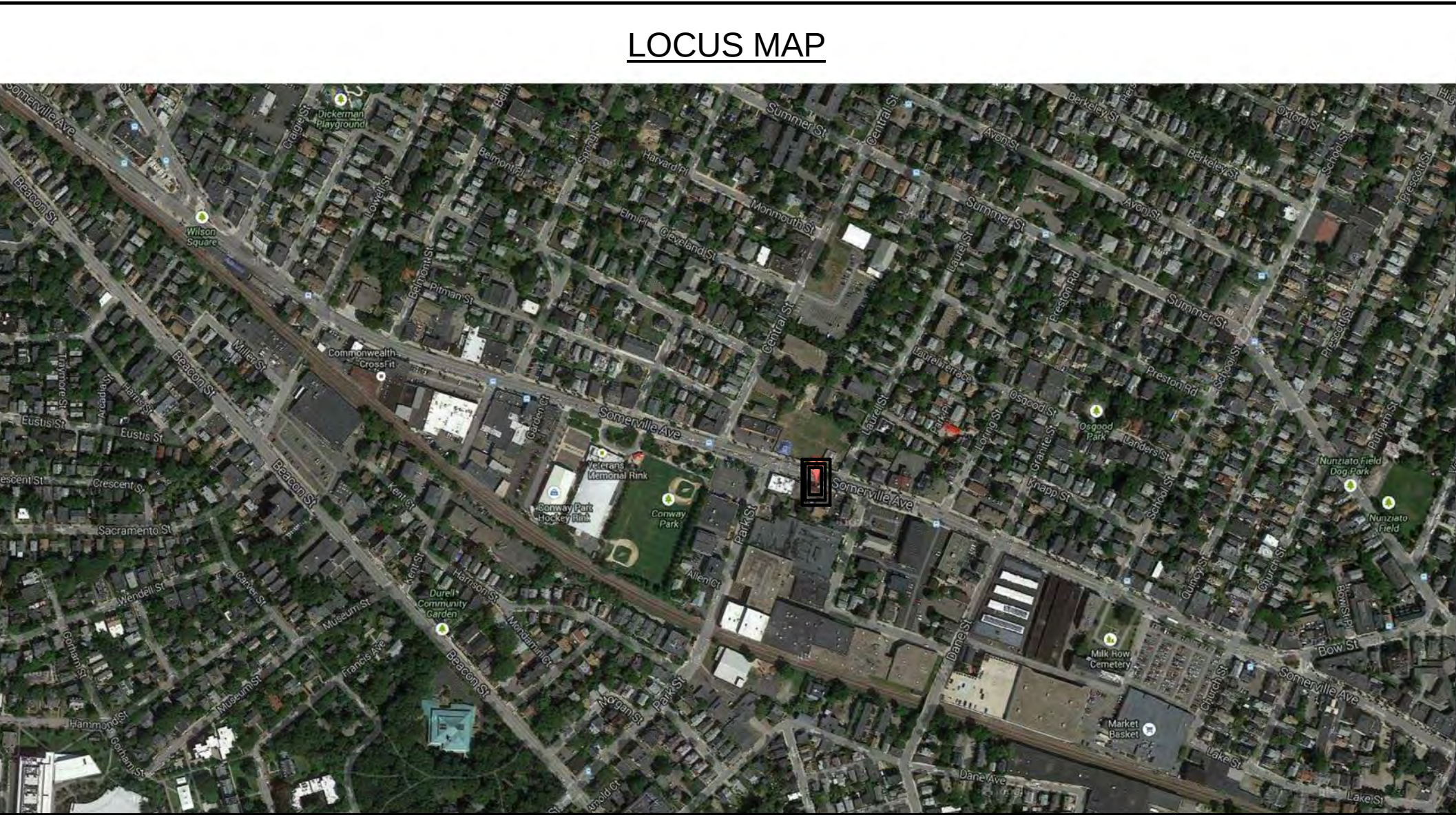


Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
1-CIVIL		
C-001	Civil Site Plan	07/11/14
2-LANDSCAPE		
L-001	Landscape Plan	07/11/14
3-ARCHITECTURAL		
A-000	Cover Sheet	07/11/14
A-001	Site Plan & Locus	07/11/14
A-100	1st & 2nd Floor Plans	07/11/14
A-101	3rd Floor & Roof Plan	07/11/14
A-300	Building Elevations	07/11/14
A-301	Building Elevations	07/11/14
A-303	STREET VIEW & PERSPECTIVES	07/29/14
SHD	SHADOW STUDY	07/29/14
Z-001	SITE CONTEXT	07/29/14



PROPOSED 510 SOMERVILLE AVE
RESIDENCES

07-29-2014 PERMIT SET



CLIENT
DOUG BEAUDET
c/o DG REAL ESTATE DEVELOPMENT
14 Ibbetson Street #3
Somerville, MA 02143

LANDSCAPE ARCHITECTS
Blair Hines Design Associates, LLC
318 Harvard Street suite 25
Brookline, MA 02446
T: 617-735-1180
F: 617-608-5025

ARCHITECT
KHALSA DESIGN INC.
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143
T:(617)-591-8682

CIVIL ENGINEER
Columbia Design Group, LLC
Consulting Engineers
14 Upham Avenue
Boston, MA 02125
T: 617-506-1474
F: 617-507-7740

PROJECT NAME

510 Somerville Ave

PROJECT ADDRESS

**510
Somerville Ave,
Somerville, MA**

CLIENT

BEAUDET

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number	13084
Date	7-11-14
Drawn by	MT/MR/CC
Checked by	JSK
Scale	

REVISIONS

No.	Description	Date

Cover Sheet

A-000

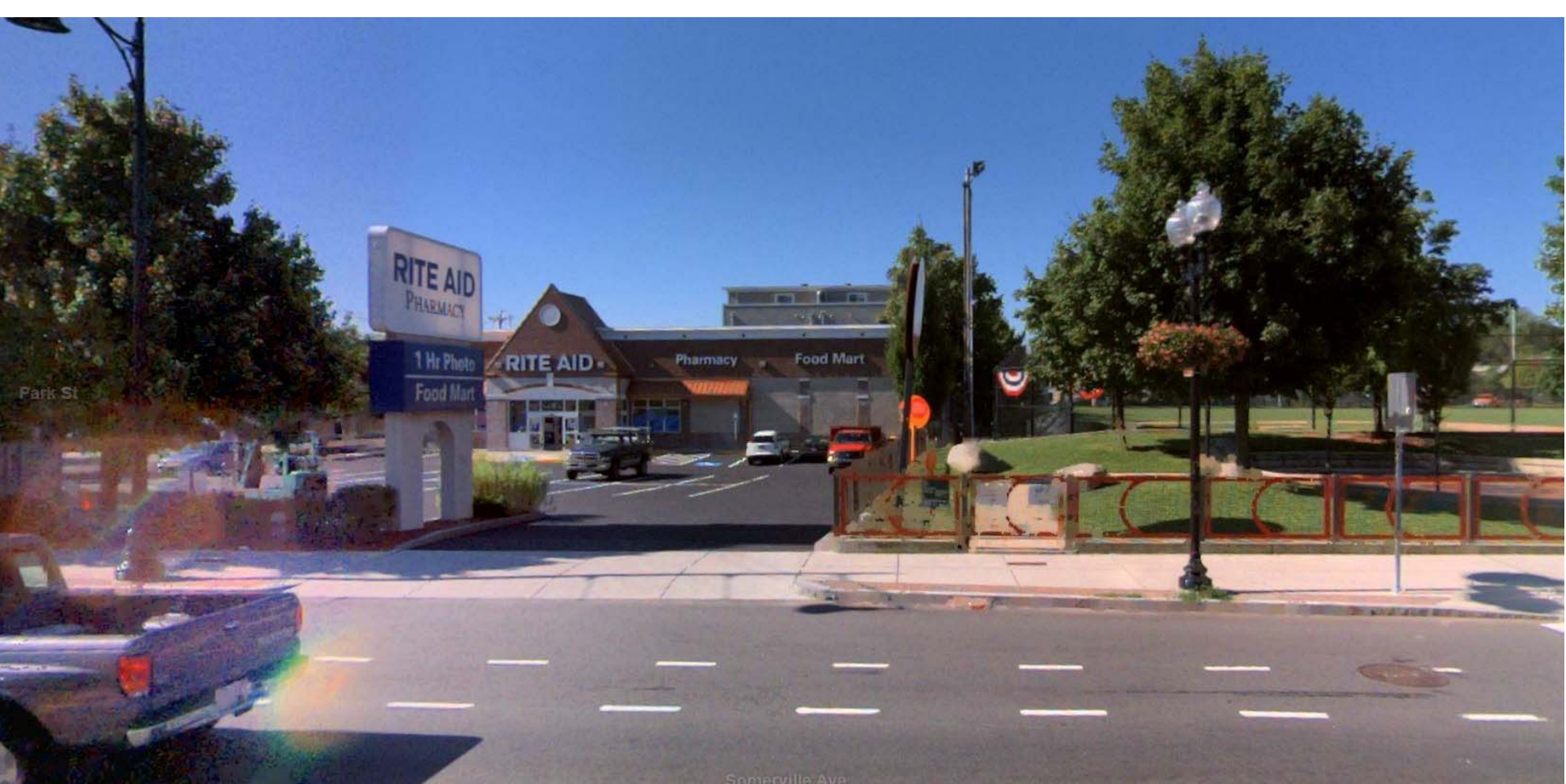
510 Somerville Ave



1



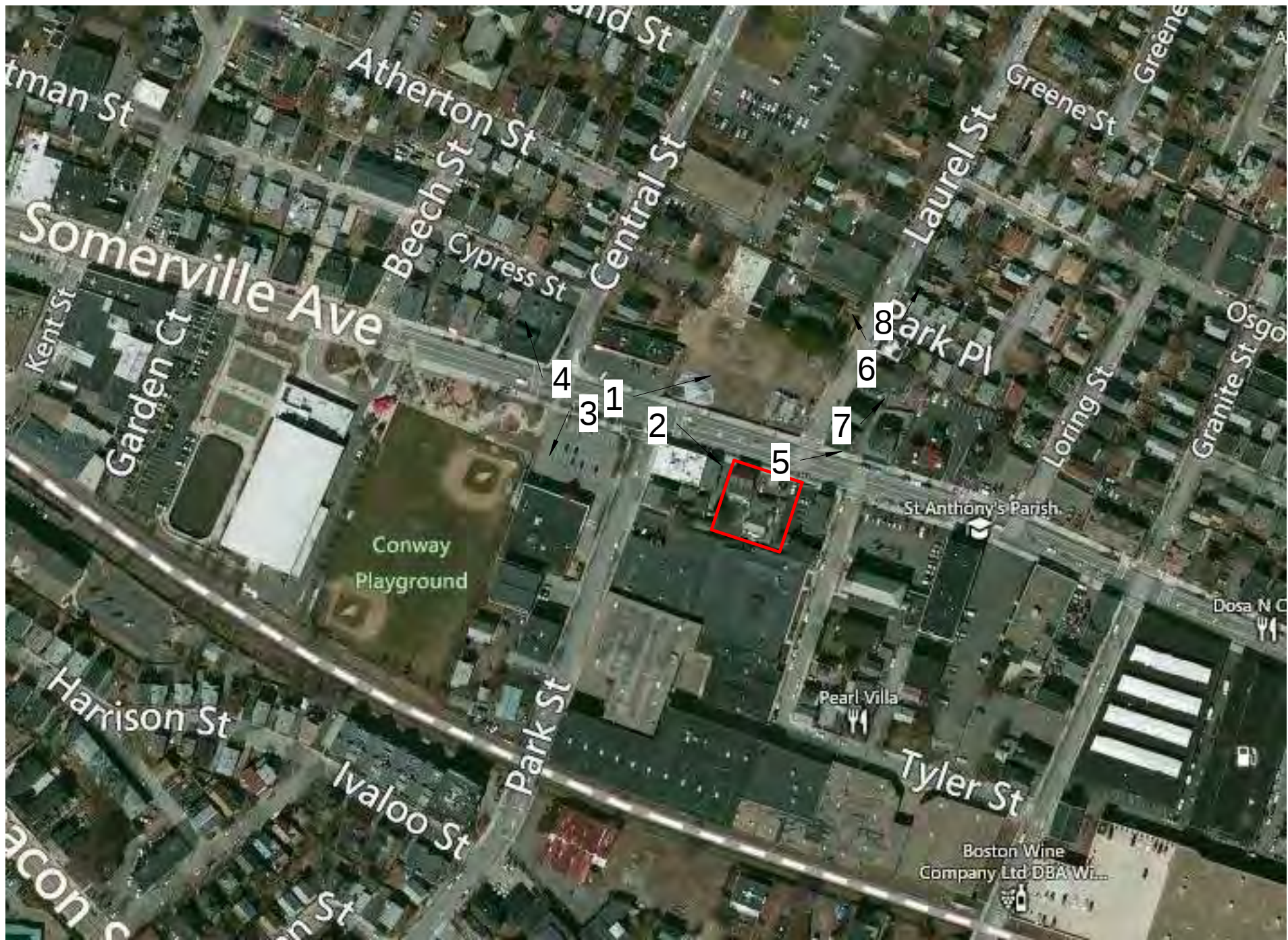
2



3



4



5



6



7



8

PROJECT NAME

508 SOMERVILLE AVE

PROJECT ADDRESS
508
SOMERVILLE AVE,
SOMERVILLE, MA

CLIENT

508 Somerville
Avenue LLC

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13083
Date 03/05/14
Drawn by MT
Checked by KDI
Scale

REVISIONS

No.	Description	Date

Site Context

Z-001

508 SOMERVILLE AVE

MORNING (9-10 AM)

NOON (12 AM-1 PM)

AFTERNOON (3-4 PM)

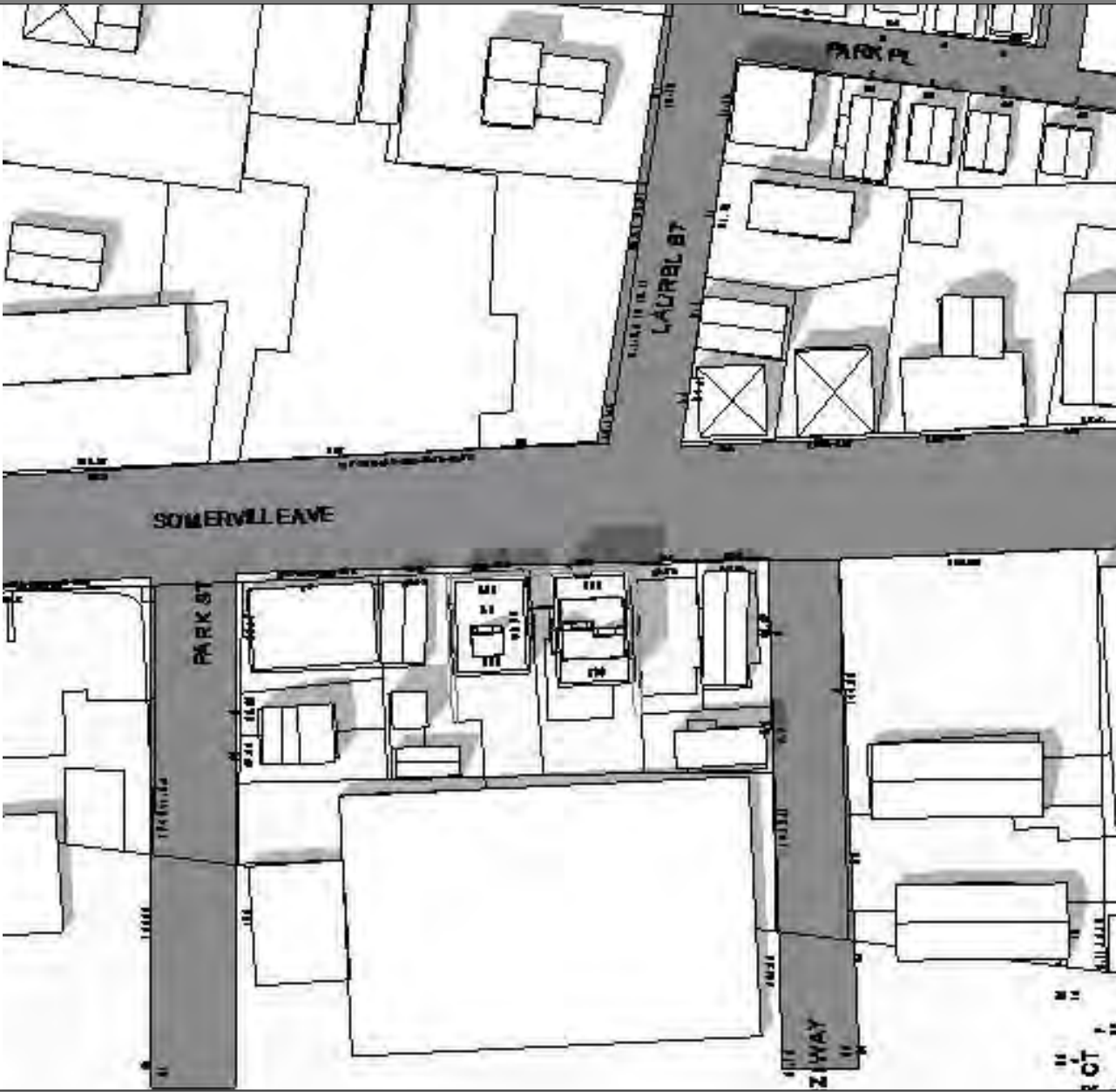
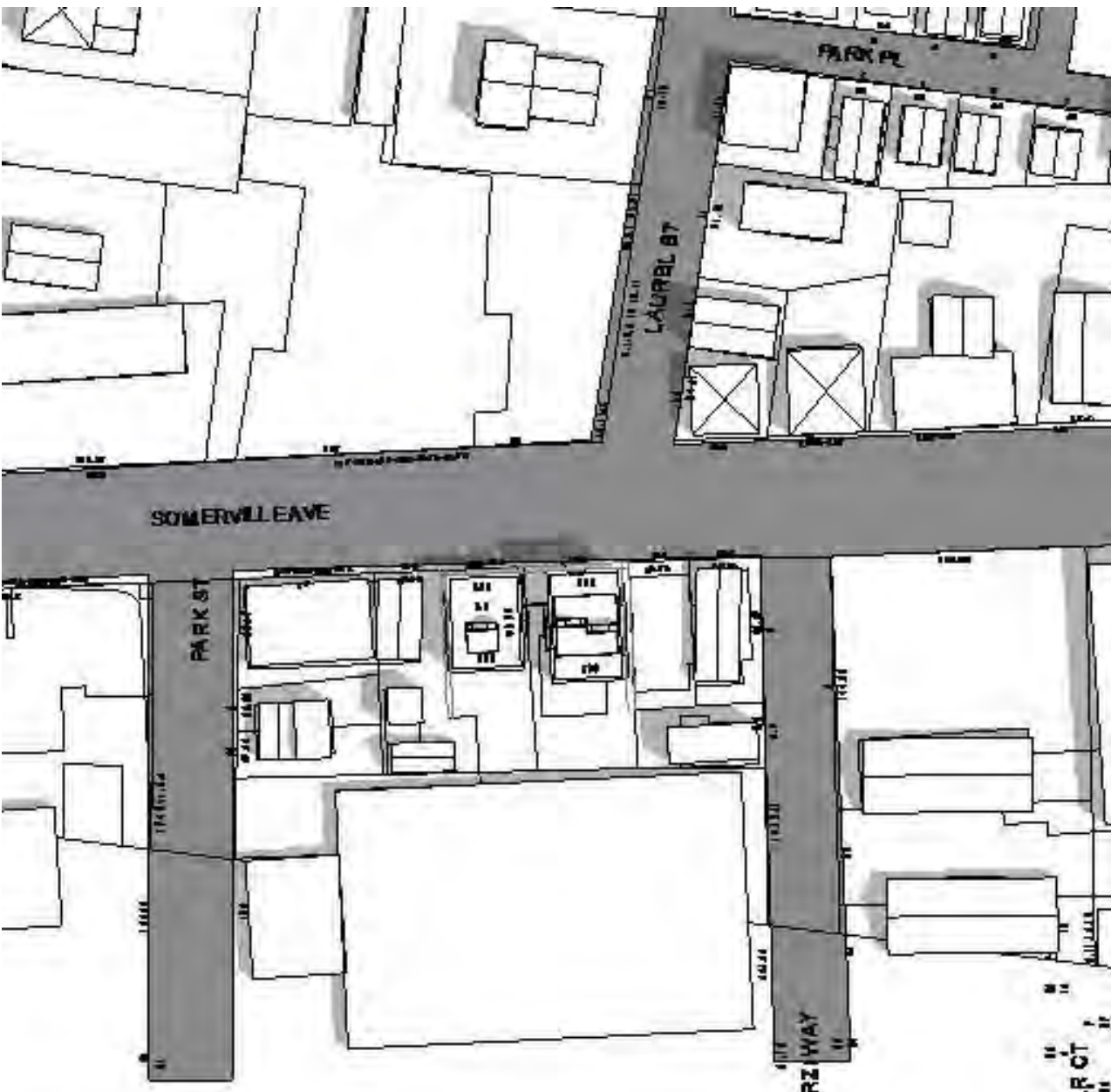
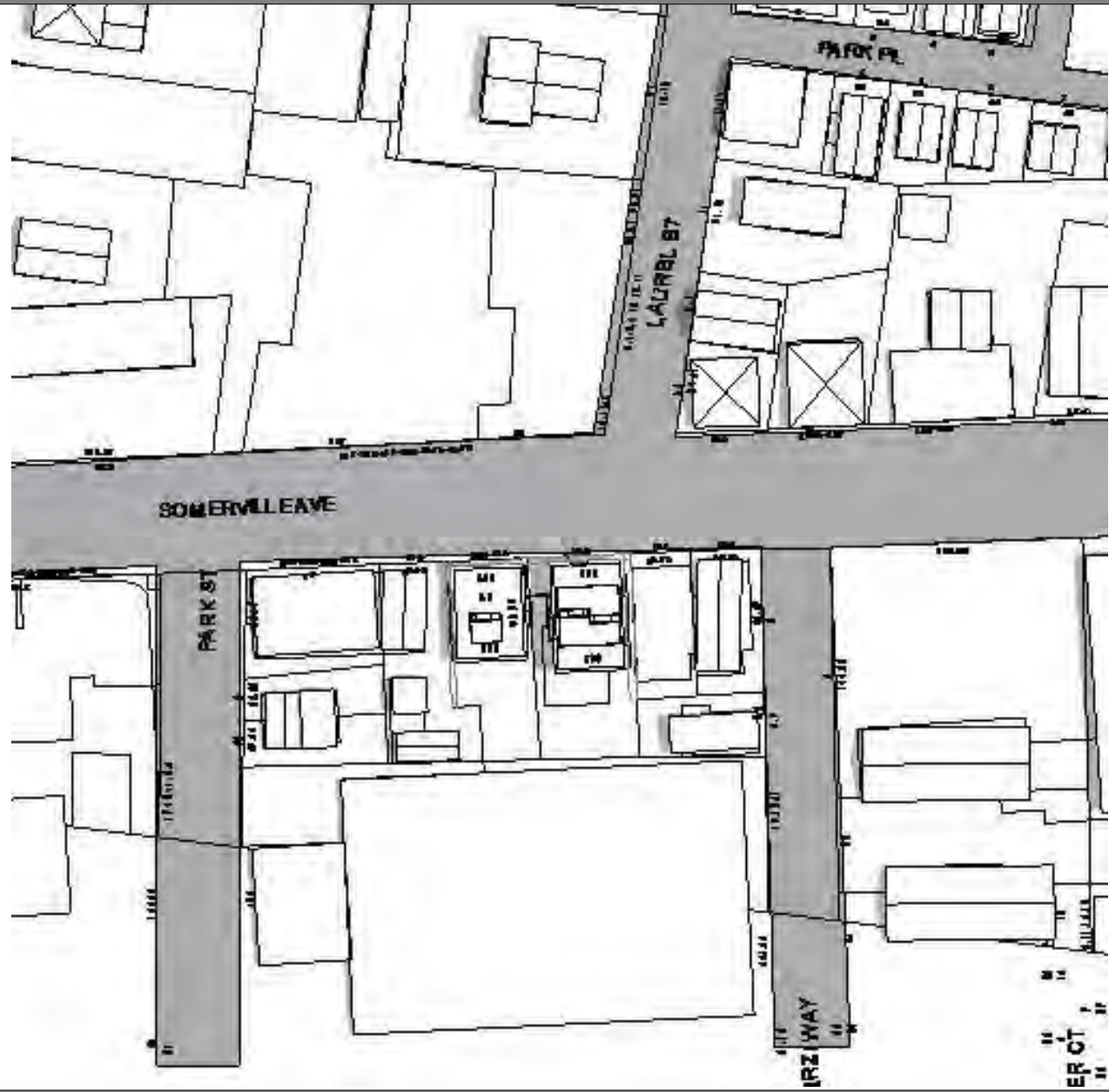
SUMMER SOLSTICE



FALL / SPRING EQUINOX



WINTER SOLSTICE



PROJECT NAME
508-510 Somerville Ave

PROJECT ADDRESS
508-510 Somerville Ave
SOMERVILLE, MA

CLIENT
508 Somerville Ave LLC

ARCHITECT
KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:



Project number 13083.13084
Date 02-20-2014
Drawn by CC
Checked by JSK
Scale 12" = 1'-0"

REVISIONS		
No.	Description	Date

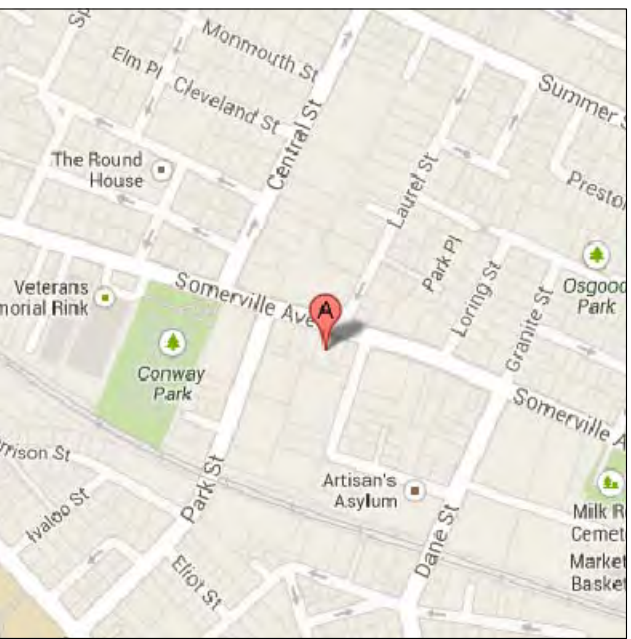
SHADOW STUDY

SHD

508-510 Somerville Ave

Civil Site Plan

508-510 Somerville Ave.
Somerville, MA



REFERENCES:

SURVEY: Land Mapping Inc. on 11/18/13

ARCHITECT: KDI, Somerville MA

LA: Blair Hines Design Associates, LLC

MATERIALS:

STORM DRAIN: 8" PVC ASTM D3034-SDR 35
SIZE AS NOTED ON PLANS
(1% MINIMUM SLOPE)

ROOF DRAINS: 6" PVC SCHED. 40 (TYP.) OR IF
LESS THAN 18" COVER UNDER PARKING SCH.80

SEWER: 6" SEWER & 6" WASTE - PVC ASTM
D3034-SDR 35 (2% MIN. SLOPE)

WATER: 4" DUCTILE IRON CEMENT LINED
(CLASS 56)
2" COPPER TUBING TYPE K
(MINIMUM OF 5 FEET BELOW GRADE)

OPERATIONS AND MAINTENANCE

1. STORMTECH: THE PROPOSED UNDERGROUND INFILTRATION SYSTEMS HAVE INSPECTION PORTS THAT CAN BE USED TO OBSERVE ANY EXCESSIVE BUILD UP OF SEDIMENTS OR STANDING WATER. INSPECTIONS ARE TO BE PERFORMED AFTER EVERY MAJOR STORM DURING FIRST THREE MONTHS AND TWICE PER YEAR THEREAFTER. REMOVAL OF SEDIMENT, IF REQUIRED, TO BE PERFORMED BY A MAINTENANCE COMPANY FAMILIAR WITH THE SYSTEM DESIGN.
2. CATCH BASIN: SHALL BE INSPECTED TWICE PER YEAR AND CLEANED OF DEBRIS AS NEEDED.

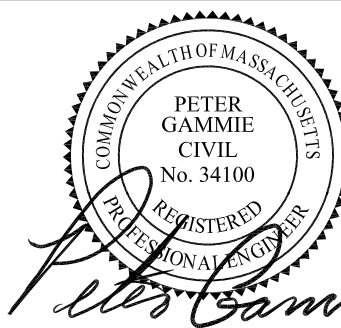
No.	Date	Comment
#1	3-4-14	Added proposed contours per City Engr.
#2	7-7-14	Updates to landscape per comments
#3	7-9-14	Revisions to storm drainage (100 yr)

Columbia Design Group, LLC
Consulting Engineers

14 Upham Avenue
Boston, MA 02125
(T) 617.506.1474 (F) 617.507.7740

508-510 Somerville Ave.
Somerville

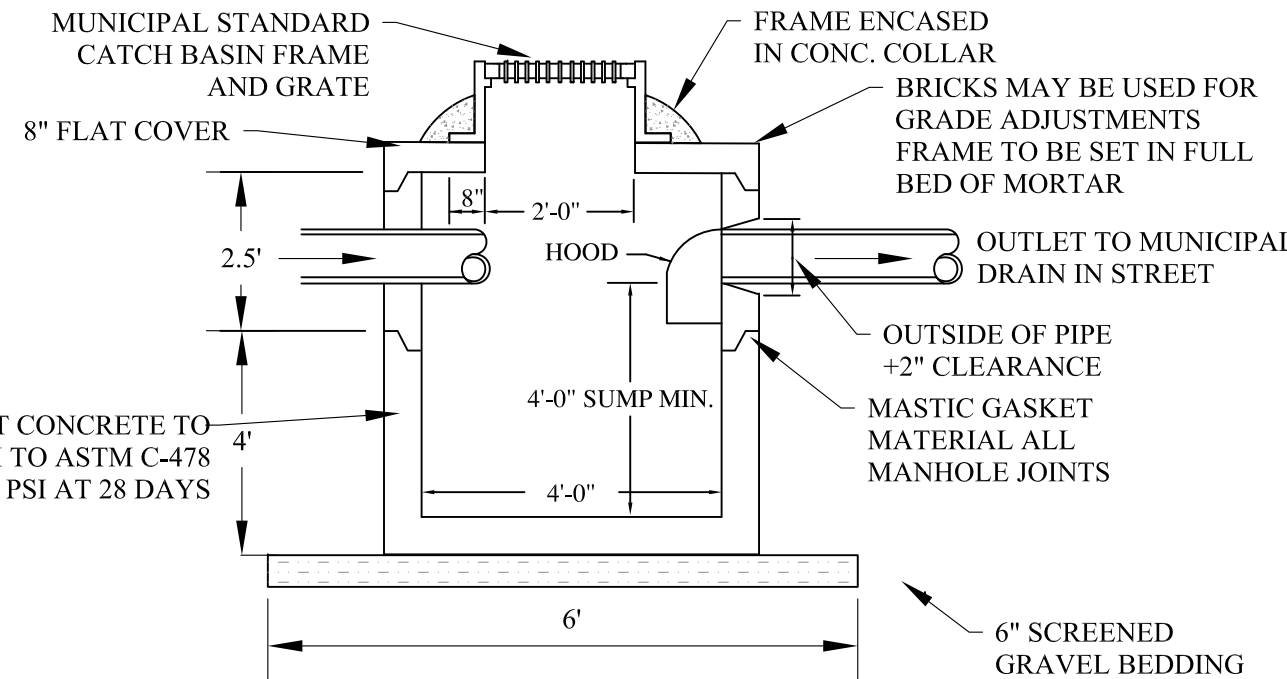
Date: February 19, 2014	Scale: 1" = 10'
Project No.: 2013-170	Drawing by: NG/PG



C-1

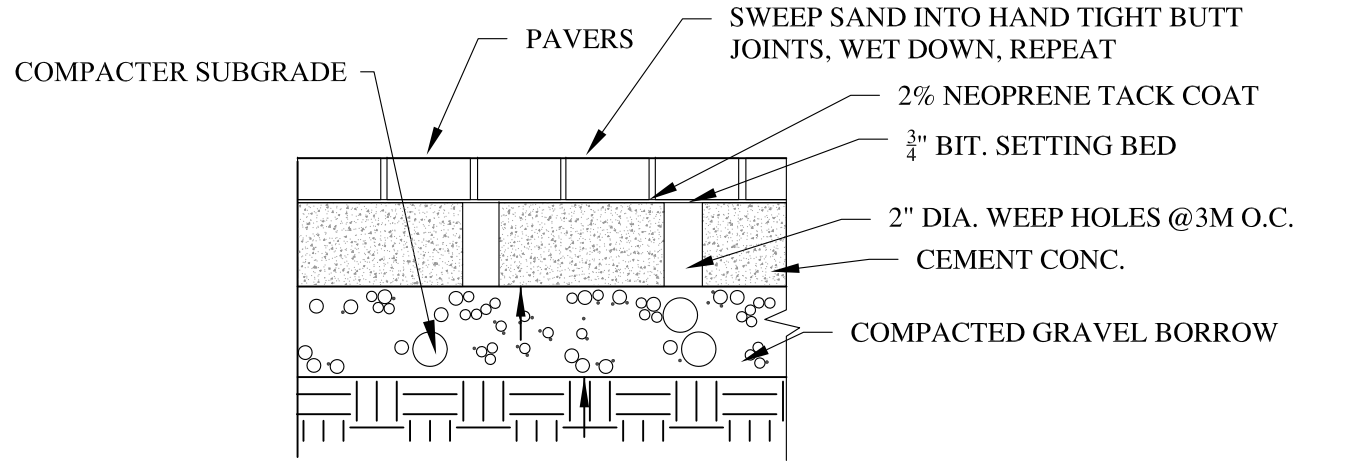
GENERAL NOTES

- THE PURPOSE OF THIS SITE PLAN IS TO DEPICT THE DESIGN AND LAYOUT OF THE DRIVEWAY, PROP. BUILDING, UTILITIES AND STORM DRAINAGE SYSTEM. FOR ADDITIONAL INFORMATION SEE ARCHITECTURAL AND LANDSCAPE PLANS.
- ROOF RUNOFF IS TO BE COLLECTED BY AREA DRAINS ON THE FLAT TOP ROOF AND PIPED TO THE 8" OVERFLOW TO THE MUNICIPAL DRAIN IN THE STREET.
- THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OR SIZE OF EXISTING UTILITIES ON THE SITE OR WITHIN THE STREET. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY AND RECORD THE LOCATION OF EACH UTILITY. THERE ARE SEVERAL EXISTING DRAIN AND SEWER STRUCTURES IN SOMERVILLE AVE WHERE THE INVERT DATA IS NOT KNOWN. THE CONTRACTOR SHALL DETERMINE THESE INVERTS AND PROVIDE INFORMATION TO THE ENGINEER PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF EXISTING MUNICIPAL UTILITIES, AND SHALL ALSO CONTACT DIG-SAFE AT 1-888-344-7233, FAX 1-800-322-4844. DIGSAFE MUST BE NOTIFIED AT LEAST 72 HOURS PRIOR TO EXCAVATION.
- ALL WORK PERFORMED SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE CITY OF SOMERVILLE AND TO ALL APPLICABLE LOCAL AND STATE REGULATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PIPING, STRUCTURES, MATERIALS, AND APPURTENANCES, NECESSARY TO COMPLETE THE STORM DRAINAGE SYSTEMS AS INDICATED ON THE PLANS.
- THE CITY RESERVES THE RIGHT TO INSPECT ALL PRIVATE FACILITIES DISCHARGING TO MUNICIPAL FACILITIES.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED TO PROTECT AGAINST CAVE-IN.
- THE CONTRACTOR SHALL TIE IN ALL ROOF DRAINS FROM THE BUILDING TO THE OVERFLOW DRAIN. COORDINATION WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS IS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SOIL IS TRACKED FROM THE SITE ONTO CITY STREETS OR SIDEWALKS. NO VEHICLES MAY PARK ON CITY SIDEWALKS AT ANY TIME.
- AN AS-BUILT DRAWING (CERTIFIED BY A P.E.) OF THE PROPOSED SITE WORK, INCLUDING BUILDING FOOTPRINT, UTILITIES ABANDONED AND INSTALLED, DRAINAGE IMPROVEMENTS AND FINAL GRADING MUST BE SUBMITTED TO THE DPW. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER AND SOMERVILLE DPW FOR INSPECTION PRIOR TO BACKFILLING.
- SOIL TESTS MUST BE PERFORMED AT THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE THESE TESTS AND INSPECTIONS WITH THE DPW.
- FIRE SERVICE SIZE IS PER THE OWNERS MECHANICAL ENGINEER/FIRE SUPPRESSION DESIGNER. THE CONTRACTOR SHALL VERIFY SIZE PRIOR TO CONSTRUCTION.
- ALL INVERTS OF THE EXISTING STORM AND SEWER DRAINS IN SOMERVILLE AVE. ARE APPROXIMATE BASED ON AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY EXISTING STRUCTURES AND PROVIDE INVERT DATA TO THE ENGINEER PRIOR IF SIGNIFICANTLY DIFFERENT.



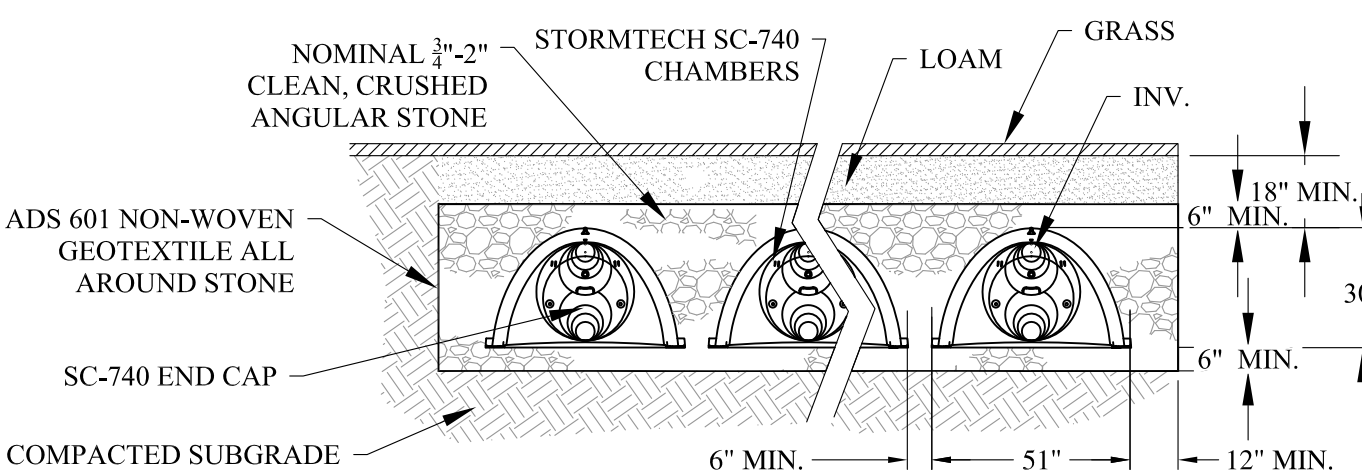
FLAT TOP CATCH BASIN WITH HOODED
OUTLET (H20)

NOT TO SCALE



PAVERS ON CONC. SIDEWALK

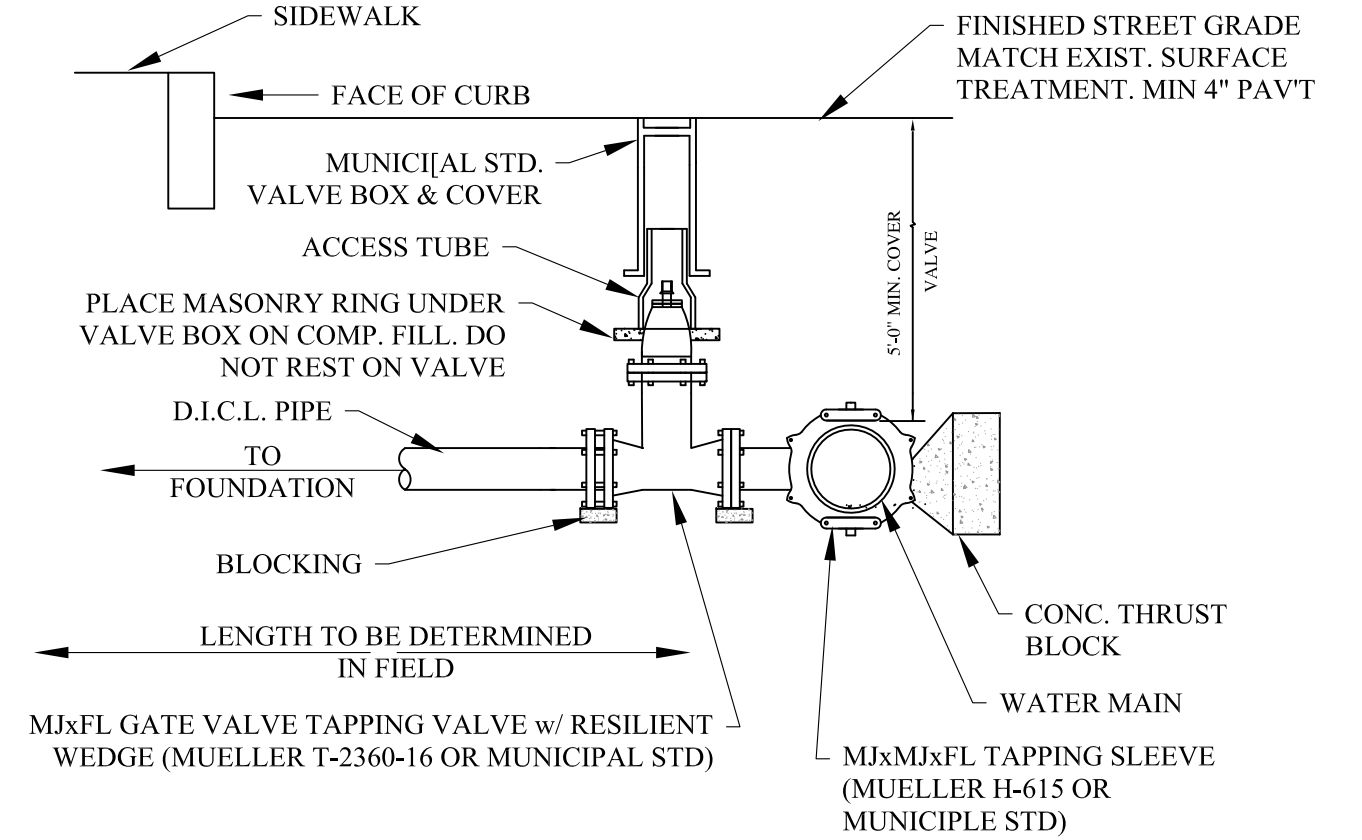
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NOTE: FOR DETAILED LAYOUT AND
CALCULATION FOR INFILTRATION SYSTEMS
SEE DRAINAGE REPORT

STORMTECH SC 740 SECTION

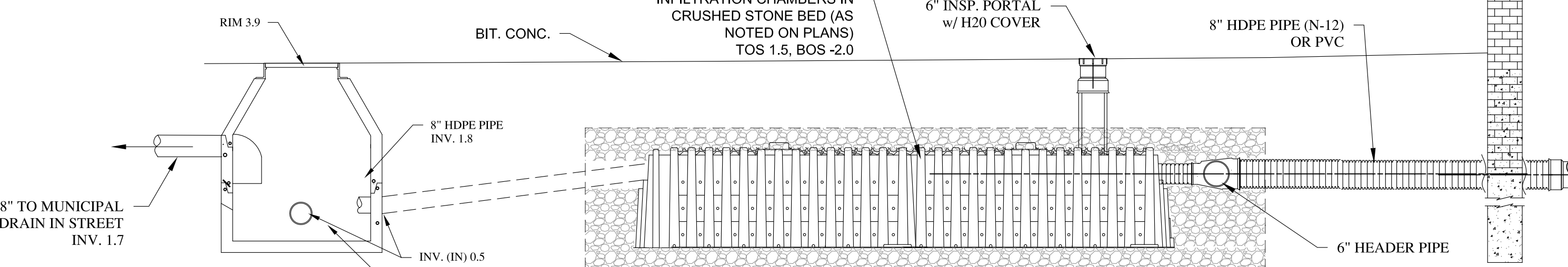
NOT TO SCALE



NOTE: ALL WATER DISTRIBUTION VALVES, FITTINGS, AND
PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.

TYPICAL WATER CONNECTION W/ WET TAP
FOR 4 INCH SERVICE PIPE

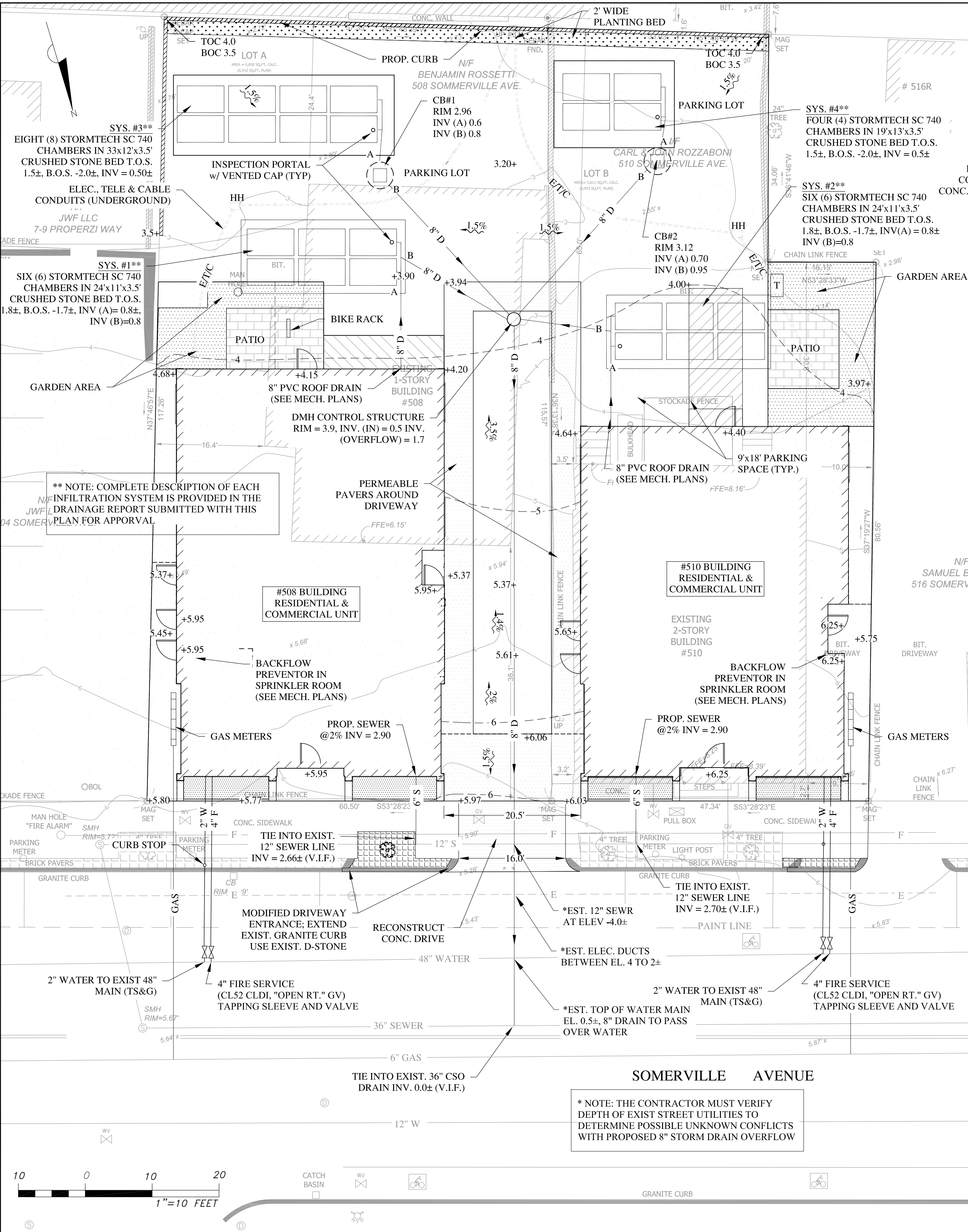
NOT TO SCALE



DRAINAGE SYSTEM SCHEMATIC

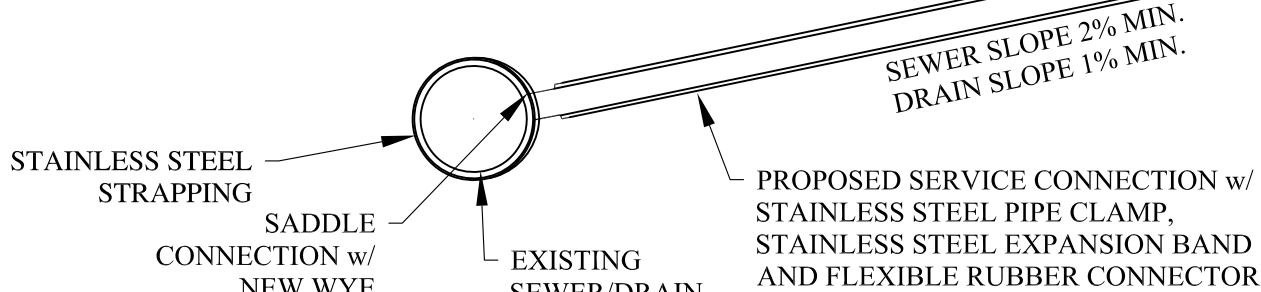
NOT TO SCALE

NOTE: FOR DETAILED LAYOUT AND
CALCULATION FOR INFILTRATION SYSTEMS
SEE DRAINAGE REPORT



SOMERVILLE AVENUE

* NOTE: THE CONTRACTOR MUST VERIFY
DEPTH OF EXIST STREET UTILITIES TO
DETERMINE POSSIBLE UNKNOWN CONFLICTS
WITH PROPOSED 8" STORM DRAIN OVERFLOW



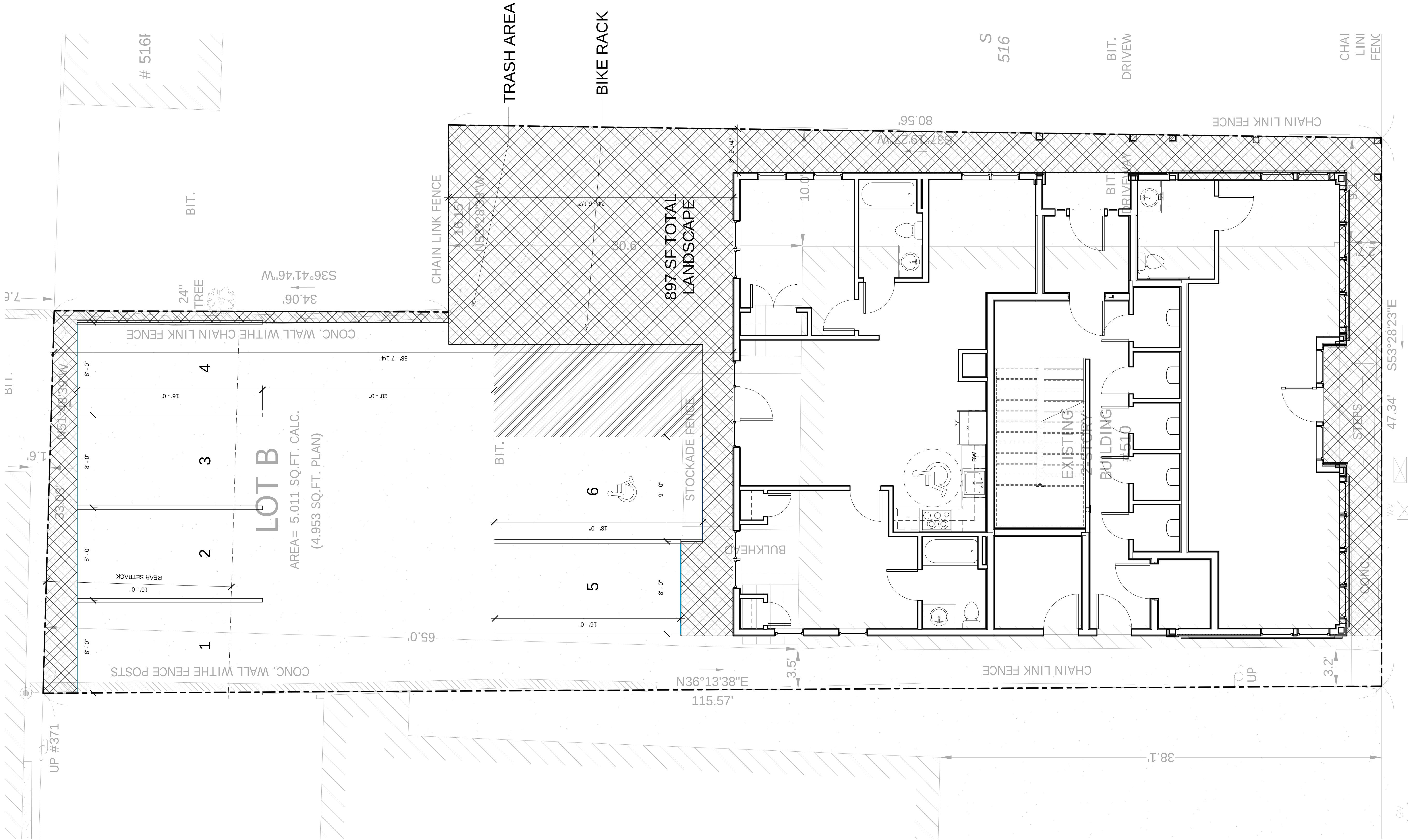
SEWER/DRAIN SADDLE CONNECTION

NOT TO SCALE

TYPICAL GRANITE CURB

NOT TO SCALE

ZONING CHART			
BA ZONE	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	N/A	5011 SF	5011 SF
LOT AREA/DU 1-9DU	875 SF/DU	N/A	1002 SF/DU
FAR	2	.84 / 4212 SF	1.28 / 6430SF
MAX GROUND COVER	80% 4008SF	45% 2883SF	40% / 2038 SF
LANDSCAPE AREA	10% 501SF	0%	18% 897SF
PERMEABLE AREA	N/A	0%	18% 897SF
MAX HEIGHT	50'-0" / 4ST	30' - 0"	37' - 6"
FRONT SETBACK	N/A	2.7'	3'-0"
LEFT SIDE SETBACK	N/A	3.2', 3.5'	4'-7.5", 4'-4"
RIGHT SIDE SETBACK	N/A	9.1', 10'	3'-9.25", 3'-0.75"
REAR SETBACK	10'+2'/ST=16'	30.6', 65'	24'-6.5", 58'-7.25"
FRONTAGE	N/A	47.34'	47.34'
PARKING		2	6



GENERAL SITE PLAN NOTES

1. SEE CIVIL PLANS FOR ADDITIONAL NOTES
2. SEE LANDSCAPE PLAN FOR PLANTING LIST AND NOTES

PROJECT NAME

510 Somerville Ave

PROJECT ADDRESS
510
Somerville Ave,
Somerville, MA

CLIENT

BEAUDET

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13084
Date 7-11-14
Drawn by MT/MR/CC
Checked by JSK
Scale As indicated

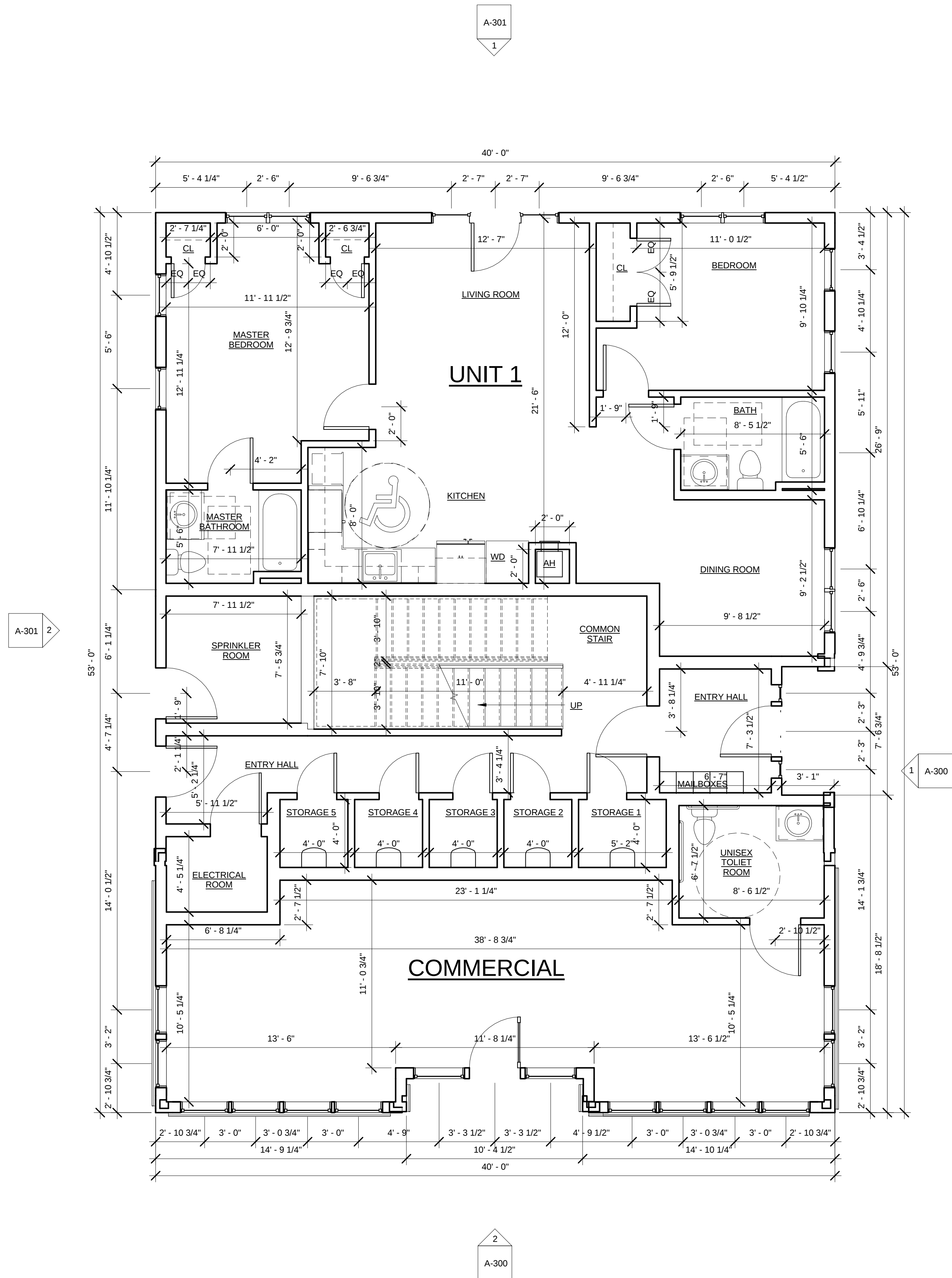
REVISIONS

No.	Description	Date

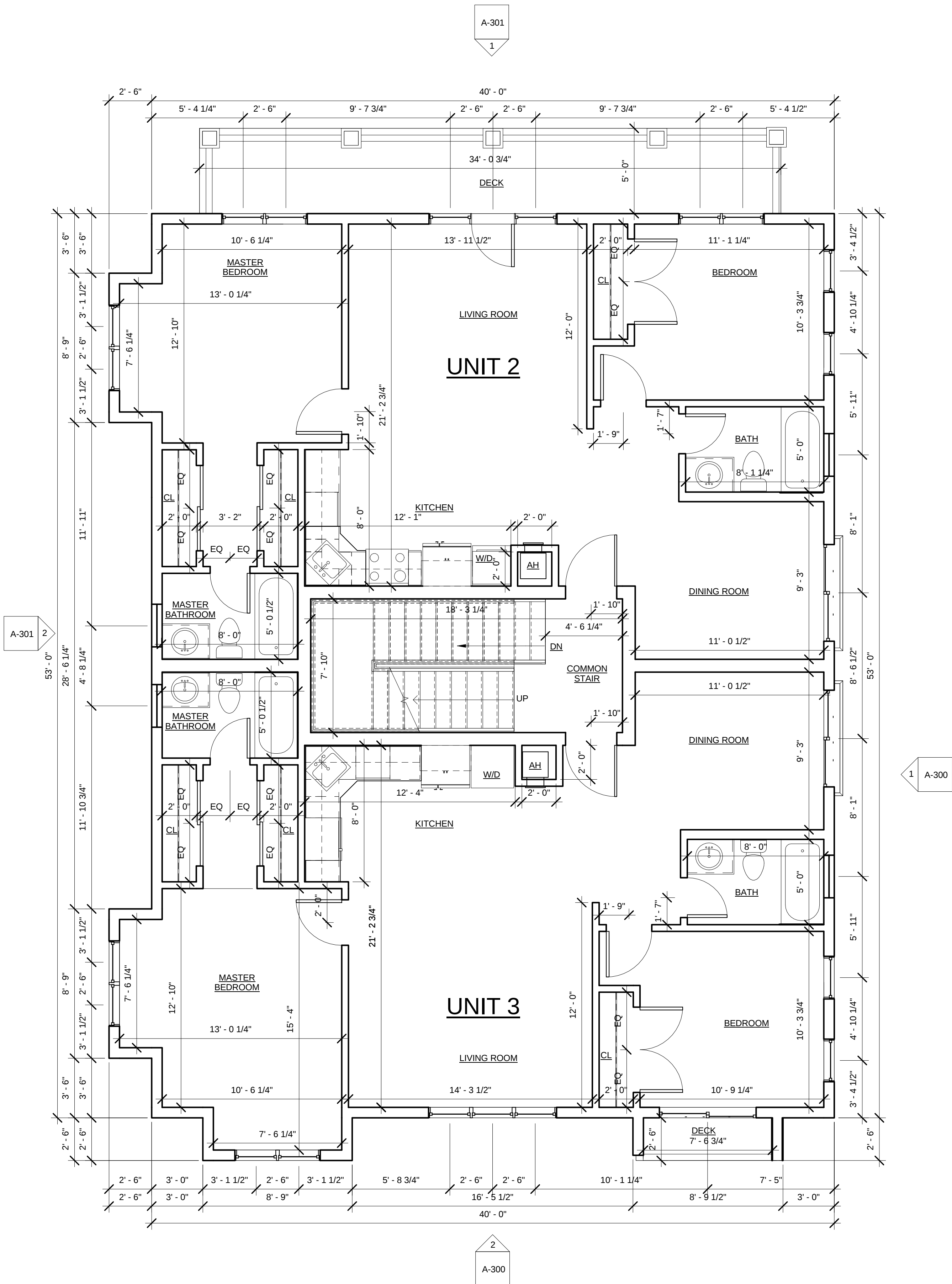
Site Plan & Locus

A-001

510 Somerville Ave



① First Floor Level
1/4" = 1'-0"



② Second Floor Level
1/4" = 1'-0"

PROJECT NAME

510 Somerville Ave

PROJECT ADDRESS

510

Somerville Ave,
Somerville, MA

CLIENT

BEAUDET

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KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400

SOMERVILLE, MA 02143

TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13084
Date 7-11-14
Drawn by MT/MR/CC
Checked by JSK
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

1st & 2nd Floor
Plans

A-100

510 Somerville Ave



① Rear Elevation
1/4" = 1'-0"



② Left Side Elevation
1/4" = 1'-0"

PROJECT NAME

510 Somerville Ave

PROJECT ADDRESS
510

Somerville Ave,
Somerville, MA

CLIENT

BEAUDET

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REGISTRATION



Project number 13084
Date 7-11-14
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Checked by KDI
Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

Building Elevations

A-301

510 Somerville Ave



④ 3D View 7



⑤ 3D View 8



③ 3D View 6



① Elevation 1 - d
1" = 10'-0"

PROJECT NAME

508-510 Somerville Ave

PROJECT ADDRESS

508-510 Somerville Ave
SOMERVILLE, MA

CLIENT

-

ARCHITECT

KHALSA DESIGN INC.



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

REGISTRATION



Project number 13083.13084
Date 02-20-2014
Drawn by MT, CC
Checked by KDI
Scale 1" = 10'-0"

REVISIONS

No.	Description	Date

Street View &
Perspectives

A-303

508-510 Somerville Ave