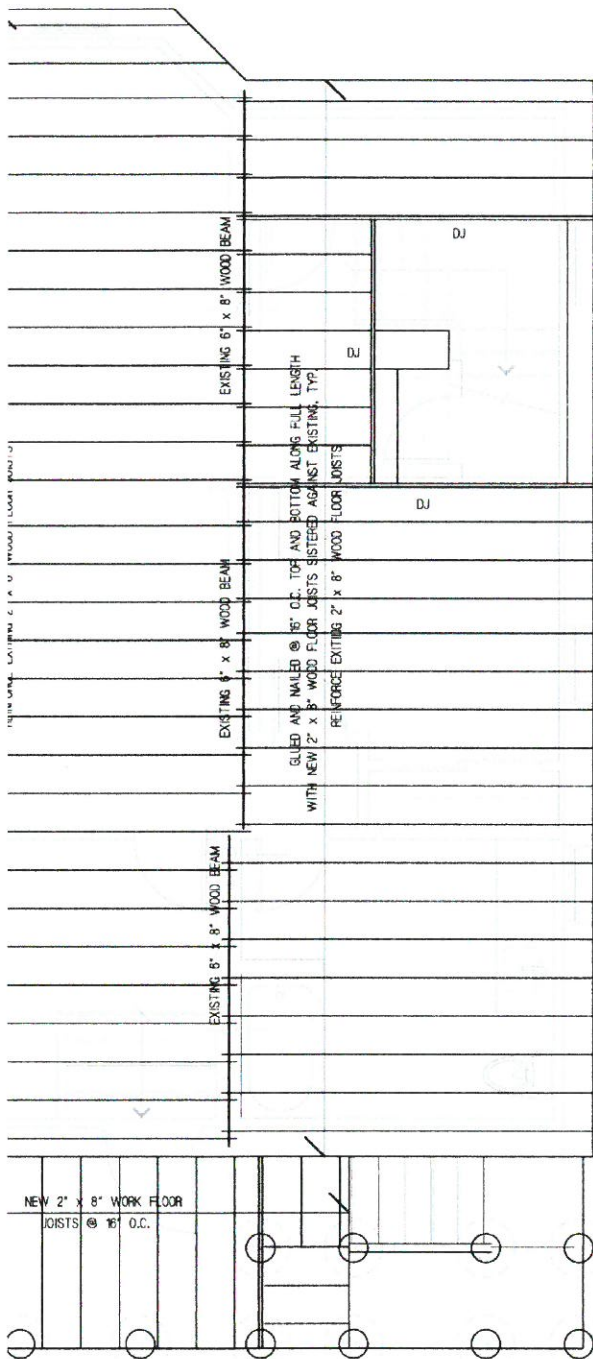
- | | |
|-----------------------------------|--------------------------|
| - BASEMENT FLOOR AND FRAMING PLAN | E1 - BASEMENT ELECTRIC |
| - FIRST FLOOR AND FRAMING PLAN | E2 - FIRST ELECTRICAL PL |
| - SECOND FLOOR AND FRAMING PLAN | E3 - SECOND ELECTRICAL |
| - ATTIC FLOOR AND FRAMING PLAN | E4 - ATTIC ELECTRICAL PI |



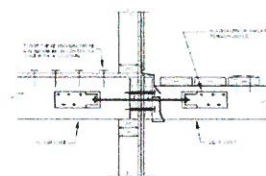
Bourque Design - Waltham, MA
Issued for Permit December 18, 2015

ment Floor Framing Plan

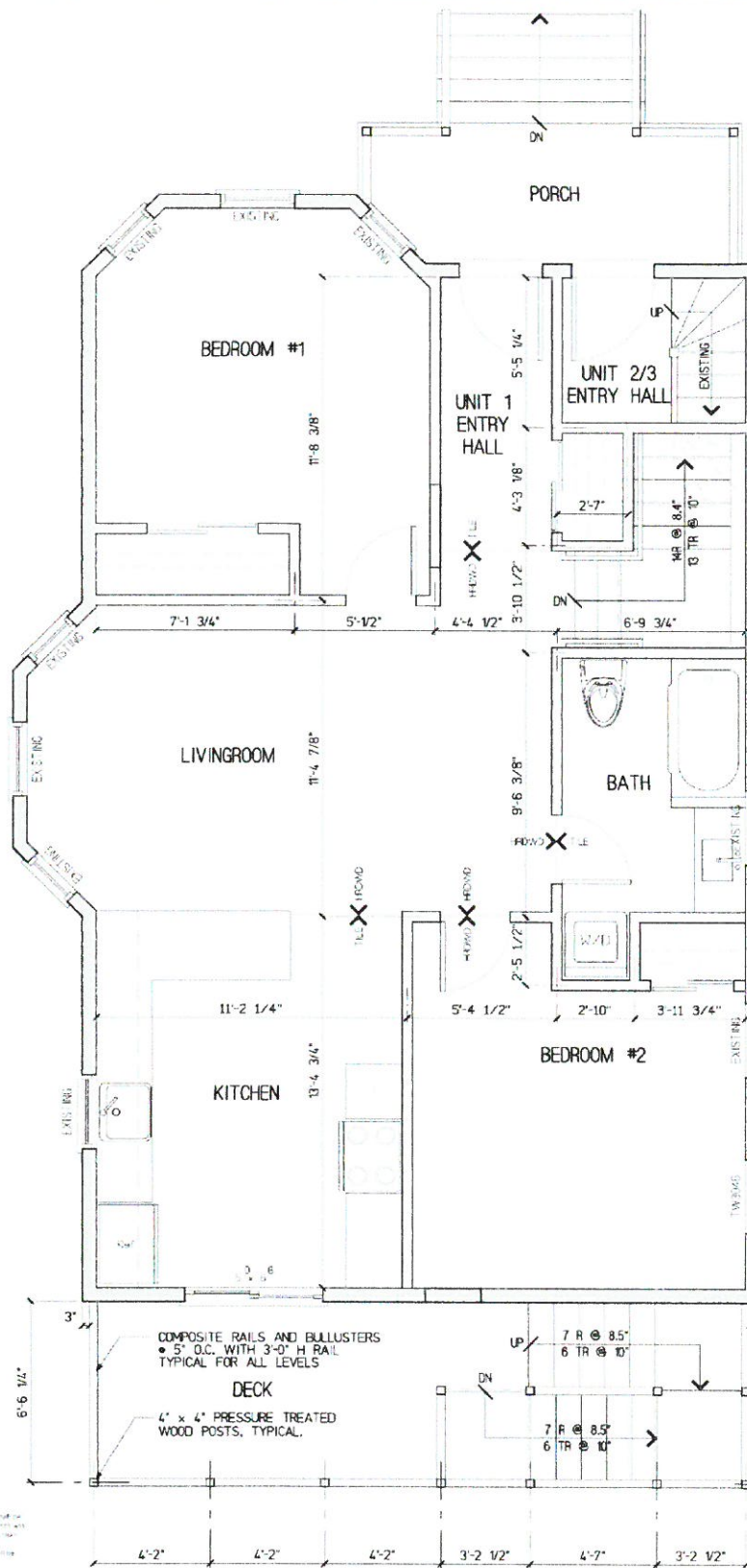
Basement Floor Plan



#502.2.2.3 Deck lateral load connection. The lateral load connection required by Section #502.2.2.3 shall be provided for the deck boards and joists. The deck boards shall be fastened to the joists with 16d nails. The joists shall be fastened to the foundation with 16d nails. The deck boards shall be fastened to the joists with 16d nails. The joists shall be fastened to the foundation with 16d nails.

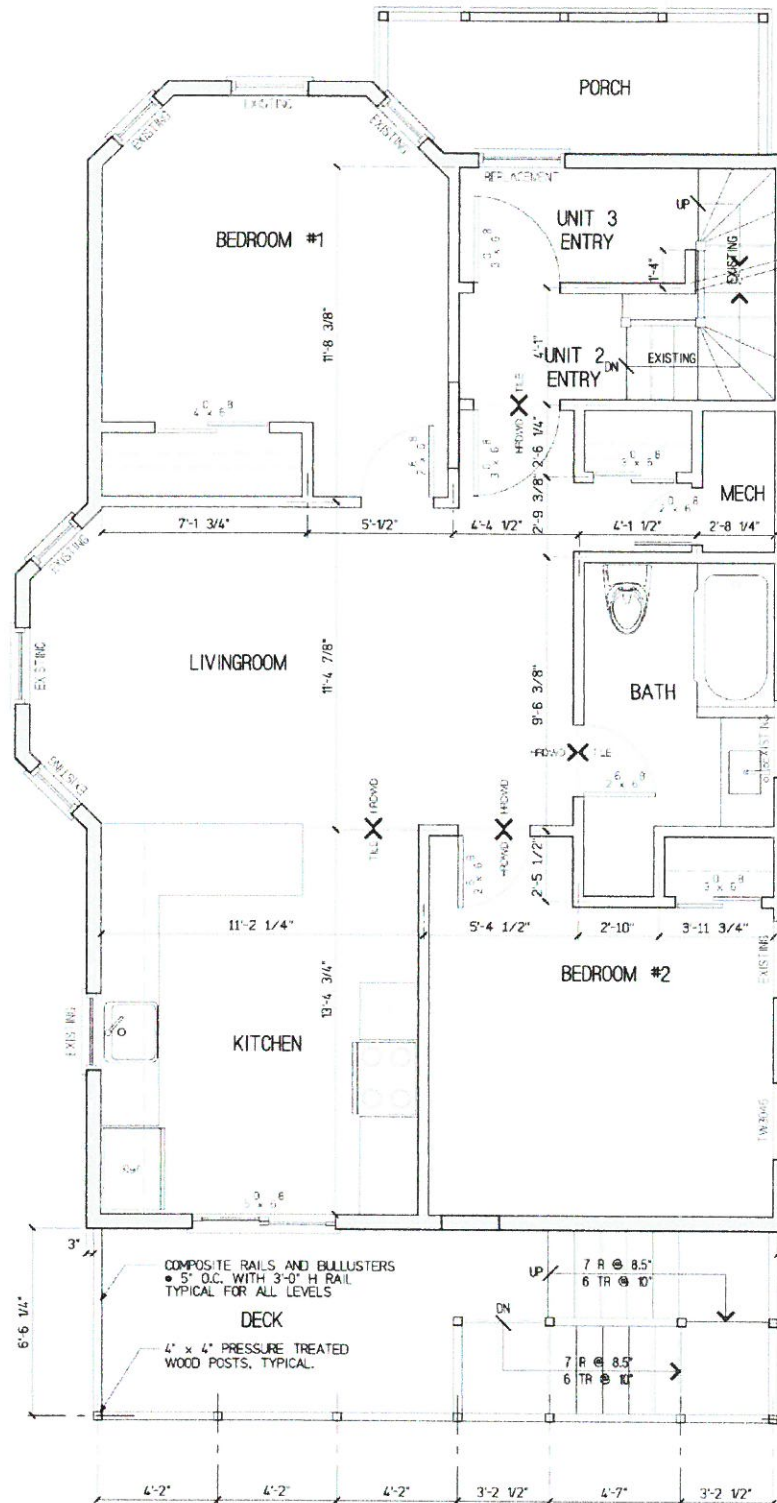
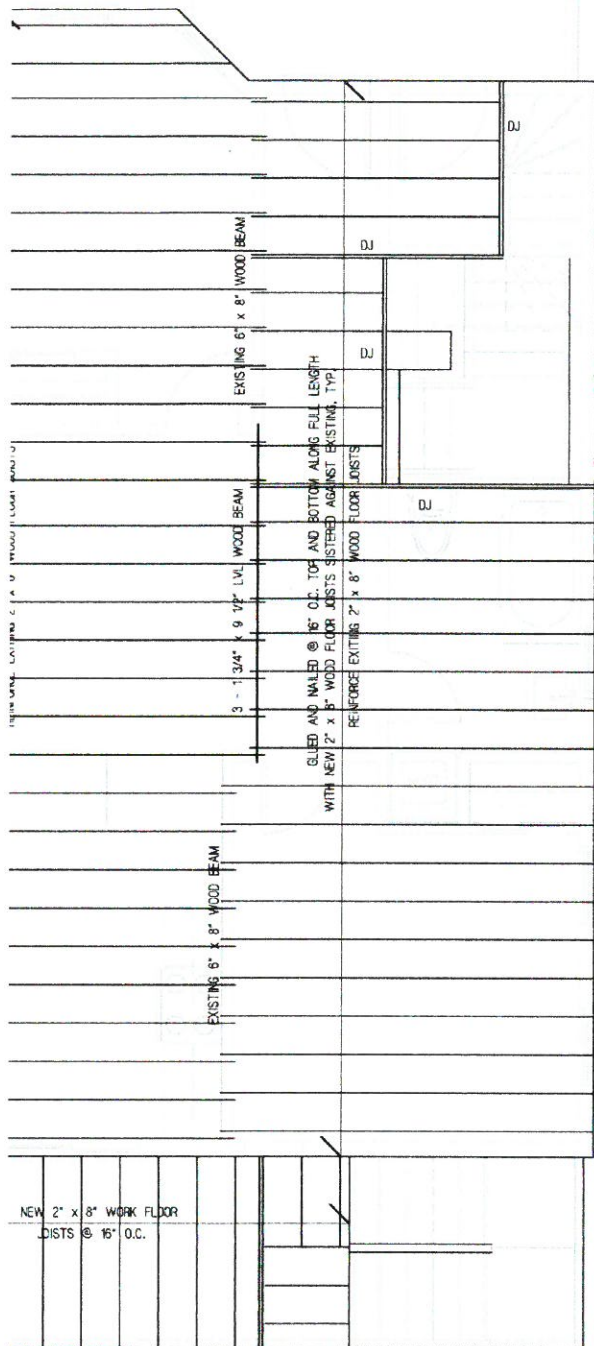


#502.2.2.4 Lateral wood/plastic composite deck boards. These plastic composite deck boards shall be fastened to the joists with 16d nails. The joists shall be fastened to the foundation with 16d nails.



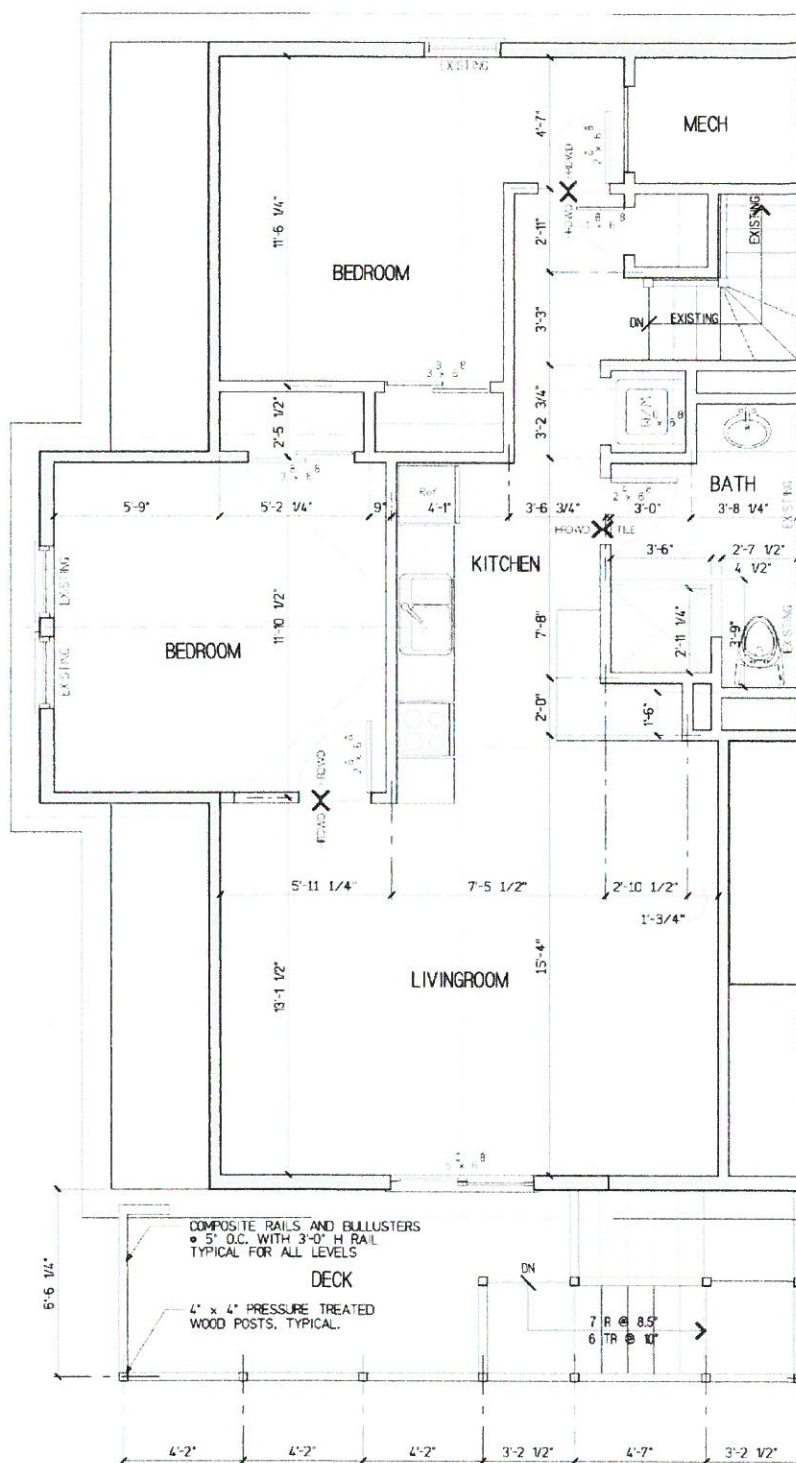
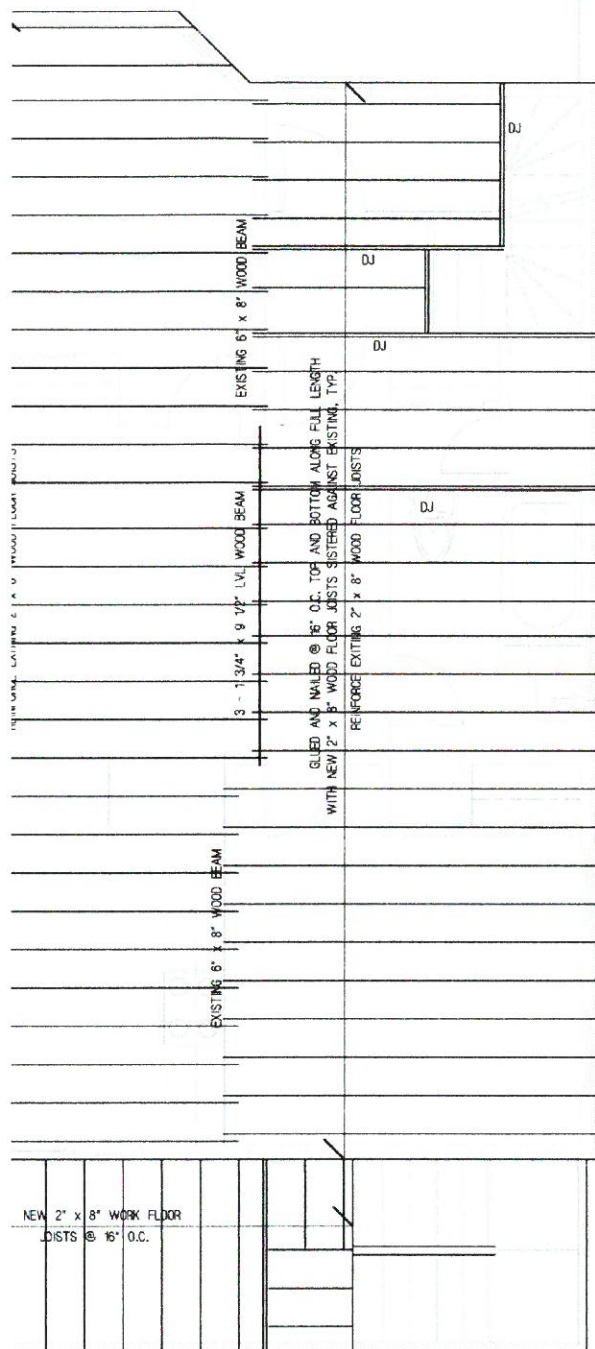
st Floor Framing Plan

First Floor Plan



ond Floor Framing Plan

Second Floor Plan



tic Floor Framing Plan

Attic Floor Plan

SYMBOLS AND LEGEND KEYS

FLOOR PLAN SYMBOLS

EXISTING WALL CONSTRUCTION

EXISTING WALL TO BE DEMOLISHED

NEW INTERIOR WALL CONSTRUCTION

LINE OF WORK ABOVE

EXISTING DOOR AND TRIM

NEW DOOR AND TRIM

LIGHTING SYMBOLS

CEILING MOUNTED LIGHT FIXTURE

WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE W/ FAN

TRACK LIGHTING

RECESSED DOWNLIGHT

MOTION DETECTION SECURITY LIGHT

ELECTRICAL SYMBOLS

SINGLE POLE SWITCH

DOUBLE POLE SWITCH

TRIPLE POLE SWITCH

DUPLEX RECEPTACLE

QUAD RECEPTACLE

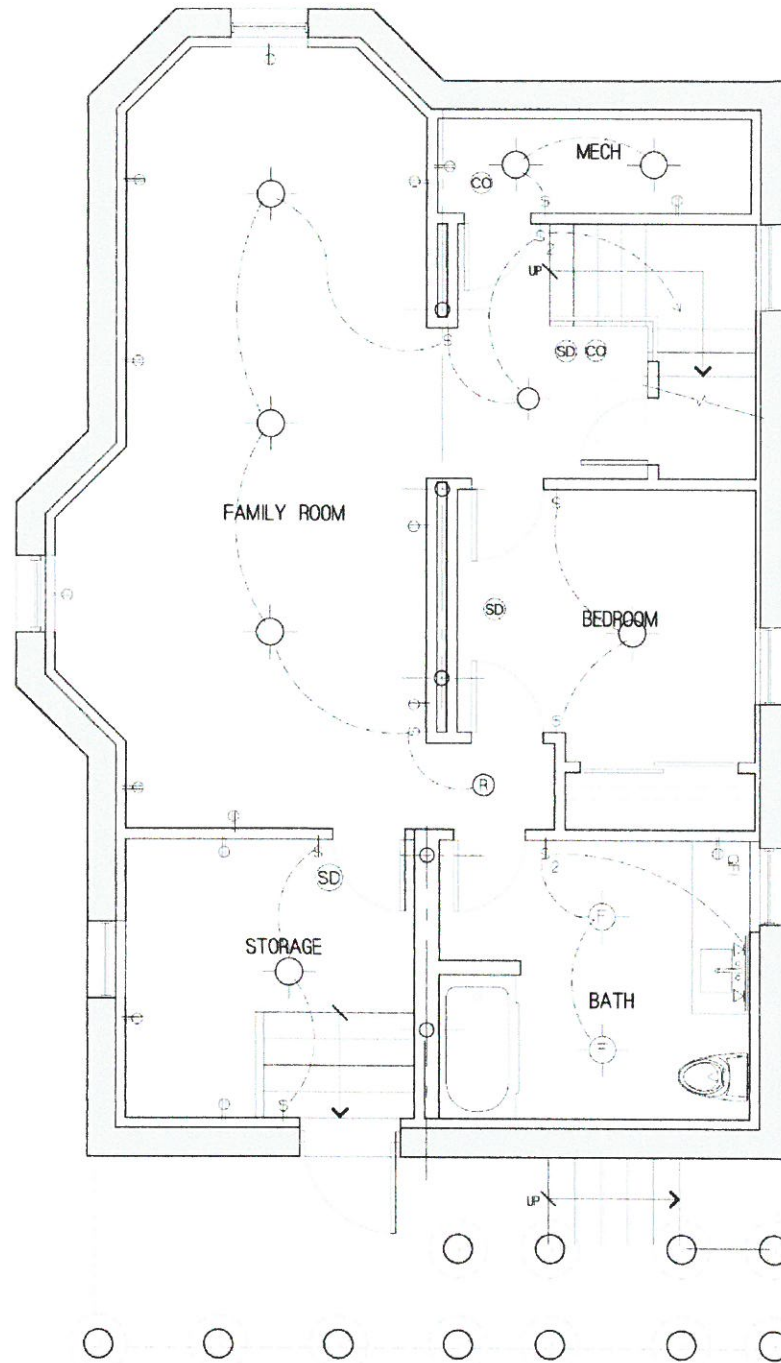
GFI RECEPTACLE

SMOKE DETECTOR

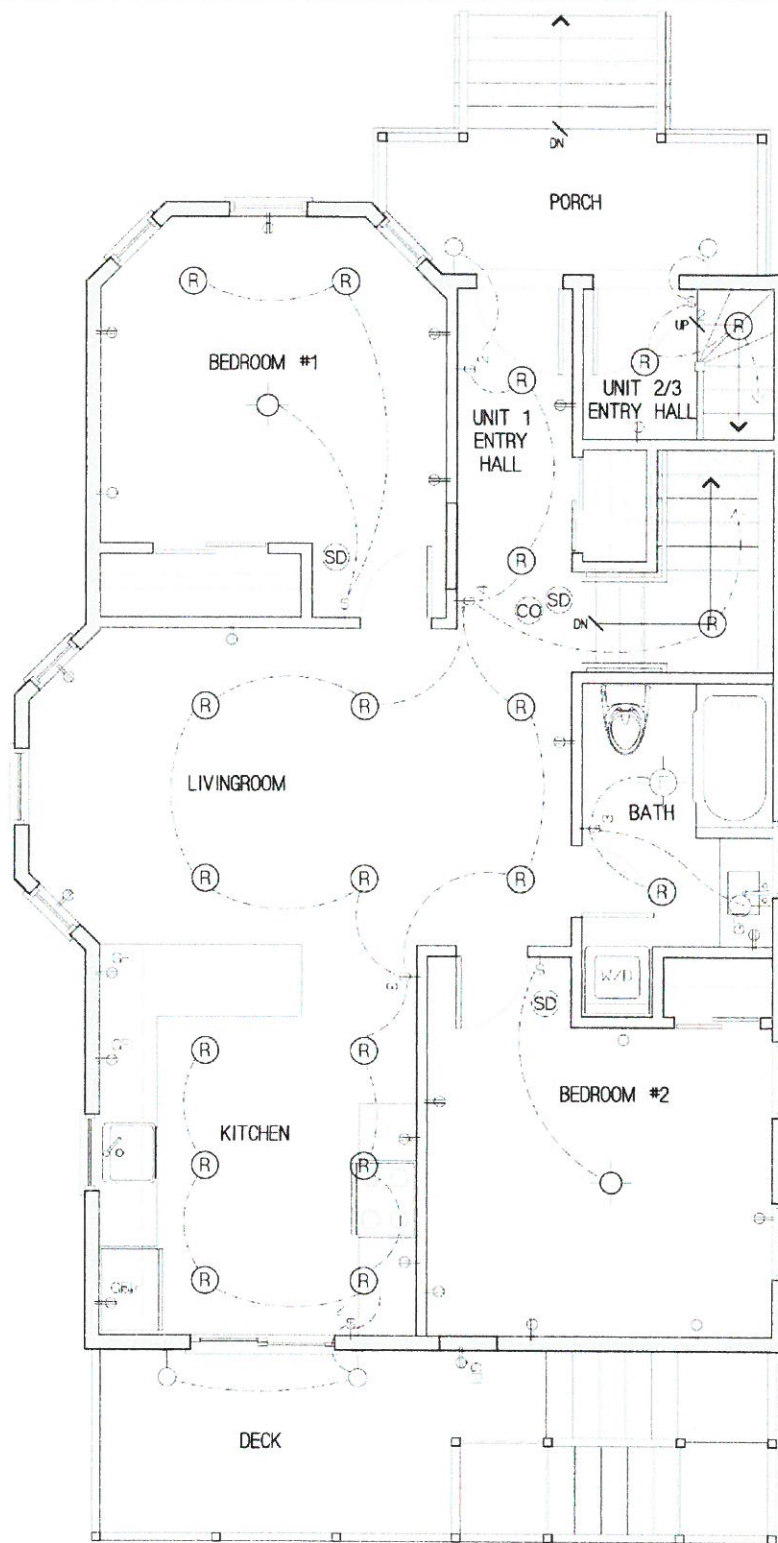
CARBON MONOXIDE DETECTOR

CIRCUITING HOME RUN

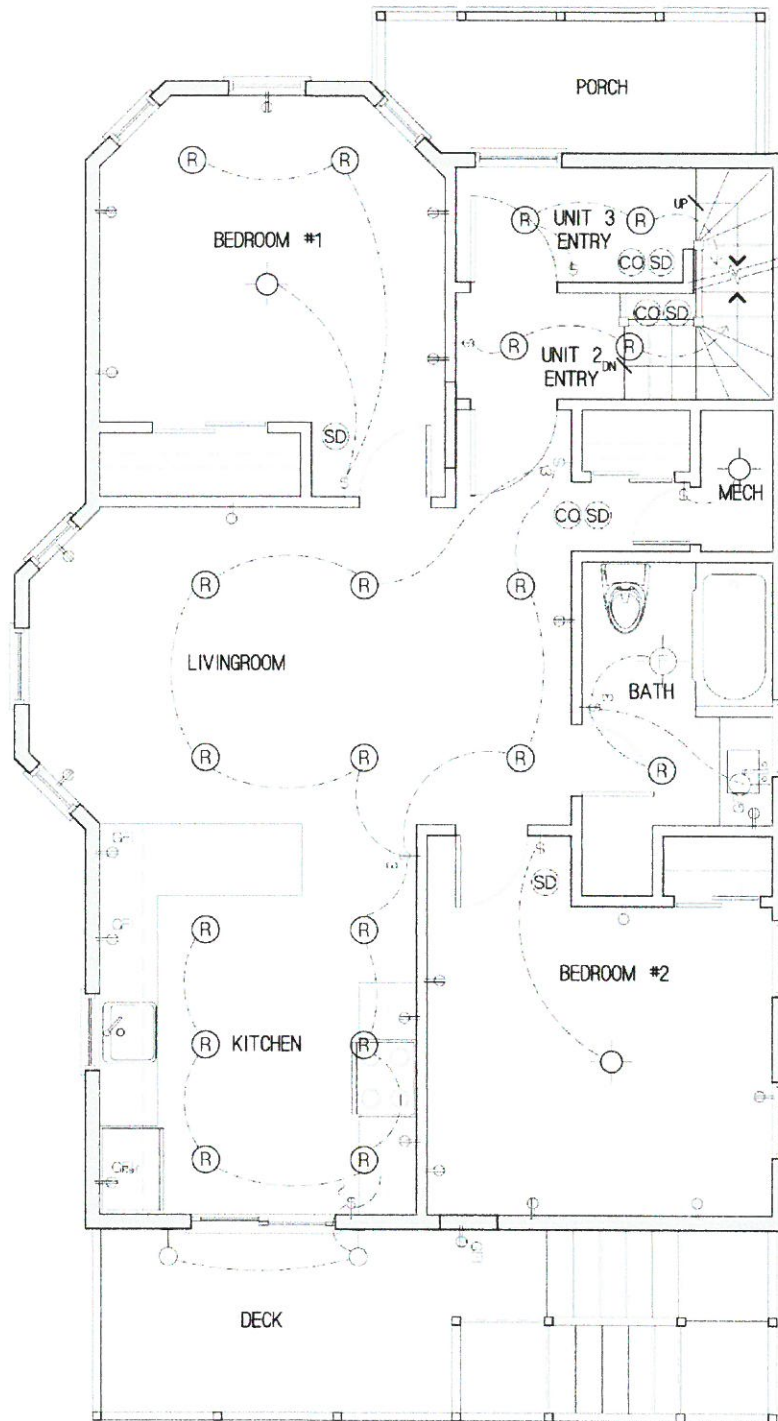
TELEPHONE JACK



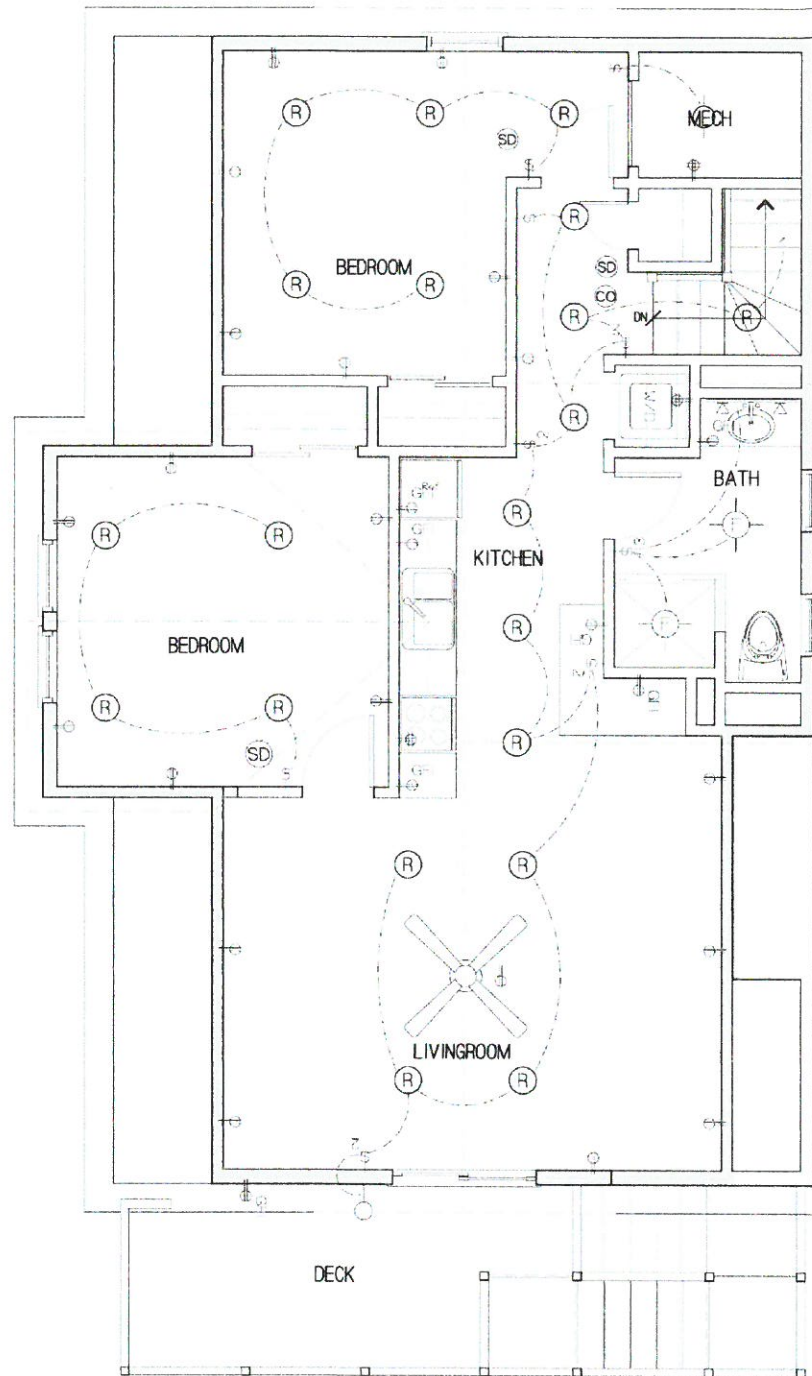
Basement Electrical Plan



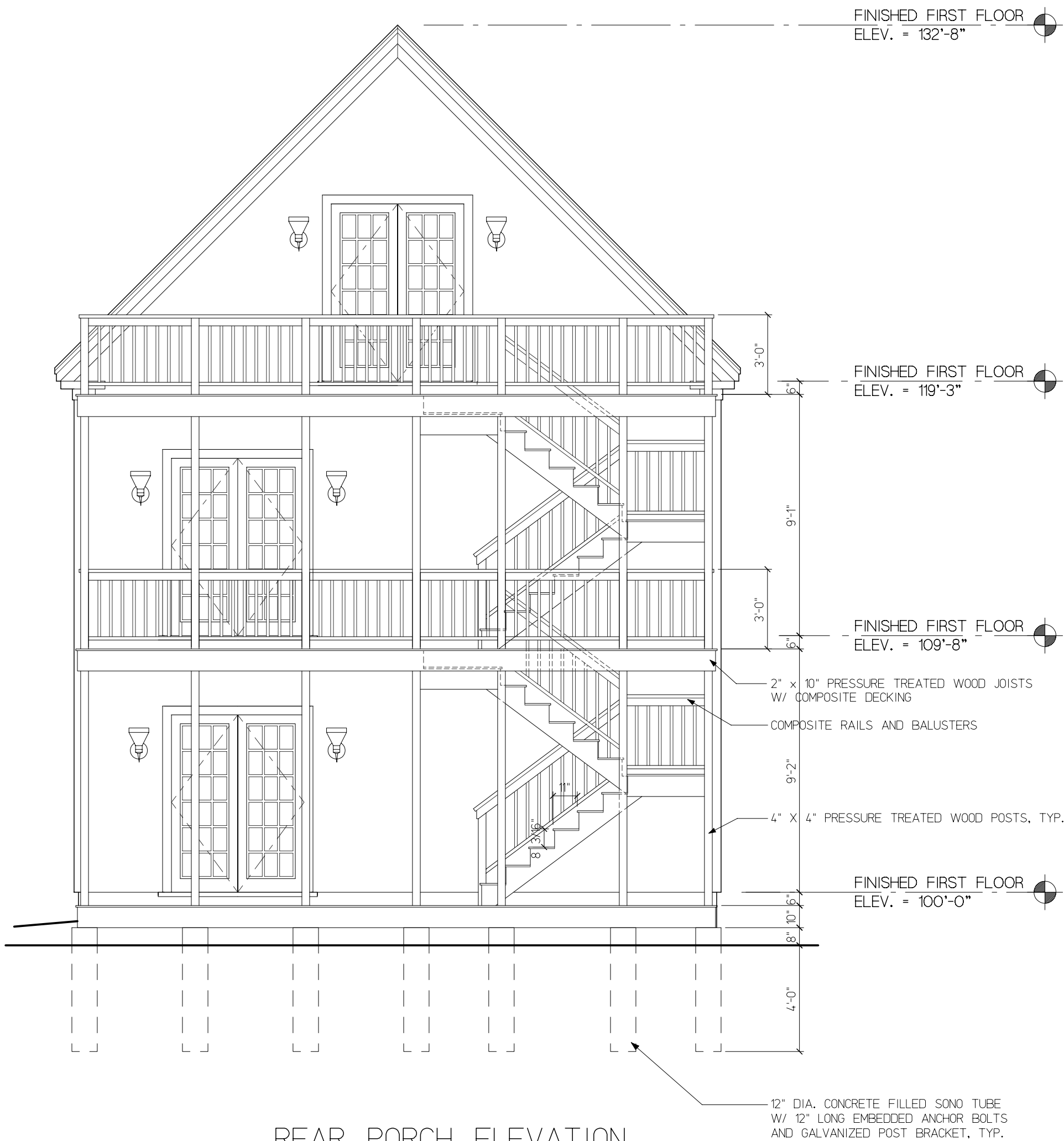
First Floor Electrical Plan



Second Floor Electrical Plan



Attic Floor Electrical Plan



REAR PORCH ELEVATION

Scale: 1/4" = 1'-0"
March 31, 2016

BD

Bourque Design

Architectural Design from
Conception to Construction

Ron Bourque , Architect
AIA, NCARB, CS, LEED GA

rbourq@gmail.com
781-296-6654
9 Morton Street, Waltham, MA 02453

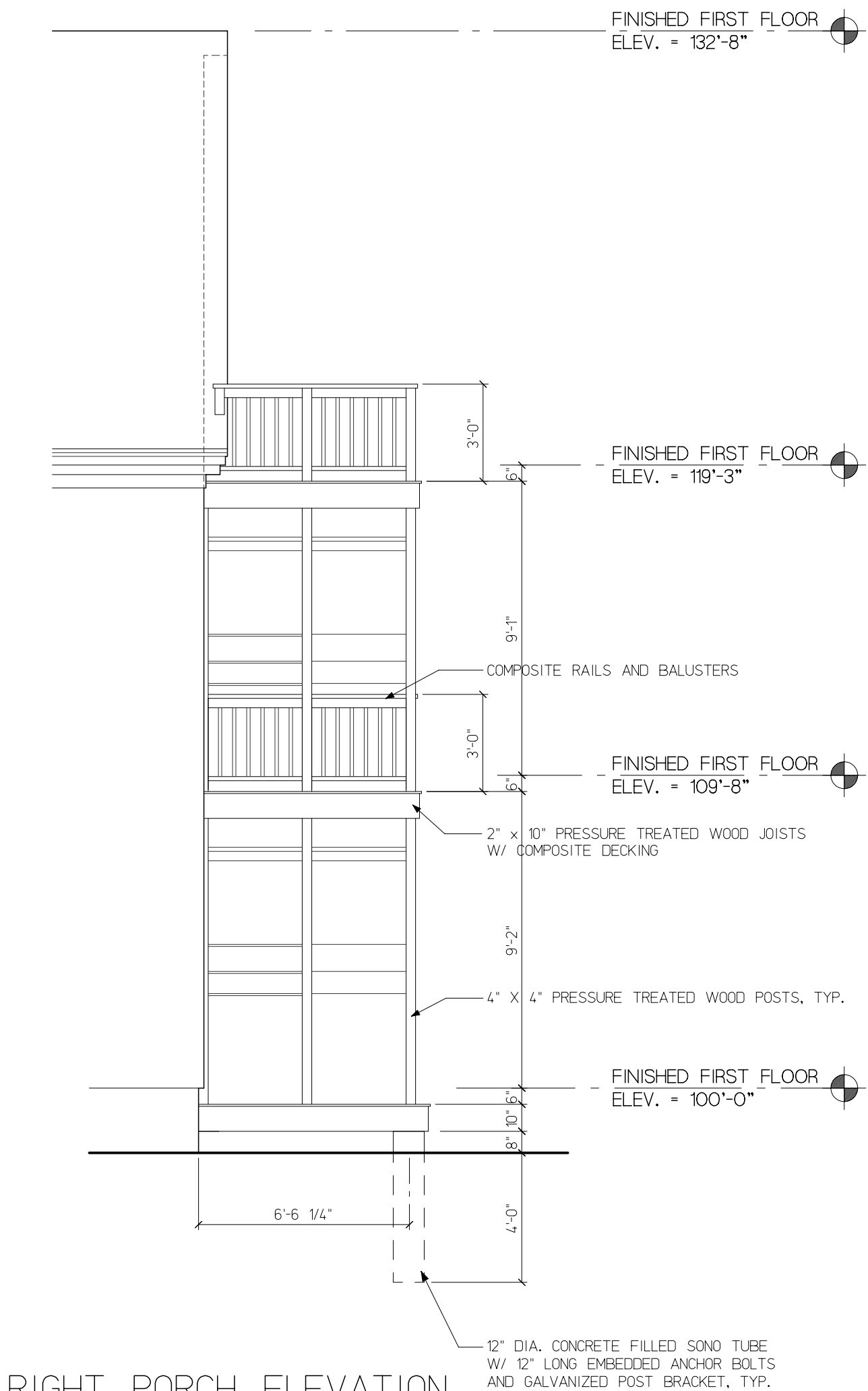
Client Name:

Residential Alterations for

Legacy Building & Construction LLC

31 Hancock Street, Somerville, MA

P1



RIGHT PORCH ELEVATION

Scale: 1/4" = 1'-0"

March 31, 2016



Bourque Design

Architectural Design from
Conception to Construction

Ron Bourque , Architect
AIA, NCARB, CS, LEED GA

rbourq@gmail.com
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9 Morton Street, Waltham, MA 02453

Client Name:

**Residential Alterations for
Legacy Building & Construction LLC
31 Hancock Street, Somerville, MA**

P2